

AT A REGULAR MEETING OF THE DEVELOPMENT REVIEW COMMITTEE OF THE COUNTY OF JAMES CITY, VIRGINIA, HELD IN THE BUILDING E CONFERENCE ROOM AT 4:05 P.M. ON THE 28TH DAY OF MARCH, TWO THOUSAND ONE

1. ROLL CALL

Mr. John Hagee
Mr. A. Joe Poole
Ms. Peggy Wildman

ALSO PRESENT

Mr. Paul Holt, Senior Planner
Ms. Jill Schmidle, Senior Planner
Mr. Ben Thompson, Planner

2. MINUTES

Following a motion by Mr. Poole and a second by Ms. Wildman, the minutes of the February 28, 2001, meeting were approved.

3. Williamsburg Dodge Overhead Utility Line Request

Mr. Holt presented the staff report and stated that staff recommended approval of the requested waiver. Following an inquiry by Ms. Wildman, Mr. Holt stated that the exact location of the utility pole to be installed on the north side of Route 60 was approximate and not exact as shown in the staff report. With no further questions or discussion, Mr. Poole made a motion to approve the requested waiver. Following a second by Ms. Wildman, the request was approved by a vote of 3-0.

4. Richardson Family Subdivision Overhead Utility Line Request

Ms. Schmidle presented the staff report and stated that staff recommended approval of the requested waiver. Ms. Schmidle provided background of the request, stating that the existing family subdivision contains numerous overhead poles along a dirt driveway off of Riverview Road. Ms. Schmidle introduced Mr. Richardson who fielded questions from the DRC members regarding location of his proposed house and location of proposed overhead pole. With no further questions or discussion, the DRC unanimously recommended approval of the requested waiver.

5. Monticello Shoppes Overhead Utility Line Request

Ms. Schmidle presented the staff report and stated that staff recommended approval of the requested waiver. Ms. Schmidle provided background of these utility requests, stating that Virginia

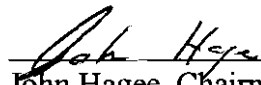
Power recently became aware of James City County's requirement for all new utilities to be located underground. She stated that since the overhead utilities on Ironbound Road are on the opposite side of the street, it would be expensive and time-consuming to provide underground service to the site by digging up Ironbound Road. Ms. Wildman asked for a clarification of the pole location. Ms. Schmidle pointed out the location on the site plan, and showed that the pole would be located at one of the least visible sites on the property behind the shopping center, adjacent to the drive aisle. With no further questions or discussion, the DRC unanimously recommended approval of the requested waiver.

6. Case No. SP-156-00 - Monticello at Powhatan, Phase II

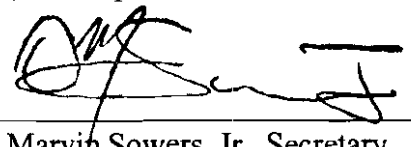
Mr. Thompson presented the staff report and stated that staff recommended denial of the sidewalk waiver request. Mr. Thompson then went on to comment that it was staff's position that if the applicant did not provide for sidewalks then the County would need to install these sidewalks at their own expense. Mr. Hagee asked if adjacent developments on News Road and Old News Road had sidewalks. Mr. Thompson stated that these developments did not have formal sidewalks abutting public roads. However, they did have interconnecting pedestrian trails that connected the developments. Mr. Poole commented that he felt like sidewalks would not be used as community residents would opt to walk on the road or simply cut through the grass. Ms. Wildman then stated that it was her hope that the buffers along News Road would remain unharmed and continue to remain adequate buffers. The applicant, Mr. Waitzer, proposed several alternatives to a formal sidewalk. One such alternative was a cash contribution to the County's Capital Improvements Project Fund for sidewalks. Mr. Thompson stated that this alternative was previously discussed with staff and was acceptable. Mr. Poole then made a motion for the applicant and County staff to come to an agreement on this alternative and forward the conclusions to the DRC. With no further questions, the DRC unanimously voted approval of this motion.

7. ADJOURNMENT

There being no further business, the March 28, 2001, Development Review Committee meeting adjourned at approximately 5:15 p.m.



John Hagee, Chairman



O. Marvin Sowers, Jr., Secretary

Site Plan 28-01. St. Bede Catholic Church

Staff Report for the May 2, 2001, Development Review Committee Meeting

SUMMARY FACTS

Applicant: Mr. Doug White, Landmark Design Group

Landowner: St. Bede Parish, Catholic Diocese of Richmond

Proposed Use: House of Worship

Location: 3686 Ironbound Road; Berkeley District

Tax Map/Parcel No.: (38-3)(1-18)

Primary Service Area: Inside

Parcel Size: ± 42.8 acres

Existing Zoning: R-8, Rural Residential

Comprehensive Plan: Low Density Residential

Reason for DRC Review: Section 24-147 of the Zoning Ordinance requires DRC review of a site plan which propose a building or group of buildings which contain a floor area that exceeds 30,000 square feet. The proposed floor area of the church is 38,260 square feet.

Staff Contact: Christopher Johnson, Senior Planner Phone: 253-6685

STAFF RECOMMENDATION

Staff recommends that the Development Review Committee recommend preliminary approval contingent upon agency comments. While VDOT review comments have not yet been received, the plans are substantially in compliance with the recommendations of the traffic study approved by VDOT during the review of Special Use Permit Case No. SUP-15-00.


Christopher Johnson

Attachments:

1. Location Map
2. Agency Review Comments
3. Site Plan (separate)

SP-28-01. St. Bede Catholic Church
Additional Agency Comments

Planning:

1. On the cover sheet, please include a note referencing the Special Use Permit which was granted by the Board of Supervisors for the proposed house of worship.
2. Please add a graphic scale on all drawings included in the submittal.
3. Please identify the State Route number and right-of-way width on all drawings which include Ironbound Road.
4. In accordance with Special Use Permit Condition No. 5, please show the five-foot wide VDOT standard shoulder bike lane along the front of the property along Ironbound Road. The cross sections provided on Drawing C-8 identify a four-foot paved shoulder as part of an eight-foot shoulder. Please revise these cross sections accordingly.
5. In accordance with Special Use Permit Condition No. 4, please show the four-foot wide paved sidewalk along the front of the property along Ironbound Road. The cross sections provided on Drawing C-8 identify a six-foot wide space for sidewalks. Please revise these cross sections accordingly.
6. Section 24-35 (2) of the Zoning Ordinance requires that adequate internal pedestrian access between parking areas, buildings and public areas be provided for the site. Drawing LA-1 indicates that a series of walking paths are planned as part of the initial phase of development; however, these paths are not identified on Drawing C-4 or C-5. Please add these pedestrian facilities to the drawings and provide a detail indicating the type of surface and base material for the trails.
7. Please identify the location of any freestanding sign proposed at the entrance to the site and provide a detail indicating the size of the sign and how it will be illuminated.
8. Please identify the owners names, tax map and parcel number for adjacent properties on all drawings.
9. The length of the six-foot solid wood slat fence identified on Drawing LA-1 in the area between the parking areas and the adjacent residential properties in The Meadows does not appear to be consistent with the length of the fence shown on Drawings C-4 and C-5. Please revise the drawings and provide a detail of the proposed fence for Planning Director review in accordance with Special Use Permit Condition No. 3.
10. Please provide a detail for the fence surrounding the dumpster pad shown on Drawing C-5.
11. Please provide a copy of the final building elevations for Planning Director review in accordance with Special Use Permit Condition No. 8.
12. In accordance with Special Use Permit Condition No. 6, please provide catalog cut for all light fixtures proposed for the site, including building lighting. Please indicate the height of the proposed light poles.
13. In accordance with Special Use Permit Condition No. 3, additional landscaping shall be placed on the outside of the fence between the edge of pavement and the undisturbed buffer in areas where the proposed parking is closer than 70-feet to an adjacent residential lot. Please locate additional plant material on the outside of the proposed fence or transfer plant

material from the area shown to the outside to comply with this condition.

14. Some of the plant quantities on the drawing appear to differ from the quantities listed in the plant materials schedule. In addition, *Liriope spicata* is not provided with a key and the plants designated as VD and VP do not have corresponding plant identification in the schedule. Please review the plant material schedule for compatibility with the drawing and make appropriate changes.
15. Section 24-97 (b)(3) of the Zoning Ordinance states that at least 50% of the shrubs in the parking area (those provided along the fence) are required to be evergreen. Please review the requirements and make the appropriate changes.

JCSA:

1. Please refer to the attached memorandum dated April 17, 2001.

Environmental:

1. Please refer to the attached memorandum dated April 18, 2001.

VDOT:

1. Comments will be forwarded as soon as they are made available.

Fire:

1. The plans are approved as submitted.

Health Dept.:

1. The plans are approved as submitted.



ENVIRONMENTAL DIVISION REVIEW COMMENTS
ST. BEDE CATHOLIC CHURCH
COUNTY PLAN NO. SP - 28 - 01
April 18, 2001

MDW/SJT

General Comments:

1. A Land Disturbing Permit and Siltation Agreement, with surety, are required for this project.
2. An Inspection/Maintenance Agreement shall be executed with the County for the BMP facilities for this project.
3. Water and sewer inspection fees, as applicable, must be paid in full prior to issuance of a Land Disturbing Permit.
4. Wetlands. There appears to be potential for wetland impact due to the sanitary sewer extension at the southeast corner of the site. Also, plan sheets indicate a wetland flag delineation that may be indicative of potential jurisdictional wetland area and impact due to construction of BMP # 1. Provide evidence that any necessary wetlands permits have been obtained, have not expired or are not necessary (non-reporting) for this project.
5. Record Drawing and Construction Certification. The stormwater management/BMP facilities as proposed for this project will require submission, review and approval of record drawings (as-built) and construction certifications prior to release of the posted bond/surety.
6. VPDES. It appears land disturbance for the project may exceed five (5) acres. Therefore, it is the owners responsibility to register for a General Virginia Pollutant Discharge Elimination System (VPDES) Permit for Discharges of Stormwater from Construction Activities, in accordance with current requirements of the Virginia Department of Environmental Quality and 9 VAC 25-180-10 et seq. Contact the Tidewater Regional Office of the DEQ at (757) 518-2000 or the Central Office at (804) 698-4000 for further information.

Chesapeake Bay Preservation:

7. RPA. The limit of clearing and proposed grading (fill) is shown extending into the RPA at the southwest corner of the proposed Phase II parking area. Roof outlet drain locations at the southeast and southwest corners of the main building would result in clearing of the RPA. The location of the 18-inch outfall pipe and outlet protection from BMP # 2 would require clearing within the RPA. These arrangements are not consistent with Section 23-7 of the Chapter 23 Chesapeake Bay Preservation ordinance and require reconfiguration.

Erosion & Sediment Control Plan:

8. Design Checklist. Please provide a standard *James City County Erosion and Sediment Control and Stormwater Management Design Plan Checklist*. This checklist was issued for use on March 1st 2001.
9. Limits of Clearing. Ensure all limits of clearing include those areas necessary for culvert and BMP outlet protections and roof leader/drain lines from the building.
10. E&SC Plan. It would appear diversion dikes and silt fence along the east side of the northern part of the main parking area are not necessary and can be removed. Upslope drainage toward the parking lot is incidental at this location and once the parking lot is first graded and prior to installation of the storm drain system, flow will be conveyed in a general north direction toward BMP # 1. In order to control runoff at this area and prevent erosion, it is suggested that a diversion dike

(or fill diversion) with a temporary slope drain or channel be installed at the north side of the parking lot road between the road and BMP to adequately collect and convey disturbed area runoff to the temporary sediment basin (BMP # 1) until such time as the storm drain system, inlet protections and stone stabilization are installed on the main parking area.

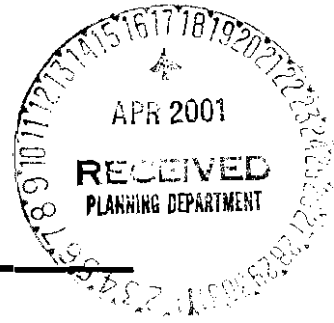
11. Sediment Traps. Include additional construction information on the plans/details including bottom and clean out elevation for all three sediment traps. Show riprap class and dimensions of the extended outflow channel from Sediment Trap # 1.
12. Entrance Road. Provide culvert inlet and outlet protections on all culverts crossing the main entrance road. Specify the amount, rock size and thickness and pad dimensions of any additional outlet protections.
13. Silt Fence. Provide silt fence along the full west side of the main site entrance road to provide control during initial clearing and earthmoving operations. This includes the area near the road's connection with Ironbound Road and from Sta. 17+00 to 19+50.
14. Channel Adequacy. Although BMP # 1 is provided, a channel adequacy analyses is required downstream of the dual 21-inch culverts at Main Road Sta. 17+00 due to uncontrolled bypass through the culvert from along the roadway between Sta. 15+50 to 21+18. Channel adequacy computations would also be necessary at the natural channel at the outfall of the 12-inch culvert at Main Road Sta. 14+25 and at the outfall of the unknown size culvert at Sta. 19+00 Phase II loop road. Natural channels must remain adequate for velocity and capacity using the 2-year design storm event
15. Topography. Label existing topography (contour) information on Sheet C-4 and C-5.
16. Temporary Sediment Basins. If BMP # 1 is to be utilized as a temporary sediment basin during construction, submit Sediment Basin Design Data Sheets and associated computations to ensure basin design is in compliance with Minimum Standard 3.14 of the VESCH. Show any temporary modifications as necessary for the facility during the construction stage on detail Sheet C-11.
17. Dust Control. Dust control measures in accordance with VESCH Minimum Standard 3.39 should be incorporated into the E&SC plan to maintain traffic safety along Ironbound Road.

