



CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

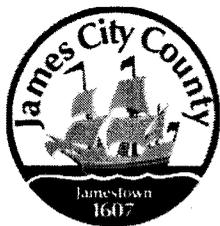
BMP NUMBER: 99125

DATE VERIFIED: October 10, 2012

QUALITY ASSURANCE TECHNICIAN: Leah Hardenbergh

Leah Hardenbergh

LOCATION: WILLIAMSBURG, VIRGINIA



Stormwater Division

MEMORANDUM

DATE: March 12, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: 99125

PIN:

Subdivision, Tract, Business or Owner

Name (if known):

Stonehouse

Property Description:

General File

Site Address:

(For internal use only)

Box 20

Drawer: 8

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

Contents for Stormwater Management Facilities As-built Files

Each File is to contain:

- 1. Maintenance Agreement
- 2. Construction certification
- 3. As-Built plan
- 4. Design Calculations
- 6. Correspondence
- 7. Inspection records
- 8. Miscellaneous

**James City County, Virginia
Environmental Division**

**Stormwater Management/BMP Facilities
Record Drawing/Construction Certification
Review Tracking Form**

County Plan No.: S-30-97
 Project Name: Stonehouse Sec 4A Leatherleaf
 Stormwater Management Facility: Basin A near (west) 2932 Leatherleaf
 Phase: I II III

Information Received. Date: 11-16-00 from m/d/1
 Administrative Check.
 Record Drawing Date: 11/16/00 LANOMARK
 Construction Certification Date: 11/15/00 LANOMARK
 RD/CC Standard Forms N/A (Required after Feb 1st 2001)
 Insp/Maint Agreement Info: # 970012857 Aug 8 1997
 Other: _____

Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review file.
 Yes No Note/Sheet: Sheet 12 note 18

Assign County BMP ID Code Code: WC 037
 Log into Division's "As-Built" Tracking Log
 Add Location to GIS Database Map. Obtain GIS site information (GPIN, Owner, Site Area, Address, etc.)
 Preliminary Log into BMP Database (BMP ID #, Site Plan #, GPIN, Project Name)
 Active Project File Review (correspondence, H&H, etc.).
 Initial As-Built File setup.
 Inspector Review.
 Pre-Inspection Drawing Review (Quick look)
 Final Inspection Date: 8/27/01
 Record Drawing Review Date: 9/07/01
 Construction Certification Review Date: 9/07/01

Actions:
 No comments.
 Comments. Letter Forwarded. Date: 10/10/01
 Record Drawing (RD)
 Construction Certification (CC)
 Construction-Related (CR)
 Site Issues (SI)
 Other : _____

Second Submission: _____
 Third Submission: _____

Acceptable for stormwater management facility purposes (RD/CC/CR/Other). Proceed with bond release.
 Notify Darryl & Joan of acceptability using email (preferred) or verbal.
 Clean active file of all stormwater management related material and finish/establish "As-Built" file.
 Add to County BMP Inventory/Inspection schedule (Phase I, II or III).
 Copy Final Inspection Report into County BMP Inspection Program file.
 Add to JCC Hydrology & Hydraulic database (optional).

BMP Certification Information Acceptable

Plan Reviewer: _____ Date: _____

Larry S. Barry, P.E., President
Norman H. Mason, L.S., Vice Pres.
Vaughn B. Rinner, C.L.A.
Kenneth A. Dierks
Robert P. Kerr, R.E.P., P.W.S.

LANDMARK DESIGN GROUP

Clayton E. Massey, P.E.
Charles R. Orsborne, L.S.
Stephen A. Romeo, L.S.
Mark W. Strickland, P.E.
A. Gary Webb, P.E.

November 15, 2000

Mr. Darryl E. Cook
Environmental Director
James City County
P.O. Box 8784
Williamsburg, VA 23187-8784



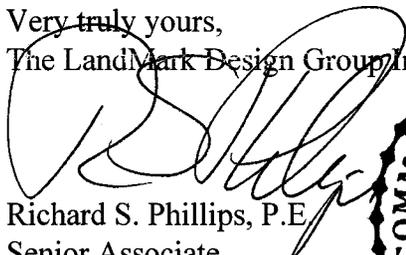
Re: Stonehouse Development Co., L. L. C.
BMP Basins A, B & G Construction Certificate
Section IVA, Leather Leaf
J. C. C. Case No. S-30-97

Dear Darryl:

This is to confirm that periodic inspection was provided by John L. Hutcherson, P. E., a Professional Engineer previously employed by this firm during the progress of construction of the subject storm water management basins. I, and individuals under my supervision, have reviewed the work and construction reports. To the best of my knowledge and judgment, the structure has been constructed in accordance with the approved plans and specifications.

Should you have any questions or wish to discuss this further, please call.

Very truly yours,
The Landmark Design Group, Inc.


Richard S. Phillips, P.E.
Senior Associate



RSP/cjp

Cc: Brandon Forrest
File: 1990131-000.46

Engineers ♦ Planners ♦ Surveyors ♦ Landscape Architects ♦ Environmental Consultants
4029 Ironbound Road, Suite 100, Williamsburg, VA 23188 (757) 253-2975 FAX: (757) 229-0049 lmdg@landmarkdgwb.com

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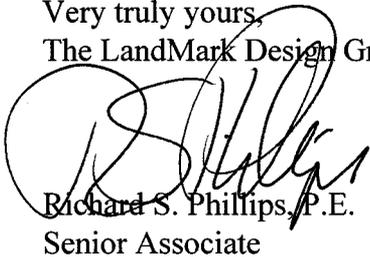
Re: Stonehouse Development Co., L.L.C.
BMP Basin Construction Certificate
Section IVD, Phase 1, Orchard Hill
J.C.C. Case No. S-92-99

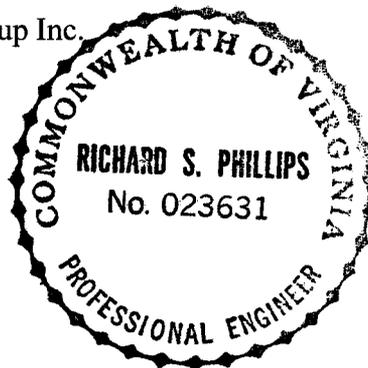
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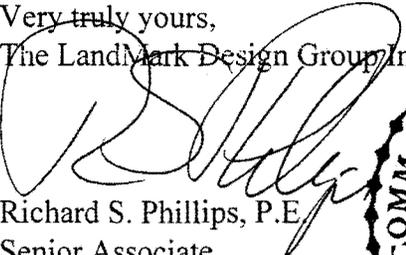
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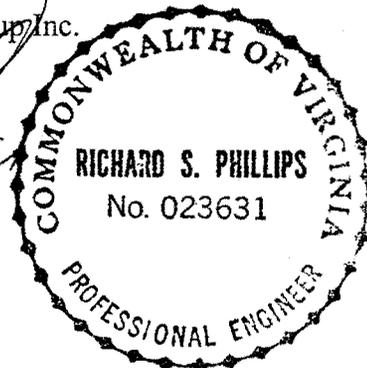
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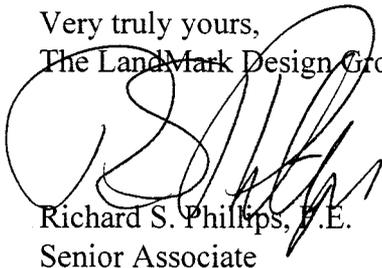
Re: Stonehouse Development Co., L.L.C.
BMP Basin Construction Certificate
Section VIB, Phase 3, Hollow Oak
J.C.C. Case No. S-27-98

Dear Darryl:

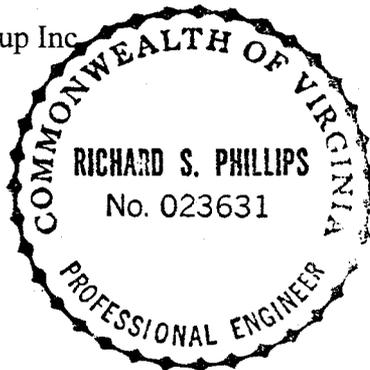
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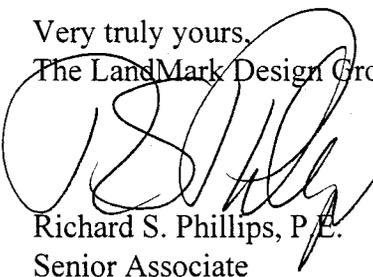
Re: Stonehouse Development Co., L.L.C.
BMP Basin Construction Certificate
Section VIA, Phase 1, Hollow Oak
J.C.C. Case No. S-84-97

