

Board of Zoning Appeals
James City County Government Complex
Board Room, Building F

Jan. 8, 2015 - 7 p.m.

A. Roll Call

B. Old Business

C. New Business

1. ZA-0006-2014. 4604 John Tyler Highway

D. Minutes

Dec. 4, 2014

E. Matters of Special Privilege

1. Election of Officers

F. Adjournment

BOARD OF ZONING APPEALS
December 4, 2014

Mr. David Otey Jr. called the meeting to order at 7:00 p.m.
Mr. Jason Purse called the roll

A. Roll Call

Present:

Mr. Marvin Rhodes
Mr. David Otey Jr.
Mr. Ron Campana Jr.
Mr. William Geib
Mr. Stephen Rodgers

Others Present:

Mr. Jason Purse, Zoning Administrator
Mr. John Rogerson, Senior Zoning Officer
Mr. Maxwell Hlavin, Assistant County
Attorney

Mr. Otey gave information on the purpose of the Board of Zoning Appeals.

B. Old Business

ZA-0004-2014, 9441 Richmond Road which was deferred from October 2, 2014.

Mr. John Rogerson presented his staff report summary:

At the October 2, 2014 meeting of the Board of Zoning Appeals the applicant, Mr. M. Anderson Bradshaw requested the BZA defer taking action on the above referenced case until he had more time to research a location for a reserve drain field. Mr. Bradshaw also said that he would like to defer the case until a full Board of five members would be available to hear the case. The BZA concurred with the request and deferred the case until the December 4th regularly scheduled meeting. Mr. Bradshaw has submitted additional information regarding the case and it has been attached for your reference.

Subsequently, staff met with an official from the Health Department and was advised that the only way to determine if there was a suitable reserve drain field location onsite would be to have a soil scientist perform a soil test. Absent that professional analysis, staff cannot make a determination on the placement of the manufactured home in relation to a potential drain field site. While it's good planning practice, having a reserve drain field on this property is not an ordinance requirement. Staff would not be able to change our recommendation for this reason.

Staff continues to find the strict application of the terms of the Zoning Ordinance does not produce an undue hardship nor does it effectively prohibit or unreasonable restrict the use of the property. The property is a half-acre in size and could support a single family dwelling and meet all existing setbacks. Therefore; staff cannot support this application. However; should the Board wish to grant the variance to reduce the front and side yard setback to allow the continued placement of the manufactured home, staff believes the variance would not alter the character of the area, as the previous house was located two feet closer to the front property line and two

adjacent properties are also located closer than 50 feet from the front property line.

Mr. Rogerson informed the Board that he would be happy to answer any questions.

Mr. Rogerson noted that there was additional information received from Mr. Bradshaw on the day the packets were to be delivered. This information was included in the packet however, the information was not considered while writing the memorandum.

Mr. Otey reopened the public hearing

Mr. Bradshaw restated the building permit application process that resulted in the manufactured home being placed in violation to the setback requirements in the A-1, General Agriculture zoning district.

Mr. Bradshaw provided a letter from Gayle Tyssen the current property owner of the parcel to the east of 9441 Richmond Road stating that she had no objections to the manufactured home remaining in its current location.

Mr. Bradshaw said that Mr. Everette Mann has expressed concerns about opening an automobile repair shop on the property in question.

Mr. Bradshaw stated that opening an automobile repair shop would require an approved Special Use Permit and that Mr. Mann is familiar with this process since in 2007 there was an approved Special Use Permit to allow the operation of a contractor's office and storage yard on the property located directly to the west of 9441 Richmond Road which is owned by Mr. Mann's father William H. Mann, Jr..

Mr. Bradshaw said his client had a soil scientist, Mr. Adam Herman, identify a potential location for a reserve drain field on the property if an alternative septic system were used.

Mr. Bradshaw stated the state code provides three different standards for the granting of a variance and the basis he is citing is the one that states "the strict application of the terms of this chapter would effectively prohibit or unreasonably restrict the use of the property." It is an unreasonable request to require the property owner to place the manufactured home in the only location where a reserve drain field could be constructed.

Mr. Bradshaw stated that the Board is a quasi-judicial Board and the basis for granting a variance also comes from precedent of prior decisions and that a quick review of previous determinations by the Board shows it has granted variances to allow encroachment into the front, side and rear yard setbacks that could have been corrected or prevented.

Mr. Bradshaw said that this appeal is not about speculative uses of the property in the future, but about the use of the property for residential purposes and the good faith placement of the manufactured home in accordance with the approved building permit application.

Mr. Bradshaw said that the granting of the variance would not be detrimental to adjacent

properties since there are other properties in the area that do not meet the front setback requirements, including the property immediately to the west located at 9447 Richmond Road.

Mr. Bradshaw requested that the Board grant the variance to allow the continued placement of the manufactured home.

Mr. Geib asked about the additional well that Adam's Septic found.

Mr. Bradshaw said that this well was not currently being used and is below ground and not visible by walking the lot.

Mr. Geib asked Mr. Bradshaw about the inspection tickets, and he explained that those are inspection tickets from the footing and foundation inspections that were approved by Building Safety and Permits.

Mr. Geib asked about a Special Use Permit and if one would be required to operate an automobile repair shop from the property.

Mr. Bradshaw responded yes a Special Use Permit would be required to operate an automobile repair shop.

Mr. Geib asked how the proposed reserve drain field could overlap the old drain field.

Mr. Bradshaw seemed to think the reserve drain field for an alternative system would not be required to be as large as the previous conventional drain field area.

Mr. Purse added that the alternate systems do not rely on the same standards and operate differently than a conventional system.

Mr. Bradshaw said that it would take \$1000's of dollars to identify the specific design criteria for an alternative septic system and his client has not had that work done yet.

Mr. Rodgers asked if the well on the adjacent property was being used and if it still could operate.

Mr. Bradshaw said that the well on the adjacent property had not been abandoned so it could still be contaminated by a septic system.

Mr. Marvin Rhodes asked if pretreatment of the waste water would be required for the alternative septic system.

Mr. Bradshaw said yes.

Mr. Rhodes asked if the old drain field along the left property line had failed.

Mr. Bradshaw said he believed that drain field had failed since it would not be common practice

to abandon a drain field that still works.

There being no one else to speak on behalf of the applicant Mr. Otey opened the public hearing to the general public.

Mr. Everette Mann spoke on behalf of his father William H. Mann, Jr. who owns property immediately to the west of 9441 Richmond Road.

Mr. Mann stated his concerns are about the potential for the use of the property as an automobile repair shop.

Mr. Mann stated that the whole thing was a bad job and the applicants were not served well by the County, but he would not object to the granting if the variance.

Mr. Otey closed the public hearing

Mr. Otey recalled Mr. Rogerson to the podium

Mr. Geib asked about the daily activity report that came from Building Safety and Permits. He said the County had two separate opportunities to catch this mistake relating to the setbacks.

Mr. Rogerson explained that Building Safety and Permits does not enforce Zoning setbacks and since Zoning signed off on the building permit application they continued with their inspections not recognizing that there may be an issue with the required setbacks.

Mr. Geib asked if the County allows for grey water resulting from alternative septic systems to be used for irrigation.

Mr. Purse responded that the Health Department has the final approval on alternate septic systems since the alternative systems are designed for site specific conditions.

Mr. Rodgers asked if there is any communication between Zoning and Building Safety and Permits after the building permit application has been approved by Zoning.

Mr. Rogerson responded that there is communication but identifying a property line in the field is like finding an indivisible line located on a lot.

Mr. Otey commented on the fact that the County does not require surveys for all construction that takes place in the County.

Mr. Rogerson explained that if the proposed structure is within 3 feet of a setback line staff will require a foundation survey otherwise there is no survey required.

Mr. Geib questioned the foundation inspection process and was surprised that a survey is not required every time a foundation goes in.

Mr. Otey clarified that the decision of the Board is based on whether or not the current Zoning Ordinance causes a hardship. Mr. Otey said taking all the circumstances into account he is inclined to support the variance. Due to the fact the building permit was approved, the previous house was in a similar location and the development is limited because of the various wells that are located on the property.

Mr. Rhodes commented that to reconstruct the house in the same nonconforming location the application would have been required to be submitted within 12 months of the fire and the work completed within 24 months of the fire.

Mr. Campana commented on the issue Mr. Mann brought up about automobile repair shop.

Mr. Maxwell Hlavin said that an automobile repair shop or other commercial activity would require approval from the Board of Supervisors whether the manufactures home was occupied or not.

Mr. Geib stated that when he reviews these cases he looks at several things. One is the role of staff to see if they served the applicant well, in this case we did not. The surrounding area has structures that do not meet current setback requirements and the adjacent property owners have removed their objections so, for those reasons Mr. Geib said he was leaning toward recommending approval of the variance.

Mr. Rhodes commented that he thinks this request is to make this nonconforming lot more nonconforming. Mr. Rhodes said he felt that reserving an area for reserve drain field, while not a requirement, is effective. However, he not feel a hardship has been presented and the lot could be built on without the approval of the variance. Therefore; he is not in support of approving the variance.

Mr. Otey agreed that the lot could be built on as it stands but spending the money required to relocate the manufactured home might not be a “reasonable” thing to do. Therefore; he finds the strict application of the Ordinance requirements to be an undue hardship.

Mr. Rodgers said he feels that the strict application of the Ordinance is not “unreasonable” but the overarching issues with the reserve drain field and the fact that staff had a part in the misplacement of the manufacture home plays into the equation. Therefore; he would recommend approval of the variance.

Mr. Campana said all his questions have been covered.

Mr. Rogerson read a variance request in the form of a Resolution:

**WHEREUPON, THE BOARD OF ZONING APPEALS OF JAMES CITY
COUNTY ADOPTS THE FOLLOWING RESOLUTION:**

To grant a variance to Section 24-215(a), Setback requirements, and to Section 24-217(a) Yard regulations of the Code of James City County. The specific variances requested are: to reduce

the front setback from 50 feet to 38.7 feet and to reduce the side yard on the West side from 15 feet to 11.1 feet to allow the continued placement of the existing manufactured home that is currently on the lot. This property is currently zoned A-1, General Agriculture and can further be identified as JCC RE Tax Map No. 0240100049. This variance is granted in accordance with the attached survey by LandTech Resources, Inc. and dated August 21, 2014 titled "Physical survey of 9441 Richmond Road Parcel ID: 0240100049 for William Jones" and dated with the Planning Division stamp August 29, 2014 which is attached hereto, made part hereof and incorporated into this resolution, provided that no further encroachments within the thirty-five 38.7 foot front yard setback with the exception of steps as necessary to enter and exit the manufactured home shall be permitted and no further encroachment within the 11.1 foot the side yard setback on the West side This property is currently zoned A-1, General Agriculture and can further be identified as JCC RE Tax Map No. 0240100049.

Mr. Rodgers made a motion to adopt the Resolution to approve the variance.

Mr. Campana Seconded the motion.

On a roll call vote the motion to approved the variance was approved 4-1

C. New Business BZA Schedule for 2015

On a voice vote the BZA Schedule for 2015 was approved 5-0

D. Minutes

October 2, 2014

There were no corrections to the October 2, 2014 meeting

On a voice vote the minutes for the October 2, 2014 Board of Zoning Appeals meeting were approved 4-0-1. Mr. Rodgers abstained since he was absent from the meeting.

D. Adjournment

There being no further business Mr. Otey adjourned the meeting at 8:05 p.m.

David Otey
Chairman

Jason Purse
Secretary



MEMORANDUM

TO: Honorable Chairman and Members of the Board of Zoning Appeals

FROM: Christy H. Parrish, Proffer Administrator

DATE: January 8, 2015

SUBJECT: **ZA-0006-2014** **4604 John Tyler Highway**

FACTS:

Mr. Danny Poe, on behalf of James City Service Authority ("JCSA"), has applied for a variance to Section 24-39, Special provisions for lots for public utilities, to reduce the required setback from 15 feet from any property line to approximately 10 feet from the front property line and approximately 3 feet from the left side property line. This proposed variance request is to allow the construction of Lift Station 4-7 Control Building replacement at 4604 John Tyler Highway. This property is currently zoned R-8, Rural Residential, 0.081 acres in size and can further be identified as JCC RE Tax Map No. 4710100028A.

FINDINGS:

The JCSA Lift Station 4-7 control building is proposed to be replaced due to multiple flooding events that have affected the building, damaged associated equipment, and resulted in wastewater overflows into the environment. The existing control building was constructed in 1977 and is located approximately 16.3 feet from the front property line and approximately 6.3 feet from the left property line. Staff concludes that the current placement of the building is non-conforming because the requirement for "Special provisions for lots for public utilities" was not established until 1984. James City County owns the property directly adjacent to the left, right and rear of the site and is designated as a greenway area. The property is also located in the Resource Protection Area ("RPA") but is not located in a FEMA special flood hazard area. JCSA has obtained the necessary approvals from the James City County Engineering and Resource Protection Division to construct within the RPA.

Lift stations, also known as wastewater facilities, comprise the structures and equipment that perform processes required to collect, convey, and treat domestic and industrial wastes and dispose of the effluent and sludge. The control building houses pumps, electrical motors, electrical controls and equipment, an emergency generator, and an indoor fuel tank. JCSA staff have reported five flooding events since 1991 that made the lift station inoperable, causing wastewater overflows into the environment. These wastewater overflows are a considerable health, safety, and welfare concern for the citizens of James City County. Flooding has also caused the equipment to be submerged and damaged. Repairs and/or replacement of the damaged equipment were at a considerable cost typically between \$30,000 to \$50,000.

To alleviate this problem, JCSA is proposing to construct a new control building that will be flood-proofed with a watertight entry door. Construction will be cast-in-place concrete to a height above the recorded flood levels in prior storms, through-wall pipe and conduit penetrations, intake and exhaust louvers for the emergency generator and control building exhaust fan to be located in the gable ends.