Stormwater Management / Drainage:

18. BMP Point System. The BMP worksheet shows Pond # 1 as a 10 point facility; however, based on the configuration and details shown on Sheet C-11, the design of this facility design does not appear to represent any of the 10 point facilities in the JCC BMP Manual, more specifically an A-3 (Wet Extended Detention), a B-3 (Pond/Wetland System) or a C-3 (Infiltration Basin). Assuming the facility is not intended to be an infiltration basin, the permanent pool depth does not appear to meet the requirements for a type A-3 or B-3, 10 point BMP. An A-3 or B-3 facility usually has a permanent pool of sufficient depth and sized to handle at least 1-inch per impervious acre, or if treating 2-inches per impervious acre, then split between the permanent and extended detention pools. The facility as presented appears to best represent a B-1(Shallow Marsh) or a B-2 (ED Shallow Wetland) facility which are only assigned 6 BMP points. Therefore, it does not appear a total of 10 BMP points was achieved for the site's stormwater management plan. *(Clearly indicate which BMP type is being selected for BMP # 1 in accordance with Page 7 of the JCC BMP Manual and provide further clarification to support that BMP # 1 meets the JCC BMP Manual criteria for a 10 point facility. Or alternatively, if a 6 point facility is being used for BMP # 1, then a total of 10 BMP points is needed to be obtained by the use of BMP # 1 and BMP # 2 in combination with additional natural open space credit.)*

19. Open Space Credit. Provide conservation easements for all Natural Open Space areas claimed in the BMP worksheet. Show corresponding locations of natural open space areas taken for credit on the site plan or supplemental maps. Also, approximately 4 points of natural open space credit were taken using the 0.15 points per 1% method for areas to be conserved bordering a wetland, mature forest or RPA. Clearly show by hatching, shading or other methods on the site plan or supplemental maps these specific natural open space areas to be dedicated. *(Note: Some method is needed to adequately review the open space types, sizes and locations as tabulated on the BMP worksheet.)*
20. BMP # 1 Extended Detention. Provide computations as necessary to show the low flow orifice size meets drawdown time requirements for both water quality and stream channel protection. Current stream channel protection criteria for James City County is 24-hour extended detention of the runoff from the 1-year frequency storm (post-developed) instead of reduction of the 2-year peak rate as previously required by MS-19 of the Virginia Erosion and Sediment Control regulations.
21. BMP # 1 Tailwater. No tailwater elevation was assumed in the design of BMP # 1. The downstream dual 21 inch culverts across the main entrance road will create an upstream headwater condition which should be considered in the pond's hydraulics and design. *(Note: The slope used in the culvert analyses in the design report for the dual 21-inch pipes does not match the construction plan. Ensure the correct headwater depth is used for BMP design and analyses.)*
22. BMP # 1 Hydraulics. Several of the design parameters on the pond configuration summary in the hydraulic report do not match the construction plan, specifically orifice sizes, weir crest lengths and invert elevations. Check and confirm the hydraulic routing configuration matches construction plan data.
23. BMP # 1 Freeboard. Freeboard from the 100-year design WSEL of El. 76.27 to top of dam at El. 76.82 is 0.55 feet, which is less than 1 foot minimum required for pond embankments with an emergency spillway based on the Virginia Stormwater Management Handbook and current County requirements.
24. BMP # 1 Emergency Spillway. Provide a typical section on the plan to show the configuration of the emergency spillway (bottom width, sideslope, lining, etc.).
25. BMP # 1 Riser. Ensure the extended base for the inlet riser is properly sized against flotation and show proper dimensions on the construction plan.
26. BMP # 1 Construction. Specify watertight reinforced concrete pipe meeting the requirements of ASTM C361 for the pond outlet barrel. Indicate thickness class and installation requirements for the pipe. Provide notes or details showing specific construction requirements for the fill embankment and outlet barrel. Include requirements for sub-grade preparation, fill material and placement, soil compaction, barrel seepage control (anti-seep collars or similar) and impervious core and trench, as applicable.
27. BMP #1. Although not a requirement, in order to increase available volume and reduce potential wetland impacts, a concrete weir wall may be a suitable option for the impounding structure needed for BMP # 1 rather than a typical earthen embankment.
28. BMP # 2 Outfall. The 18-inch outfall pipe from BMP # 2 is located within RPA, has no outlet protection and must discharge into a well-defined, adequate natural channel. The current outfall location is situated on a natural, uniform 10 percent slope area. Outflows from SWM/BMP facilities must be discharged to an adequate channel.

29. BMP # 2 Dry Swale Design and Construction:
- 29a) Provide all relative water quality volume treatment calculations for the facility.
 - 29b) Provide additional spot elevation data on Sheets C-5 and C-11 to show bottom elevations of the forebays and elevations along the infiltration swale. Slope shall be less than 4 percent.
 - 29c) Provide computations to confirm maximum ponding time within the facility is 48 hours.
 - 29d) Construction information for the D1-7 control structure on Sheet C-5 is incomplete.
 - 29e) Show geotextile lining around the entire underdrain/pea gravel envelope.
 - 29f) Provide specific material specifications for the 30-inch sand/permeable soil layer.
 - 29g) Provide information for surface stabilization using grass, sod or plants as required within and along the infiltration channel.
 - 29h) The 4-inch underdrains need to connect to a principal control/overflow structure or positively outlet to natural ground.
 - 29i) It would appear that design of the facility did not incorporate current County stream channel protection criteria and discharge from the principal structure would exceed predevelopment allowables if default MS # 19 criteria were used. Further information needs presented to ensure discharge from the facility complies with quantity control requirements and overflows are discharged to an adequate, natural defined outfall channel.
30. Geotechnical. No data was submitted to show Initial Feasibility Testing and/or Concept Design Testing requirements were met in accordance with the Appendix E of the JCC BMP manual or to substantiate the infiltration-percolation rate used for design of BMP # 2 ($Q=0.05$ cfs). Please submit a copy of the report or data, logs and testing results as necessary.
31. Maintenance Plan. Provide long-term maintenance plans for both BMP facilities.
32. BMP Access. Include provisions for access to both BMP facilities (ie. service road, etc.).
33. Storm Drain System. Provide additional information to explain the use or purpose of perforated corrugated polyethylene pipe in over 50 percent of the site's stormwater conveyance pipe system. No information was presented in the stormwater narrative to indicate that infiltration was to be utilized along the primary conveyance system as part of the overall site stormwater management plan. In addition, no formal trench design, construction details or subsoil information was presented on the construction plan or design report to support this alternative.
34. Storm Drains. Provide information on the thickness class required for all storm pipe segments whether RCP, Corrugated Polyethylene or PVC.
35. Culvert Design. Provide culvert headwater computations for the 15-inch RCP culvert at the site entrance at Ironbound Road.
36. Roof Leaders/Drains. Tie all roof drains into the storm drainage system for treatment at BMP # 2 or provide alternate means for treatment outside of RPA areas.
37. Culvert Sta. 19+00. No construction information was shown on Sheet C-4 for the culvert across the Phase II loop road. Include erosion & sediment control, outlet protection and construction pipe data.
38. Due to the crucial nature of some of the above technical comments, especially those related to the BMP point system, impacts to RPA and those related to the site's stormwater management and conveyance systems, additional comments may result if these components are reconfigured or amended.



MEMORANDUM

Date: April 17, 2001
To: Christopher Johnson, Planner
From: Shawn A. Gordon, P.E. - Project Engineer
Subject: SP-028-01, Saint Bede Catholic Church

We reviewed the plan for the above project you forwarded on March 29, 2001 and noted the following comments. We may have additional comments when the revised plan incorporating these comments is submitted.

General:

1. Add the following note "Any existing unused wells shall be abandoned in accordance with State Private Well Regulations and James City County Code."
2. Add the following note "All components of the water distribution system and public sanitary sewer facilities shall be installed, tested, and conveyed to the James City Service Authority in accordance with the latest edition of the James City Service Authority Standards and Specifications and the Virginia Department of Health Waterworks and Sewerage Regulations. A copy of the JCSA Standards must be kept on site by the contractor during the full time of installing, testing, and conveying the facilities to JCSA. Copies of the standards may be obtained from JCSA."
3. Provide a hydraulic analysis, including fire flow for the proposed water system based on the hydrant flow data per JCSA letter dated April 6, 2001 to Ms. Deborah Lenceski, P.E..
4. Provide appropriate joint restraint on the profiles for the water system.
5. Provide calculations to confirm the water meter sizes proposed. Based on the calculations combine the two domestic water meters. Revise plans accordingly.
6. Provide station callouts in either the plan view or profile view for all water main appurtenances.

Sheet C-2

1. Label the proposed 15' JCSA Utility Easement for Exclusive Use by JCSA.

Sheet C-3

1. Show the proposed JCSA Utility Easement terminating at the right of way line.
2. Show and label the vertical bends on the waterline near Station 17+00±.

Sheet C-4

1. Show and label the vertical bends on the waterline near Station 19+00±.

Sheet C-5

1. Label the proposed JCSA Utility Easement for the water main to the east of the proposed building and to the west of the proposed building.
2. JCSA does not need to maintain the entire 8-inch sanitary sewer from the existing manhole at the property line to the proposed building. Provide a 15' Sanitary Easement for Exclusive Use of JCSA to the first proposed manhole at the property line, remove the remaining proposed easement. Provide documentation to extend the easement from the existing sanitary sewer manhole located on the adjacent property to the common property line of the adjacent property and the church.
3. The temporary fire hydrant and valve north-west of the proposed building should have a 8"x6" reducer for the fire hydrant assembly connection.
4. Label the 2-inch bend just beyond the water meter and north-west of the detector check vault.
5. The fire hydrant south of the detector check vault should be 10 feet maximum from the back of the parking lot curb per JCSA standards. Revise plans accordingly.
6. Show and label the vertical bends on the waterline near Station 26+45±.
7. The proposed sanitary sewer manhole adjacent to the proposed building shows a pipe invert in from the parish and invert out difference of 1.97 feet. Revise the difference between the inverts at the sanitary manhole to no more than 1.90 feet. Contractors rarely construct manholes within 0.03 feet of the proposed elevations so even a small error would result in a difference that requires a drop connection.
8. Add a note to core drill and provide a "Kor-N-Seal" boot to the existing manhole for the proposed 8-inch sanitary sewer connection.

Sheet C-6

(Water Line Profile No. 1)

1. Revise the existing 16" waterline callout at Station 10+25± to a 12" water line.
2. Show and label all horizontal bends on the waterline.

(Water Line Profile No. 2)

1. Show and label the horizontal bends on the waterline at Station 11+92± and Station 13+65±.
2. Show and label the tee connection and the gate valve near Station 10+00.

Sheet C-8

1. See Sheet C-3, Comment #1.

Water Data Sheet

1. Complete the revised JCSA Water Data Sheet. See attached Water Data Sheet.
2. Complete Section 5 based on the hydrant flow test results previously sent.
 - A. Section 5b - Provide the average domestic flow in gpm, not peak flow and design criteria for the calculation.
3. Section 7. Revise based on General Comment #7.

Sewer Data Sheet

1. Revise the length of pipe in Section IX. Provide only the length of pipe within the JCSA Utility Easement.
2. Provide design criteria for calculating the average and peak design flow.

Please call me at 253-6679 if you have any questions or require any additional information.

Subdivision SP-156-00

Monticello at Powhatan, Phase II

Staff Report for the May 2, 2001 Development Review Committee Meeting

SUMMARY FACTS

Applicant: Mr. Brad Waitzer

Owner: MOPOW, LLC.

Proposed Use: 60 Residential Units, 36 apartment units and 24 townhouses

Location: Powhatan Secondary planned community- off News Road

Tax Map/ Parcel: (38-3)(001-33)

Primary Service Area: Inside

Parcel Size: This particular area is approximately 4.43 acres in size

Existing Zoning: R-4, Residential Planned Community

Existing Master Plan Designation: R-4 Zoning Designation- "B" Attached structures

Comprehensive Plan: Low Density Residential

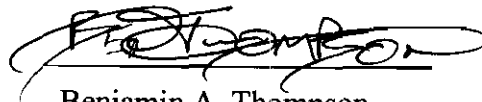
Reason for Last DRC Review:

1. Per the Zoning Ordinance, the proposed combined size of the units exceeds 30,000 s.f.
2. A modification to the Sidewalk section of the Zoning Ordinance.

Staff Contact: Ben Thompson Phone: 253-6685

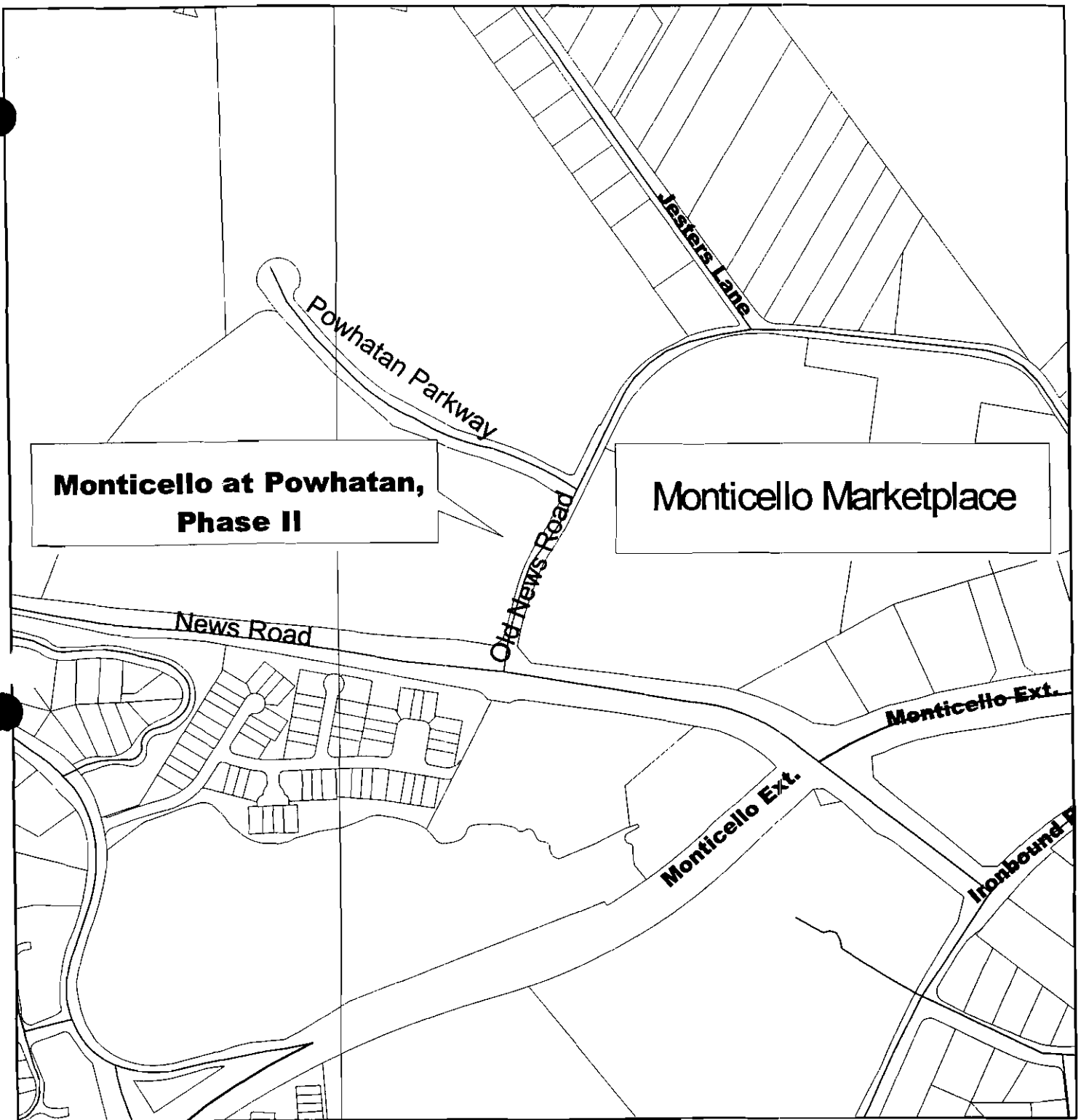
STAFF RECOMMENDATION

The applicant and the County Planning Division have come to an agreement about the installation of sidewalks on the Monticello at Powhatan, Phase II development. The previous plan that came before the DRC requested a modification to the Sidewalk section of the Zoning Ordinance. The Development Review Committee requested that the applicant and the County come to an agreement on a cash contribution or other means to provide pedestrian facilities and then forward the agreed solution to the DRC. The applicant has stated that they will adhere to the Zoning Ordinance and install VDOT standard sidewalks on their property for private maintenance. Therefore, this issue has been resolved and needs no further action by the DRC. Additionally, at the previous DRC meeting the committee also reviewed this plan on the grounds that it exceeds 30,000 square feet and unanimously voted for approval. Staff will follow the DRC's approval and will continue with review of the sidewalk issue administratively.