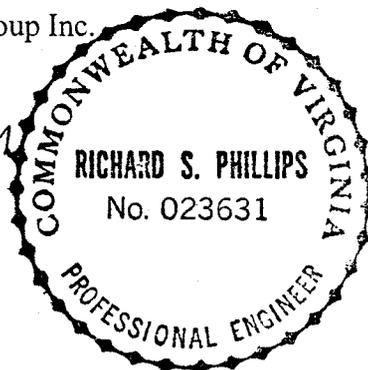
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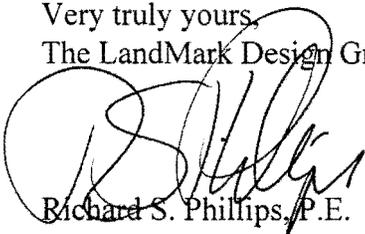
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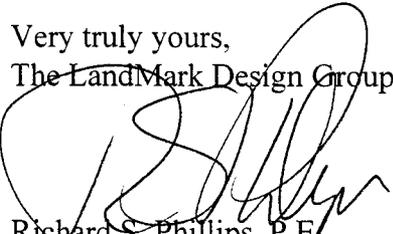
Re: Stonehouse Development Co., L. L. C.
BMP Basin Construction Certificate
Section IVC, Phase 2, Laurel Ridge
J.C.C. Case No. S-12-98

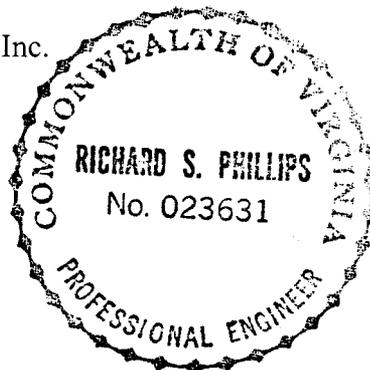
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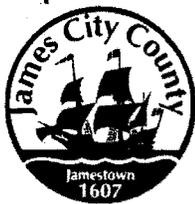

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DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 259-4032 E-MAIL: devtman@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

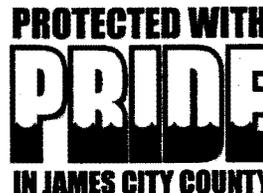
COUNTY ENGINEER
(757) 253-6678

MOSQUITO CONTROL
(757) 259-4116

August 2, 2006

Mr. Robert W. Spencer
The Association at Stonehouse
9701 Mill Pond Run
Toano, VA 23168

Re: Stonehouse Subdivision
Watershed & BMP Education



Dear Mr. Spencer:

I received your letter dated July 26, 2006 and felt it necessary to respond to you in writing. It is a pleasure to hear from you and give you an update of recent activities with regards to BMPs in Stonehouse Development Area One and to begin to work with you also. I have been in contact with many individuals in your newly formed association over the past few years including Ken Hook, Bruce Lawton and most recently Ken Kievit, Bob Wargo and Caroline Lott. I recently transmitted 6 or 8 copies of a 1 inch = 400 ft. scale "Overall Plan of BMP As-builts" map to Ken which shows all of the inventoried BMPs in Stonehouse Development Area One with assigned County BMP identification numbers. I also met with several HOA representatives on February 17, 2006 to discuss and answer questions about BMPs in Stonehouse.

At that time, we discussed the suggestion to have someone from the association take part in any final inspections that our Division performs on BMPs within Stonehouse. The Association requested this so that they are aware of those facilities which may be shortly transferred to their control. Under most situations, it would be difficult to accommodate this request as most times BMP record drawing (asbuilt) and certification information is submitted to me even before a HOA is even formed. Also, you must also remember that our Division is assessing the BMP with regard to conformance with the approved plan, stormwater functional and structural integrity and sometimes HOA may be interested in other BMP features beyond those categories such as aesthetic look, algae, aeration, etc. Also, it would be very difficult for our limited staff to accommodate this request for every HOA in the County.

Although not our regular process, we do see some merit in this request as it pertains to Stonehouse as it is one of the largest subdivisions in the County and also to build upon the coordination efforts that we have established thus far. Therefore, we will do our best to accommodate this request; however, we cannot promise that this can be done every single time as sometimes BMP inspections are worked into the schedule at the last minute. From your end, please ensure that there is only one single point of contact for the BMP inspections, so that I can easily reach them and make this request possible. Based on your letter, it appears that currently this assignment will be charged to Mr. Ken Kievit. If this should change, you can call me or email me at scottt@james-city.va.us

In the meantime, I am forwarding you some **first contact** information. The first contact packet includes an 8-1/2" x 11" watershed map of the County; an 8-1/2" x 11" BMP map of Stonehouse Development Area One; a watershed education brochure from our PRIDE program; landscaping tips for stormwater management BMP's; watershed awareness tips, a sample maintenance plan for wet/dry pond stormwater management facilities; and three brochures related to liability and maintenance. One of these brochures is a good informational handout entitled *A Guide for Maintaining and Operating BMP's*.

This publication is distributed by our office in response to a cooperative effort from the Hampton Roads Regional Stormwater Management Committee and HR STORM, a regional stormwater education program offered by the Hampton Roads Planning District Commission.

Our Division is always readily available to assist owners and HOA representatives with guidance related to stormwater management facilities and drainage. If you get a chance, please remember to visit our PRIDE (Protecting Resources in Delicate Environments) website at (www.protectedwithpride.org). We sincerely look forward working with you in the future. If you have any additional questions or comments, call me at 757-253-6639.

Sincerely,



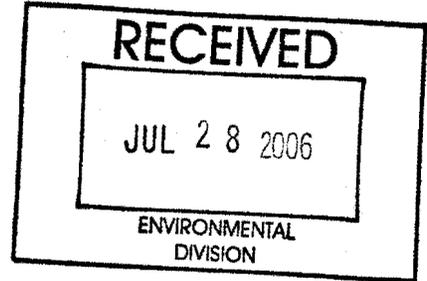
Scott J. Thomas, P.E.
Chief Engineer – Stormwater
Environmental Division

Attachments

SJT/sjt

SWMProg\Education\HOAs\SHDevAreaOne.fc2

THE ASSOCIATION AT STONEHOUSE, INC.



July 26, 2006

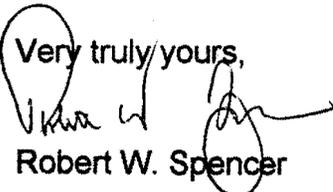
Mr. Scott Thomas
Environmental Division
101 Mounts Bay Road
P. O. Box 8784
Williamsburg, VA 23187-8784

Dear Mr. Thomas:

I am the new President of the Board of Directors of The Association at Stonehouse, Inc. We have now completed the transition from Declarant control to resident control. I understand that Stonehouse Development is still responsible for several BMP retaining ponds. I know that we do not have standing to approve or disapprove of the BMP ponds before James City County inspects the ponds and releases the SDC bond, but I would appreciate it very much if you could contact Ken Kievit (757-369-2500) of our Grounds and Maintenance Committee and allow him to join you when you inspect the ponds.

Thank you.

Very truly yours,


Robert W. Spencer

H: 741-2091

Scott Thomas

From: Scott Thomas
Sent: Thursday, November 18, 2004 4:29 PM
To: 'bwlawton'
Cc: Beth Davis; William A. Cain
Subject: FW: BMP Ratings, Stonehouse Development

Mr. Lawton

Sorry for the delay in responding to you. My name is Scott Thomas, I am a senior engineer with the Environmental Division of the County. I am involved with the review of plans of development, the PRIDE program and also am very much involved with HOA education on BMP maintenance. Lately, we have been working on several fronts as it pertains to BMP's at Stonehouse, not only with new plan applications, but also working on the release of bonds on many of the active sections, updating our County BMP inventory in Stonehouse and lastly, it seems more and more individuals with the HOA are making contact with our office. Most recently I sent a "first contact" information packet to Mr. Ken Hook and I spoke with Mr. Fred Mone.