The new building will increase in size and is proposed to encroach further into the front and left yard setbacks. Enlarging and proposed placement of the new control building is necessary for the following reasons:

1. Northeast corner of the building must remain fixed due to the suction and discharge piping for the pumps that enter and exit the building.
2. Southwest wall must be expanded to accommodate the generator so that the 29"x42" exhaust duct can be directed up the wall and out the gable end above the concrete floodwall.
3. New electrical code clearance requirements dictate a large control building.



If the variance is not granted, JCSA has indicated that they will have to abandon this parcel due to the flooding caused by the property's topographical conditions. This parcel has no alternative public utility use at this time. Additionally, the required R-8 setbacks, lot width, and yard requirements would greatly limit or effectively prohibit any use of the property.

The following maps illustrate the required setbacks for public utilities and required setbacks in the R-8 zoning ordinance:

ZA-0006-2014, 4604 John Tyler Highway
Illustration of estimated 15' setback from property lines.



ZA-0006-2014, 4604 John Tyler Highway
Illustration of estimated R-8 setbacks on property.



At the time of this writing, staff has not received any concerns with the variance request.

RECOMMENDATION:

An unnecessary hardship exists when the strict application of the terms of the ordinance would effectively prohibit or unreasonably restrict the use of the property. Staff supports this variance for the following reasons: (1) the existing size and current infrastructure of the lot restricts the location of the proposed building which is not shared by others in the same vicinity; (2) the expansion is necessary to prevent flood damage to a public utility; (3) the expansion will eliminate wastewater overflow onto natural areas during a flood event which will protect the health, safety and welfare of the surrounding area; (4) the County owns the surrounding property which is held as dedicated green space; and (5) the proposed location does not adversely affect neighboring properties. Staff recommends approval of the requested variance as described in the attached resolution.

Attachments:

Resolution

Variance application and letter

Site Plan

Location map

Photos

Construction Drawings

JCC Engineering and Resource Protection Approval

RESOLUTION ZA - 0006 - 2014
GRANTING A VARIANCE ON JCC RE TAX PARCEL NO. 4710100028A

WHEREAS, Mr. Danny Poe, on behalf of James City Service Authority, has appeared before the Board of Zoning Appeals of James City County (the "Board") on January 8, 2015 to request a variance on a parcel of property identified as JCC RE Tax Parcel No. 4710100028A and further identified as 4604 John Tyler Highway (the "Property") as set forth in the application ZA-0006-2014; and

WHEREAS, the Board has listened to the arguments presented, has carefully considered all evidence entered into the record and discussed a motion to grant a variance to section 24-39, Special provisions for lots for public utilities, reducing the required fifteen foot (15') setback from any property line to ten feet (10') from the front property line and three feet (3') from the left side property line for the construction of Lift Station 4-7 Control Building replacement as shown on site plan entitled "James City Service Authority Site Plan Lift Station 4-7 Control Building Replacement" dated November 21, 2014 which is attached hereto, made part hereof and incorporated into this resolution.

NOW THEREFORE, the Board of Zoning Appeals of James City County by a majority vote of its members **FINDS** that:

1. The strict application of Chapter 24 of the Code of James City County (the "County Code") would produce an undue hardship.
2. The hardship is not shared generally by other properties in the same zoning district and the same vicinity.
3. Authorization of the variance will not be of substantial detriment to adjacent property and that the character of the district will not be changed by the granting of the variance.
4. By reason of the exceptional narrowness, shallowness, size or shape of the Property, or where by reason of exceptional topographic conditions or other extraordinary situation or condition of the Property, or of the condition, situation, or development of property immediately adjacent thereto, the strict application of the terms of Chapter 24 of the County Code would effectively prohibit or unreasonably restrict the utilization of the property.
5. Granting the variance will alleviate a clearly demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant.
6. The variance will be in harmony with the intended spirit and purpose of Chapter 24 of the County Code.
7. The condition or situation of the Property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance.

WHEREUPON, THE BOARD OF ZONING APPEALS OF JAMES CITY COUNTY ADOPTS THE FOLLOWING RESOLUTION:

A variance to section 24-39, Special provisions for lots for public utilities, reducing the required fifteen foot (15') setback from any property line to ten feet (10') from the front property line and three feet (3') from the left side property line for the construction of Lift Station 4-7 Control Building replacement as shown on site plan entitled "James City Service Authority Site Plan Lift Station 4-7 Control Building Replacement" dated November 21, 2014 which is attached hereto, made part hereof and incorporated into this resolution is hereby granted.

ATTEST:

Chair, Board of Zoning Appeals
January 8, 2015

Secretary

File:
ZA-0006-2014
4710100028A

	Votes		
	Aye	Nay	Abstain
Campana	_____	_____	_____
Geib	_____	_____	_____
Otey	_____	_____	_____
Rhodes	_____	_____	_____
Rodgers	_____	_____	_____



NOV 21 2014

Board of Zoning Appeals Application

RECEIVED

Date: 11-21-14 ZA: 0006-2014 Receipt No.: n/a

Please complete all sections of the application. Call 757-253-6671 if you have any questions, or go online to jamescitycountyva.gov/zoning/board-zoning-appeals-procedures

Please note that before accepting this application, County staff will verify that all real estate taxes owed for the subject properties have been paid in full in accordance with Section 24-24. If you are unsure if your payments are up-to-date, please contact the County Treasurer at 757-253-6705.

The applicant must provide the following information to support this application:

1. A plat of the property drawn to scale showing dimensions and locations of all structures, wells, septic systems and easements associated with the property.
2. A location sketch of the property showing all adjacent roads or right-of-ways and showing the nearest road intersection.
3. Building elevation drawings and/or topographical map if appropriate to request.

1. Project Information

Project Name: JCSA Lift Station 4-7 Control Building Replacement (Flood Proofing)
Address: 4604 John Tyler Highway Zoning: B-1
Is site in PSA? Yes No
Tax map and parcel ID: 4710100028A

2. Applicant/Contact Information

Name: Danny W. Poe
Company: James City Service Authority Phone: (757) 259-5452
Address: 119 Tewning Road Williamsburg, VA 23188 Fax: (757) 229-2463
Email: danny.poe@jamescitycountyva.gov

3. Property Owner Information

Name: James City Service Authority
Company: James City Service Authority Phone: (757) 259-5452
Address: 119 Tewning Road Williamsburg, VA 23188 Fax: (757) 229-2463
Email: danny.poe@jamescitycountyva.gov

4. Variance

The above applicant respectively requests that the Board of Zoning Appeals grant a variance to Section 24 - 39 of the Zoning Ordinance.

The specific variance(s) requested are: 39 in reference to the minimum setback requirements.

Continue on separate page if necessary

The variance is requested for the following reasons: See attachment.

Continue on separate page if necessary

5. Appeal

The above applicant respectively requests that the Board of Zoning Appeals review the decision made on date.

The following action is requested:

- an interpretation of Section 24- of the Zoning Ordinance
an interpretation of the Zoning Ordinance map
an appeal of an administrative decision

Explanation of appeal:

Has the applicant previously filed an appeal in connection with the property? (If yes, give the date of appeal.)

Explanation of purpose to which property will be put:

The undersigned declares that the above statements and those contained in any exhibits transmitted to the Board of Zoning Appeals are true.

Applicant Signature: [Signature] Date: 11/21/14

Property Owner Signature: [Signature] Date: 11/21/14

Reason for Variance Request

JCSA's sewage Lift Station 4-7 has flooded five times since 1991 during hurricanes and heavy storm events. When this happens the station becomes inoperable and wastewater overflows into the environment until flood waters recede and by-pass pumping equipment can be transported to the site and made operational. The control building houses pumps, electrical motors, electrical controls and equipment, an emergency generator and indoor fuel tank. When the electrical components and motors are submerged during flooding, the equipment and controls must be repaired and/or replaced at considerable costs - typically \$30,000 to \$50,000. In addition, if the emergency generator fuel tank becomes completely submerged, as often is the case, diesel fuel leaches out the fill port and adds to the pollution of the environment.

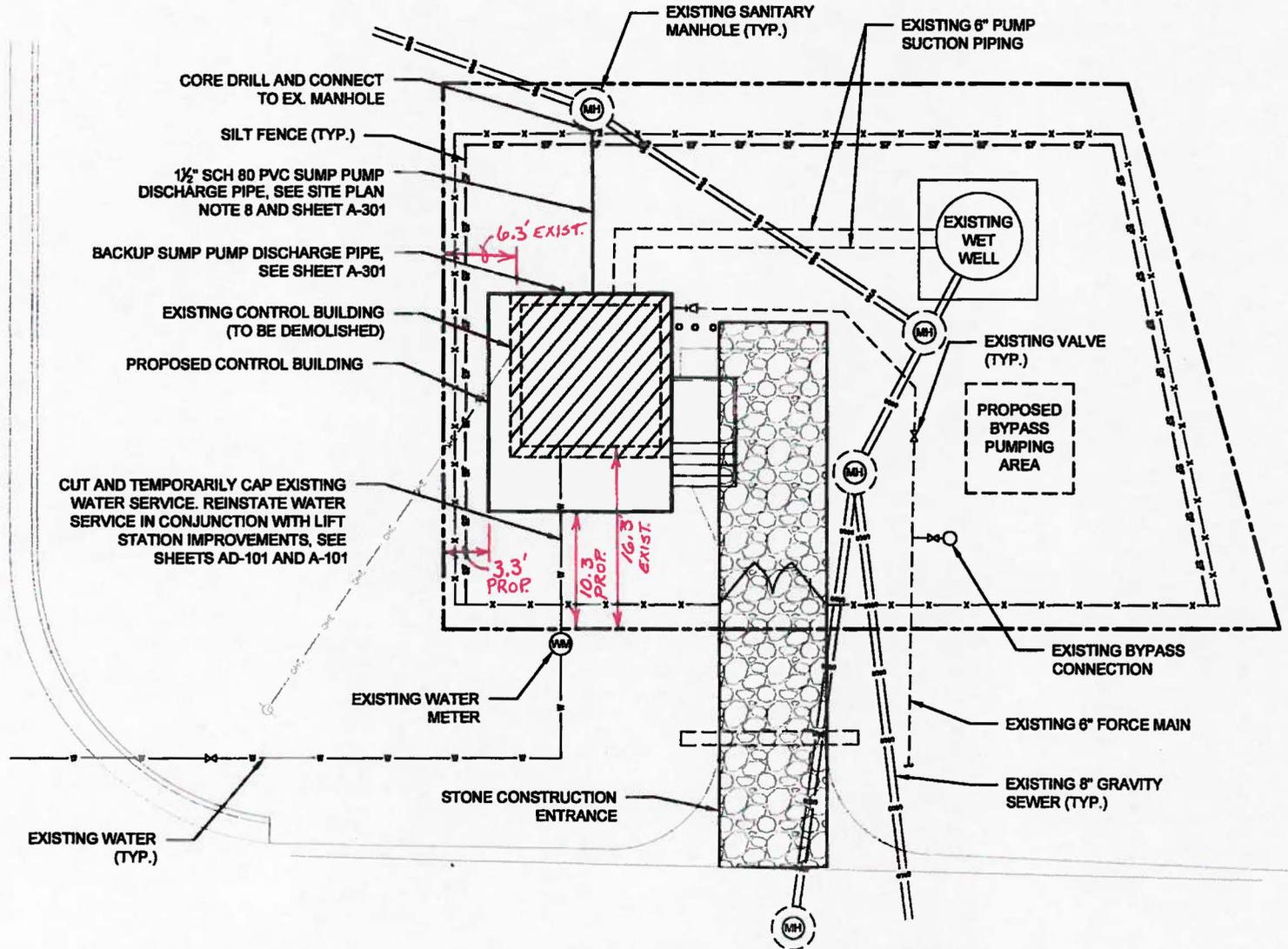
To alleviate this problem, JCSA is proposing to construct a flood proof control building with a watertight entry door. The structure will be constructed of cast-in-place concrete to a height well above the recorded flood heights in prior storms. Through-wall pipe and conduit penetrations will be made watertight. Intake and exhaust louvers for the emergency generator and control building exhaust fan will be located in the gable ends of the structure above the concrete flood walls. The north east corner of the building must remain fixed as this is where the suction and discharge piping for the pumps enter and exit the control building. The south and west wall dimensions of the station must be expanded to accommodate the positioning of the generator so that the 29" X 42" exhaust duct can be directed up the wall and out of the gable end above the concrete flood wall. This coupled with new electrical code clearance requirements dictates a larger control building than currently exists.

Unfortunately when Lift Station 4-7 was constructed in 1977, property procurements were minimized and setback requirements were not a consideration. The area east of the control building must be maintained so as to allow access for large trucks and by-pass pumping equipment in the event of emergency failures. The required expansion can only occur to the west and south without impacting this necessary access area.

The property to the west, north and east of this site is owned by James City County and is currently undeveloped. The surrounding County owned parcels are located within the Resource Protection Area and will therefore never be developed. The south boundary of the site abuts VDOT's 85' Right of Way for John Tyler Highway. The proposed additional setback encroachments therefore have little perceived impact to surrounding properties.

Considering the site restrictions, the fact that the facility is a public sewer utility, the minimal impact to abutting properties, and the environmental benefits offered by completing this project, JCSA requests that a variance be granted to allow the proposed encroachment of the setback requirements.