Benjamin A. Thompson

Attachments:

1. Location Map
2. March 28, 2001 DRC Staff Report
3. Agency comments, with attachments



Site Plan 156 -00
Monticello at Powhatan, Phase II

400 0 400 800 Feet



Site Plan 156-00

Monticello at Powhatan, Phase II

Staff Report for the March 28, 2001, Development Review Committee Meeting

SUMMARY FACTS

Applicant: Mr. Brad Waitzer

Land Owner: MOPOW, LLC.

Proposed Use: 60 Residential Units, 36 apartment units and 24 townhouses

Location: Powhatan Secondary planned community - off News Road

Tax Map/Parcel: (38-3)(1-33)

Primary Service Area: Inside

Parcel Size: This particular area is approximately 4.43 acres in size

Existing Zoning: R-4, Residential Planned Community

Existing Master Plan Designation: R-4 Zoning Designation - "B" Attached structures

Comprehensive Plan: Low Density Residential

Reasons for DRC review: This plan comes before the DRC for several reasons:

1. Per the Zoning Ordinance, the proposed combined size of the units exceeds 30,000 s.f.
2. A modification to the Sidewalk section of the Zoning Ordinance has been requested.

Staff Contact: Ben A. Thompson Phone: 253-6685

STAFF RECOMMENDATION

After review of the plans, staff recommends the following:

Preliminary Approval

The plan should be revised to address attached agency comments, and resolution brought to the sidewalk issues. Sidewalks, or some alternative approved by the Planning Commission, are required along News Road and Old News Road. Sidewalks have not been shown on the present plan and a request for modification to the sidewalk ordinance has been requested.

For the DRC's information, the applicant has spoken with the County Attorney's Office and is aware that legal issues such as vesting and applicability of ordinances are not for the review and determination of the DRC and that the DRC should evaluate this project based on its own merits.

Sidewalk Modification Request

In January of 2000, the Zoning Ordinance was amended to include new sidewalk provisions. The ordinance, in part, requires that sidewalks be provided along all existing public roads abutting property to be developed. In this instance, a sidewalk is required along News Road and Old News Road.

Upon a favorable recommendation of the DRC however, the Planning Commission may modify this requirement provided that:

1. The developer provides a sidewalk along some other existing public road; or
2. Access to abutting properties has been provided for by way of a pedestrian connection constructed to the minimum standards listed in the Zoning Ordinance, or
3. Some combination of #1 and #2 is provided in a manner and location acceptable to the DRC.

The applicant, at this time, has not submitted a sidewalk or sidewalk alternative plan for staff's review. Staff believes that formal VDOT sidewalks along public roads are preferable due to long term maintenance and use issues. With the increasing build out of Powhatan Secondary, and other growing residential developments along News Road, vehicular traffic is increasing dramatically. Staff has frequently observed pedestrians and cyclists, especially young teens, coming from the residential areas to reach the commercial areas of Monticello Marketplace. This pedestrian traffic is expected to increase with this and future development. Staff recommends that all sidewalk improvements be located outside of, and exclusive of, any vegetative buffer, and within the VDOT right-of-way.

The applicant, at this time, has provided no alternate pedestrian facilities which adequately provide for pedestrian access within the development and abutting properties. With the applicant not providing a sidewalk plan or alternate plan they are not eligible, under the previously stated conditions, for a modification to the sidewalk section of the Zoning Ordinance. Staff believes that if pedestrian facilities are not provided by the developer, the burden will eventually fall on the County and the general public like it has in similar older areas.

Staff recommends that the DRC approve as an alternative plan the provision of funds by the developer to the County for future public sidewalk construction within the area. The developer, if not wanting to place sidewalks along their own property, would contribute money to the sidewalk portion of the James City County Capital Improvements Budget. This amount should be equivalent to the cost of installation of a sidewalk as required by the JCC Zoning Ordinance. The combination of Powhatan Secondary, Monticello Marketplace, Mid County Park and the impending New Town Development has created a strong, interwoven, and dense community. To assure that connectivity is adequate throughout these developments, the County and the development community should cooperate to construct linkages/ sidewalks along necessary routes. In staff's opinion, sidewalk funds in the CIP should be reserved for areas where developers are not responsible for constructing sidewalks. Developers contributions should particularly participate in the funding to alleviate some of the pedestrian burden which their developments create.

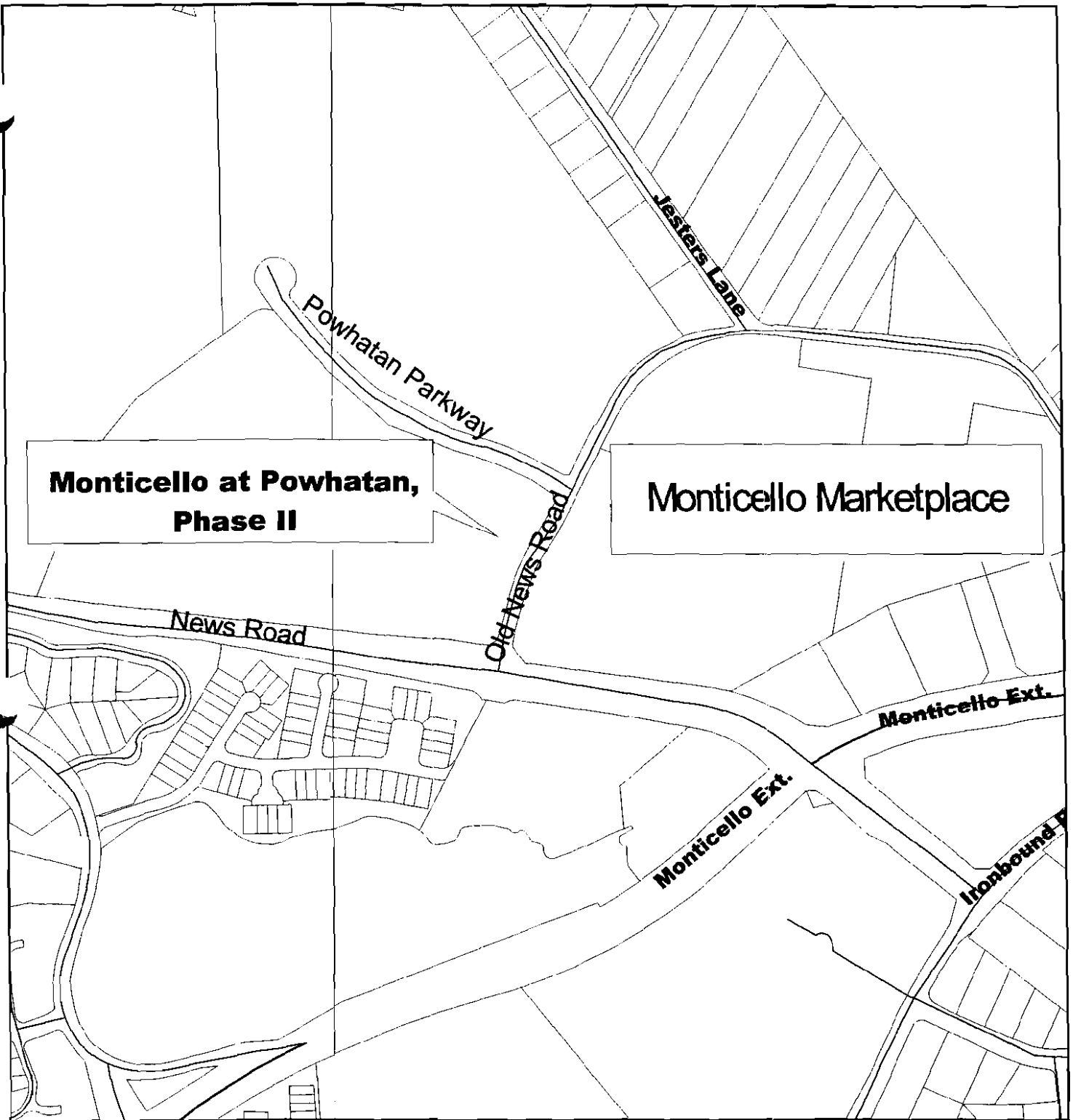
It has been indicated that the applicant will submit, prior to the DRC meeting, a soft surface trail alternative for the Planning Division and DRC review. Should the DRC disagree with staff regarding a developer contribution in lieu of construction, and wish to grant the developer's request for a trail, the following is suggested. Staff recommends the construction plans be amended to include specific construction details of the trail as approved by the Planning Director, such that they are consistent with Zoning Ordinance requirements, at a minimum, and that assurances be made through the Homeowners Association documents the trail will be perpetually owned and maintained. Staff also recommends the trail be made of a paved surface or concrete. Such a heavily used

pathway will need to be extremely durable and will facilitate connections to future sidewalk construction along News Road.

Staff recommends the DRC forward a recommendation of preliminary approval for this plan, after resolution is brought to the sidewalk issue, to the Planning Commission.

attachments:

- ▶ Site plan (separate)
- ▶ Applicant Letter
- ▶ Agency review comments



Site Plan 156 -00

Monticello at Powhatan, Phase II

400 0 400 800 Feet



MOPOW, LLC
2101 Parks Avenue, Suite 201
Virginia Beach, Virginia 23451
(757) 422-6030
(757) 422 6670 Fax



March 19, 2001

VIA FACSIMILE: 757-253-6850
Mr. Ben Thompson
James City County – Development Management
PO Box 8784
Williamsburg, Virginia 23187

Dear Ben:

Thank you for taking the time to meet with me and inspect the buffers along News Road for Monticello at Powhatan Phase II. This shall confirm my understanding of our conversation.

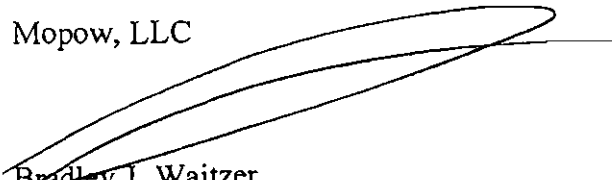
1. A CCC buffer will not be required along Old News Road, only News Road.
2. Buffer calculations taking into effect the 15' construction zone setback (shown on the plan) have been provided.
3. No sidewalk or trail will be provided on Powhatan Parkway, as one already exists on the other side of the street.
4. The existing sidewalk leading to the edge of the right-of-way on Powhatan Parkway and linking the entire internal sidewalk system for both phases is adequate pedestrian access from Phase II to the sidewalks on Powhatan Parkway.
5. Notwithstanding my earlier understanding that we are vested regarding the sidewalk issue, we will provide soft surface walking trails per the specifications you provided or other mutually agreeable specifications along News Road and Old News Road should you require them. We discussed, however, that they may be ill advised on the News Road Portion for five (5) primary reasons:
 - It would require extensive tree removal which seems to conflict with the clear intention of 24-94 (a).
 - It would lead nowhere in that Phase I has no sidewalks or trails on News Road.
 - The internal sidewalk system in Phase I and II would let people walk to Monticello Marketplace much more safely.
 - A walking trail exists on the other side of News Road for recreational purposes.
 - It would not seem to set a bad precedent because it is a continuation of an existing project built under the old sidewalk ordinance, not, in some sense, a new project.

Mr. Ben Thompson
James City County – Development Management
Page 2
March 19, 2001

You were going to check with your boss regarding the trail issue and let me know a final decision so that we can incorporate it into the plan. I look forward to our continued cooperation.

Very truly yours,

Mopow, LLC



Bradley J. Waitzer

BJW: kn



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

CODE COMPLIANCE
(757) 253-6626
codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

February 6, 2001

Mr. Brad Waitzer
W.P. Large
244 Mustang Trail, Suite 6
Williamsburg, Virginia 23452

RE: SP-156-00 Monticello at Powhatan, Phase II

Dear Mr. Waitzer:

This letter is a follow-up to our previous conversation on the 29th of January, about Monticello at Powhatan, Phase II. The following comments have been generated from staff and agency review:

Planning:

1. Sidewalks be provided along all existing public roads abutting property to be developed. In this instance, a sidewalk is required along News Road and Powhatan Secondary Road.
2. The Zoning Ordinance requires that an average 50 foot landscape buffer be provided along the right of way of Community Character Corridors (in this instance, News Road). Furthermore, all structures must be setback a minimum of 15 feet from the perimeter of this buffer (the "construction zone" setback). The present site plan does not meet these setbacks on News Road. Due to this issue the building layout will need to be shifted showing another change in the plan.
3. These are the major comments some minor comments may be forthcoming.