I will attempt to answer your questions to the best of my ability:

- (1) On the page that lists and provides BMP Ratings the right most column is headed "Date Updated". Does this mean the last date that county personnel conducted an on-site inspection of the BMP or does it simply mean that some kind of administrative review of the data was conducted on that date of the information listed on this page? **The "date updated" in the PRIDE website database is a date indicative of some kind of change to the PRIDE database information. This could be a name change, pond type change or, of course, a rating change. If a rating change was made (say from a 3 to a 4), it was a direct result of some kind of inspection of the BMP. So to answer your question, it would be the latter.**
- (2) Data that I have from a different source (other than the web site) indicates that the eight BMPs in or adjacent to the Stonehouse development were last inspected by the county in August of 2001. Is this correct? **According to my records, the last block of BMP inspections performed at Stonehouse were for WC 037, WC 038, WC 039, WC 040, WC 041, WC 042 and WC 043. These initial inspections were performed in August of 2001. Following that inspection, letters were issued to the developer with indicated deficiencies on the asbuilts, construction certification or field-related items for the BMPs. All those facilities were still under bond at the time. These BMPs were signed of in June and July of 2003 after corrections made and reinspection.**

As a note, currently we are working to get a grasp on the inventory in Stonehouse. AES Consulting Engineers has created a map showing the location of all BMPs in Stonehouse. I have been providing input on this map such as assigned County BMP code numbers and using my historical knowledge to ensure that all BMPs are shown. Some of the BMPs are golf course, some are residential. The contact person at AES is Tori Bains 253-0040. Currently the map shows about 23 BMPs in Stonehouse. Of the 23 this also includes roadway BMPs, Richardson Mill Pond and private dams such as the golf course lakes and offsite Coats Pond. Best I can tell there will be about 16 BMPs in residential areas. Of the 23 not all are built yet and we have not received record drawings and construction certifications for all either. Only the first 7 outlined above have been through the process (WC037 through WC043).

- (3) The information I have relative to the actual ratings is the same as shown on your web page. I have in my possession an undated, five page brochure published by the James City County Environmental Division, entitled *Best Management Practices Education Practices for Homeowners Associations*. This brochure states in the last paragraph of the last page that JCC personnel will inspect each BMP annually and it is possible that homeowner personnel may accompany the inspector. I would like to request that an inspection of the below listed BMPs be conducted by the County at the earliest possible date and that one or more of our personnel accompany the inspector. The BMPs in question are as follows: WC 037, WC 038, WC 039, WC 040, WC 041, WC 042, WC 043, WC 059. **The publication you refer to is still in**

11/18/2004

99125_STONEHOUSE_SUBDIVISION_GENERAL_FILE - 014

use by our Division but is a little outdated. Currently we are working on establishing a program by which BMPs will be inspected yearly. We have not achieved that goal yet. Currently we just finished our baseline assessment (first) of all BMPs in the County (about 425 or so). It took about 3 years to perform the initial baseline inspection and most of the results are what you see posted on the PRIDE website. We are currently working on establishing a program by which owner's or their representatives provide yearly inspections and the County will do them every 3 years. We haven't implemented that program yet. It would include training sessions to HOAs on how to conduct inspections. As I currently just received some asbuilt drawings for some BMPs in Bent Tree and will need to visit the area to do final inspections on those BMPs, I can certainly contact you to take a look again at WC 037 through WC 043 and WC 059. Do you just want to do a quick walk-through or perform a full official inspection. A quick walk-through of 7 BMPs would take a whole morning or afternoon. A full-formal inspection on 7 BMPs could take a day or two. Let me know.

In the meantime, I am forwarding a couple files for your use. One is an MS Word file (HOALevel1.doc) which is a sample maintenance plan for wet/dry pond BMPs. The second is a Wordperfect v 9.0 file that is our standard inspection form for wet/dry pond BMPs. Lastly is a copy of the letter forwarded to Mr. Ken Hook on September 7, 2004.

Currently I am the Division's contact for all BMP related questions and at times I receive assistance from our staff civil engineer, Mr. Bill Cain (253-6702, wacain@james-city.va.us). You can contact either of us if you have additional questions or comments. I feel it is important to keep the lines of communication open between our Division and the Stonehouse Development Engineering Committee to ensure that proper routine maintenance is performed on the BMPs.

Thanks for your active involvement in water quality issues.

Scott J. Thomas, P.E.
James City County
Environmental Division

Visit:

http://www.james-city.va.us/resources/devmgmt/div_devmgmt_environ.html

and

www.protectedwithpride.org

-----Original Message-----

From: Pride

Sent: Monday, November 08, 2004 8:41 AM

To: 'bwlawton'

Cc: Beth Davis; Scott Thomas

Subject: RE: BMP Ratings, Stonehouse Development

Dear Mr. Lawton,

Good morning and thank you for your inquiry in regards to the BMPs in the Stonehouse development. I have copied the Senior Engineer with the Environmental Division for additional assistance to address your inquiry. Upon further research of current records, we will respond back promptly to your inquiry. Thank you for your interest in PRIDE and utilizing the BMP Ratings Database as a reference.

Catherine "Beth" Davis

Environmental Education Coordinator

James City Service Authority/JCC Development Management

101-E Mounts Bay Road, Post Office Box 8784

Williamsburg, Virginia 23187-8784

Office (757) 253-6859 & Fax (757) 253-6850

E-mail bdavis@james-city.va.us

James City County website, visit www.jccF.gov.com

Water Conservation information, visit www.bewatersmart.org & www.hrwet.org

11/18/2004

99125_STONEHOUSE_SUBDIVISION_GENERAL_FILE - 015

Water Quality information, visit www.protectedwithpride.org & www.hrstorm.org

-----Original Message-----

From: bwlawton [mailto:bwlawton@cox.net]

Sent: Thursday, November 04, 2004 6:17 PM

To: Pride

Cc: Ken ' Hook

Subject: BMP Ratings, Stonehouse Development

I am a member of the Stonehouse Development, Engineering Committee and on that team have responsibility for drainage and BMP related matters. I have been examining your BMP related web pages and have a few questions. (1) On the page that lists and provides BMP Ratings the right most column is headed "Date Updated". Does this mean the last date that county personnel conducted an on-site inspection of the BMP or does it simply mean that some kind of administrative review of the data was conducted on that date of the information listed on this page ? (2) Data that I have from a different source (other than the web site) indicates that the eight BMPs in or adjacent to the Stonehouse development were last inspected by the county in August of 2001. Is this correct ? (3) The information I have relative to the actual ratings is the same as shown on your web page. I have in my possession an undated, five page brochure published by the James City County Environmental Division, entitled *Best Management Practices Education Practices for Homeowners Associations* . This brochure states in the last paragraph of the last page that JCC personnel will inspect each BMP annually and it is possible that homeowner personnel may accompany the inspector. I would like to request that an inspection of the below listed BMPs be conducted by the County at the earliest possible date and that one or more of our personnel accompany the inspector. The BMPs in question are as follows: WC 037, WC 038, WC 039, WC 040, WC 041, WC 042, WC 043, WC 059.

Thank you for your time and interest, I will look forward to your response. You may feel free to call me if you prefer that to an E-Mail response.

Bruce Lawton
bwlawton@cox.net
Tel. 566-8289

11/18/2004

99125_STONEHOUSE_SUBDIVISION_GENERAL_FILE - 016



DEVELOPMENT MANAGEMENT

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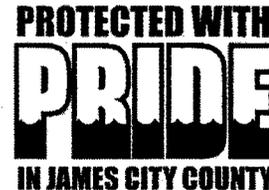
INTEGRATED PEST MANAGEMENT

(757) 253-2620

September 7, 2004

Mr. Ken Hook
3209 Oak Branch Lane
Toano, Va. 23168-9617

Re: Stonehouse Subdivision
Watershed and BMP Education



Dear Mr. Hook:

As discussed, I am forwarding some "*first contact*" information for your community association to use relative to watershed education and maintenance of stormwater management facilities. Currently, our County BMP Inventory shows fifteen (15) stormwater management facilities within Stonehouse; however, it should be noted that our records still may be incomplete. This includes BMPs that are considered private offsite dams, those associated with the golf course and many of the newer, recent development areas such as Bent Tree, Lisburn, Richardson Mill, etc. which have not yet submitted record drawings (asbuilts) to our Division. Once we receive asbuilts we assign the BMPs a code number.

Included in this packet of information is a location map showing all the BMPs in Stonehouse and a BMP summary table from our Inventory/Inspection program and printouts showing information for each individual BMP. I've also attached additional information including: a watershed education brochure from our PRIDE program; a brochure entitled *Best Management Practices Education Program for Homeowners Associations*; landscaping tips for stormwater management BMP's; watershed awareness tips; a sample maintenance plan for wet/dry pond type stormwater management facilities; and several brochures related to liability and maintenance of BMPs. One of the brochures is a good informational handout entitled *A Guide for Maintaining and Operating BMP's*. This publication is distributed through our office in response to a cooperative effort from the Hampton Roads Regional Stormwater Management Committee and HR STORM, a regional stormwater education program offered by the Hampton Roads Planning District Commission.

Our division is always readily available to assist owners and HOA representatives with guidance related to stormwater management facilities and drainage. We sincerely look forward working with you in the future. In the meantime, we strongly encourage you to visit our PRIDE website at (www.protectedwithpride.org) to access useful information related to watershed protection, how BMPs function, how they should be maintained, and information about our mini-grant program.