ENTRANCE TO JOHN TYLER
COMMERCIAL PARK



JOHN TYLER HIGHWAY ROUTE 5

SITE PLAN

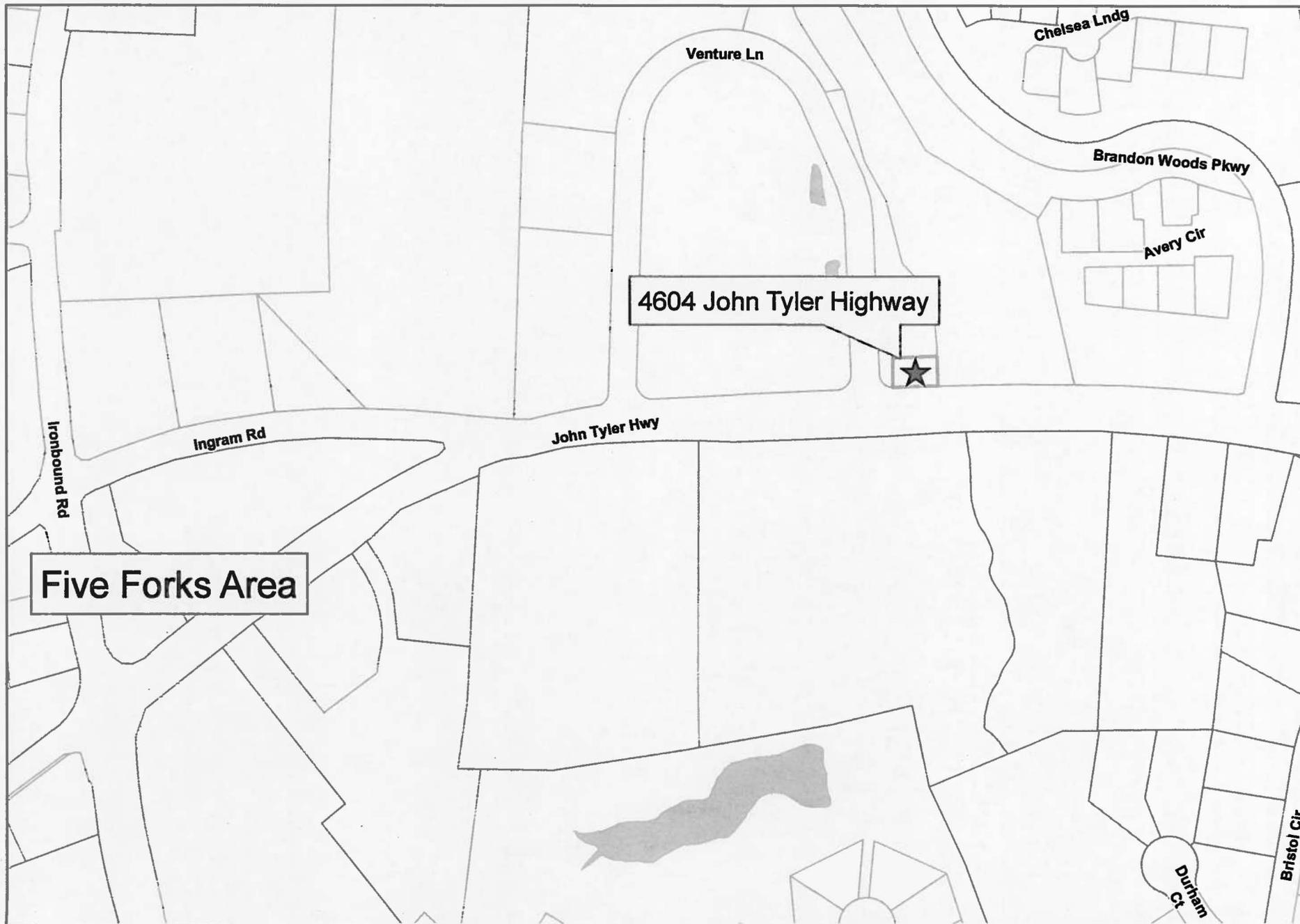
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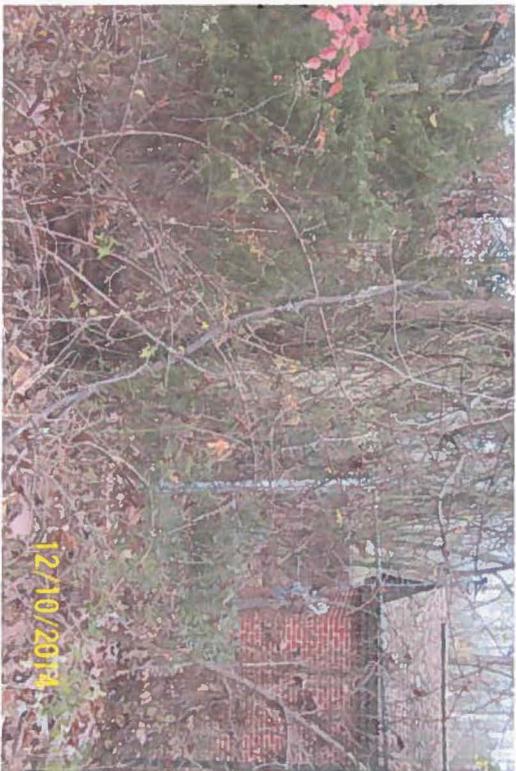
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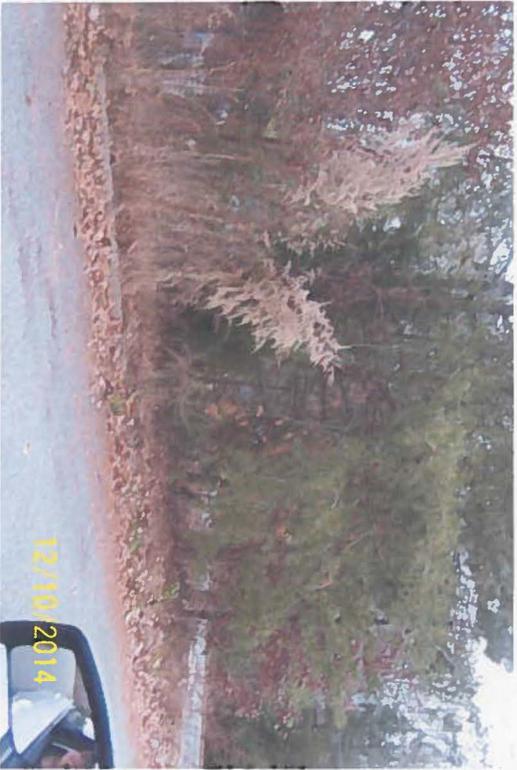
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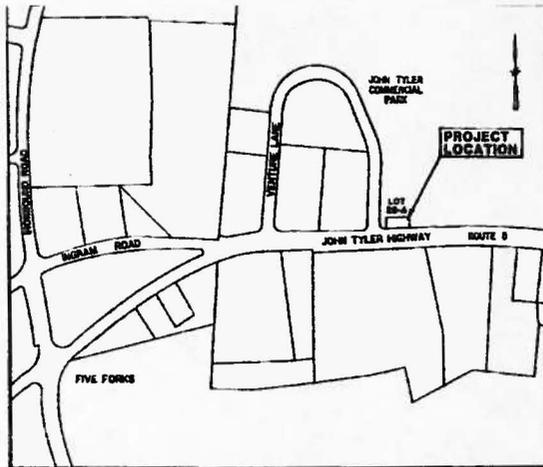
ZA-0006-2014
JCSA Lift Station 4-7 Control Building Replacement
4710100028A



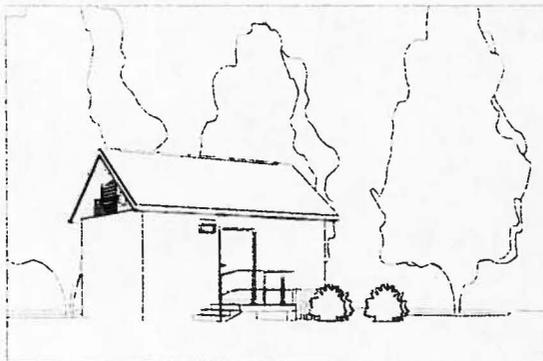




LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT



SITE LOCATION MAP
NOT TO SCALE



JOB SITE:
4604 JOHN TYLER HIGHWAY (ROUTE 5)
WILLIAMSBURG, VA 23188

CLIENT:
JAMES CITY SERVICE AUTHORITY
119 TEWNING ROAD
WILLIAMSBURG, VA 23188

09/19/14



O'BRIEN & GERE ENGINEERS, INC.
4435 WATERFRONT DRIVE / SUITE 205
GLEN ALLEN, VA 23060



INDEX OF DRAWINGS

GENERAL

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- S-302 SECTIONS & DETAILS

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- E-104 CONTROL PLAN & SCHEDULE
- E-600 DETAILS & SCHEDULES

GENERAL PROJECT NOTES

- DISCREPANCY**
- A. DIMENSIONS, WHEN SHOWN, ARE DERIVED FROM FIELD MEASUREMENTS OR EASTING CHANGES APPROVED BY CLIENT. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AFTER DEMOLITION AND PRIOR TO INSTALLATION. THE CONTRACTOR SHALL LAY OUT ALL WALL/FOUNDATION LOCATIONS AND SHOW DIMENSIONAL DISCREPANCIES TO THE ATTENTION OF CLIENT PRIOR TO PLACEMENT OF ANY NEW WORK.
- CONTRACTOR RESPONSIBILITIES**
- B. THE CONTRACTOR SHALL BUILD THE PROJECT ASSEMBLING THE COMPONENTS WITH CAREFUL ATTENTION TO MAINTAIN THE INTEGRITY OF THE STRUCTURE AND AS REQUIRED TO CREATE A COMPLETED PROJECT THAT IS IN COMPLIANCE WITH THE STATED DESIGN INTENT. FURTHERMORE, THE BUILDING SYSTEMS SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - C. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS SUBCONTRACTORS AND MATERIAL SUPPLIERS TO ASSURE THE DESIGN INTENT HAS BEEN ACHIEVED.
 - D. RETAIN NECESSARY FEDERAL, STATE & LOCAL PERMITS AND PERFORM WORK TO COMPLY WITH APPLICABLE BUILDING CODES AND ORDINANCES.
 - E. SPRING TO THE ATTENTION OF CLIENT ANY DISCREPANCIES OR OMISSIONS IN DRAWINGS OR SPECIFICATIONS FOR RESOLUTION.
- STRUCTURAL ADJUSTMENTS**
- F. PAINT INTERIOR OF LIFT STATION IN ACCORDANCE WITH THE SPECIFICATION. COLOR SHALL BE GLOSS WHITE.
 - G. ALL JOINT SEALANT SHALL BE STANDARD COLORS AND MATCH ADJACENT MATERIALS. SEALANTS SHALL BE SUITABLE FOR ADJACENT SURFACES AND LOCATIONS.

90% SUBMITTAL
**PRELIMINARY
NOT FOR
CONSTRUCTION**
DATE: 09/19/14

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

TITLE SHEET & INDEX OF DRAWINGS

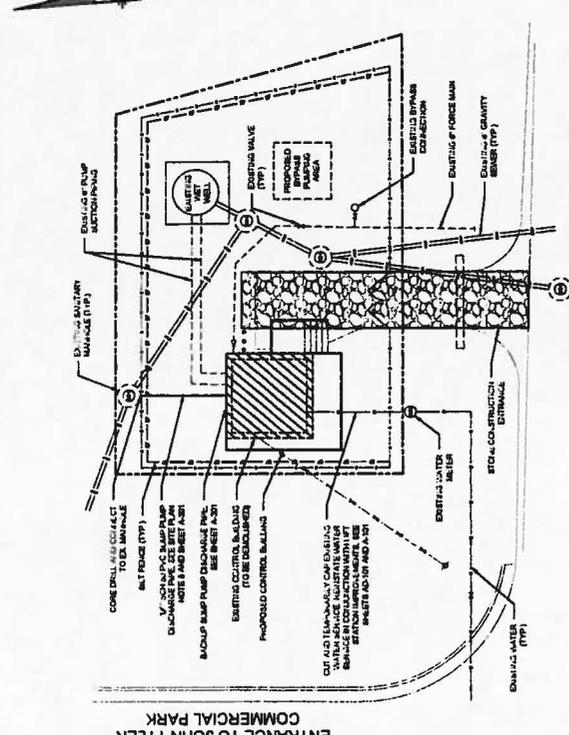
14102.51703.000

SITE PLAN NOTES:

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WILLIAMSBURG SPECIFICATIONS FOR WATER, SEWER, GAS, AND TELEPHONE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. EXISTING PUMP STATION EQUIPMENT AND MATERIALS TO BE REUSED SHALL BE STORED IN A SECURE AND PROTECTED MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.
3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WILLIAMSBURG SPECIFICATIONS FOR WATER, SEWER, GAS, AND TELEPHONE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILLIAMSBURG PRIOR TO CONSTRUCTION.

HYDRAULIC NOTES:

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WILLIAMSBURG SPECIFICATIONS FOR WATER, SEWER, GAS, AND TELEPHONE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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JOHN TYLER HIGHWAY ROUTE 5

SITE PLAN
SCALE: 1/8" = 1'-0"

JCSA GENERAL NOTES FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS (REVISED MAY 2011)

1. ALL COMPONENTS OF THE WATER DISTRIBUTION AND SANITARY SEWER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WILLIAMSBURG SPECIFICATIONS FOR WATER, SEWER, GAS, AND TELEPHONE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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PRELIMINARY NOT FOR CONSTRUCTION
DATE: 8/19/2014

FILE NO. 1410241703-101
DATE: SEPT 2014

CIVIL
SITE PLAN

JAMES CITY SERVICE AUTHORITY
LIFT STATION 47 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

OBRIEN & O'BRIEN ENGINEERS, INC.
REGISTERED PROFESSIONAL ENGINEERS

NO.	DATE	BY	FOR

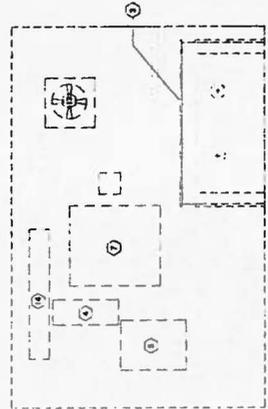
IF THIS PLAN IS FOR AN OUT-OF-TOWN PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILLIAMSBURG PRIOR TO CONSTRUCTION. THIS DRAWING WAS PREPARED AT THE SCALE LOCATED IN THE TITLE BLOCK. IF THE DRAWING SCALE IS NOT LOCATED IN THE TITLE BLOCK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILLIAMSBURG PRIOR TO CONSTRUCTION.