Environmental: Comments enclosed.

JCSA: Comments enclosed.

Landscaping: Comments enclosed.



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

CODE COMPLIANCE
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planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

County Engineer:

1. Please show sidewalks along News Road and Old News Road
2. Please show three pedestrian bridges crossing the paved ditch to the sidewalk on the North side.
3. Please show private street construction guidelines.

Fire Department:

1. Add Fire Hydrant in vicinity of North-West Corner of Building "EE" within 15' of curb. (400' spacing required between fire hydrant).

Sincerely,

Ben Thompson,
Planner



ENVIRONMENTAL DIVISION REVIEW COMMENTS
MONTICELLO AT POWHATAN APARTMENTS (PHASE 2)
COUNTY PLAN NO. SP - 156 - 00
February 2, 2001

MDW / SJT

General Comments:

1. A Land Disturbing Permit and Siltation Agreement, with surety, are required for this phase of the project.
2. Water and sewer inspection fees, as applicable, must be paid in full prior to issuance of a Land Disturbing Permit for this phase of the project.
3. Upon completion, As-Built drawings must be provided for the offsite wet extended detention facility which services this site. Also, upon completion, the facility shall be certified by a professional engineer who inspected the structure during construction. The certification shall state that to the best of his/her judgement, knowledge and belief, the structure was constructed in accordance with the approval plans and specifications.
4. Site Tabulation. Provide impervious cover and disturbed area estimates for Phase 2 of the project.
5. Site Design. It was our understanding that all site and utility grades were raised 0.5 feet to balance earthwork on Phase I of the project. Ensure all grading and drainage facilities as proposed for Phase 2 reflect proper tie and connect to correct Phase I site contours, inverts, etc. There could be considerable field discrepancies if the Phase 2 design plan reflects tie/connection information to Phase I data prior to the site being raised.

Chesapeake Bay Preservation:

6. Environmental Inventory. Provide an environmental inventory for the Phase 2 work area in accordance with Section 23-10(2) of the Chesapeake Bay Preservation ordinance. Components include tidal wetlands, tidal shores, non-tidal wetlands in RPA, resource protection areas, non-tidal wetlands in RMA, hydric soils and slopes 25 percent or greater.
7. Steep Slope Areas. Section 23-5 of the Chesapeake Bay Preservation Ordinance does not allow land disturbing activities to be performed on slopes of 25 percent or greater. Based on existing topography shown on Sheet C 3.0, it appears that steep slope areas are impacted in the north central part of the Phase 2 tract; therefore, a request for a waiver or exception is required, in writing.

Erosion & Sediment Control Plan:

8. Temporary Stockpile Areas. Show any temporary soil stockpile, staging and equipment storage areas (with required erosion and sediment controls) as required for Phase 2 of the project or indicate on the plans that none are anticipated.
9. Phase 1 Areas. A temporary soil stockpile, construction entrance and staging and equipment storage areas are being utilized on the Phase 2 site for current Phase I activities. Show the approximate locations of these areas on Sheet C 3.0, especially if they are to be utilized for Phase 2. Discuss how these areas will be adjusted, relocated or worked around during Phase 2 construction.
10. E&SC Narrative. Provide a brief narrative in accordance with VESCH requirements. The narrative should include important site information as well as specific control and stabilization measures as proposed for this phase. Include a brief description of site soils, consistent with the County Soil Survey and information previously presented in the Phase I design report, since no soils map was provided.

11. E&SC Plan. It would appear the perimeter diversion dike/sediment trap arrangement is adequate for erosion and sediment control for the southern part of the site (ie. from existing Building T and south). However, use of perimeter silt fence as primary control for the central and northern portions of the Phase 2 tract is questionable. During initial clearing and prior to grading and installation of the storm drainage system, the perimeter silt fence will be subject to slope lengths well in excess of 100 feet per Minimum Standard 3.05 of the VESCH. In addition, silt fence placement perpendicular to contours will tend to concentrate flow along the fence to low points rather than filtering through the fence as intended. In order to avoid excessive maintenance difficulties with silt fence in Phase 2 and to minimize the potential for offsite sediment discharge on parking and yard areas associated with existing Buildings T, W and X, alternate perimeter erosion and sediment control measures such as diversion dikes, traps, etc. would be necessary to control the central and north area.
12. E&SC Plan. Although it appears the sediment trap/perimeter diversion dike arrange is adequate for erosion and sediment control for the southern portion of the Phase 2 tract, the physical location of the sediment trap will directly conflict with site grading, roadway and utility installations including the 10-inch waterline, 8-inch sanitary sewer and storm drainage piping. The sediment trap should be pulled as far as possible toward the west site perimeter along the limit of work/grading. The trap could be designed to work in conjunction with existing Inlet B-2-2 to provide adequate control during the entire life of the project and not interfere with sitework operations. Adjust the sequence of construction as necessary to include storm drain installations necessary to use the sediment trap under this configuration.
13. Sequence of Construction. Indicate in the sequence of construction when the main portion of site grading (cut/fill) is to be performed. It is not discernible whether it will be possible to install the entire storm drainage system per Step 8 of the construction sequence without most of the site being rough graded first.
14. Grading. The grade of the roadway in front of and at the parking area located between Buildings CC and DD appears excessively steep.
15. Sediment Trap. Trap design shows 4H:1V basin side slopes, but the standard detail on Sheet C 7.0 specifies 2H:1V sideslopes. On plan Sheet C 3.0, label bottom elevation, sideslopes and proposed contours associated with the temporary sediment trap. If the sediment trap is to be moved toward the west and modified in function in conjunction with inlet B-2-2, provide details necessary for modified construction, especially for the inlet-overflow arrangement.
16. Stabilization. Include provisions on the plan for repair and restoration of stabilized yard areas which may become disturbed and stormwater conveyance channel linings which may become damaged due to post-grading installation of incidental utilities such as electric, cable, telephone, etc.
17. Downstream BMP Protection. Include provisions on the erosion and sediment control plan to monitor the existing downstream (offsite) wet extended detention BMP for signs of sedimentation, specifically at the 27-inch and 48-inch storm outfalls into the basin, during or as a result of construction of Phase 2. This facility is not intended to be the primary sediment control device for Phase 2 work. The contractor should be aware that additional onsite or offsite controls, sediment removal and coordination with the owner, engineer and County may be required to adequately protect the constructed facility.

Stormwater Management / Drainage:

18. Drainage Map. Provide a drainage map showing proposed drainage subareas with divides for all stormwater drainage facilities (inlets, etc.) and special points of analyses (sediment traps, etc). The drainage map should accurately reflect drainage areas and runoff coefficients presented in the storm drain design table.

19. Plan Information. Refer to approved County Plan SP-78-99 on Sheet C 2.0 for the existing stormwater management facility on the Phase 1 parcel. Also, the drawing scale on Sheet C 6.0 does not appear to be correct.
20. Standard Notes. Note 1 on Sheet C 4.0 indicates that all materials and construction within public right-of-way is to follow VDOT Standards and Specifications. Please indicate whether remaining onsite storm drain work, outside the right-of-way, is to follow VDOT standards for material and construction. If not, provide information on the plans and details as appropriate for proper construction including material specifications, installation details, etc.
21. Storm Drain Design. Based on the hydraulic grade line summary table, tailwater elevation assumptions used as a basis for design of storm systems A and B in Phase 2 are El. 66.80 and El. 65.73, respectively. These values are not similar to design hydraulic grade line elevations for structure R3 and J2 based on the Phase I storm drainage computations. Design hydraulic grade lines for Structure R3 (at end of Phase 2 System A) and Structure J2 (at end of Phase 2 System B) were previously shown at El. 68.08 and El. 67.15, respectively. The original (Phase 1) design hydraulic grade line elevations are considerably higher than used for Phase 2 design. Please explain the discrepancy or change. Also, please indicate if the starting hydraulic grade lines used for design of the Phase 2 storm drainage system reflect adjustment due to raising of the Phase 1 site drainage system.
22. RCP Pipe. Note 7 on Sheet C 4.0 indicates that all site storm drainage pipe is to be Class III reinforced concrete pipe. Ensure storm drain segments across the interior roadways, specifically pipe segments from structures A-2 to A-3, B-7 to B-8, B-3 to B-2 and B-2 to B-1 do not require thicker class pipe due to potential live load conditions.
23. Storm Drains. Show existing pipe data for first offsite connecting storm drain pipe segments for Systems A and B on the construction plan. This would include pipe segment A-1 (Phase 2) to R3 (Phase 1) for System A and for pipe segment B-1 (Phase 2) to J2 (Phase 1) for System B.
24. Open Channel Flow to Parking Areas. There are 4 areas on the plan where concentrated open channel flow will discharge across curb onto paved parking area. These areas are located as such: southwest of Building EE, southwest of Building BB, northeast of Building BB and northeast of Building Y. No details were provided to show the transition from open channel flow through the curbing. Erosion along site curbing, drainage complaints in the parking areas and ice/freezing conditions in the winter months may result from these design arrangements.
25. Drainage Inlet. Ensure there is adequate horizontal and vertical separation between the design ponding WSEL at inlet B-2-2 from existing Building R, both during and following construction.
26. Landscaping. Ensure that landscaping plant clusters (trees, shrubs, etc.) as proposed will not obstruct flow in onsite stormwater conveyance channels. See conflict areas along the east side of Buildings AA and Z.
27. Stormwater Conveyance Channels. Provide calculations to support the design of all onsite open channels (velocity, capacity, etc.). Computations should support use of the grass lining as shown on the typical section on Sheet C 7.1. If linings are required for erosion resistance, use of high performance turf reinforcement matting (TRMs) is recommended, rather than hard armoring such as concrete or riprap to promote water quality and aesthetics.
28. Utility conflicts. No storm drain profiles were provided to indicate potential storm drain conflicts with other site utilities. If storm drain profiles are not to be provided within the project plan set, please check to ensure there are no conflicts with the 10-inch and 4-inch waterline and 8-inch gravity sewer. Ensure there is adequate separation between storm drains and water/sanitary sewer lines in accordance with JCSA standards and adequate minimum cover is provided over all storm drains.

INTEROFFICE MEMORANDUM

TO: BEN THOMPSON
FROM: LEE SCHNAPPINGER *LS*
SUBJECT: SP-156-00, MONTICELLO AT POWHATAN PARCEL A/PHASE 2
DATE: 1/25/01



I have reviewed SP-156-00, the landscape plan for Monticello at Powhatan Parcel A/Phase 2, and have the following comments:

1. The plant material must meet the minimum size requirements in the James City County Zoning Ordinance at the time of planting. Deciduous shade trees should be a minimum of 1.5" caliper. Evergreen and ornamental trees are required to be 8' in height or have a minimum caliper of 1.25". Evergreen shrubs are required to be 18" in height or spread and deciduous shrubs have a 22" minimum height. Please refer to Section 24-90 of the James City County Zoning Ordinance for more information.
2. Although sufficient shrubs have been proposed to fulfill the planting requirements in the right of way planting, the applicant must make a guarantee that the existing trees will fulfill requirements after construction. Please add a note guaranteeing that the trees remaining in the buffers, along with tree plantings proposed, will fulfill requirements for the right of way plantings. This would require 58 trees/tree credits along Old News Road, 50 trees/tree credits along News Road, and 30 trees/tree credits along Powhatan Parkway. A final Certificate of Occupancy will not be issued if these requirements are not met.
3. A berm on the corner of News Road and Old News Road where no trees currently exist would benefit both the applicants and the public by helping to separate the road and proposed buildings. This would also be consistent with development at Monticello Marketplace.

[Faint, diagonal stamp text:]
The Court has ruled that the real property is part of the public domain and is to be used for public purposes.

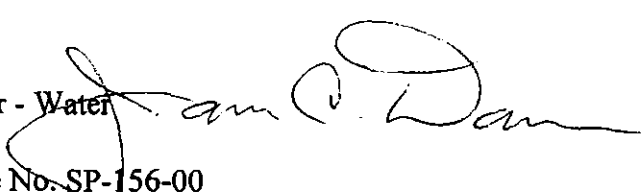


MEMORANDUM



Date: January 17, 2001

To: Ben Thompson, Planning

From: James C. Dawson, P.E., Chief Engineer - Water 

Subject: Monticello at Powhatan, Phase II, Case No. SP-156-00

We reviewed the plans for the above project you forwarded on January 4, 2001, and noted the following comments.

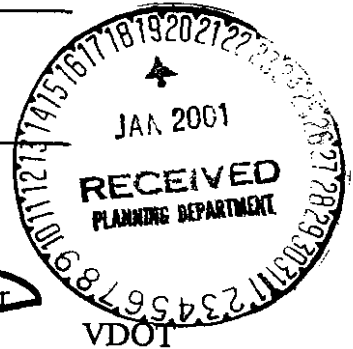
1. Provide updated water and sanitary sewer data sheets for the project. I could not find data sheets for Phase I so these data sheets must include water demand and sanitary sewer flow for Phases I and II.

Please call me at 253-6677 if you have any questions or require any additional information.

JCD/

A:SITESUBARC45\SP156_00.CM1

Transmittal



Date: January 4, 2000

To: JCSA Environmental
Health Depart. Real Estate

County Engineer
Fire Dept.

From: Ben Thompson, Planning

Subject: SP-156-00 Monticello at Powhatan, Phase II

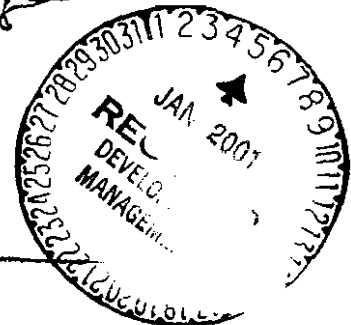
Items Attached: Plan and Drainage Calculations.

Instruction: Please Review, Comment, and Return by January 17, 2000.