If you have any additional general questions about our PRIDE program, contact Beth Davis at 757-253-6859. If you have any specific questions about BMPs, call me at 757-253-6639.

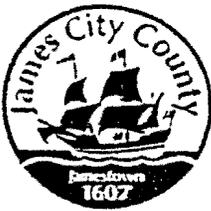
Sincerely

A handwritten signature in black ink, appearing to read "Scott J. Thomas". The signature is fluid and cursive, with the first name "Scott" being more prominent than the last name "Thomas".

Scott J. Thomas, P.E.
Senior Engineer
Environmental Division

Attachments
SJT/sjt

SWMProg\Education\HOAs\Stonehouse.fc



JAMES CITY COUNTY - ENVIRONMENTAL DIVISION

Office Phone: 757-253-6670

Fax Number: 757-259-4032

DATE SENT: 09/10/01

Name: James H. Bennett 234-5111
Firm or Company: Stonehouse LLC
Facsimile Number: 234-5111
Number of pages including this transmittal: 11
From: Scott J. Thomas

James City County
P O Box 8784
Williamsburg VA 23187-8784

Comments:

As discussed this morning, items relative to record drawing + construction certification reviews and field inspection of various stormwater management facilities at Stonehouse. 5 completed, 2 remain from original LandMark correspondence.
If you do not receive all pages, call 757-253-6670 as soon as possible

- > WC 037 5-30-97 sec 4A Leatherleaf Basin A
-> WC 038 5-30-97 sec 4A Leatherleaf Basin B
-> WC 039 5-30-97 sec 4A Leatherleaf Basin G
-> WC 040 5-84-97 Sec 6A Hollow OAK Phase I (Hollow OAK)
-> WC 041 5-27-98 sec 6B Hollow OAK Phase III (OAK Branch)
WC 042 5-12-98 Sec 4C Laurel Ridge Phase II (Mt. Berry Ct)
WC 043 5-92-99 Sec 4D Orchard Hill Phase I (Ridge Drive)



SCOTT J. THOMAS, P.E.
CIVIL ENGINEER

ENVIRONMENTAL DIVISION

101 MOUNTS BAY ROAD, P.O. BOX 8784 (757) 253-6639
WILLIAMSBURG, VIRGINIA 23187-8784 FAX: (757) 259-4032
E-MAIL: scottt@james-city.va.us



JAMES CITY COUNTY - ENVIRONMENTAL DIVISION

Office Phone: 757-253-6670

Fax Number: 757-259-4032

DATE SENT: 09/10/01

Name: Peter Farrell
 Firm or Company: LANDMARK
 Facsimile Number: 229-0049
 Number of pages including this transmittal: 10
 From: SCOTT J. THOMAS

James City County
 P O Box 8784
 Williamsburg VA 23187-8784

Comments:

Copy of letters sent to you (and copied to Jim Bennett)
relative to record drawing and construction certification
review of several swm facilities at Stonehouse.

If you do not receive all pages, call 757-253-6670 as soon as possible

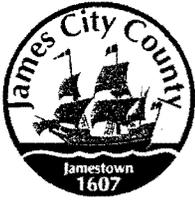
COUNTY BMP ID CODE	PLAN NO.	LOCATION
→ WC 037	S-30-97	sec 4A Leatherleaf Basin A
→ WC 038	S-30-97	sec 4A Leatherleaf Basin B
→ WC 039	S-30-97	sec 4A Leatherleaf Basin E
→ WC 040	S-84-97	Sec 6A Hollow OAK Phase I (Hollow OAK)
→ WC 041	S-27-98	sec 6B Hollow OAK Phase III (OAK Branch)
WC 042	S-12-98	Sec 4C Laurel Ridge Phase II (Mt. Berry Ct.)
WC 043	S-92-99	Sec 4D Orchard Hill Phase I (Ridge Drive)



SCOTT J. THOMAS, P.E.
 CIVIL ENGINEER

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 WILLIAMSBURG, VIRGINIA 23187-8784 Fax: (757) 259-4032
 E-MAIL: scott@james-city.va.us



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planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Section 4A Leather Leaf, Basin A
Dry Pond at Road near 2932 Leather Leaf
County BMP ID Code: WC 037

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 27th 2001, the following items must be addressed for **Basin A Leather Leaf (WC 037)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. Add the detention basin outlet structure detail as provided on Sheet 11 of the approved plan set to the as-built (record) drawing for the facility. This detail provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.
3. Show the following additional information on the record drawing: size of riser; size of the higher level (dewatering) orifice; invert elevation on the upstream side of the low flow orifice (at the EW-11 grate) within the bottom of the pond; and show the street address on Lot 9 as 2932 Leather Leaf Drive.
4. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-30-97 and BMP ID No. WC 037.

Construction-Related Items:

5. Remove silt fence present along the downstream toe of the dam/road embankment.
6. Clean and remove fallen trees and wood debris from along the west shoreline of the basin. The west side is adjacent to Lot 10, 2944 Leather Leaf. Debris is especially excessive in the southwest corner of the basin.

7. Clear and remove vegetation within 10 feet of the low flow control orifice (EW-11) in the bottom of the basin, within 15 feet of the riser structure and along the immediate upstream embankment toe of the facility.
8. Clean and remove accumulated sediment and debris on the upstream end of the low flow orifice and the EW-11 headwall. These structures could not be physically found. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out eastward from the riser. The 8-inch pipe reduces to a smaller diameter within the riser and has an EW-11 end wall on it's upstream side to serve as a trash rack protection device.
9. Clear and remove willows and all vegetation with 15 feet of the outfall ends of the 15-inch and 30-inch storm drains which inflow to the basin at the north (golf course) side. Flow into the pond must not be obstructed by sediment and vegetation.

(Note: In general, the entire basin bottom is overgrown with trees and thick vegetation. Clear and remove trees and vegetation at the pipe inflows, the low flow orifice, the riser structure and the immediate upstream toe of embankment to establish positive drainage through/along the bottom of the basin and to/through the principal flow control devices.)

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

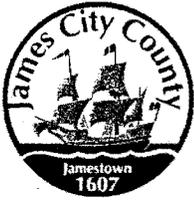
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

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DEVELOPMENT MANAGEMENT

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planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Section 4A Leather Leaf, Basin B
Dry Pond near 9815 Turning Leaf
County BMP ID Code: WC 038

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 27th 2001, the following items must be addressed for **Basin B Leather Leaf (WC 038)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. Add the detention basin outlet structure detail as provided on Sheet 11 of the approved plan set to the as-built (record) drawing for the facility. This detail provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.
3. Show the following additional information on the record drawing: size of riser; size of the higher level (dewatering) orifice; crest elevation/dimensions for the emergency spillway; outlet protection at the end of the 15-inch storm drain which inflows to the basin (ie. Structure 1-56); and show the street address on Lot 4 as 9815 Turning Leaf.
4. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-30-97 and BMP ID No. WC 038.

Construction-Related Items:

5. Clean and remove site construction debris present at the north end of the basin near the woods line with adjacent Lot 4 (9815 Turning Leaf). The debris is in a pile and consists of DI-7 grates, PVC pipe and other construction trash.

6. Clear and remove vegetation within 10 feet of the low flow control orifice in the bottom of the basin and around the riser structure.
7. Clean and remove accumulated sediment and debris from the low flow trash rack. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out from the riser. The 8-inch pipe reduces to a smaller diameter within the riser and has an EW-11 end wall on it's upstream side to serve as a trash rack protection device. (Note: Any filter fabric or filter stone on the grate also requires removal. Fabric and stone were utilized as filters during construction when the basin functioned as a temporary sediment basin. These filters require removal for final conversion of the basin to permanent BMP mode).
8. Bare soil areas are present on more than one-half of the downstream dam embankment and rill erosion is present on the middle portion of the downstream embankment. Refill eroded with soil and seed and mulch the bare soil areas.
9. In general, stabilization is very sparse on the upper portions of the interior side slopes of the pond along it's entire interior perimeter. Reseed and mulch sparse vegetated areas present on all the higher level pond interior side slopes and at bare soil areas present in lower (bottom) level areas of the pond, specifically at the southwest corner (Lot 4 side) and where slope matting along the slopes east of the riser.
10. Remove the perforated corrugated polyethylene pipe which served as a dewatering tube during construction (ie. temporary sediment basin mode). The final configuration of the higher level orifice must meet the requirements of Sheet 12 of the approved design plan. The final configuration for the orifice called for a 6-inch opening with a 6"x 6" ductile iron turn-down tee fitting.
11. Remove the felled tree within/across the bottom of the basin.
12. Clean and remove sediment accumulations (approximately 2 feet in depth) and all vegetation within 15 feet of the outfall end of the 15-inch storm drain inflow at the basin's north side. Flow into the pond must not be obstructed by sediment and vegetation.
13. Clean and remove all trees, willows and brush within 10 feet of the outfall end of the 24-inch pond barrel. Flow out of the pond must not be obstructed by vegetation.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

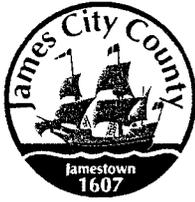
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

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DEVELOPMENT MANAGEMENT

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(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Section 4A Leather Leaf, Basin G
Dry Pond at Road near 2924 Leather Leaf
County BMP ID Code: WC 039

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 27th 2001, the following items must be addressed for **Basin G Leather Leaf (WC 039)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. Add the detention basin outlet structure detail as provided on Sheet 11 of the approved plan set to the as-built (record) drawing for the facility. This detail provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.
3. Show the following additional information on the record drawing: topography along the west side of the basin; size of riser; size of the higher level (dewatering) orifice; and street address on Lot 7 as 2924 Leather Leaf Drive.
4. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-30-97 and BMP ID No. WC 039.