DEMOLITION NOTES

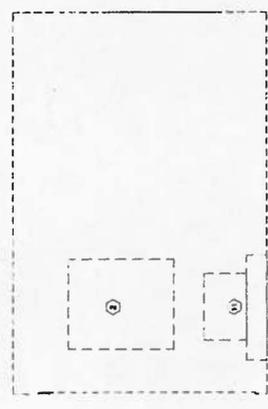
- A. COORDINATE MECHANICAL, ELECTRICAL, COMMUNICATIONS AND IRRADIATION SYSTEMS DEMOLITION WITH DEMOLITION OF UTILITIES.
- B. REMOVE ALL UTILITIES TO BE DEMOLISHED TO THE POINT OF DISCONTINUATION OF SERVICE. REMOVE ALL UTILITIES TO BE DEMOLISHED TO THE POINT OF DISCONTINUATION OF SERVICE. REMOVE ALL UTILITIES TO BE DEMOLISHED TO THE POINT OF DISCONTINUATION OF SERVICE.
- C. THE DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION PLAN AND THE DEMOLITION SPECIFICATIONS. THE DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION PLAN AND THE DEMOLITION SPECIFICATIONS.
- D. ALL DEMOLITION WORK SHALL BE PERFORMED IN THE CARE AND PRESENCE OF A LICENSED PROFESSIONAL ENGINEER. ALL DEMOLITION WORK SHALL BE PERFORMED IN THE CARE AND PRESENCE OF A LICENSED PROFESSIONAL ENGINEER.
- E. REMOVE ALL CONSTRUCTION MATERIALS TO BE MOVED AND CLEAN TO THE POINT OF DISCONTINUATION OF SERVICE. REMOVE ALL CONSTRUCTION MATERIALS TO BE MOVED AND CLEAN TO THE POINT OF DISCONTINUATION OF SERVICE.
- F. ANY EXISTING CONDITIONS WHICH ARE IN CONFLICT WITH THE DEMOLITION SHALL BE REPORTED TO THE OWNER BEFORE DEMOLITION BEGINS. ANY EXISTING CONDITIONS WHICH ARE IN CONFLICT WITH THE DEMOLITION SHALL BE REPORTED TO THE OWNER BEFORE DEMOLITION BEGINS.
- G. THE DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION PLAN AND THE DEMOLITION SPECIFICATIONS. THE DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION PLAN AND THE DEMOLITION SPECIFICATIONS.

KEYED DEMOLITION NOTES

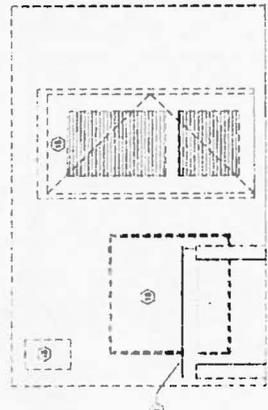
1. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, COMMUNICATIONS AND IRRADIATION SYSTEMS DEMOLITION WITH DEMOLITION OF UTILITIES.
2. REMOVE ALL UTILITIES TO BE DEMOLISHED TO THE POINT OF DISCONTINUATION OF SERVICE.
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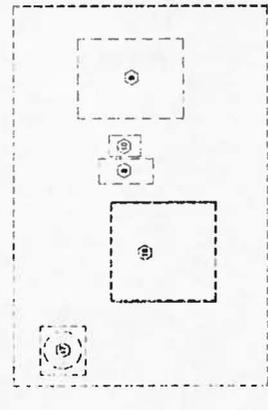
3 INTERIOR DEMO ELEVATION (NORTH)
1/2" = 1'-0"



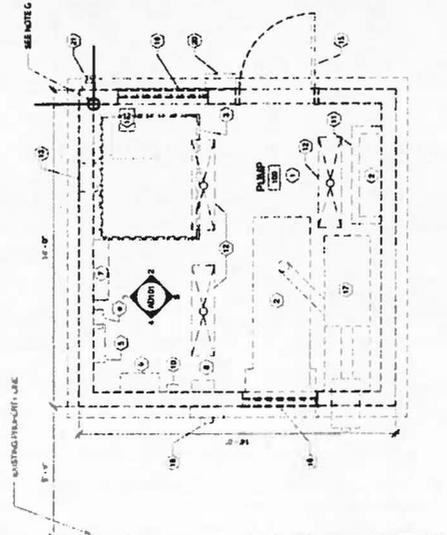
5 INTERIOR DEMO ELEVATION (SOUTH)
1/2" = 1'-0"



2 INTERIOR DEMO ELEVATION (EAST)
1/2" = 1'-0"



4 INTERIOR DEMO ELEVATION (WEST)
1/2" = 1'-0"



1 PLAN - DEMOLITION WORK
1/2" = 1'-0"

90% SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION
DATE 09/19/14

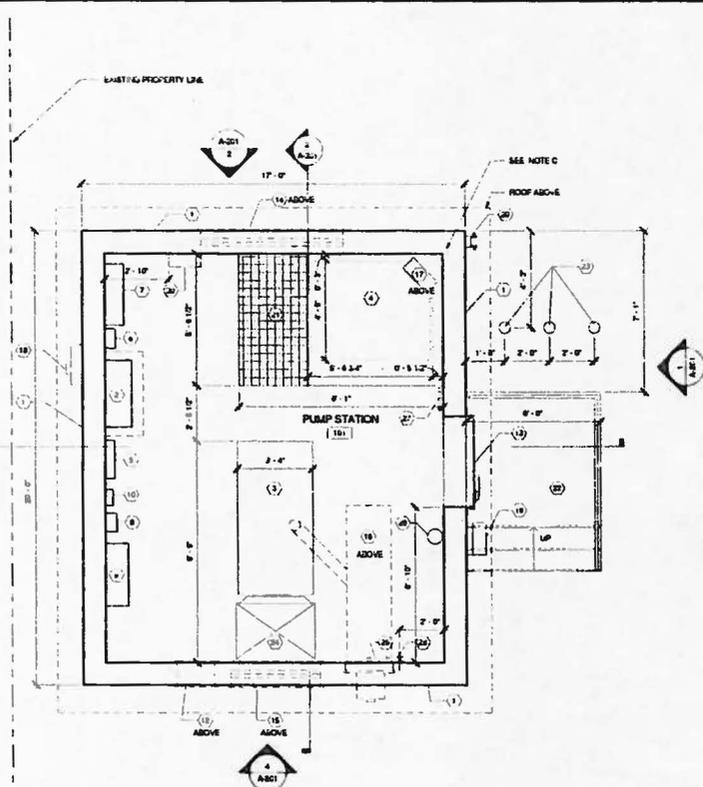


ARCHITECTURAL		FILE NO.	14102-01703-189
DEMOLITION PLAN & INTERIOR ELEVATIONS		DATE	09/19/14
JAMES CITY SERVICE AUTHORITY LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT WILLIAMSBURG, VIRGINIA		AD101	
O'BRIEN & GERE ENGINEERS, INC.			
DESIGNED BY	EAH	DATE	09/19/14
DRAWN BY	ELH	SCALE	3/4" = 1'-0"
CHECKED BY			
APPROVED BY			

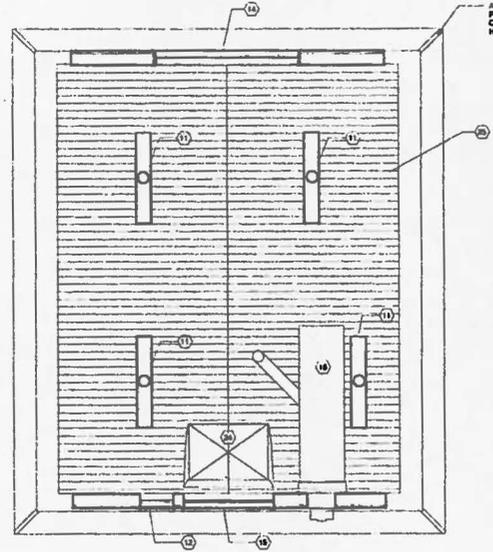
IF A CHANGE OF PLAN OR SPECIFICATION IS REQUIRED, THE ARCHITECT SHALL BE NOTIFIED IN WRITING. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

SCALE: 3/8" = 1'-0" (SEE SHEET 101)

DATE: 09/19/14



1 PLAN - NEW WORK
3/8" = 1'-0"



2 REFLECTED CEILING PLAN - NEW WORK
3/8" = 1'-0"

- ### GENERAL NOTES
- A. SEE DRAWINGS A-01 AND A-02 FOR ARCHITECTURAL DETAILS AND SYMBOLS.
 - B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL EQUIPMENT MOUNTING HEIGHTS.
 - C. NORTH-EAST BASE CORNER OF EXISTING FACILITY AS SHOWN ON PLAN SHALL BE USED AS A BENCHMARK FOR SINGLE CORNER OF NEW FACILITY.
 - D. ALL INTERIOR WALLS, CEILING, FLOOR SHALL BE PAINTED OLIVE WHITE.
 - E. SEE SHEET A-01 FOR EXTERIOR FINISHES.
 - F. ALL EXISTING EQUIPMENT TO BE PROTECTED AND STORED ON THE DEMOLITION SHEETS SHALL BE REINSTALLED.

- ### KEYED PLAN NOTES
1. INSTALL 10" CAST IN PLACE CONCRETE WALL CONSTRUCTION.
 2. INSTALL EXISTING PUMP CONTROL PANEL.
 3. INSTALL EXISTING GENERATOR.
 4. INSTALL EXISTING PUMP AND PUMP MOUNTING FRAME.
 5. INSTALL EXISTING MAIN SERVICE DISCONNECT PANEL.
 6. INSTALL EXISTING PUMP DISCONNECT PANEL.
 7. INSTALL EXISTING LIFT STATION CONTROL PANEL.
 8. INSTALL EXISTING SERVICE DISCONNECT PANEL.
 9. INSTALL EXISTING TRANSFER SWITCH PANEL.
 10. INSTALL EXISTING 3-PHASE SUBMERGIBLE PUMP STATUS PANEL.
 11. INSTALL NEW INTERIOR LIGHT FIXTURES (4 TOTAL).
 12. INSTALL EXISTING EXHAUST FAN.
 13. INSTALL NEW 4'-0" X 7'-0" WEATHERIGHT DOOR - SEE STRUCTURAL FOR DOOR DETAIL.
 14. INSTALL 7/8" X 3/4" STAINLESS STEEL, GRAVITY SHUTTER AND 1/2" LED SCREEN AND BALL PLASTERING.
 15. INSTALL 1/2" X 3/4" STAINLESS STEEL, GRAVITY SHUTTER AND 1/2" LED SCREEN AND BALL PLASTERING.
 16. INSTALL EXISTING INSULATION AND TRIM WALL TRIMBLE ABOVE.
 17. INSTALL EXISTING CEILING MOUNTED DAB LIGHT HEATER.
 18. INSTALL EXISTING ELECTRICAL METER PANEL - SEE ELECTRICAL DRAWINGS FOR PANEL LOCATION.
 19. INSTALL NEW EXTERIOR WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR PANEL LOCATION.
 20. INSTALL NEW EXTERIOR FLOOD LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR PANEL LOCATION.
 21. INSTALL FLOOR GRATE WITH REMOVABLE SECTION FOR PUMP / PIPING ACCESS.
 22. INSTALL 12" X 12" CONCRETE LANDING AND STAIRS WITH REMOVABLE GRATE/PANEL.
 23. INSTALL 12" X 12" STANDARD PIPE BOLLARDS - SEE STRUCTURAL DRAWINGS FOR DETAIL.
 24. INSTALL MECHANICAL DUCT.
 25. INSTALL T-111 PLYWOOD ON UNDERSIDE OF RAFTERS.
 26. INSTALL 1/2" WALL MOUNTED FIVE EXTINGUISHERS.
 27. INSTALL STATION IDENTIFICATION PLaque.
 28. INSTALL NOISE BARS.
 29. INSTALL BACKFLOW PREVENTER.
 30. INSTALL BACK-UP PUMP PUMP.

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER TO ALTER THIS DOCUMENT. THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. DIMENSIONS IN THE STATED SCALE MAY BE INTRODUCED WHEN DIMENSIONS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

IN CHARGE OF	JA	DATE	NO
DESIGNED BY	ECN	DATE	NO
CHECKED BY	CTV	DATE	NO
DRAWN BY	ECN	DATE	NO



JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

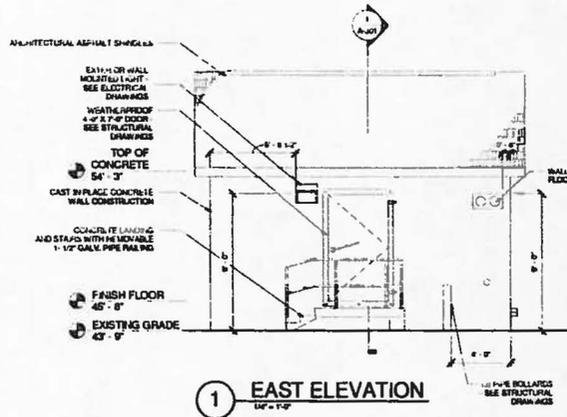
ARCHITECTURAL
FLOOR AND REFLECTED CEILING
PLANS

90% SUBMITTAL
PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 09/19/14

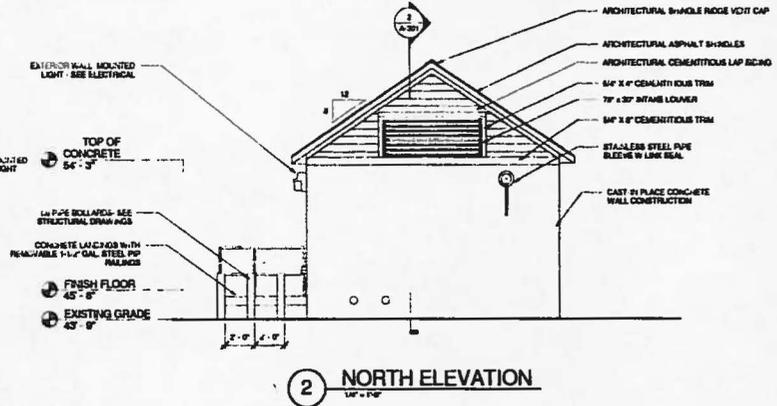
SCALE: 3/8" = 1'-0"