Comments:

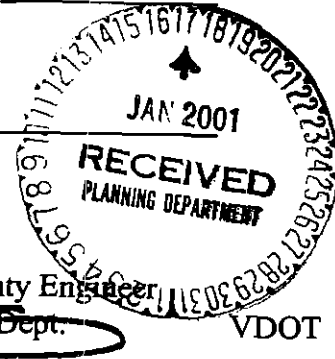
Please show sidewalk Along
New RD & Old New RD.

Please show 3 pedestrian bridges
crossing the paved ditch to the
sidewalk on the north side
of Powhatan Parkway



Please show private street
construction guidelines -
WMB

Transmittal



Date: January 4, 2000

To: JCSA Environmental
Health Depart. Real Estate
County Engineer
Fire Dept. VDOT

From: Ben Thompson, Planning

Subject: SP-156-00 Monticello at Powhatan, Phase II

Items Attached: Plan and Drainage Calculations.

Instruction: Please Review, Comment, and Return by January 17, 2000.

Comments:

• ADD FIRE HYDRANT IN VICINITY OF NORTH-
WEST CORNER OF BLOCK "EE" WITHIN 15' OF CURB.
(400' SPACING REQUIRED BETWEEN FIRE HYDRANTS)

• NOTE FOR JCSA - IS PROPOSED 10" WATER LINE
ACCEPTABLE?

Joe Harris
Dep. Fire Marshal
1/16/01

MOPOW, LLC
2101 Parks Avenue, Suite 201
Virginia Beach, Virginia 23451
(757) 422-6030
(757) 422 6670 Fax



March 26, 2001

VIA FACSIMILE and MAIL: 757-253-6850

Development Review Committee
James City County
C/o Ben Thompson
James City County Planning
101 E Mounts Bay Road
Williamsburg, Virginia 23187

Re: SP-156-00 Monticello at Powhatan Phase II

Gentleman:

This shall request that the Development Review Committee ("DRC") and Planning Commission allow the use of a soft surface trail in lieu of concrete sidewalks along News Road and Old News Road. The soft surface trail shall conform to the recommendations of the Planning Staff to include a 4-foot width with underlying fabric and a hard shoulder.

The developer will agree to enter into an agreement with the county and / or VDOT as required to maintain the path.

This request is being made in recognition of several facts:

1. The other properties in the area utilize such a pedestrian facility.
2. Its impact on existing vegetation would be less severe.

Thank you for your kind consideration.

Very truly yours,

Mopow, LLC

Bradley J. Waitzer
Bradley J. Waitzer

BJW: kn

19. Plan Information. Refer to approved County Plan SP-78-99 on Sheet C 2.0 for the existing stormwater management facility on the Phase 1 parcel. Also, the drawing scale on Sheet C 6.0 does not appear to be correct.
20. Standard Notes. Note 1 on Sheet C 4.0 indicates that all materials and construction within public right-of-way is to follow VDOT Standards and Specifications. Please indicate whether remaining onsite storm drain work, outside the right-of-way, is to follow VDOT standards for material and construction. If not, provide information on the plans and details as appropriate for proper construction including material specifications, installation details, etc.
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INTEROFFICE MEMORANDUM

TO: BEN THOMPSON
FROM: LEE SCHNAPPINGER *LS*
SUBJECT: SP-156-00, MONTICELLO AT POWHATAN PARCEL A/PHASE 2
DATE: 1/25/01



I have reviewed SP-156-00, the landscape plan for Monticello at Powhatan Parcel A/Phase 2, and have the following comments:

1. The plant material must meet the minimum size requirements in the James City County Zoning Ordinance at the time of planting. Deciduous shade trees should be a minimum of 1.5" caliper. Evergreen and ornamental trees are required to be 8' in height or have a minimum caliper of 1.25". Evergreen shrubs are required to be 18" in height or spread and deciduous shrubs have a 22" minimum height. Please refer to Section 24-90 of the James City County Zoning Ordinance for more information.
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[Faint, diagonal text stamp, likely a watermark or secondary stamp, partially legible:]
...the City of...
...real property...
...to be...
...2001...

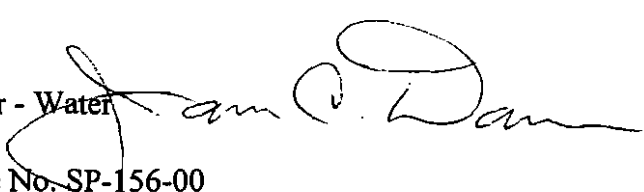


MEMORANDUM



Date: January 17, 2001

To: Ben Thompson, Planning

From: James C. Dawson, P.E., Chief Engineer - Water 

Subject: Monticello at Powhatan, Phase II, Case No. SP-156-00

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1. Provide updated water and sanitary sewer data sheets for the project. I could not find data sheets for Phase I so these data sheets must include water demand and sanitary sewer flow for Phases I and II.

Please call me at 253-6677 if you have any questions or require any additional information.

JCD/

A:SITESUBARC45\SP156_00.CM1

Transmittal

Date: January 4, 2000

To: JCSA Environmental
Health Depart. Real Estate County Engineer
Fire Dept.

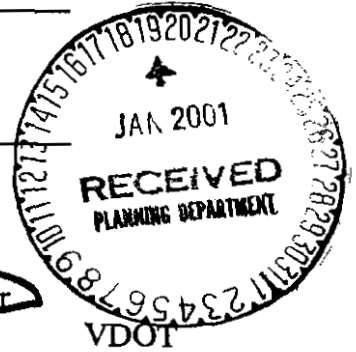
From: Ben Thompson, Planning

Subject: SP-156-00 Monticello at Powhatan, Phase II

Items Attached: Plan and Drainage Calculations.

Instruction: Please Review, Comment, and Return by **January 17, 2000.**

Comments:



Please show sidewalk Along
New RD & Old New RD.

Please show 3 pedestrian bridges
crossing the paved ditch to the
sidewalk on the north side
of Powhatan Parkway



Please show private street
construction guidelines -
WV

Transmittal



Date: January 4, 2000

To: JCSEA Environmental
Health Depart. Real Estate

County Engineer
Fire Dept.

VDOT

From: Ben Thompson, Planning

Subject: SP-156-00 Monticello at Powhatan, Phase II

Items Attached: Plan and Drainage Calculations.

Instruction: Please Review, Comment, and Return by January 17, 2000.

Comments:

• ADD FIRE HYDRANT IN VICINITY OF NORTH-
WEST CORNER OF BLDG "EE" WITHIN 15' OF CURB.
(400' SPACING REQUIRED BETWEEN FIRE HYDRANTS)

• NOTE FOR JCSEA - IS PROPOSED 10" WATER LINE
ACCEPTABLE?

Joe Harris
Dep. Fire Marshal
1/16/01

MOPOW, LLC

2101 Parks Avenue, Suite 201
Virginia Beach, Virginia 23451
(757) 422-6030
(757) 422 6670 Fax



March 26, 2001

VIA FACSIMILE and MAIL: 757-253-6850

Development Review Committee
James City County
C/o Ben Thompson
James City County Planning
101 E Mounts Bay Road
Williamsburg, Virginia 23187

Re: SP-156-00 Monticello at Powhatan Phase II

Gentleman:

This shall request that the Development Review Committee ("DRC") and Planning Commission allow the use of a soft surface trail in lieu of concrete sidewalks along News Road and Old News Road. The soft surface trail shall conform to the recommendations of the Planning Staff to include a 4-foot width with underlying fabric and a hard shoulder.

The developer will agree to enter into an agreement with the county and / or VDOT as required to maintain the path.

This request is being made in recognition of several facts:

1. The other properties in the area utilize such a pedestrian facility.
2. Its impact on existing vegetation would be less severe.

Thank you for your kind consideration.

Very truly yours,

Mopow, LLC

Bradley J. Waitzer

BJW: kn

Conceptual Plan 47-01

Stonehouse: Phase I, Land Bay 7

Staff Report for the May 2, 2001, Development Review Committee Meeting

Summary Facts

Applicant: Mr. James Peters of AES, Consulting Engineers
Land Owner: Stonehouse LLC

Proposed Use: 25,800 square feet of Church and 41,500 square feet of Office

Location: Stonehouse Master-planned community - Land Bay 7

Tax Map/Parcel: (6-4)(1-1)
Primary Service Area: Inside
Parcel Size: Land Bay 7: approximately 16.2 acres

Existing Zoning: PUD-C (Planned Unit Development - Commercial), with proffers
Comprehensive Plan: Mixed Use

Reason for DRC review: As stated in the attached letter, Stonehouse would like to place a Church in Land Bay 7. Originally, the Church was to be located on Land Bay 2 - a Land Bay currently designated for Institutional (e.g., church) uses. However, Stonehouse would now like to move the church to Land Bay 7 - a landbay currently designated for Office Space. The Master Plan anticipated that 100,000 square feet of office space would occupy the 16.2 acres (reference the attached "monochromatic" conceptual plan). However, should the church be approved, the remaining portion of the land bay would only support 41,500 square feet of office. To maintain the total square footage of office space, Stonehouse proposes the remaining office space be transferred to the previously designated Church parcel (i.e., Land Bay 2). In essence, the proposed uses would "swap" locations.

The James City County Zoning Ordinance states that "[development] plans shall be consistent with the master plan as approved, but may alter to any degree which the planning commission believes does not alter the basic concept or character of the development."

Staff Contact: Paul D. Holt, III Phone: 253-6685

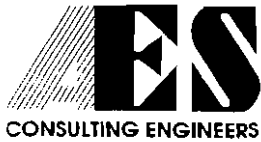
STAFF RECOMMENDATION

Staff does not find the church proposal consistent with the "office" designation of the Master Plan and therefore, does not recommend approval of the request. In addition, the proposed "swap" of office use locations (i.e., locating the remaining office space on Land Bay 2) may not be an "exact" tradeoff. That is, by physically separating office space locations, benefits (such as marketing, site design flexibility, infrastructure costs per unit, and other locational economies) may not be the same as they would have been in a large scale office park.

However, should the DRC wish to consider the proposal in the context of the development as a whole, staff recommends that the proposed office uses and church have shared parking to the greatest extent possible. The two uses have almost complete opposite hours of operation. Shared parking would greatly decrease environmental impacts and eliminate a large parking lot sitting empty most of the week.

attachments:

1. Letter from James Peters to Paul Holt, dated April 10, 2001
2. Monochromatic site design for Land Bay 10 (this shows 100,000 s.f. of conceptual office space)
3. Colored site design for Land Bay 10 (this shows the proposed office and church layout)
4. Location identification shown on the approved Master Plan



5248 Olde Towne Road • Suite 1 • Williamsburg, Virginia 23188
(757) 253-0040 • Fax (757) 220-8994 • E-mail aes@aesva.com

April 10, 2001



Mr. Paul D. Holt, III
Senior Planner
James City County
Development Management
101-E Mounts Bay Road
Williamsburg, Virginia 23187-8784

**RE: Stonehouse Master Plan
Former JCC Case No. MP-1-99
AES Project No. 9028-6
Revision of Letter Dated March 28, 2001**

Dear Mr. Holt:

With this letter and the accompanying exhibits AES Consulting Engineers, on behalf of Stonehouse Development Company, LLC, respectfully requests Planning Staff and Development Review Committee consideration of a Master Plan modification to two areas of the Stonehouse, Phase 1, development. In particular, the subject areas are: Sections I-A, Land Bay 2 and Section I-C, Land Bay 7, as shown on the current Master Plan.

The current Master Plan shows an institutional use (I, church) for part of Section I-A, Land Bay 2. This is the same site area Westminster Presbyterian Church purchased for the relocation of their facilities.

Recently, the Church has been exploring the possibility of relocating to other sites. With concerns about visibility, and the need to feel more a part of the Stonehouse community, the church inquired about other possible sites within the Stonehouse Project.

Concurrently, Stonehouse Development Company has been planning an office complex in Section I-C, Land Bay 7 (see first "monochrome" exhibit). After some brief conversations, Stonehouse Development Company felt that a church could be compatible with the modest-scaled office complex on this site. Our second exhibit ("colored" plan) illustrates the church as a co-use on the site, with the church located to the southwest corner of Land Bay 7, adjacent to the intersection of Fieldstone Parkway and Mill Pond Run.

Mr. Paul D. Holt, III

April 10, 2001

Page 2

The second exhibit illustrates 41,500 square feet of office use and a two-story church use, containing 25,800 square feet. Also shown on the second exhibit is the parking demanded by the planned uses. (The church use would require 260 to 275 parking spaces. The office use requires parking at a ratio of 1 space per 250 square feet.)

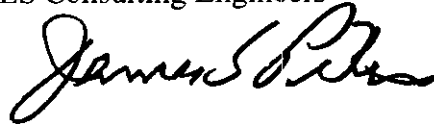
Stonehouse Development Company supports the efforts of the Church, feels that the addition of a "landmark" type building at this intersection will be a valuable addition to the community.

A favorable response to this request would mean an Institutional (I) use would be allowed in part of Section I-C, Land Bay 7, and Section I-A, Land Bay 2 would include area designations E and G allowing commercial and office uses. It is the further intent of this request that all the density criteria, and mixed-use ratios of the currently approved Stonehouse Master Plan dated February 19, 1999 remain in effect.

Thank you for your consideration of this request. Should you have any questions, please do not hesitate to call Marc Bennett or myself at our office.

Sincerely,

AES Consulting Engineers

A handwritten signature in black ink, appearing to read "James S. Peters". The signature is fluid and cursive, with a large, stylized "J" and "P".

James S. Peters
Senior Project Manager

S-37-01**Wellington Sections II and III**

Staff Report for the May 2, 2001 Development Review Committee Meeting

SUMMARY FACTS

Applicant: Mr. Howard Price

Land Owner: Wellington LLC

Proposed Use: 108-lot subdivision

Location: contiguous to Section 1 of Wellington

Tax Map/Parcel: portions of (13-4) (1-17) and (13-3) (1-12)

Primary Service Area: Inside

Parcel Size: 68.47 acres

Existing Zoning: R-1, Limited Residential District

Comprehensive Plan: Low-Density Residential


Proposed Access: off of Ashington Way, which is off of Rochambeau Drive. Future development of Wellington will connect with Mirror Lakes.

Reason for DRC Review: The subdivision has more than 50 lots.

Staff Contact: Jill E. Schmidle, Senior Planner. 253-6685.

STAFF RECOMMENDATION

Staff recommends the DRC recommend preliminary approval of this case, contingent on the attached agency comments.