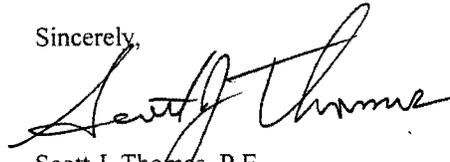
Construction-Related Items:

5. Remove wood debris and trash from the southwest corner of the base (west of the riser).
6. Clear vegetation within 10 feet of the outfall of the 15-inch pond barrel on the downstream side. Flow from the basin should be unobstructed.

7. Clear and remove vegetation within 10 feet of the low flow control orifice (and EW-11) located in the bottom of the basin.
8. Clean and remove accumulated sediment and debris at the upstream end of the low flow orifice and the EW-11 headwall. These structures could not be physically found. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out northward from the riser. The 8-inch pipe reduces to a smaller diameter within the riser and has an EW-11 end wall on it's upstream side to serve as a trash rack protection device.
9. At the base of the riser structure on the north side, there appears to be a subsidence (seep) hole with evidence of broken PVC pipe, indicative of a break in the 4-inch PVC drain/valve line. Uncover the drains at the base of the riser for inspection and repair as necessary to conform with the approved plan.
10. Clear and remove willows, vegetation and sediment within 15 feet of the outfall ends of the 18-inch and 24-inch storm drains which inflow to the basin at the north (golf course) side. Flow into the pond must not be obstructed by sediment and vegetation.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

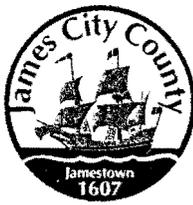
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

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DEVELOPMENT MANAGEMENT

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COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Section 6A Hollow Oak, Phase I
Dry Pond at Common Area CA9
County BMP ID Code: WC 040

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 27th 2001, the following items must be addressed for the basin at **Hollow Oak, Common Area CA9 (WC 040)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. Add the detention basin outlet structure detail as provided on Sheet 11 of the approved plan set to the as-built (record) drawing for the facility. This detail, entitled "Stormwater Attenuation Basin C Section B-B", provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.
3. Show the following additional information on the record drawing: north arrow; type and size of the riser structure; size of the higher level (dewatering) orifice with the turn-down tee; pond drain and valve present; and street address on Lot 19 as 3132 Hollow Oak Drive.
4. Show information for the inlet and storm drain system located at the end of the cul-de-sac at Hollow Oak Drive (near Lots 18/19). This portion of the storm drain system is labeled on the approved plan as Structure Q16 with a single 15-inch storm drain pipe which conveys flow back to Inlet Structure Q3 (at Lot 20/21). This system should be shown on the as-built to clarify drainage from this inlet flows back to the primary storm drain system rather than directly to the BMP. Information on this system should also be shown to confirm proper construction since this inlet/storm drain is at a critical location for drainage and was designed with minimal slope.

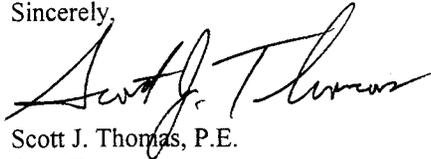
5. If possible, add the following County identifiers to the lower right hand corner of the record drawing:
County Plan No. S-84-97 and BMP ID No. WC 040.

Construction-Related Items:

6. Remove silt fence present along upstream and downstream embankments.
7. Bare soil areas covered approximately 60 percent of the downstream embankment (slope) and rill erosion was starting to form. Seed and mulch all bare soil areas on the embankment to establish acceptable grass stabilization on the downstream pond embankment slope.
8. Clean and remove all dead wood debris from within the BMP pool area, especially along the west and east shorelines and at the back of the facility.
9. Clean and remove accumulated sediment and debris in the vicinity of the upstream end of the low flow orifice. Sediment and debris was measured approximately 2' to 3' deep at this location. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out northward from the riser to an EW-11 endwall structure which serves as a trash rack protection device. Flow into the low flow orifice must not be obstructed.
10. Appurtenances within the pond riser structure need minor correction for final conversion to permanent BMP mode. The low flow drain within the riser appeared plugged with a boot and should be open to serve as the low level BMP orifice. The drain with the valve at its end should be in a closed position (to serve as a future drain in case of failure of the low flow orifice); however, the valve appeared open or leaking. Final configuration should be per details shown on Sheet 11 of the approved plan (Stormwater Attenuation Basin C Section B-B).
11. Clean and remove sediment (6" to 8" deep) at the outfall end of the 18-inch barrel through the embankment. Flow out of the pond must not be obstructed by sediment or vegetation.
12. Clean and remove debris and sediment from within the stilling basin at the outfall end of the 30-inch pipe located between Lots 20 and 21 (ie. at storm drain structure Q1). Sediment was 2' to 4' deep at this location. In addition, debris and wood obstructions were restricting positive drainage along the natural channel from this outfall structure (at Q1) downstream to the BMP area. By hand methods, clear and remove debris and channel obstructions between the primary outfall storm drain and the BMP.

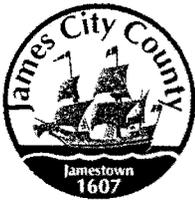
Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)



DEVELOPMENT MANAGEMENT

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INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Section 6B Hollow Oak, Phase 3
Dry Pond at Oak Branch Lane
County BMP ID Code: WC 041

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 29th 2001, the following items must be addressed for the basin at **HollowOak, Oak Branch Lane (WC 041)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. Add the detention basin outlet structure detail as provided on Sheet 16 of the approved plan set to the as-built (record) drawing for the facility. This detail, entitled "Stormwater Attenuation Basin H Section A-A", provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.
3. Lot numbers 8, 9 and 10 as shown on the record drawing should reflect correct designation as Lots 49, 50 and 51, Section 6B, Hollow Oak. Add an address to one of the lots for information purposes, preferably to Lot 50 (3241 Oak Branch Lane).
4. Show the 20 ft. drainage and utility easement present between Lots 50 and 51 and show the approximate location of the stone access road (west of the basin) on the record drawing.
5. Show the following additional information on the record drawing: riser size; label and show dimensions for the stilling basin west of the riser; and crest elevation/dimensions for the emergency spillway.
6. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-27-98 and BMP ID No. WC 041.