FILE NO.
14102.51703-200
DATE
09/19/14
A-101

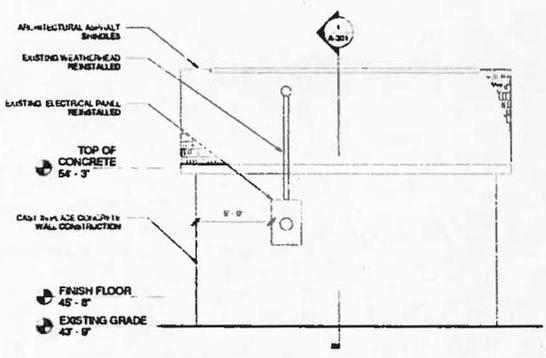
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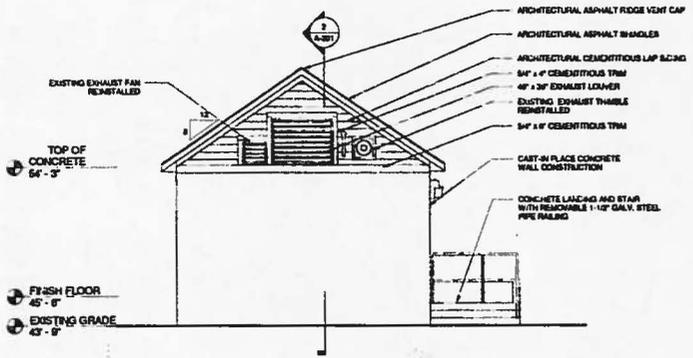
1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- SEE DRAWINGS A-011 AND A-022 FOR ARCHITECTURAL ABBREVIATIONS AND SYMBOLS
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL EQUIPMENT MOUNTING HEIGHTS
- ALL EXISTING EQUIPMENT NOTED TO BE PROTECTED AND STORED SHALL BE REINSTALLED

FINISH SCHEDULE & NOTES

ARCHITECTURAL ASPHALT SHINGLES
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

5/8" x 8" CEMENTITIOUS TRIM
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

7/8" x 3/8" INTAKE LOUVER
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

5/8" x 8" CEMENTITIOUS TRIM
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

STAINLESS STEEL PIPE SLEEVE W/ LINE SEAL
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

CAST IN PLACE CONCRETE WALL CONSTRUCTION
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

CONCRETE LANDING AND STAIRS WITH REACHABLE 1-1/2" GALV. STEEL PIPE RAILING
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING EXHAUST FAN REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING EXHAUST THIMBLE REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING ELECTRICAL PANEL REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING WEATHERHEAD REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

ARCHITECTURAL ASPHALT SHINGLES
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

ARCHITECTURAL ASPHALT SHINGLE RIDGE VENT CAP
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

ARCHITECTURAL CEMENTITIOUS LAP SCING
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

5/8" x 8" CEMENTITIOUS TRIM
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

7/8" x 3/8" INTAKE LOUVER
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

5/8" x 8" CEMENTITIOUS TRIM
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

STAINLESS STEEL PIPE SLEEVE W/ LINE SEAL
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

CAST IN PLACE CONCRETE WALL CONSTRUCTION
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

CONCRETE LANDING AND STAIRS WITH REACHABLE 1-1/2" GALV. STEEL PIPE RAILING
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING EXHAUST FAN REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING EXHAUST THIMBLE REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING ELECTRICAL PANEL REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

EXISTING WEATHERHEAD REINSTALLED
MANUFACTURER: SHERRIN WILLIAMS OR APPROVED EQUAL
COLOR: T80

IF IN VIOLATION OF LAW FOR ANY PERSON, UNLESS NOTED TO THE CONTRARY BY A LICENSED ENGINEER, TO ALTER THIS DOCUMENT. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

IN CHARGE OF	JA			
DESIGNED BY	ECH			
CHECKED BY	CITY	08/19/14	80% SIGN BACK FOR REVIEW	
DRAWN BY	ECH	08/19/14	20% SIGN BACK FOR REVIEW	



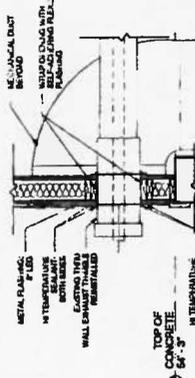
JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

ARCHITECTURAL
EXTERIOR ELEVATIONS

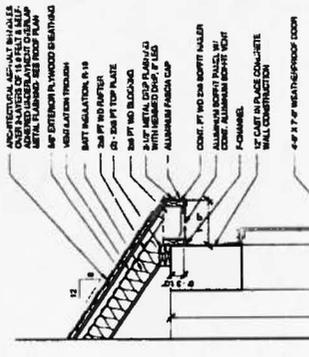
90% SUBMITTAL
PRELIMINARY NOT FOR CONSTRUCTION
DATE 09/19/14



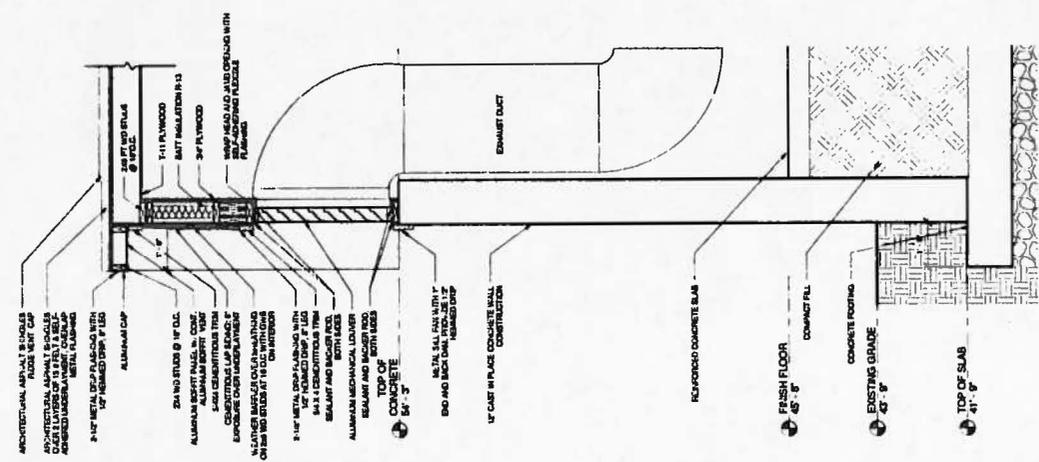
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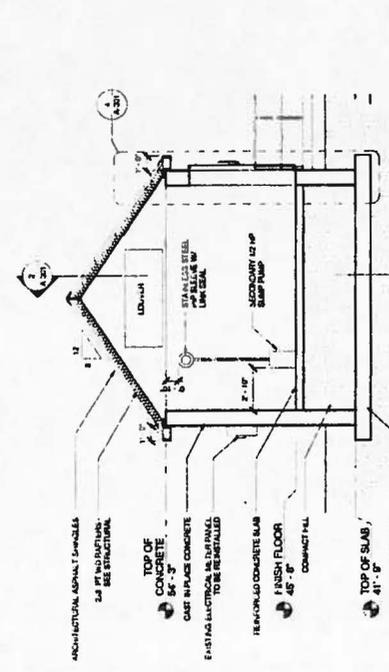
5 THRU WALL EXHAUST THIMBLE
SCALE: 3/4" = 1'-0"



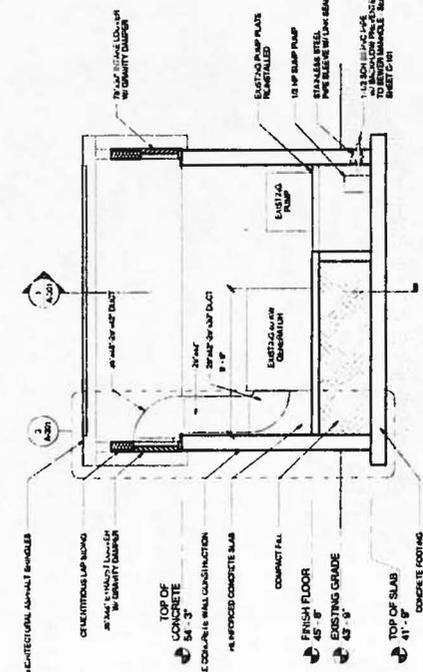
4 WALL SECTION
SCALE: 3/4" = 1'-0"



3 WALL SECTION
SCALE: 3/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

30% SUBSTITUTAL
PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 08/19/14

FILE NO.
14102.01703-200
DATE
08/19/14

ARCHITECTURAL
BUILDING & WALL SECTIONS

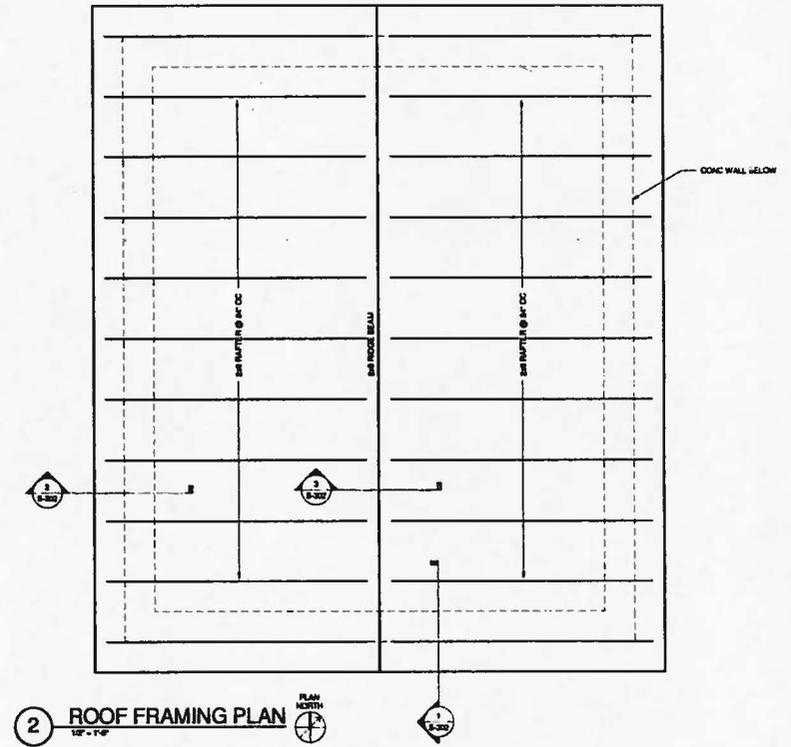
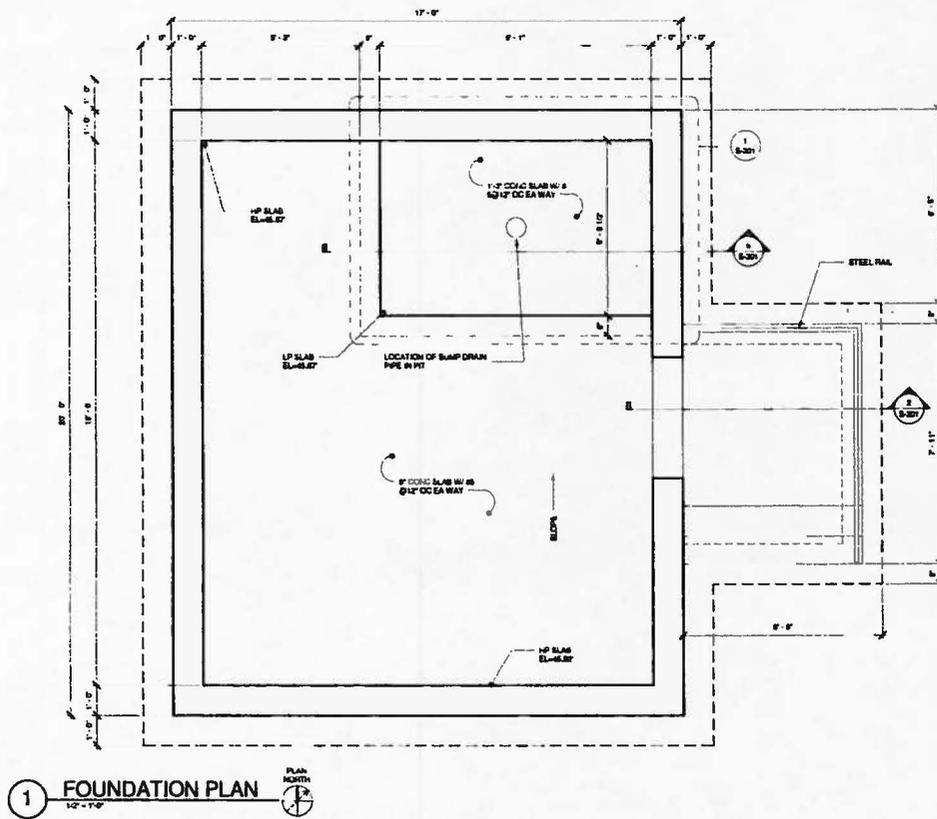
JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

O'BRIEN & GERE
O'BRIEN & GERE ENGINEERS, INC.