Jill E. Schmidle

Attachments:

1. Location map
2. Additional agency comments

Additional Agency Comments
Case No. S-37-01, Wellington Sections II and III

Environmental:

1. Please reference attached memorandum, dated April 24, 2001.

JCSA:

1. Please reference attached memorandum, dated April 12, 2001.

Virginia Department of Transportation:

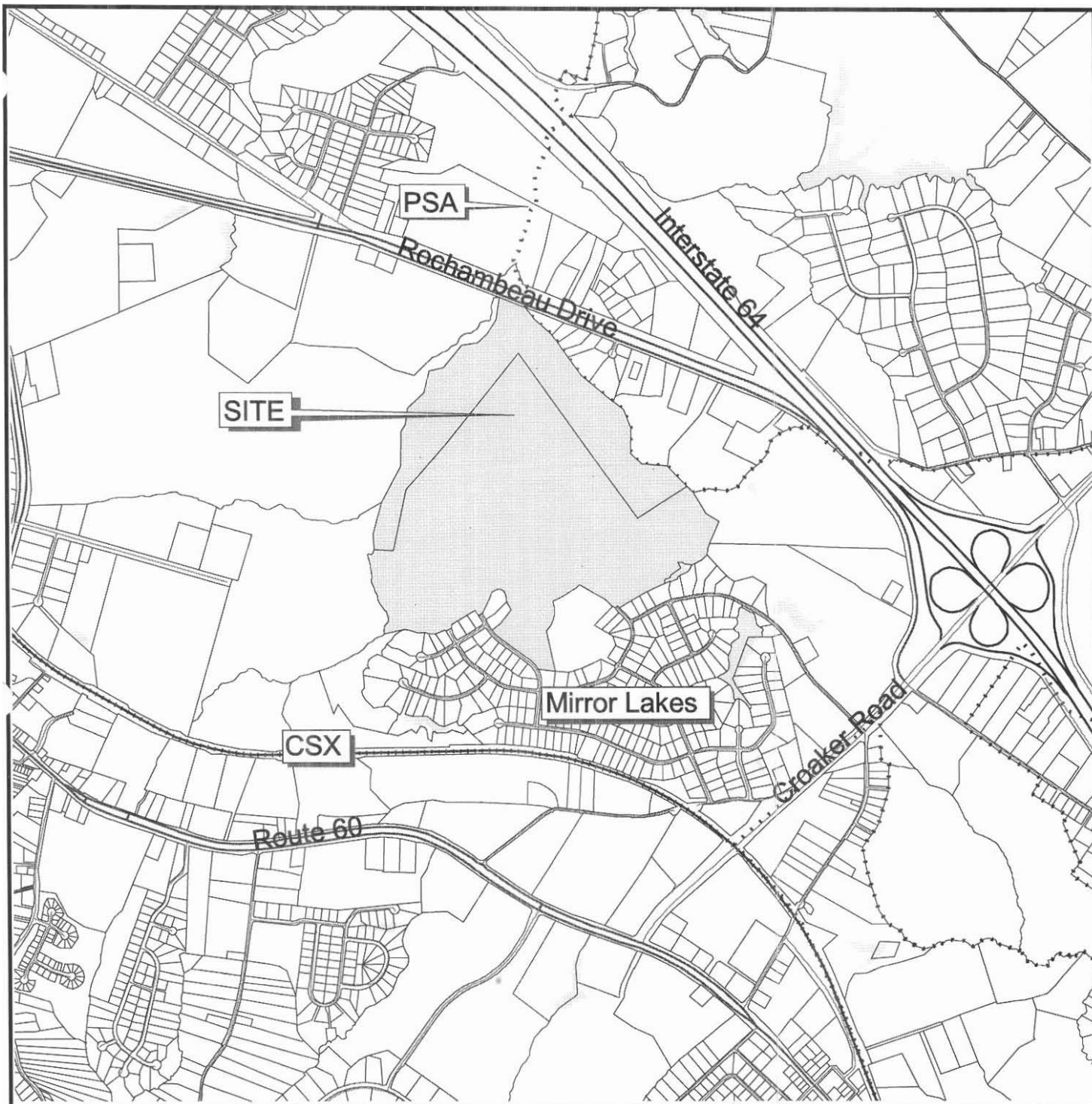
1. Comments forthcoming.

Planning:

1. Please provide street names for Roads F through K.
2. Please revise the setback lines on Lot 169 to show a 35' rear setback line.
3. Please switch the rear and side setback line for Lots 156 and 176 to reflect that the shorter side of a corner lot is the front.
4. Since Lot 170 is less than 43,560 square feet, the minimum width at the setback line shall be 100 feet. Please revise the location of the front setback line to the point the lot is 100' wide.
5. Please provide additional information regarding the reason for irregular setback lines on Lot 171 shown on Drawing 7.
6. In accordance with Section 24-98 of the Zoning Ordinance, please provide screening of stormwater management facilities.
7. In accordance with Section 19-55 of the Subdivision Ordinance, please place a note on the plans stating "street signs shall be of a design approved by the Subdivision Agent, but at a minimum, either the street sign or the alpha-numeric lettering shall be of a reflective material."
8. In accordance with Section 19-68, please provide evidence that a Homeowner's Association has been established for these sections.
9. As per Section 19-29 (I), please note that prior to recordation of these lots, data shall be submitted in accordance with the "GIS Data Submittal Requirements for Major Subdivisions" policy.

County Engineer:

1. Phase 1 – Conservation Easements were noted as incomplete.
2. Phases 2 and 3 – Include RPA buffer in conservation easement in the following locations: Drawing Nos. 2, 3, 5, 8, 10, 11 and 12.



2000 0 2000 4000 Feet

**Case No. S-37-01,
Wellington Sections II and III**



Landscape Planner:

1. Street tree locations should be adjusted to reflect the location of utility easements in conflicting areas. If necessary, the Landscape Preservation Easement can be wider than 5' to allow adjustments.

Real Estate Assessments:

1. This development is out of 2 parcels. Please provide the acreage this subdivision uses of each parcel and the remaining acreage of each. The two "out of" parcel id's are: (13-4)(1-17) - 191.5 acres and (13-3)(1-12) - 68.2 acres.



MEMORANDUM



Date: April 12, 2001

To: Jill E. Schmidle, Senior Planner

From: Shawn A. Gordon, P.E. - Project Engineer

Subject: S-037-01, Wellington Section II & III

We reviewed the plans for the above project you forwarded on March 29, 2001 and noted the following comments. We may have additional comments when a revised plan incorporating these comments is submitted.

1. Provide street names as applicable.
2. These plans will need to be submitted to the Virginia Department of Health for review and approval.
3. Provide ductile iron pipe in all fill areas for the sanitary sewer per JCSA standards.
4. Specify joint restraint for the water main through all fill material areas and 40-feet into the native material at each end.
5. There are numerous occurrences of a 5' Landscape Preservation Easement located within a proposed JCSA Utility Easement. Per JCSA standards no trees, shrubs, structures, fences or obstacles shall be placed within an easement which would render the easement inaccessible by equipment nor in a right of way within a minimum 5 feet distance of JCSA water or sewer utilities. Revise plans accordingly.
6. The proposed sanitary sewer connections into the existing sanitary sewer system for Section I of Wellington shall require testing of the existing main and proposed/existing laterals from manhole to manhole as applicable. The existing portion of the sanitary sewer system with the proposed lateral connections shall not be accepted by JCSA until all requirements for installation, testing, and "As-built" information has been found satisfactory.
7. The proposed water main connections into the existing water system for Section I of Wellington shall require testing of the existing main and residential service lines as applicable. The existing portion of the water system with the proposed connections shall not be accepted or meters set by JCSA until all requirements for installation, testing, and "As-built" information has been found satisfactory.

8. Provide appropriate joint restraint for the proposed water mains and appurtenances.
9. Show storm structures in profile view for all water main and sanitary sewer main crossings. In addition provide call outs for the minimum separation distances. The typical minimum vertical separation is 18-inches.
10. The stationing on the profile sheets does not correspond with the drawing scale for Sheets 13, 14, and 15 in Section II and Sheet 25 in Section III. Verify and revise plans accordingly.
11. The profile sheets show a tee connection symbol for caps with dead end blow-off assemblies at the end of existing and proposed water mains, revise symbol appropriately for clarification.
12. The proposed water main appears to conflict with the proposed stormwater drop inlets in numerous cases in the plan. A minimum separation of 5 feet should be maintained throughout the project. Revise plan accordingly to graphically represent this.

Sheet 7

1. The Existing 20' JCSA Utility Easement crossing Ashington Way near Station 31+40 and in the proposed right of way in front of Lot 167 and 168 should be abandoned upon recordation of the Ashington Way right of way.

Sheet 8

1. The proposed 10' JCSA Utility Easement in front of Lot 203 and Lot 204 should be extended to the common property line of Lot 203 and Lot 204.
2. The 20' Drainage Easement to be Dedicated to HOA as labeled on Lot 179 should be changed to a 20' JCSA Utility Easement. This easement should be continuous from the Road "K" right of way to the Road "I" right of way.

Sheet 9

1. The street light in front of Lots 166 and 167 is shown directly over the 4-inch lateral serving Lot 166. Revise accordingly.
2. The 4-inch lateral serving Lot 175 and lot 193 should be shown angled downstream at the main connection rather than upstream as currently shown on the plans.
3. The street light in front of Lots 178 and 179 is shown directly over the water service line serving these lots. Revise accordingly.

Sheet 10

1. Utilities Installation Notes - Verify the sheet reference number for Note #5 and Note #6.

Sheet 13

1. Provide an air release valve at the highpoint of the 12-inch water main, Station 40+50±.

Sheet 14

1. Show and label the proposed water main gate valve and valve box for the water main connection to the existing water main along Ashington Way.
2. Road "I", show and label the cap with dead end blow-off assembly on the 8-inch water main at Station 27+76±.
3. Road "J", show and label the proposed water main tee, gate valve and valve box for the water main connection along Road "I".
4. Road "I", provide an air release valve on the water main at the highpoint at Station 16+72± and Station 27+25±.
5. Road "K", provide an air release valve on the water main at the at Station 9+94±.
6. Road "I", verify the station for the tie into the existing water main along Ashington Way.

Sheet 18

1. The 30' easement shown between Lots 63 and Lot 64 proposes a dedication of this easement to the homeowner's association. On Sheet 20 this 30' easement has been proposed for dedication to JCSA. Verify and revise plans accordingly.
2. Revise the callout of the existing JCSA Utility Easement north-east of Lot 62 from 200' to 20'.

Sheet 20

1. Utilities Installation Notes - Verify the sheet reference number for Note #5 and Note #6.
2. Revise the slope of the 8-inch sanitary sewer main between MH #1-3-6 and MH #1-3-1 to 0.48%.

Sheet 21

1. Provide a sewer connection for Lot 57.
2. During construction of Manhole #1-3-7, the existing trunk line should have watertight plugs installed. The manhole shall be vacuum tested and found satisfactory by JCSA prior to acceptance. Add a note to the plan stating "Contractor to notify the James City Service Authority 48 hours prior to the construction/installation of manhole."
3. Designate the invert in from MH #1-3-15 and MH #1-3-20 for MH #1-3-14.
4. Revise the callout for MH #3-17 to MH #1-3-17 to be consistent with the plan view.

5. Road "C" - Show the existing tee connection near Station 22+30. At station 23+00, the profile shows a tee symbol while the plan view shows a gate valve, which is correct? Revise plan accordingly.

Sheet 22

1. The proposed stormwater management pond located directly behind Lot 62 is not acceptable within the existing JCSA Utility Easement. The stormwater management pond will create a maintenance issue as well as source for inflow and infiltration into the existing sanitary sewer system. The sanitary sewer system could be relocated if that would be a viable solution. Revise plan accordingly.

Sheet 24

1. The plan view does not have a Road "B" and Road "C". Should these road names be Penzance Place and Guilford Lane. Revise profile accordingly.
2. Road "B" - Provide an air release valve on the 8-inch water main at the high point at Station 21+50±, Station 26+95±, and 32+27±.
3. Road "C" - Provide an air release valve on the 8-inch water main at the high point at Station 26+48±.
4. Road "C" - Show the correct symbol for the 8-inch gate valve and valve box at Station 29+84.
5. Road "C" - Is there an existing air release valve on the 8-inch water main near Station 22+50? If not an air release valve should be provided.
6. Road "B" - The 8-inch sanitary sewer stub shown from MH #1-3-18 should be 5' in length per JCSA standards, label appropriately. Revise callout for MH #3-18 as shown on the profile to MH #1-3-18 to correspond with the plan view.

Sheet 25

1. Road "G" - What is the portion of water main shown prior to the 8"x4" tee at Station 10+21?
2. Road "H" - What is the portion of water main shown prior to the 8"x4" tee at Station 10+26?
3. Road "H" - Revise the invert out for MH #1-3-16 to 75.05.
4. EX MH #1-22 - The plan view does not show a 10" line from MH #1-15 connecting to this manhole. The invert out does not correspond with the plan view. Revise plan accordingly.

Please call me at 253-6679 if you have any questions or require any additional information.

ENVIRONMENTAL DIVISION REVIEW COMMENTS
Wellington Section 2 & 3
S-37-01
April 24, 2001 MDW/DEC



General:

1. A Land Disturbing Permit and Siltation Agreement, with surety, are required for this project.
2. A Subdivision Agreement, with surety, shall be executed with the County prior to recording of lots.
3. Water and sewer inspection fees, as applicable, must be paid in full prior to issuance of a Land Disturbing Permit.
4. A Standard Inspection / Maintenance agreement is required to be executed with the County for any Stormwater Management/BMP facility for this project. Recommend that the agreement cover all BMP facilities for the Wellington project.
5. Record Drawing and Construction Certification. The stormwater management/BMP facility as proposed for this project will require submission, review and approval of a record drawing (as-built) and construction certification prior to release of the posted bond/surety. Provide notes on the plan accordingly to ensure this activity is adequately coordinated and performed during and following construction in accordance with current County guidelines.
6. Wetlands. Provide evidence that any necessary wetlands permits have been obtained, have not expired or are not necessary for this project. Refer to Chapter 23 Chesapeake Bay Preservation ordinance, Section 23-9(b)(8).
7. VPDES. Land disturbance for the project exceeds five (5) acres. Therefore, it is the owners responsibility to register for a General Virginia Pollutant Discharge Elimination System (VPDES) Permit for Discharges of Stormwater from Construction Activities, in accordance with current requirements of the Virginia Department of Environmental Quality and 9 VAC 25-180-10 et seq. Contact the Tidewater Regional Office of the DEQ at (757) 518-2000 or the Central Office at (804) 698-4000 for further information.
8. A streetlight rental fee for 18 lights must be paid prior to the recordation of the subdivision plat.
9. Modify the streetlight plan as follows:
 - A. Move streetlight on lot 68 to between lots 64 and 65.
 - B. Provide a light at the end of Penzance Place at approximately station 35+60 at the future intersection with the cul-de-sac road. Provide it in the radius of the intersection for the cul-de-sac.
10. Provide more existing topographic labels on the plan, especially near proposed roads.
11. Show the limits of the existing lake on the vicinity map for clarification purposes.