Construction-Related Items:

7. Seed and mulch bare soil areas present on the upstream embankment about 10 ft. east of the riser and on the west end of the dam embankment where top of dam meets the access road (20' x 40' area).
8. Clean and remove accumulated sediment (1-2 ft. depth) within the riprap stilling basin west of the riser. The outfall end of the primary storm drain system should be unobstructed by sediment and the forebay should be cleaned to meet original design plan capacity.
9. Clean and remove accumulated sediment, debris and vegetation in the vicinity of the upstream end of the low flow orifice. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out northward from the riser to an EW-11 endwall structure which serves as a trash rack protection device. Flow into the low flow orifice must not be obstructed. *(Note: At the time of the inspection, the mesh grate on the upstream end of the low flow orifice was considerably blocked with live vegetation, debris and sediment creating a shallow pool in the bottom of the facility about 1 foot deep. The basin is intended to serve as a dry detention facility.)*

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

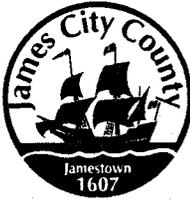
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

G:/SWMPprog/Asbuilts/S27-98.wc041



DEVELOPMENT MANAGEMENT

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COUNTY ENGINEER

(757) 253-6678

INTEGRATED PEST MANAGEMENT

(757) 253-2620

December 11, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Laurel Ridge Sec 4C Phase 2
Block Wall BMP at Mountain Berry Court
County BMP ID Code: WC 042

Dear Mr. Farrell:

The Environmental Division has reviewed a record drawing and construction certification as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) extended detention stormwater management/BMP facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 29th 2001, the following items must be addressed for the basin at **Laurel Ridge Sec 4C, Mountain Berry Court (WC 042)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

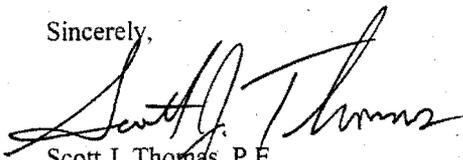
2. Add Section A-A as provided on Sheet 9 of the approved plan set to the as-built (record) drawing for the facility. This detail provides important information about riser, barrel and arrangement of block wall construction. Annotate the detail as necessary with field-obtained construction information.
3. Add an address to Lot 5 for information purposes (9917 Mountain Berry Court).
4. Show the following additional information on the record drawing: show riser size; label end wall type and show invert elevation at the upstream end of the 2" low flow orifice; show crest elevation and dimensions for the emergency spillway; and provide spot elevation of existing ground at base of wall near riser.
5. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-12-98 and BMP ID No. WC 042.

Construction-Related Items:

6. Clear and remove trees within 10 feet of the wall structure on both the upstream and downstream faces.
7. Remove trash and wood debris from along top of wall on the north (Mountain Berry Court) side and from along the upstream wall face. There was trash and debris present on the upstream side approximately 30 feet east of the riser and directly around the riser.
8. Remove the felled tree on the upstream side of the basin approximately 50 ft. east of the riser.
9. Clean and remove accumulated sediment, debris and vegetation in the vicinity of the riser and at the upstream end of the low flow orifice. Sediment was measured 2-5 ft. deep at these locations. The low flow orifice for this structure is a 2-inch ductile iron pipe which extends out eastward from the riser to an EW-11 endwall (with No. 1 stone) which serves as a trash rack protection device. Flow into the low flow orifice must not be obstructed. *(Note: At the time of the inspection, the stone filter and endwall was not visible.)*
10. Clear and remove vegetation within 10 feet of the outfall end of the barrel through the dam. Vegetation shall not obstruct flow out of the basin.
11. Repair the subsidence hole present between the downstream face of dam and the outfall end of the 24-inch barrel through the dam. There is a 2 ft. deep hole and saturated conditions were present under the barrel between the wall face and the pipe outfall. *(Note: Ensure seepage or barrel piping conditions are not present along the 24-inch barrel through the dam).*
12. Clear and remove observed trees and vegetation within and along the east edge of the emergency spillway. Vegetation shall not obstruct flow through the emergency spillway.
13. Clear and remove vegetation within 10 feet of the outfall of the 15-inch storm drain inflow pipe from Mountain Berry Court. Also, remove sediment which was 1-2 feet deep at the outfall end and 6 inches deep in the storm pipe. Sediment and vegetation shall not obstruct inflow into the basin.
14. Stabilize eroded slopes above the outfall end of the 15-inch storm drain from Mountain Berry Court. Runoff from site development areas north of the basin has caused rill and gully erosion at this location.
15. Clear and remove gravel/sediment from the DI-3 inlet structure at the end of Mountain Berry Court (Structure U2 on the approved plan) and from the downstream manhole structure MH-1 (Structure U1).
16. Construct the 10 ft. wide crusher run access and maintenance road, as required per the approved plan.

Once this work is satisfactorily completed, contact our office appropriately for reinspection. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

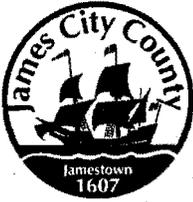
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (via fax)

G:/SWMProg/Asbuilts/S1298.wc042



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INTEGRATED PEST MANAGEMENT
(757) 253-2620

December 11, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

Re: Stonehouse Sec 4D Orchard Hill
Block Wall BMP at End of Ridge Drive
County BMP ID Code: WC 043

Dear Mr. Farrell:

The Environmental Division has reviewed a record drawing and construction certification as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) extended detention stormwater management/BMP facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 29th 2001, the following items must be addressed for the basin at **Orchard Hill Sec 4D, End of Ridge Drive (WC 043)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

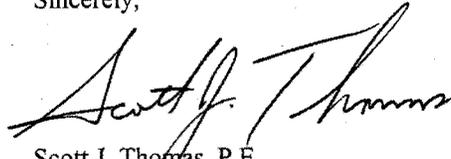
2. Add details from Sheet 18 of the approved plan to the as-built (record) drawing for the facility. The inset plan and sections A-A and B-B show important information about the wall arrangement and weir wall and low orifice (outflow) configurations. Annotate the details as necessary with field-obtained construction information.
3. Label Ridge Drive at the cul-de-sac and add an address to Lot 31 for information purposes (3168 Ridge Drive).
4. Show the following additional information on the record drawing: dimensions and class of rock for the downstream outlet protection pad; and length of the concrete weir cells.
5. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-98-97 and BMP ID No. WC 043.

Construction-Related Items:

6. Remove silt fence present along the length of the downstream dam area.
7. Cap blocks were missing from the east and west portions of the dam along top of wall. Replace or repair missing concrete cap blocks as required along the full length of the block dam.
8. Remove cap blocks and any other debris present in the concrete spillway.
9. At the time of the inspection, the flap gate on the 8-inch pipe through the concrete weir wall was partially block half open. Fully open or fully close the flap gate in accordance with the provisions of the approved plan. *(Note: Based on a review of the plans/computations, the 8-inch orifice was not included in hydraulic routings for the basin. Therefore, it appears the 8-inch pipe/gate system is a backup appurtenance to be used for draining the BMP should it become necessary. Therefore, it appears the flap gate on the upstream side of the 8-inch pipe should normally be in a fully closed position.)*
10. Clean and remove accumulated sediment and vegetation from the upstream ends of the 4-inch low flow orifice and 8-inch backup drain. The 4-inch low flow orifice was about one-half blocked at the time of inspection. *(Note: Cleaning is only required in the immediate vicinity of the upstream ends of the pipes.)*

Once this work is satisfactorily completed, contact our office appropriately for reinspection. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (via fax)

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Langley and McDonald, P.C.

Engineers
Surveyors
Planners
Landscape Architects
Environmental Consultants

GEORGE E. LANGLEY
Consultant
T. JOSEPH McDONALD
1906-1982

February 24, 1997

Mr. Wayland N. Bass
County Engineer
James City County
101-E Mounts Bay Road
P.O. Box 8784
Williamsburg, Virginia 23187-8784

Re: Stonehouse Chesapeake Bay
Preservation Ordinance Compliance
L&M # 96038-0145

Dear Mr. Bass:

In response to your letter of February 13, 1997, we would like to submit the attached plans showing the general areas of undisturbed natural open space that are being retained within the Phase One area of Stonehouse to meet the required open space for Chesapeake Bay Preservation Ordinance Compliance. There are now three entities controlling land in Phase One of Stonehouse: 1) Legends owning the golf course; 2) Stonehouse Inc. controlling most of the commercial land, Fieldstone Parkway and the well pumping and water storage facility; and 3) Stonehouse L.L.C. developing the residential land.

Pursuant to your letter dated February 13, 1997, we are submitting the revised 10 point calculation worksheet, removing from the denominator only the natural open space areas of the 2,425 acres that do not drain to Richardson Millpond, our structural BMP. This includes what is currently estimated to be 338.5 acres in Phase Two of Stonehouse. These revised calculations show that a total of 776 acres of undisturbed natural open space is required in Development Area One (both Phases One and Two of Stonehouse) to meet the 10 points required over the total of 2,426 acres, of which Phase One comprises 1,020 acres. With 1,650 acres of developable area in Development Area One, 0.47 acres of undisturbed natural open space will need to be provided for each acre of land developed to result in the total required natural open space. As shown in the table below, Phase One has a total developable area of 644.01 acres, resulting in a requirement of 302.68 acres of undisturbed natural open space.