PROJECT NO.	14102.01703-200
DATE	08/19/14
DESIGNED BY	MCH
CHECKED BY	JAN
DRAWN BY	EDN

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CONSTRUCTION**
DATE: 09/19/14

IN CHARGE OF	CWH			
DESIGNED BY	JAC			
CHECKED BY	CTV			
DRAWN BY	DAL			
		A	09-19-14	90% SUBMISSION FOR REVIEW
		NO.	DATE	REVISION

O'BRIEN & GERE
O'BRIEN & GERE ENGINEERS, INC

JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

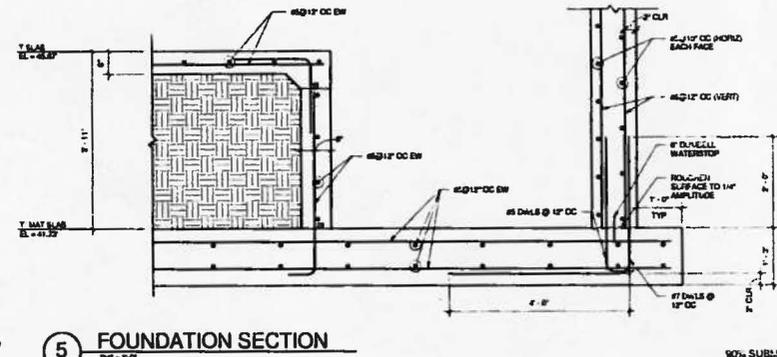
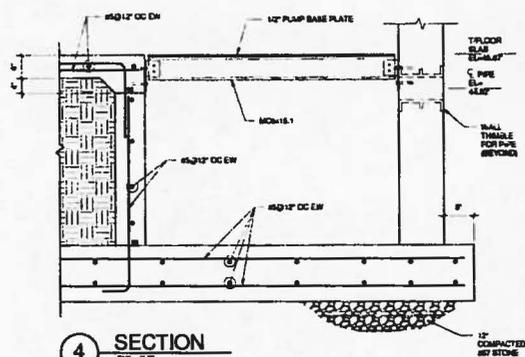
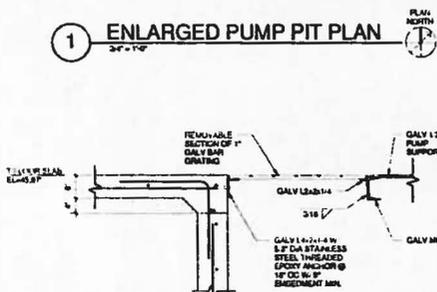
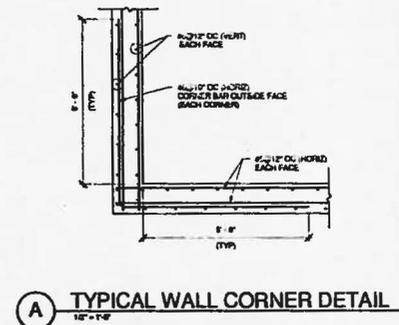
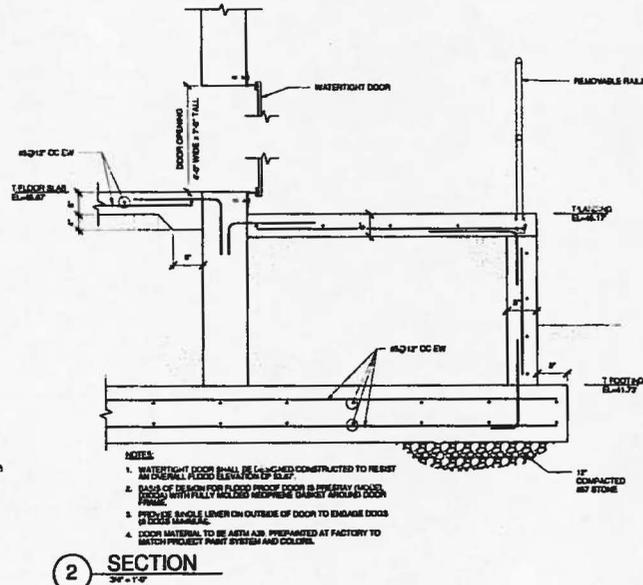
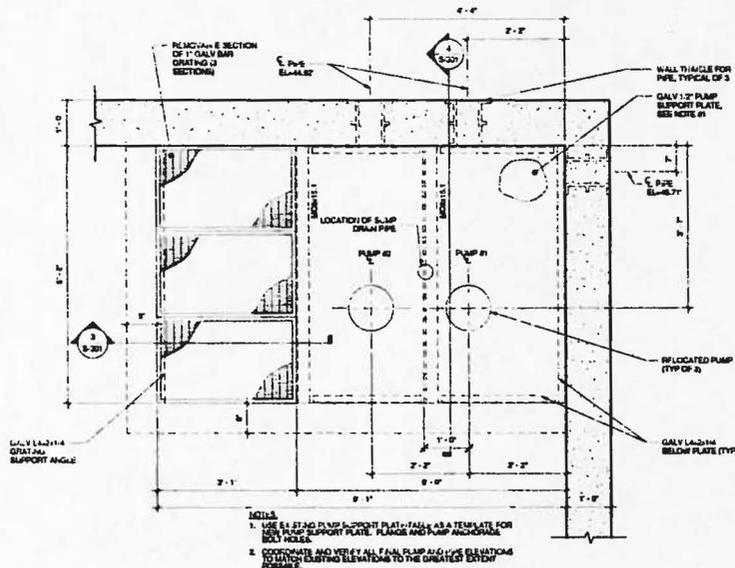
STRUCTURAL
STRUCTURAL PLANS

FILE NO.
14102.51703-800
DATE
09/19/14

S-101

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DATE: 01/06/14 09:27 AM



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A NO.	06-10-15
DATE	06-10-15
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LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

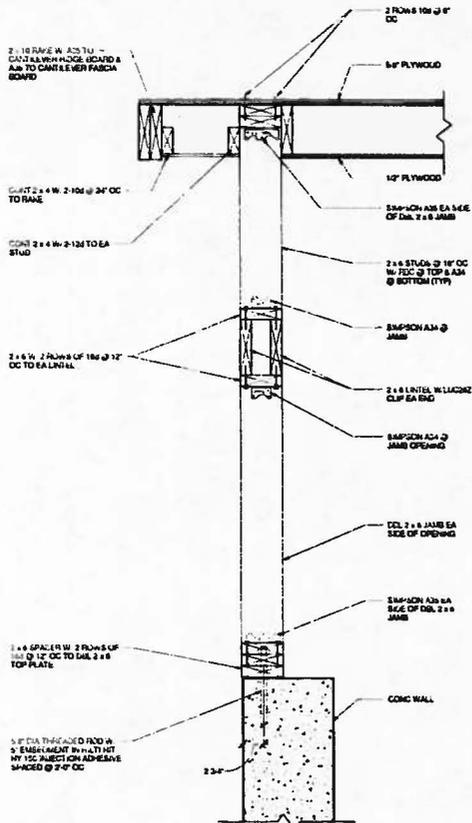
STRUCTURAL
SECTIONS & DETAILS

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DATE: 08/19/14

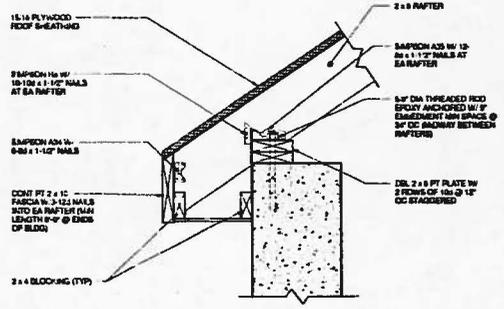
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DATE 08/19/14
S-301

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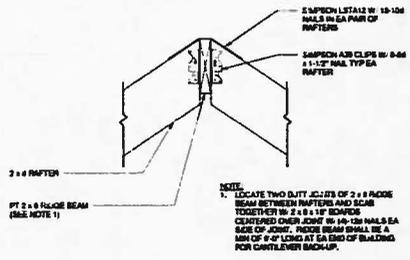
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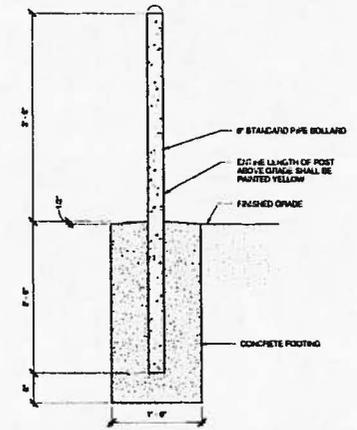
1 SECTION
1 1/2" = 1'-0"



2 SECTION
1 1/2" = 1'-0"



3 SECTION
1 1/2" = 1'-0"



4 BOLLARD DETAIL
1" = 1'-0"

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DESIGNED BY:	JAC				
CHECKED BY:	CIV				
DRAWN BY:	DAL				



JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

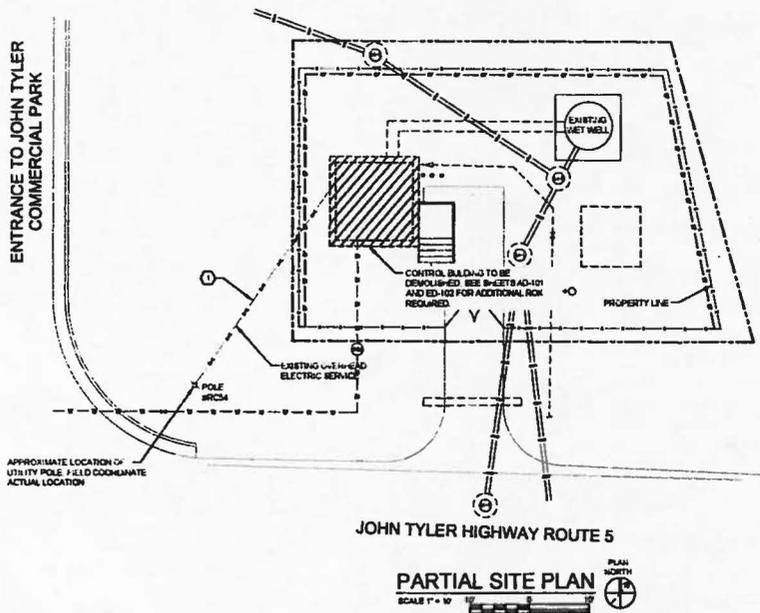
STRUCTURAL
SECTIONS & DETAILS

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DATE: 09/10/14

FILE NO.
14102.51703- 800
DATE
09/10/14
S-302

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SHEET 08/14 OF 14



DEMOLITION NOTES

- 1 ALL STRUCTURES SHOWN ON THIS SHEET ARE EXISTING
- 2 EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PLAN OR DESIGN DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED. NOT ALL SERVICES, TOLERANCES, JUNCTION BOXES AND WIRING HAVE BEEN SHOWN
- 3 CONTACT POWER COMPANY PRIOR TO DOING ANY WORK AT THE SITE AND FOR SPECIFIC INSTRUCTIONS REGARDING SERVICE DISCONNECT AND RECONNECT. THE POWER COMPANY IS VIRGINIA POWER AND THE CONTACT PERSON IS DONNA LYNN. TELEPHONE: (757) 228-4138
- 4 ELECTRIC SERVICE SHALL BE TEMPORARILY DISCONNECTED FOR DEMOLITION OF EXISTING CONTROL BUILDING. THE SERVICE SHALL BE RECONNECTED TO NEW CONTROL BUILDING. SEE CONTRACT DRAWING E-500 FOR INSTALLATION DETAILS. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE MOST CURRENT POWER COMPANY STANDARDS.

KEYED DEMOLITION NOTES

- 1 DISCONNECT ELECTRICAL POWER AND PULL AND COLLECT CONDUCTORS BACK TO REMOVE, PROTECT AND STORE EXISTING PUMP CONTROL PANEL BUILDING
- 2 DISCONNECT ELECTRICAL POWER AT CONTROL BUILDING, PULL AND COLLECT CONDUCTORS BACK TO PUTEINAGE AT UTILITY POLE. PROTECT CONDUCTORS FOR RE-USE FOR SERVICE TO NEW CONTROL BUILDING

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 DATE: 08/18/14

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DRAWN BY:	JSC	JSC			



**JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT**

WILLIAMSBURG, VIRGINIA

ELECTRICAL

DEMOLITION SITE PLAN

FILE NO:	14 002 01703 - 027
DATE:	08/14/14

ED-101

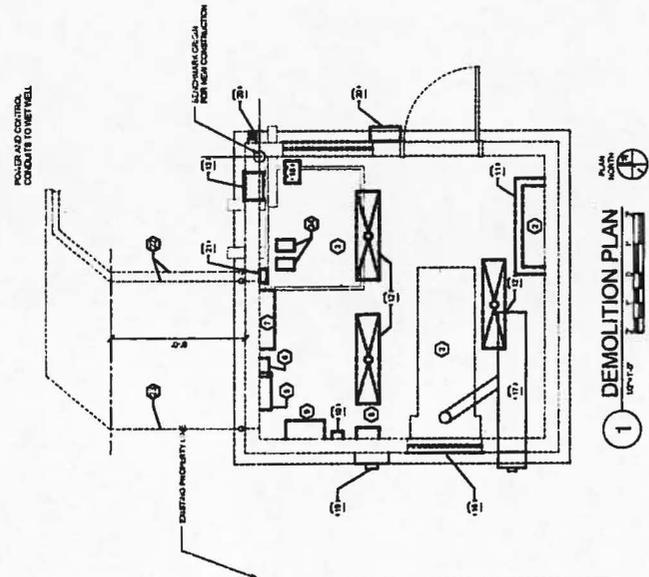
CONSTRUCTION LIFT STATION 4-7 CONTROL BUILDING

DEMOLITION NOTES

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3. WHEN EXISTING CONSTRUCTION JOBS ARE TO BE DEMOLISHED, DEMOLITION AS A RESULT OF THE CONTRACTOR'S WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING CONDITIONS BEFORE SUBJECT TO THE OWNER'S APPROVAL.
4. PRIOR TO REMOVING ALL CONDUIT AND WELLS, THE OWNER'S COLLECTOR QUANTITIES AND RATES, AND TECHNICAL PARTS TO EACH PIECE OF EQUIPMENT SHALL BE OBTAINED FROM THE CONTRACTOR'S RECORDS AND ASSIGNED TO AN APPROPRIATE DEMOLITION RECORD.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT NOT TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT NOT TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT NOT TO BE REMOVED.