Grading Plan

12. Drainage Problem. Between lots 166 and 167 is a depression that will be created when the road is filled and the existing pipe is removed (see note 36). Provide fill in this area or provide an opening in the back of the DI to prevent ponding in this area. The same comment applies to lot 187.

Chesapeake Bay Preservation:

13. Environmental Inventory. Please ensure that each page of the environmental inventory shows the soils information labels. Some of the soil types are outlined but have no label. Also, label the limits of the wetlands and the RPA.

14. Steep Slope Areas. Section 23-5 of the Chesapeake Bay Preservation Ordinance does not allow land disturbing activities to be performed on slopes of 25 percent or greater. Steep slope areas are impacted for BMP, road, and storm drain construction. Therefore, submit a written request to the Director of the Environmental Division for an exception to disturb these slopes. State what special measures, sodding etc., will be undertaken to restabilize these slopes.
15. RPA Encroachment. There are encroachments into the RPA for installation of the drainage system, sewer system, and BMP #2. Therefore, submit a written request to the Director of the Environmental Division for an exception to allow for all encroachments and present any proposed mitigation or restoration plan.
16. RPA Signs. Include provisions on the plan for installation of signs identifying the landward limit of the RPA. Refer to Section 23-9(c) of the Chapter 23 Chesapeake Bay Preservation ordinance.
17. Buildable Area. Provide the lot lines on the environmental inventory sheet so that it can be determined if there is enough buildable area exclusive of 25% slopes for a lot to be created. There are numerous steep slope areas that impact proposed lots but without the 25% slopes delineated, it cannot be determined if there is adequate buildable area for each lot. This will also help to determine if there is adequate access to each lot given the grading required for the roads.
18. Buildable Area. Revise the building envelope on lot 194 to be exclusive of the drainage easement area.

Erosion & Sediment Control Plan:

19. Erosion Control Plan Concept. This plan proposes a phased approach with a rough grading plan and a second phase for final construction. The Phase 1 plan is generally acceptable but the final or phase 2 plan is inadequate. The second phase relies only on inlet protection with no sediment trapping devices. The plan needs to provide traps at the storm drain outlets as the site has numerous steep slopes and it is surrounded by wetlands and RPAs that need to be protected. This is how the Section 1 was controlled. Given the complexity of the erosion control plan and a relatively new proposal for dealing with e&s issues, a meeting should be held to discuss the plan.
20. Rock Construction Entrance. Provide a rock construction entrance at all access points to paved roadways in accordance with VESCH Minimum Standard 3.02.
21. Temporary Sediment Traps. Temporary sediment traps shall be designed and constructed based upon the total drainage area to be served by the facility. Based on VESCH, Minimum Standard 3.13, the minimum storage capacity of a sediment trap is based on 134 cubic yards per acre of drainage area and the trap shall control drainage from areas 3 acres or less. Submit drainage area maps and computations to ensure traps are in compliance with Minimum Standard 3.13 of the VESCH.
22. Variance Request. Submit a variance request letter for each of the erosion control measures that are modified for this project such as the "super check dams".
23. E&SC Narrative. Provide a more complete project narrative by filling in the missing detail from the Project Description.
24. Outlet Protection. Provide riprap outlet protection for all pipe outfalls and storm drains. Specify riprap class and thickness, pad dimensions and amount of stone to be used in accordance with requirements of the VESCH, Minimum Standards 3.18 and 3.19.
25. Utility conflicts. The storm drain profile for Road I shows a conflict between the storm drain and water lines at station 13+50. Please check to ensure no conflicts with other site utility networks (water, sewer, electric, gas, etc.) are present. Also provide adequate separation between storm drains and water and sanitary sewer lines in accordance with JCSA standards.

26. Super Check Dam. Provide the drainage areas to each Super Check Dam. Provide the weir length for each Super Check Dam. Provide the width of the Class 1 riprap for each Super Check Dam. This information could be placed into a table for clarity with each Super Check Dam having a unique identifier.
27. Temporary Slope Drain. Provide outlet protection for each Temporary Slope Drain (TSD) in accordance with requirements of the VESCH, Minimum Standard 3.18. Provide the drainage area to each TSD and the size of pipe required for each TSD in accordance with the requirements of the VESCH, Minimum Standard 3.15. Provide Culvert Inlet Protection in accordance with the requirements of the VESCH, Minimum Standard 3.08 for each TSD. This information could be placed into a table for clarity with each Temporary Slope Drain having a unique identifier.
28. Silt Fence. Provide silt fencing in all drainage easements parallel to the slope.
29. Silt Fence. Provide silt fencing at the outside toe of slope on the BMP facilities.
30. Temporary Stockpile Areas. Show any temporary soil stockpile, staging and equipment storage areas (with required erosion and sediment controls) or indicate on the plans that none are anticipated for the project site.
31. Offsite Land Disturbing Areas. Identify any offsite land disturbing areas including borrow, waste, or disposal sites (with required erosion and sediment controls) or indicate on the plans that none are anticipated for this project.
32. Sequence of Construction. This will likely require revision once the final erosion control strategy is developed.
33. Riprap. Class I riprap is recommended instead of Class AI riprap as shown on the plans.
34. Sequence Problem. The storm drain pipe for Road F conflicts with the super check dam for this road. Please address how the pipe will be installed through the check dam.

Stormwater Management / Drainage

35. Stormwater Conveyance Design. Provide channel dimensions (typical section) and lining treatment for all channels that help to prevent lot to lot drainage. Provide calculations to support the design of all these drainage conveyances.
36. Drainage Easements. Label all drainage easements on both plats. Revise the drainage easement label on lot 188b to say variable width drainage easement instead of 20 ft drainage easement.
37. Temporary Drainage. Label the grayed out pipe and riprap at station 31+50 on Ashington way as temporary and to be removed.
38. Lot-to-Lot Drainage. Address or provide a plan to prevent conveyance of increased or concentrated drainage due to lot development between lots 165 and 166.
39. BMP Configuration. Stormwater management/BMP facilities (embankments, structures or design high water pools) are not to be located within individual single-family attached lots. This comment applies to both proposed BMP facilities. The lot lines need to be adjusted or the BMPs need to be relocated to prevent this from happening. Lots 199 and 200 that back up to BMP#1 have been done correctly. BMP#3 infringes on lots 61 and 62. BMP#2 severely impacts lots 203 through 205 as well as encroaches into the RPA. This BMP needs to be relocated out of the RPA onto lot 204 with lots 204 and 205 deleted as building lots. Lot 205 will probably not have adequate buildable area once the buffers are applied as required by the next comment.
40. Stormwater Management Buffers. A pond buffer should be provided that extends 25 feet outward (landward) from the design high water surface elevation of the existing wet pond and the

proposed dry basins. The following general criteria is recommended: at least 50 feet of setback is recommended between the design high water and a building, dwelling unit or structure; facilities (embankment, control structures and design high water) should not be located within buffers (setback or yard line) unless previous approval is obtained.

41. The following comments pertain to the storm drainage design:
- A. For system 2-2, the drainage area for SS#2-2-7 is shown as 0.55 on the plans and 0.34 in the calculations. As the pipe from #2-2-4 to #2-2-3 is near capacity, this could impact the adequacy of the system. Please correct and revise as necessary. The inlet calculations agree with the pipe calculations.
 - B. For system 2-4, the drainage areas are reversed for s-4-2 and 2-4-1B. Please correct and revise as necessary. The inlet calculations match the plan.
 - C. The plan needs to show the 3.5 acre drainage area to structure 3-6-4.
- D. The following comments pertain to BMP #2.
- A. As stated previously, the location needs to be revised to remove encroachment into the RPA.
 - B. BMP Pretreatment. Address BMP pretreatment requirements by use of a sediment forebay or other equivalent measure. Sediment forebays are generally sized to contain 0.1 inch per impervious area and can be counted toward the total water quality volume requirement.
 - C. Flotation Computations. Provide flotation (buoyancy) computations for the riser and base structure. Use of a minimum factor of safety is 1.25 is recommended.
 - D. Anti-Seep Collars. Provide anti-seep collars for the pond barrel with appropriate details. Use of concrete collars is recommended. Alternate seepage control methods can be used if detailed on the plan.
 - E. Low Flow Orifice Protection. Provide a vertical perforated tee-section in the horizontal pipe to provide additional protection against clogging. This needs to be surrounded by gravel to help support and protect it.
 - F. Water Quality. There are no computations to demonstrate that the 1" storm runoff from impervious surfaces is detained and drawn down over 24 hours. This is required if the facility is to be counted as a 4 point BMP. A 2-stage release structure may be required to control both the water quality and channel protection volumes.
 - G. Emergency Spillway. Provide more information on the construction of the emergency spillway. Provide a typical section and also provide more information on the taper of the spillway as it decreases width from the 15' wide channel at the control section.
43. The following comments pertain to BMP #3.
- A. BMP Pretreatment. Address BMP pretreatment requirements by use of a sediment forebay or other equivalent measure. Sediment forebays are generally sized to contain 0.1 inch per impervious area and can be counted toward the total water quality volume requirement.
 - B. Flotation Computations. Provide flotation (buoyancy) computations for the riser and base structure. Use of a minimum factor of safety is 1.25 is recommended.
 - C. Anti-Seep Collars. Provide anti-seep collars for the pond barrel with appropriate details. Use of concrete collars is recommended. Alternate seepage control methods can be used if detailed on the plan.
 - D. Low Flow Orifice Protection. Provide a vertical perforated tee-section in the horizontal pipe to provide additional protection against clogging. This needs to be surrounded by gravel to help support and protect it.
 - E. Water Quality. There are no computations to demonstrate that the 1" storm runoff from impervious surfaces is detained and drawn down over 24 hours. This is required if the facility is to be counted as a 4 point BMP. A 2-stage release structure may be required to control both the water quality and channel protection volumes.
 - F. Emergency Spillway. Provide more information on the construction of the emergency

- spillway. Provide a typical section and also provide more information on the taper of the spillway as it decreases width from the 15' wide channel at the control section.
 - G. Stream Channel Protection. Calculation of the drawdown for the 1-year storm reveals that the release rate is too high to control the flow for 24 hours. Please revise.
 - H. Utility Conflict. The existing sewer for Section 1 goes through the bottom of this basin. Please ensure that measures are taken to protect the existing sewer. Show the sewer on the dam detail.
44. The following comments pertain to the existing wet pond BMP.
- A. Drainage Map. Provide a drainage map showing the existing and proposed drainage areas to the pond.
 - B. Stage-Storage Data. Provide stage (elevation)-storage data, either in tabular or curve format for the facility.
 - C. BMP Pretreatment. Address BMP pretreatment requirements by use of a sediment forebay or other equivalent measure. Sediment forebays are generally sized to contain 0.1 inch per impervious area and can be counted toward the total water quality volume requirement. These need to be located at the end of each pipe system that enters the pond.
 - D. Outflow Data. Provide stage (elevation)-discharge data in either tabular or curve format. The size of the pipe that empties into the existing concrete flume is not specified.
 - E. Geotechnical. A geotechnical/engineering report needs to be provided that investigates the condition of the existing pond embankment, outlet structure, etc. It will be the primary BMP for the site and needs to be in good condition as the HOA for the project will be assuming long-term maintenance for the facility. This report needs to be sealed by a professional engineer. Recommendations need to include possible replacement of existing pipe and concrete spillway with a more typical riser/barrel configuration, replacing existing pipe with a new concrete pipe, trash protection for the existing pipe opening, requirement for a drain to dewater the pond, etc.
 - F. Pond WSEL's. Show the 100-year design water surface elevations on the pond plan.
 - G. Provide information to document the size of the normal pool for water quality purposes.
45. Channel Adequacy. SS#3-3-1, 3-2-1, and 2-1-1 discharge into existing natural drainage channels in an uncontrolled manner (ie. without SWM/BMP control). Submit adequacy analyses for these three receiving natural drainage facilities in accordance with VESCH, MS-19 procedure to verify that the natural channels are adequate for velocity and capacity using the 2-year design storm event. Evaluate natural channels based on permissible velocities using existing soil or existing cover conditions.
46. Maintenance Easement. Provide a maintenance and access easement around each BMP facility extending from a public or private road. The easement should extend to and around the facility and encompass the embankment, graded sideslopes, emergency spillway, forebay, benches, riser and outlet structures and extend sufficiently outward (25 ft. recommended) from the 100-year design high water elevation.
- A. For BMP#3, provide an easement between lots 61 and 62.
 - B. For BMP#1, provide an easement between lots 199 and 200.
 - C. For BMP#2, the access will depend on the final location of the BMP.
47. BMP Service Roads. Provide a service road to the BMP at least 12 feet wide and at a grade of no more than approximately 15 percent from a public or private road. The service road should be in easement to ensure future access and situated in a location that minimizes impacts to residents. Road stabilization should consist of all-weather type material which is resistant to erosion and can withstand loads associated with maintenance vehicles and equipment. Since access is generally occasional, it is our preference to utilize alternative type all-weather surface material aggregate, rather than asphalt. Alternative surfacing should promote vegetative growth and minimize impervious area but yet provides durability. Alternatives include compacted aggregate, high density polyethylene grid pavers or articulated cellular concrete blocks.