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201 Packets Court
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(804) 253-2975
FAX: (804) 229-0049

Mr. Wayland N. Bass
James City County

February 24, 1997
Page 2

One plan provided is a composite map showing the undisturbed natural open space available in the land controlled in Phase One by all three entities. A summary of the overall developable area and undisturbed natural open space available to be placed in easements within Phase One as it develops is as follows and as shown on the attached exhibit:

	Developable Area	Undisturbed Natural Open Space Available
Legends Golf	111.60	99.40
Stonehouse L.L.C.	433.48	243.02
Stonehouse Inc.	98.93	33.57
Totals	644.01	375.99

The dedication of the necessary open space will be provided by each of the three controlling entities on a section by section basis in accordance with your letters of June 27, 1995 and February 13, 1997. Through 1997, the area planned for development includes a total of 295.40 developable acres, including area in the golf course and Sections II, III and IV as well as Fieldstone Parkway and the water pumping and storage facility. The natural open space required for this amount of development is 138.84 acres.

A summary of the areas required for development to date and anticipated during 1997 is as follows:

	1997 Developable Area	1997 Undisturbed Natural Open Space Available
Legends Golf	111.60	99.40
Stonehouse L.L.C.	177.54	83.44
Stonehouse Inc.	6.26	6.23
Totals	295.4	189.07

99.40
83.44
182
183-

Legends is providing a separate plan of their natural open space area. The second plan included with this letter shows a composite of the acreage areas from which the easements proposed for dedication to the County at this time will be provided.

Langley and McDonald

Mr. Wayland N. Bass
James City County

February 24, 1997
Page 3

We are prepared to move forward with the preparation of an easement plat for 138.84 acres within this area upon your approval of the calculations provided and areas shown. If you have any questions, please let us know. Thank you very much for your attention to this matter.

Sincerely,

LANGLEY AND McDONALD, P.C.



Vaughn B. Rinner, C.L.A.
Principal

VBR/
Enclosures

cc: Jim Franklin w/Attachments

WILLIAMSBURG
ENVIRONMENTAL
GROUP, INC.



Environmental Consultants

February 27, 1997

Mr. Wayland Bass
James City County
P.O. Box JC
Williamsburg Virginia 23185

RE: Legends at Stonehouse Golf Course
Natural Open Space Plan

Dear Mr. ^{Wayland}Bass:

This letter follows up our meeting on Tuesday, February 25, regarding natural open space requirements on the Stonehouse project. Williamsburg Environmental Group, Inc. (WEG) developed a Master Stormwater Management Plan as part of the *Legends at Stonehouse Proposed 18 Hole Golf Course* site plans submitted in August of 1994. The plan used 154 acres of natural open space to achieve 9.48 points towards the James City County 10-point plan and the plan received county approval. It was agreed that the open space would be deeded to the County based on a figure provided by WEG. It was also agreed that the open space line would not be surveyed or require a meets and bounds description due to its irregular shape.

Since that date, WEG has submitted separate site plans and received final approval for the maintenance facility and the cart storage barn. In May 1996, WEG submitted plans for the Clubhouse Entrance Road & Parking which received preliminary approval on June 10, 1996. County comments required that open space be deeded to the County prior to final approval of the plan.

In August 1996, WEG generated an open space plan which quantified unmaintained golf areas based on an as-built aerial photograph of the site. The plan indicated that all 154 acres of natural open space could be accommodated. The plan was not submitted to the County, however, because the Stonehouse Corporation and The Legends Group were anticipating property transfers that would affect the golf course corridor. Langley & McDonald also indicated that a 10-point stormwater management plan was being developed to ensure that the entire Stonehouse development (including The Legends at Stonehouse) achieved 10 points.

The new golf course corridor was finalized by Langley and McDonald in January 1997 to document the transfer of property from the golf course. This transfer includes a reduction in the golf course corridor of 33 acres, all of which was open space. The current plan also includes a 22 acre reduction in open space in the golf course to accommodate potential development around the clubhouse and maintenance facility. Therefore, the new Legends at Stonehouse plan provides 99 acres of open space towards the 10-point plan for the entire Stonehouse project instead of the 154 acres presented on the 1994 golf course plans. WEG and Langley & McDonald coordinated

Page 2
Mr. Wayland Bass
February 27, 1997

efforts to ensure that the entire project complies with the County's 10-point plan. The current natural open space plan for the golf course is attached.

The property transfer is scheduled to occur around March 10 and the Legends Group will deed the 99 acres of natural open space to the County by April 1. Please let us know the level of detail you will need for the golf course natural open space plan. I look forward to hearing from you on this issue.

Sincerely,



Ronald J. Boyd, P.E.
President

Attachment

cc: Mr. Tom Rash, The Legends Group
Mr. Jim Franklin, Stonehouse, Inc.



Langley and McDonald, P.C.

Engineers
Surveyors
Planners
Landscape Architects
Environmental Consultants



GEORGE E. LANGLEY
Consultant
T. JOSEPH McDONALD
1906-1982

February 28, 1997

Mr. Wayland N. Bass
County Engineer
James City County
101-E Mounts Bay Road
P.O. Box 8784
Williamsburg, Virginia 23187-8784

Re: Stonehouse Chesapeake Bay
Preservation Ordinance Compliance
L&M # 96038-0145

Dear Mr. Bass:

Enclosed is a corrected map of the areas discussed in our letters of June 27, 1995 and February 24, 1997. I apologize that the map sent earlier deleted part of the acreage included in the calculations. I have also attached a spreadsheet showing the areas of the parcels included in the drainage calculations. These areas were prepared from larger scale maps and consequently should present a fairly accurate picture of the areas.

The entire area shown highlighted on the plan is approximately 2,426 acres. Of this area, 1,748 acres drain to Richardson Millpond. The area east of route 600, 678 acres, does not drain to Richardson Millpond, and is labeled on the map. About 50% of this area will remain in undisturbed natural open space, including the wetland and drainage systems and the 25% slopes. This comprises 338.5 acres.

When these areas are used in the calculations on the Worksheet for BMP Point System included with our letter dated February 24, 1997, it is shown that a total of 776 acres of undisturbed natural open space is required within the 2,426 acres in order to meet the 10 points. As shown on our maps, the available open space within Phase One is greater than that needed to meet the requirement.

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Langley and McDonald

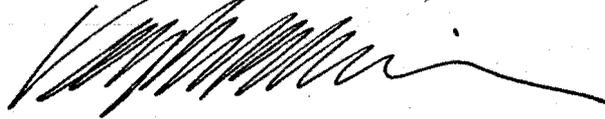
Mr. Wayland N. Bass
James City County

February 28, 1997
Page 2

I know these numbers are complex. I hope the map and this explanation helps to clarify our calculations. I will be out of town until March 10, and will call when I return to see if you have any questions. Thank you very much for your assistance.

Sincerely,

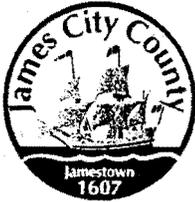
LANGLEY AND McDONALD, P.C.



Vaughn B. Rinner, C.L.A.
Principal

VBR/
Enclosures

cc: Jim Franklin w/Attachments



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April 4, 1997

Jim Franklin
Stonehouse, Inc.
P.O. Box 3643
Williamsburg, VA 23187

Dear Mr. Franklin:

This letter documents our conditional approval of the Stonehouse BMP approach outlined in Vaughan Rinner's letter dated February 28, 1997. We inspected the golf course conservation areas on April 1, 1997. The total of these areas appears to significantly less than the 99 acres that we had hoped to find. Ron Boyd will provide a revised map and area estimate for our review.

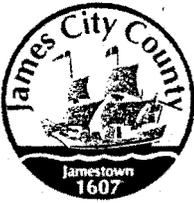
The conservation easement for your Phase I development will need to be increased to cover the golf course short fall. We were to have received the golf course conservation easement by April 1, 1997. By copy of this letter I am requesting that Tom Rasch provide us with a new date by which we are to receive the golf course conservation easement.

Sincerely,

Wayland N. Bass
County Engineer

cc: Darryl Cook
Vaughan Rinner
Ron Boyd
Tom Rasch

CA\WNB\1997\JFRNKLN.LTR



DEVELOPMENT MANAGEMENT

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E-MAIL: planning@james-city.va.us

September 3, 1997

Mr. Jim Franklin
Stonehouse, Inc.
P.O. Drawer 759
Toano, VA 23168

RE: Natural Open Space for Phase I of Stonehouse

Dear Mr. Franklin:

This letter is to notify you that prior to any final subdivision approval, the following items must be addressed:

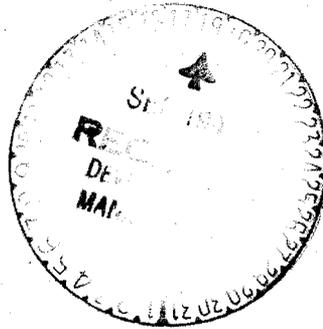
1. Approval of the plat and Deed for the Phase I Natural Open Space. From previous correspondence with the County Engineer and the Environmental Division, there are to be a total of 189 acres in Phase I.
2. Bonds of a sufficient amount must be submitted to ensure the completion of Mill Pond Run (Phases I and II), the water system, and the sewer/force main system. The bond amounts for the water and sewer system should be coordinated with Chris Dawson of the James City Service Authority. The bond amounts for the road network should be coordinated with Darryl Cook of the Environmental Division.