KEYED DEMOLITION NOTES

1. DEMOLISH ELECTRICAL POWER AND ALL AND COOL CONDUCTIONS BACK TO MAIN PANEL. PROTECT AND STORE EXISTING PUMP CONTROL PANEL.
2. DEMOLISH ELECTRICAL POWER AND ALL AND COOL CONDUCTIONS BACK TO MAIN PANEL. PROTECT AND STORE EXISTING PUMP CONTROL PANEL.
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23. DEMOLISH ELECTRICAL POWER AND ALL AND COOL CONDUCTIONS BACK TO MAIN PANEL. PROTECT AND STORE EXISTING PUMP CONTROL PANEL.
24. DEMOLISH ELECTRICAL POWER AND ALL AND COOL CONDUCTIONS BACK TO MAIN PANEL. PROTECT AND STORE EXISTING PUMP CONTROL PANEL.



1 DEMOLITION PLAN
1" = 4'

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ORRIBEN & GIBBS
ENGINEERS, INC.

JAMES CITY SERVICE AUTHORITY
LIFT STATION #7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

ELECTRICAL
DEMOLITION PLAN

PRELIMINARY
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CONSTRUCTION
DATE: 02/14/14

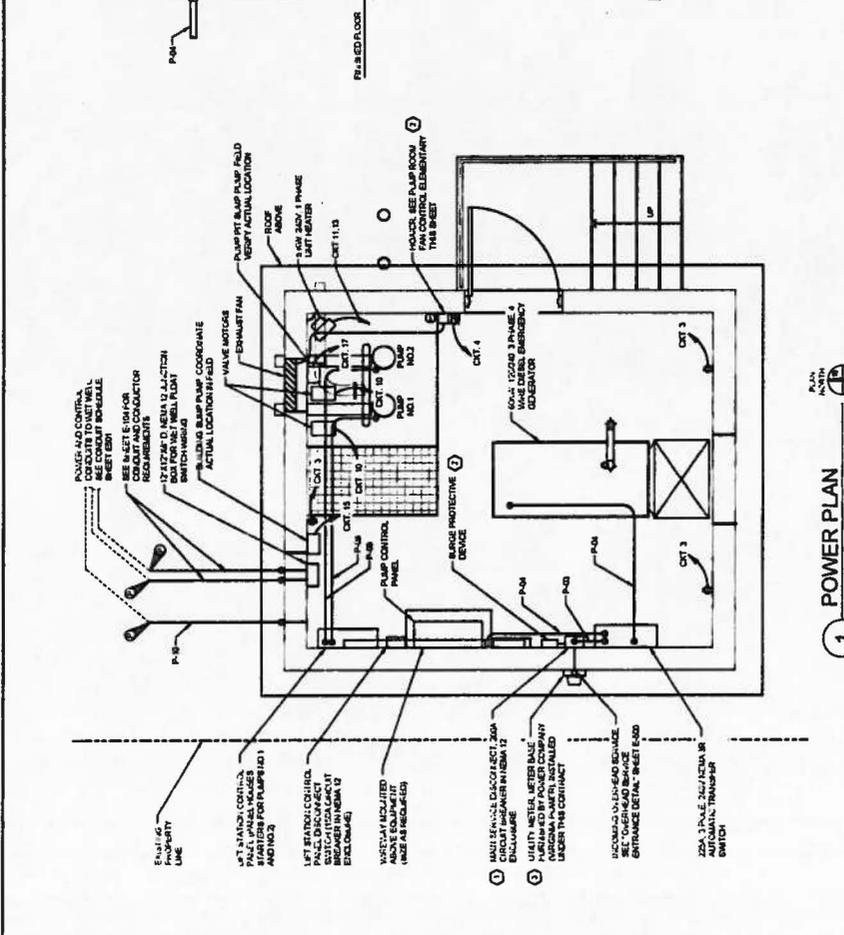
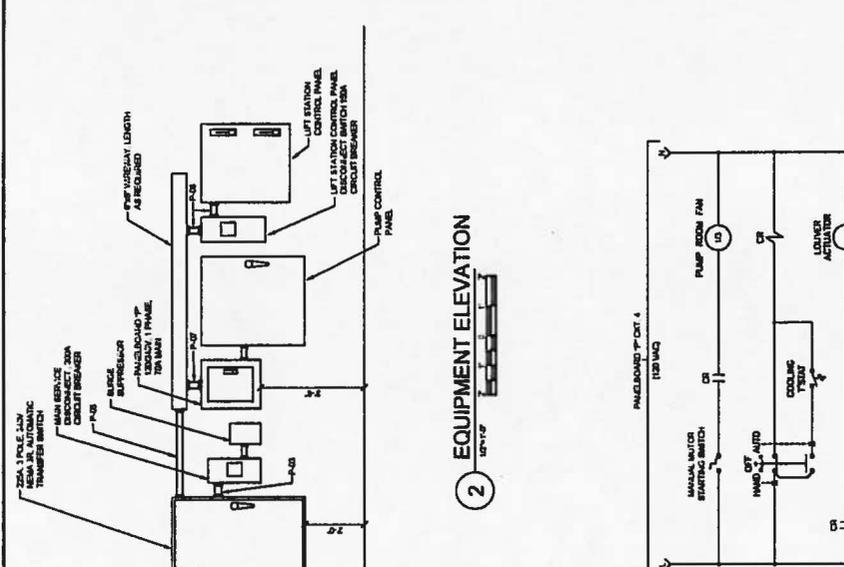
FILE NO. 14EE0170-101
DATE 02/14/14
ED-102

GENERAL NOTES

1. THE CONTRACTOR RESPONSIBILITY TO COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER, ENGINEER AND OTHER CONTRACTORS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS FOR PUMP STATION AND LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE MANUFACTURER AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. CONDUIT ROUTINGS WHICH ARE SHOWN ONLY IN THIS DRAWING SHALL BE VERIFIED BY THE CONTRACTOR. ALL CONDUIT SHALL BE INSTALLED UNDER THE EQUIPMENT BEING SERVED UNLESS OTHERWISE NOTED.
4. WIRE TRAYS SHALL BE USED FOR ALL ELECTRICAL WIRING UNLESS OTHERWISE NOTED. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. BRANCHING OF CABLES SHALL BE KEPT TO A MINIMUM WHERE PRACTICAL. ALL CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
6. VERIFY ALL EQUIPMENT BEFORE INSTALLATION TO DETERMINE THAT ALL ELECTRICAL CONNECTIONS AND CONDUIT ROUTINGS ARE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. ALL EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL (RGS) UNLESS OTHERWISE NOTED. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
8. ALL WIRE SHALL BE TYPE THRU-TUBING COPPER UNLESS OTHERWISE NOTED.
9. ALL WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
10. AT CONTROL BUILDING, NOT ALL CONDUIT AND CONDUIT RUNS ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

KEYED INSTALL NOTES

1. THE MAIN SERVICE ENTRANCE CABLE SHALL BE FULLY SUPPORTED BY THE ELECTRICAL TRIPPER. THE ELECTRICAL TRIPPER SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. PROVIDE A PUMP ROOM DEEP PENETRATION WALL (DPM) WALL ENCLOSURE FOR THE PUMP ROOM FAN AND CONTROL PANEL (P-R).
3. FURNISH ALL LABOR AND MATERIALS TO COMPLETE ELECTRICAL SERVICE TO THE PUMP ROOM. EXCLUDED DISCONNECTS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE TRAILER VOLTAGE ABOVE SUPPRESSION DEVICE SHALL BE A MINIMUM OF 100VDC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



PUMP ROOM FAN CONTROL ELEMENTARY
NOT TO SCALE

PRELIMINARY
NOT FOR
CONSTRUCTION
DATE: 08/19/14

FILE NO.
H 102 81103-142
DATE
08/19/14

ELECTRICAL
PLAN & ELEVATION

JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

O'Brien & Gere
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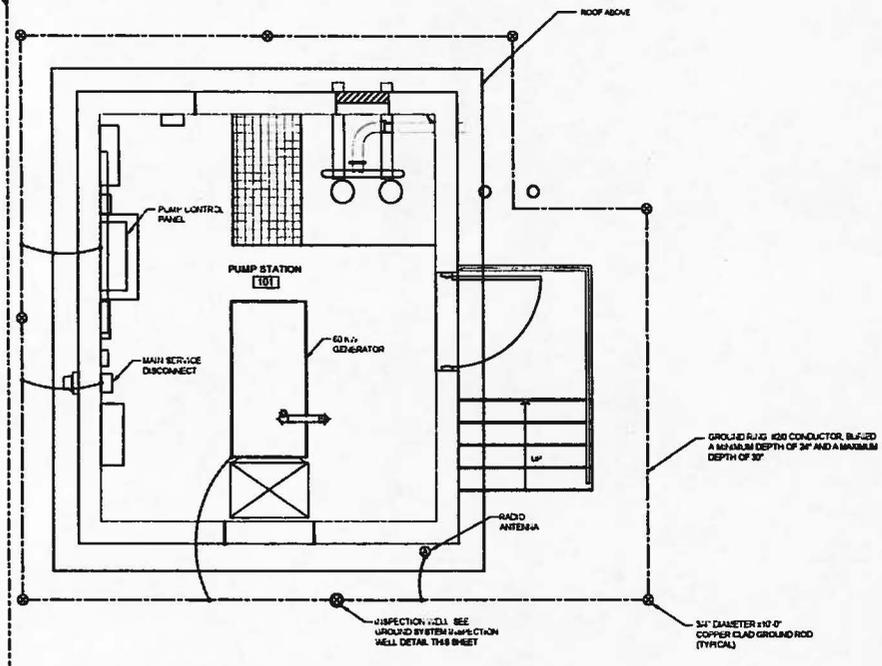
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CHECKED BY: JEC
DATE: 08/19/14
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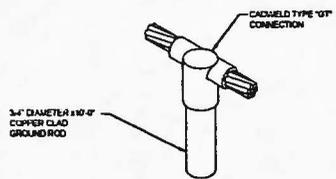
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BASED ON: 10/25/14

EXISTING FOUNDATION



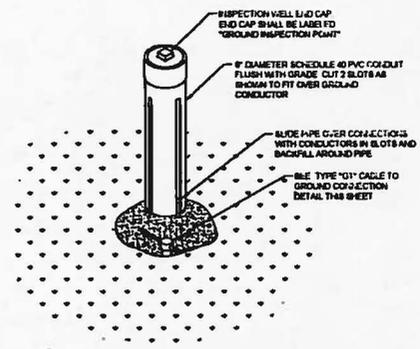
1 GROUNDING PLAN
 PLAN NORTH
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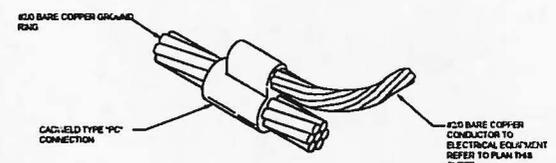
TYPE "GT" CABLE TO GROUND ROD CONNECTION
 NOT TO SCALE

GROUNDING NOTES:

1. THE GROUNDING SYSTEM IS SHOWN DIAGRAMMATICALLY. EXACT LOCATION OF CABLE, GROUND RODS AND CONNECTIONS SHALL BE DETERMINED IN THE FIELD.
2. ALL BURIED GROUNDING CABLE CONNECTIONS SHALL BE ENCASED OR THE WELDED CONNECTIONS SHALL BE LEFT EXPOSED FOR INSPECTION BY ENGINEER PRIOR TO BACKFILLING. ALL BURIED GROUND CONDUCTOR SHALL BE SOFT DRAWN STRANDED COPPER. SEE JCMA STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS, SPECIFICATION SECTION 16110.
3. WHERE EXPOSED TO MECHANICAL INJURY, THE GROUNDING CONDUCTOR SHALL BE SUITABLY PROTECTED BY PIPE OR OTHER MECHANICAL PROTECTION. EACH END OF PROTECTIVE CONDUIT (IF METALLIC) SHOULD BE GROUND TO THE BARE CABLE AT BOTH ENDS.
4. ALL EXPOSED CABLE LUGS AND CONNECTIONS SHALL BE OF THE MECHANICAL OR COMPRESSION TYPE UNLESS OTHERWISE NOTED.
5. STEEL MUST BE CLEANED THOROUGHLY AND CABLE MUST BE COMPLETELY DRY BEFORE MAKING WELD CONNECTIONS.
6. THE GROUNDING SYSTEM SHALL BE CONNECTED TO A METALLIC WATER PILE WITH A MINIMUM OF 10 FEET LENGTH UNDERGROUND AND TO THE GROUNDING ELECTRODES.
7. REMOVE PAINT FROM UNDER ALL GROUNDING LUGS, INCLUDING SHOP FABRICATED PANELS.
8. REFER TO LATEST EDITION OF JCMA STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS, SECTION 16110 "GENERAL REQUIREMENTS - ELECTRICAL" FOR GROUNDING REQUIREMENTS.