48. Pond Safety. Address safety and aquatic pond bench requirements for wet ponds 4 ft. or greater in depth. A safety bench extending 15 ft. outward from the normal pool is normally required. An aquatic bench extending up to 15 ft. inward from the normal shoreline with a maximum depth of 12 inches below the normal pool is also required. State what provisions will be undertaken to address the safety concerns associated with this wet pond. Safety bench requirements may be waived if pond side slopes are 4H:1V or flatter.
49. Meeting. Due to the critical nature of the comments especially those related to the erosion control plan, it is highly suggested that further discussions or a meeting be held between Environmental Division staff and the plan preparer prior to the next submission.
50. Open Space Credit. Natural Open Space areas as claimed in the standard BMP worksheet shall be placed in undisturbed common areas or conservation easements. Any areas located within private lots and within maintained landscaping and active recreational areas are not eligible for open space determinations (credit). Open space areas on private property are not eligible for credit.

DEVELOPMENT REVIEW COMMITTEE ACTION REPORT: Meeting of May 2, 2001

Case No. SP-28-01 St. Bede Catholic Church

Mr. Doug White, on behalf of Landmark Design Group has requested that the DRC review the proposed plans. The property is located at 3686 Ironbound Road and can be further identified as Parcel No. (1-18) on the JCC Real Estate Tax Map No. (38-3). This case is under Planning Commission review due to the fact it proposes a group of buildings with a total floor area that exceeds 30,000 square feet.

Action: The DRC recommended that preliminary approval be granted subject to agency review comments.

Case No. SP-156-00 Monticello at Powhatan Apartments, Phase II

The applicant, Mr. Brad Waitzer has requested that the DRC review the proposed plans. The property is located at Powhatan Secondary off News Road and can be further identified as Parcel No. (1-33) on the JCC Real Estate Tax Map No. (38-3). This case is under Planning Commission review due to the fact it proposes a group of buildings with a total floor area that exceeds 30,000 square feet and a request was made previously for a waiver of the County's Sidewalk Ordinance. During the March 27, 2001 DRC Meeting, the Committee approved the plan and directed the applicant and staff to come to a compromise through a cash contribution to the County's sidewalk fund. The applicant withdrew his request for a waiver to the sidewalk ordinance and the development proposal needed no further action. The DRC was made aware of the withdrawal in an informational briefing.

Action: No action was necessary for this case.

Case No. C-047-01 Stonehouse – Land Bay 7

Mr. James Peters, on behalf of AES Consulting Engineers has requested that the DRC review this case. Stonehouse would like to place a Church in Land Bay 7. Originally, the Church was to locate on Land Bay 2 – a Land Bay currently designated for Institutional (e.g., church) uses. However, Stonehouse would now like to move the church to Land Bay 7 – a land bay currently designated for Office Space. The Master Plan anticipated that 100,000 square feet of office space would occupy the 16.2 acres. However, should the church be approved, the remaining portion of the land bay would only support 41,500 square feet of office. To maintain the total square footage of office space, Stonehouse proposes the remaining office space be transferred to the previously designated Church parcel (i.e., Land Bay 2). In essence, the proposed uses would “swap” locations.

Action: The DRC approved the request by Stonehouse.

S-037-01 Wellington, Section 2 & 3

Mr. Howard Price, on behalf of AES Consulting Engineers has requested that the DRC review the proposed plans. The properties are located contiguous to Section of Wellington and can be further identified as Parcel No. (1-17) on the JCC Real Estate Tax Map No. (13-4) and Parcel No. (1-12) on the JCC Real Estate Tax Map No. (13-3). This case comes to the Development Review Committee because the proposed subdivision exceeds 50 lots.

Action: The DRC voted to recommend preliminary approval contingent upon the agencies' comments.

**JAMES CITY COUNTY
DEVELOPMENT REVIEW COMMITTEE REPORT**

FROM: 3/29/2001

THROUGH: 5/4/2001

I. SITE PLANS

A. PENDING PRELIMINARY APPROVAL

SP-132-98	Exxon at Centerville
SP-144-98	Williamsburg Pottery Warehouse/Retail Building
SP-085-99	Villages at Westminster Recreation Center SP Amend
SP-116-99	New Town, Wmbg./JCC Courthouse SP Amendment
SP-042-00	Ironbound Road Sidewalk
SP-082-00	Stonehouse - LaGrange Parkway Extension
SP-094-00	Powhatan Secondary - Road Extension & Dam
SP-097-00	Monticello at Powhatan Apartments Lighting SP Am.
SP-102-00	Williamsburg Crossing Parking Lot Add. SP Amend.
SP-123-00	Powhatan Office Park SP Amendment (lighting)
SP-147-00	Kingsmill on the James- Rivers Edge, Phase IV
SP-150-00	Williamsburg Business Center, Phase III
SP-014-01	Mill Pond Park
SP-017-01	Morgan Dental Office
SP-020-01	Stonehouse, Orchard Hill Park
SP-021-01	Yesterday's Antiques
SP-022-01	Stonehouse Community Guard House
SP-024-01	Greenmount-Walmart Bulk Storage, 2nd Building
SP-026-01	Williamsburg Montessori School
SP-027-01	Kingmill Tennis Center Renovation
SP-028-01	St. Bede Catholic Church
SP-029-01	Ironbound Village
SP-031-01	Peleg's Point water main extension
SP-032-01	Powhatan Village
SP-033-01	Triton PCS
SP-034-01	Quarterland Commons Phase 9, Amend. to SP-136-99
SP-035-01	Kingsmill Resort & Conference Center - Fountain
SP-037-01	Busch Gardens, Amend. to SP-44-00
SP-038-01	JCC / Grove Sidewalk
SP-040-01	Aggregate Storage Shed - Massie Equipment
SP-041-01	Ruby Tuesday at Monticello Marketplace
SP-042-01	Williamsburg Plantation, Section 6: Units 253-303
SP-043-01	Midlands Road, Lot 2 SP Amendment
SP-044-01	Brick Bat Road Water Extension
SP-045-01	JCSA, Rochambeau Drive Water Main Ext.

SP-046-01	Stonehouse Reception Center Expansion
SP-047-01	Damuth Trane-Concrete Pads for Chiller Replacement
SP-048-01	Marketplace Shoppes Proposed ROW Planting
SP-049-01	Williamsburg Indoor Sports Complex Amd to SP-137-99
SP-050-01	Riverside Adult Day Care SP Amendment

B. PENDING FINAL APPROVAL		EXPIRE DATE
SP-080-00	Wellington Cross Country Sewer Main	7/26/2001
SP-103-00	Williamsburg Plantation Section 5, Units 97-100, 130-	10/2/2001
SP-110-00	Mt. Pleasant Baptist Church	10/9/2001
SP-125-00	JCC District Park - Hotwater Coles Tract	11/6/2001
SP-127-00	Masjid Abdul Aziz - Parking Amendment	11/18/2001
SP-132-00	Courthouse Green - SP Amendment	12/6/2001
SP-136-00	Greensprings Grocery	4/12/2002
SP-143-00	JCSA Operations Center Site Expansion	1/12/2002
SP-145-00	Williamsburg Pottery Factory Garage & Sheds Add	1/8/2002
SP-149-00	Little Creek Reservoir Water Access Park	2/5/2002
SP-151-00	Go-Karts Plus, Kiddie Karts SP Amendment	1/10/2002
SP-154-00	Wellsprings United Methodist Church	2/19/2002
SP-156-00	Monticello at Powhatan Apartments, Phase II	3/5/2002
SP-002-01	JCC HSC Parking Area Expansion	3/5/2002
SP-005-01	Skiffes Creek Village Parcel B	3/5/2002
SP-010-01	Anheuser-Busch Employee Cafeteria/Training Fac.	2/16/2002
SP-013-01	Kingsmill - Woods Golf Maint. Bldg. Wash Down Area	4/3/2002
SP-015-01	Crown Landing Apartments	3/30/2002
SP-018-01	Stonehouse Elementary School SP Amendment (Shed)	4/16/2002

C. FINAL APPROVAL		DATE
SP-108-00	Stonehouse - John Deere Gator Demonstration Track	4/18/2001
SP-118-00	King of Glory Lutheran Church/Comm Ctr/Edu Expans.	4/5/2001
SP-120-00	JCSA, Lift Station 2-7, Rehab., Kingsmill	4/5/2001
SP-135-00	Marketplace Shoppes - Phase II/Sun Trust Bank	4/9/2001
SP-001-01	Stonehouse Nature Trail	4/27/2001
SP-009-01	Busch Corp. - Printpak, Pallet Washer Bldg. Add'n	4/21/2001
SP-023-01	Williamsburg Christian Retreat/Temp Tent Structure	4/2/2001
SP-030-01	McDonald's Restaurant Awning Addition	4/19/2001
SP-036-01	Windy Hill Maintenance Shop, Amend. to SP-37-72	4/25/2001
SP-039-01	BP-Solar Panel Testing Facility SP Amendment	4/25/2001

II. SUBDIVISION PLANS

A. PENDING PRELIMINARY APPROVAL

S-062-98	Ball Metal Conservation Easement
S-013-99	JCSA Mission Bank ROW Acquisition
S-074-99	Longhill Station, Section 2B
S-086-99	Peleg's Point, Section 5
S-110-99	George White & City of Newport News BLA
S-006-00	Ewell Station, Lots 1, 4 & 5
S-070-00	The Villages at Westminster Phase IV, Section II
S-074-00	Stonehouse, Bent Tree, Sect. 5B, Ph. 2
S-079-00	Spencer/Reed BLA - lot 2 & 3
S-086-00	Ford's Colony Section 30 Lots 1-68
S-091-00	Greensprings West, Plat of Subdv Parcel A&B
S-093-00	Monticello Woods (formerly Hiden Estates Phase I)
S-103-00	Powhatan Village - Powhatan Secondary
S-009-01	Scott Trust Subdivision
S-017-01	BLE Lot 8 Chanco Woods
S-019-01	Donald L. Hazelwood Parcel A2
S-021-01	Charles E. & Marsha Smith
S-024-01	Stonehouse, Bent Tree, Phase 1 Amended Plans
S-025-01	Longhill Station Section 3 - Plat
S-031-01	Subdivision of Part of Prop of Jamestown, LLC
S-032-01	Subdivision and BLE Plat of New Town AssociatesLLC
S-036-01	Ironbound Village
S-037-01	Wellington Section II & III Construction Plans
S-038-01	Walmart Natural Open Space Easement Plat
S-039-01	Waterford at Powhatan Secondary, Ph.16
S-040-01	Waterford at Powhatan Secondary, Ph. 17
S-045-01	Waterford at Powhatan Secondary, Ph. 18
S-047-01	The Retreat Phase 1, Section 2
S-048-01	Waterford at Powhatan Secondary Phase 30
S-050-01	Powhatan Secondary ROW Plat

B. PENDING FINAL APPROVAL

EXPIRE DATE

S-039-99	Harwood - Pine Grove	6/23/2001
S-034-00	The Pointe at Jamestown, Phase 2	6/5/2001
S-035-00	Mulberry Place	7/5/2001
S-036-00	New Town - Casey Sub. & BLE - Windsor Meade	9/27/2001
S-040-00	Westmoreland Sections 3 & 4	7/5/2001
S-041-00	Powhatan Secondary, Phase 6B	7/27/2001
S-044-00	Ford's Colony, Section 31, Lots 82-142	7/10/2001
S-045-00	Scott's Pond, Section 2	8/7/2001

S-047-00	Hankins Industrial Park Road Extension	8/11/2001
S-050-00	Indigo Heights	4/4/2002
S-058-00	Powhatan Secondary, Phase 7-A	10/2/2001
S-071-00	Ida C Sheldon Estate	2/9/2002
S-082-00	Lake Powell Forest, Phase III - plat	11/28/2001
S-084-00	Longhill Gate Section 1 BLA	3/6/2002
S-006-01	Property of Courthouse Green of Williamsburg, L.L.	3/5/2002
S-008-01	Greensprings Plantation, Phs II Lots 45 & 46	2/2/2002
S-014-01	Michelle Radcliffe-Boundary Line Adjustment	1/31/2002
S-018-01	BLA Lots 8,9,10,11 and 11A The Foxes	2/16/2002
S-034-01	Irene Lee Vacation of Property Line	4/20/2002

C. FINAL APPROVAL		DATE
S-078-00	Busch Corp. Center Parcel C, Sub. of parcel 1,9,14,	4/10/2001
S-005-01	Wright Family Subdivision	4/24/2001
S-026-01	Busch Corp. Center parcels 1, 9, 10, 14, 60&BasinC	4/16/2001
S-033-01	JCSA/ E.S.H. - Water Tank Lot	4/20/2001
S-035-01	C & N Dining, LLC (Ewell Station) Amend to S-37-00	4/3/2001
S-041-01	Waterford at Powhatan Secondary, Ph. 27	4/30/2001
S-042-01	Waterford at Powhatan Secondary, Ph. 31	4/30/2001
S-043-01	Greenmount Associates, ROW Acquisition	4/3/2001
S-044-01	Greenmount Associates/JCC - ROW Acquisition	4/3/2001
S-046-01	Landfall at Jamestown, Lot 36, BLA	4/20/2001
S-049-01	Powhatan Secondary, Bulk Land Plat, Phase 1	4/20/2001

D. EXPIRED		
S-023-97	Fenwick Hills, Phase I	
S-077-97	Landfall at Jamestown, Phase 5	
S-078-99	Powhatan Secondary Phase 6-A	
S-079-99	Wellington Section 1	
S-081-99	Stonehouse, Bent Tree, Sect. 5B, Ph. 3 Dev Plans	
S-103-99	Greensprings West, Phase 3	
S-127-99	Wexford Hills, Phases 2 & 3	



CONCEPT PLAN
SECTION I-C

FIELDSTONE RAILWAY

MILL POND RUN

Office Court A
41,500 SF

Office Court B
44,000 SF

AGENDA

DEVELOPMENT REVIEW COMMITTEE

May 2, 2001

4:00 p.m.

**JAMES CITY COUNTY GOVERNMENT COMPLEX
Board Room, Building C**

1. Roll Call
2. Minutes - Meeting of March 28, 2001
3. Cases
 - A. SP-28-01 St. Bede Catholic Church
 - B. SP-156-00 Monticello at Powhatan Apartments
 - C. C-047-01 Stonehouse – Land Bay 7
 - D. S-037-01 Wellington, Section 2 & 3
4. Adjournment