GROUND SYSTEM INSPECTION WELL DETAIL
 NOT TO SCALE



TYPE "PC" CABLE TO CABLE CONNECTION
 NOT TO SCALE

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IN CHARGE OF:	DRN				
DESIGNED BY:	JEC				
CHECKED BY:	DRN				
DRAWN BY:	JEC				
DATE:	06/01/14	REV:	05/01/14	REV:	05/01/14



JAMES CITY SERVICE AUTHORITY
 LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
 WILLIAMSBURG, VIRGINIA

ELECTRICAL
GROUNDING PLAN & DETAILS

PRELIMINARY NOT FOR CONSTRUCTION
 DATE: 06/19/14

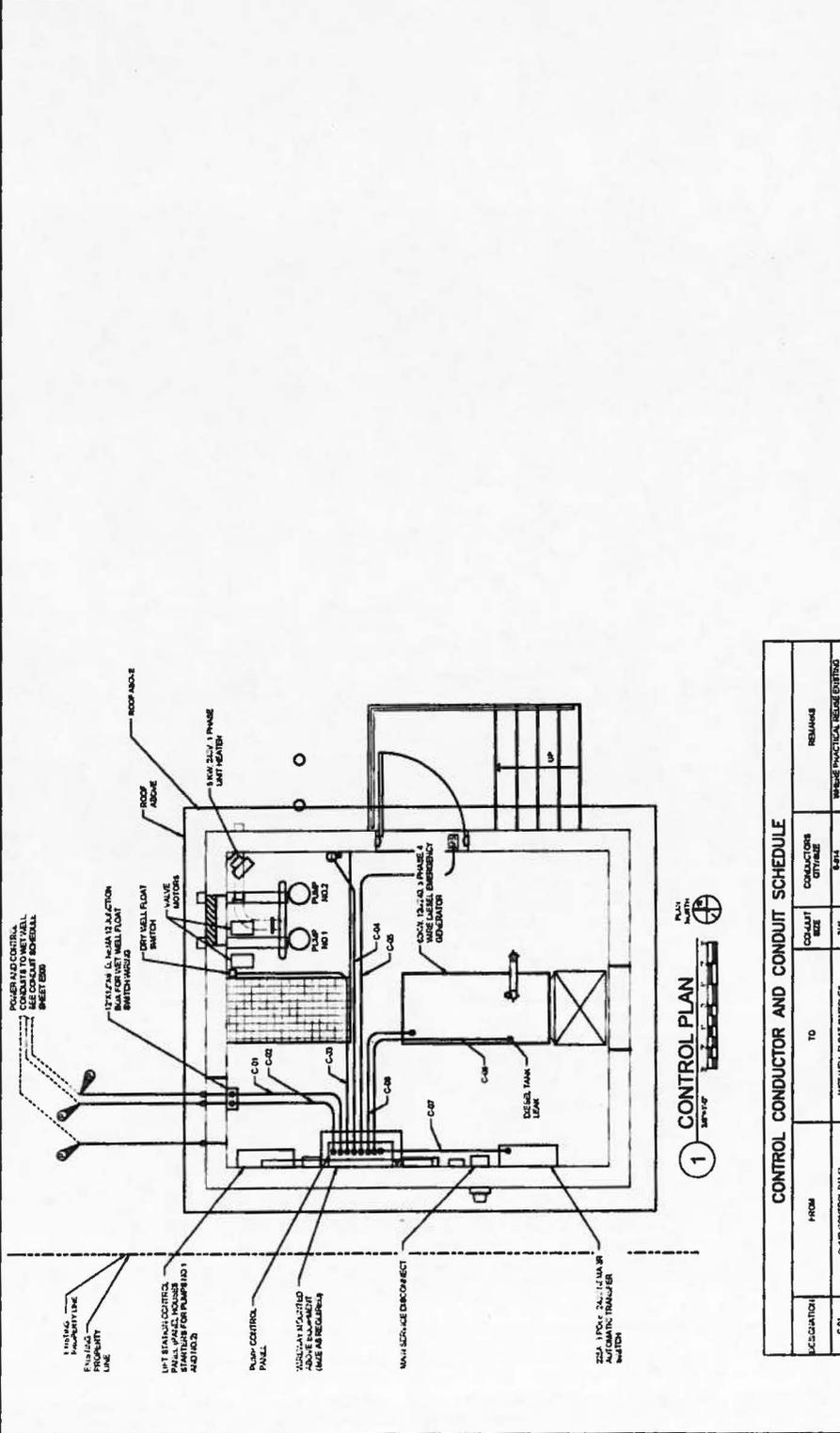
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 DATE
 06/19/14

E-103

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE (NEC) LATEST EDITION AND THE JOB STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS LOCAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
3. CONDUIT ROUTING SHALL BE AS SHOWN ON ONLY ROUTE CONDUIT SHALL BE INSTALLED UNDER THE CONTRACTOR'S RESPONSIBILITY AND IN ACCORDANCE WITH ALL OTHER REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) LATEST EDITION AND THE JOB STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS LOCAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
4. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE (NEC) LATEST EDITION AND THE JOB STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS LOCAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
5. SPACING OF CABLES SHALL BE KEPT TO A MINIMUM WHERE PRACTICAL. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE (NEC) LATEST EDITION AND THE JOB STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS LOCAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
6. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE (NEC) LATEST EDITION AND THE JOB STANDARDS AND SPECIFICATIONS FOR PUMP STATIONS LOCAL TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.
7. ALL WIRE SHALL BE THE HIGHEST QUALITY AVAILABLE UNLESS OTHERWISE NOTED.
8. ALL WIRE SHALL BE TYPE THE HIGHEST QUALITY AVAILABLE UNLESS OTHERWISE NOTED.
9. ALL WIRE SHALL BE TYPE THE HIGHEST QUALITY AVAILABLE UNLESS OTHERWISE NOTED.
10. ALL WIRE SHALL BE TYPE THE HIGHEST QUALITY AVAILABLE UNLESS OTHERWISE NOTED.

KEYED INSTALL NOTES



1 CONTROL PLAN

CONTROL CONDUCTOR AND CONDUIT SCHEDULE

DESCRIPTION	FROM	TO	CONDUIT SIZE	CONDUIT TYPE	REMARKS
C-01	PUMP CONTROL PANEL	WET WELL FLOAT SWITCHES	3/4"	EFT-00	WET WELL FLOAT SWITCHES
C-02	PUMP CONTROL PANEL	WET WELL FLOAT SWITCHES	3/4"	EFT-00	WET WELL FLOAT SWITCHES
C-03	PUMP CONTROL PANEL	DRY WELL FLOAT SWITCH	3/4"	EFT-00	DRY WELL FLOAT SWITCH
C-04	PUMP CONTROL PANEL	CONTROL BUILDING TERMINAL	3/4"	EFT-00	CONTROL BUILDING TERMINAL
C-05	PUMP CONTROL PANEL	BATTERY (GENERATOR CONTROL PANEL)	3/4"	EFT-00	BATTERY (GENERATOR CONTROL PANEL)
C-06	PUMP CONTROL PANEL	GENERATOR (GENERATOR CONTROL PANEL)	3/4"	EFT-00	GENERATOR (GENERATOR CONTROL PANEL)
C-07	PUMP CONTROL PANEL	GENERATOR (GENERATOR CONTROL PANEL)	3/4"	EFT-00	GENERATOR (GENERATOR CONTROL PANEL)
C-08	PUMP CONTROL PANEL	GENERATOR (GENERATOR CONTROL PANEL)	3/4"	EFT-00	GENERATOR (GENERATOR CONTROL PANEL)

THIS SCHEDULE IS BASED ON THE ASSUMPTIONS AND CONDITIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL SCHEDULE AND FOR OBTAINING ALL NECESSARY PERMITS AND CONDUCTING ALL NECESSARY FIELD SURVEYS AND CONSTRUCTION.

JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

ORRIBEN & ORRIBEN
ENGINEERS, INC.

ELECTRICAL

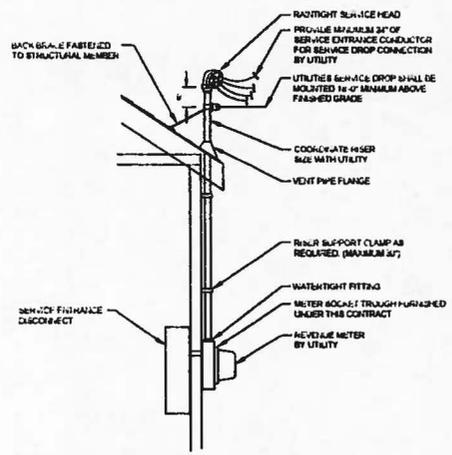
FILE NO. 14-01110-1-1-1
DATE 09/24/84

E-104

CONTROL PLAN & SCHEDULE

DATE: 09/24/84 11:28 AM

DATE: 09/14/14



OVERHEAD SERVICE ENTRANCE DETAIL
NOT TO SCALE

DETAIL NOTES

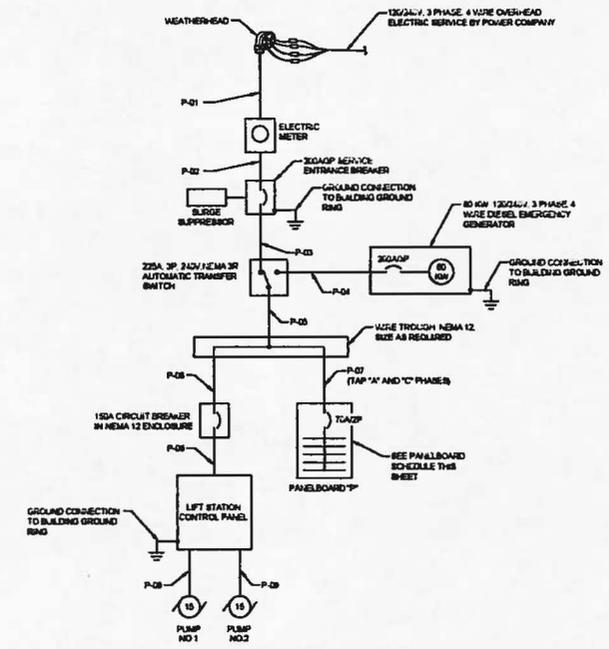
- SERVICE ENTRANCE SHALL BE IN CONFORMANCE WITH LATEST EDITION OF UTILITY SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS

POWER CONDUCTOR AND CONDUIT SCHEDULE					
DESCRIPTION	FROM	TO	CONDUIT SIZE	CONDUCTORS CITY/SIZE	REMARKS
P-01	ASCENDING SERVICE WEATHERHEAD	ELECTRIC METER	2"	4-600	
P-02	ELECTRIC METER	250A 3P SERVICE ENTRANCE BREAKER	2"	4-600	
P-03	250A 3P SERVICE ENTRANCE BREAKER	225A 3P AUTOMATIC TRANSFER SWITCH	2"	4-600	
P-04	225A 3P AUTOMATIC TRANSFER SWITCH	80 KW DIESEL EMERGENCY GENERATOR	2"	4-600	
P-05	225A 3P AUTOMATIC TRANSFER SWITCH	WIRE TROUGH	2"	4-600	
P-06	WIRE TROUGH	LIFT STATION CONTROL PANEL	2"	4-600	
P-07	WIRE TROUGH	PANELBOARD 1P	2"	4-600	
P-08	LIFT STATION CONTROL PANEL	PUMP NO.1	1"	3-8	
P-09	LIFT STATION CONTROL PANEL	PUMP NO.2	1"	3-8	
P-10	PANELBOARD 1P	WET WELL FAN	3/4"	2-8	WHERE PRACTICAL UTILIZE EXISTING CONDUIT

PANEL SCHEDULE												
PANELBOARD	P	LOCATION	CONTROL BUILDING	INSTALLATION	SLURFACE							
RATINGS	100	AMPS	120/240	VOLTS	1	PH	3	WIRE	90	MC	GRD BAR	X
MAIN LUGS	80A INTERRUPTING RATING		RWS BY 80A AMPS									
MAIN CIRCUIT BREAKER	70	AMPS	CONNECTED LOAD	0	W/	PANEL SIZE	18 SPACES					
DESCRIPTION	WATTS	PH	3 P	W	3 P	W	3 P	W	3 P	W	3 P	DESCRIPTION
LIGHTS	300	3P	1	1	2	20	400					OUTSIDE LIGHTS
RECEPTACLES	600	3P	3	1	4	20						PUMP ROOM FAN (1/2 HP)
WETWELL METER	-	3P	5	1	6	20						VALVE PUMPS
WATER JACKET HEATER	1000	3P	7	1	8	20						WET WELL FAN (1/2 HP)
SD CONTROL CABINET	-	3P	6	1	7	20						VALVE PUMPS
LIFT HEATER	6000	3P	11	1	12	20						SPARE
CONTROL BUILDING FLOOR PUMP PUMP	-	3P	13	1	14	20						
CONTROL BUILDING PUMP PIT SLIP PUMP	-	3P	17	1	18	20						MAIN BREAKER

KEYED INSTALL NOTES

- AT PANELBOARD 1P UTILIZE EXISTING SPACE AND PROVIDE AND INSTALL A 20A 1 POLE CIRCUIT BREAKER. CIRCUIT BREAKER SHALL MATCH EXISTING. AT COMPLETION OF PROJECT PROVIDE AND INSTALL A UPDATED TYPED-WRITTEN PANELBOARD DIRECTORY.



ONE-LINE DIAGRAM
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION
DATE: 09/18/14

IT IS A DECLARATION OF LAWYER FOR ANY PERSON WHOSE ACTION UNDER THE PROVISIONS OF A LICENSED ENGINEER, TO ALTER THIS DOCUMENT, AND THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

IN CHARGE OF	DM			
DESIGNED BY	JEC			
CHECKED BY	DM			
DRAWN BY	JEC			
DATE	09/18/14	DATE		



JAMES CITY SERVICE AUTHORITY
LIFT STATION 4-7 CONTROL BUILDING REPLACEMENT
WILLIAMSBURG, VIRGINIA

ELECTRICAL
DETAILS & SCHEDULES

FILE NO.
14 002 61703 - 108
DATE
09/18/14
E-500

CONVERSION: LIFT STATION 4-7 CONTROL BUILDING



Development Management
101-A Mounts Bay Road
P.O. Box 8784
Williamsburg, VA 23187-8784
P: 757-253-6671
F: 757-253-6822
devman@james-city.va.us
jamescitycountyva.gov

Building Safety and Permits
757-253-6620

Engineering and Resource Protection
757-253-6670

Planning
757-253-6685

Zoning Enforcement
757-253-6671

December 10, 2014

**Mr. Danny Poe, PE
Chief Waterwater Engineer
James City Service Authority
119 Tewning Road
Williamsburg, VA 23188**

**RE: Chesapeake Bay Preservation Ordinance Exemption
Lift Station 4-7 Replacement
SP-100-14; CBE-15-036**

Dear Mr. Poe:

We have reviewed your request dated November 25, 2014 for an exemption to the County's Chesapeake Bay Preservation Ordinance to maintain, repair and/or upgrade a sewer lift station within the resource protection area.

As the work associated with this lift station is for the construction, installation and maintenance by the JCSA of the lift station and the conditions laid out in Section 23-13(2) (a) through (d) have been met, this work shall be considered exempt from the regulations of the Chesapeake Bay Preservation Ordinance.

Please contact me at 253-6670 if you have any questions.

Sincerely,

**Michael D. Woolson, L.A.
Senior Watershed Planner**