We understand your timeline to get sections IVA and IVB recorded. However, these public improvements must be assured before the sale of lots. When the above information is submitted, we will make every effort to ensure prompt review and feedback. If I can be of further assistance, please do not hesitate to contact me or Paul Holt of my Division.

Sincerely,


O. Marvin Sowers, Jr.
Planning Director

cc: Wayland Bass
Darryl Cook



P.O. Drawer 759
Toano, Virginia
23168.0759

757.566.2300
FAX 757.566.1125

WEB:
www.stonehouseva.com

September 18, 1997

Mr. Wayland H. Bass
County Engineer
James City County
101-E Mounts Bay Road
P. O. Box 8784
Williamsburg, VA 23187-8784

RE: Conservation Easement

Dear Mr. Bass:

This is to advise you that, in addition to the conservation easements for 134.706 total acres currently submitted to the County collectively by Stonehouse, Inc. and Stonehouse, L.L.C., an easement for an additional 55 acres will be submitted no later than November 1, 1997, to satisfy the open space requirement for the golf course owned by Golf Trust of America. The combined easements for the three entities will then total slightly more than the 189.07 acres noted in previous correspondence with the County.

Please do not hesitate to contact me should you have any further questions.

Sincerely,

W. Allen Ball
President
General Manager

WAB:ra

Scott Thomas

From: Scott Thomas
Sent: Tuesday, April 08, 2003 3:06 PM
To: 'Oder, G. Glenn'
Cc: Jim Rudnicky; Pat Menichino
Subject: RE: BMP's Stonehouse Subdivision

Glenn

Thanks for your contact information.

Some clarification is needed for the 7 BMPs at Stonehouse. The County BMP ID Codes that you listed below are correct. These BMPs are situated in the Leather Leaf, Hollow Oak, Laurel Ridge and Orchard Hill sections of the subdivision. I sent out letters for BMPs WC037, WC038, WC039, WC040 and WC041 on September 10, 2001 and for BMPs WC042 and WC043 on December 11th 2001. For all the BMPs the construction certifications were satisfactory; however, our division had comments on the record drawings (asbuilts) and punch lists were provided for construction (field) related items for each of the BMPs.

This is the current status of this first round of BMPs:

1. After well over a year of not receiving any additional information, I finally got revised record drawings in from LandMark. The revised record drawings were received in our office on February 27th 2003. I have not had a chance to review the revisions yet to see if they have addressed all our previous comments.
2. I was not notified that any of the field related items have been completed. In prior conversations, Jim Bennett did say they were working on the field related comments.

Now that I have the revised record drawings and if the field work is complete for all the first seven BMPs then I can perform reinspections. (I will review the revised record drawings in advance of the field reinspection). I will presume that these BMPs are ready for inspection unless I hear from you otherwise. I can complete this over the next couple of days. If the BMPs are ok for release, and there are no other outstanding site issues from the inspector for that areas (Jim Rudnicky), then we can work on reduction or release of erosion and sediment control bond for those sections.

Scott

-----Original Message-----

From: Oder, G. Glenn [mailto:ggoder@kaufcanconsulting.com]
Sent: Monday, April 07, 2003 2:39 PM
To: Thomas Scott (E-mail)
Cc: Phillips Dick (E-mail)
Subject: BMP's Stonehouse Subdivision

Scott,

thanks for all your efforts to help us get the BMP's in Governor's Land inspected and accepted by James City County.

In addition to Governor's Land, I am also working with Land Mark Design Group on the seven original BMP's in the Stonehouse subdivision. I understand these seven BMP's are identified as:

WC037
WC038
WC039
WC040
WC041
WC042
WC043

I understand that these BMP's have received there final inspection and no further action

*Reinspect 4-14-03
Not all CR were done*

*Reinspect 7-7-03
All "7" now ok for
release.*

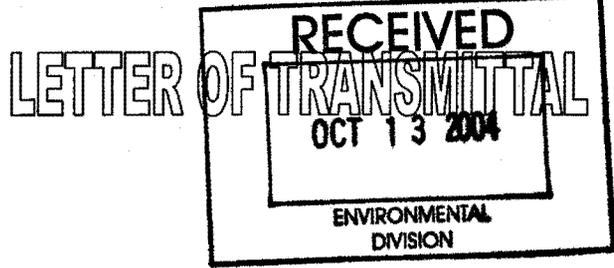
is required to get these accepted. If that is incorrect, please advise me as soon as possible. I am very focused on completing the responsibilities of the developer and I am ready to help you with any tasks that remain to be completed. Your experience and assistance in this process is very important and I look forward to working with you.

You can contact me anytime at (o) 591-6503 or (c) 236-4456.

Thanks again, Glenn

AES CONSULTING ENGINEERS
Engineering, Surveying, and Planning
 5248 Olde Towne Road, Suite 1
 WILLIAMSBURG, VIRGINIA 23188

Phone: (757) 253-0040
Fax: (757) 220-8994



ATTN: **Scott Thomas**

CO.: **JCC Environmental Division**

Address: **101-E Mounts Bay Road**
Williamsburg, VA 23187

cc: **file**

DATE 10/13/04	JOB NO. 9028-17
FROM: Victoria Bain	
RE Stonehouse - Overall BMP Map	

WE ARE SENDING YOU THE FOLLOWING ITEMS:

- Attached
- Under separate cover via
- Original(s)
- Print(s)
- Plan(s)
- Specification(s)
- Change Order
- Copy of letter(s)
- Other:

*2/17/06
 Met w/ stonehouse
 HOA reps on
 BMP issues*

email: Kiebithouse@aol.com

COPIES	DATE	No. of Pages	DESCRIPTION
1	10/12/04	1	Overall BMP Map <i>MAIN CONTACT: Bob Wargo (757) 566-8318 (SIT HAS CARD)</i> <i>2ND CONTACT: KEN KIEBIT (757) 364-2500</i> <i>1. BOND 1-7</i> <i>2. Shrubs on dam list</i> <i>3. AD 2 BMP's</i> <i>4. Get copies of overall map</i>

THESE ARE TRANSMITTED as checked below:

- For your approval
- For your signature
- For review and comment
- For your use
- As you requested
- As requested by:
- Other:

REMARKS:
 Scott,

*Post
 Ken Hook
 Bruce Lanston*

Here is the revised Overall BMP Map with the JCC BMP #s. Please let me know if there are any missing numbers or BMP's. If you have any questions please feel free to contact me. Thank you.

Tory

If enclosures are not as noted, kindly notify us at once.

AES CONSULTING ENGINEERS
Engineering, Surveying, and Planning
 5248 Olde Towne Road, Suite 1
 WILLIAMSBURG, VIRGINIA 23188

LETTER OF TRANSMITTAL

Phone: (757) 253-0040
Fax: (757) 220-8994

ATTN: **Scott Thomas**

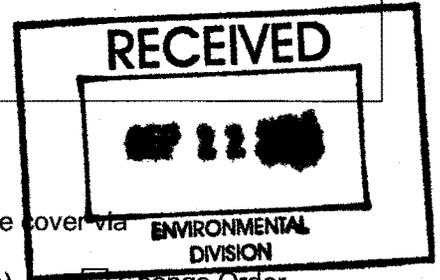
CO.: James City County Environmental

Address: 101-E Mounts Bay Road

Williamsburg, VA 23187

cc: file

DATE 9-20-04	JOB NO. 9028-17
FROM: Victoria Bains	
RE Stonehouse - BMP's	



WE ARE SENDING YOU THE FOLLOWING ITEMS:

- Original(s) Print(s) Plan(s) Specification(s) Change Order
 Copy of letter(s) Other:

- Attached
 Under separate cover via

COPIES	DATE	No. of Pages	DESCRIPTION
1		1	Stonehouse BMP Overall Map

THESE ARE TRANSMITTED as checked below:

- For your approval For your signature For review and comment
 For your use As you requested As requested by:
 Other:

REMARKS:
 Scott,

Once you have a chance please contact me to schedule a time to meet so we can go over the map and get County BMP ID #'s assigned to the remaining BMP's. Thank you.

Tory

If enclosures are not as noted, kindly notify us at once.

**Stonehouse Stormwater Management Facilities - JCC Environmental Division
County BMP Inventory & Inspection Program**

<u>No.</u>	<u>BMP ID Code</u>	<u>Record Dwg.</u>	<u>Plan Number</u>	<u>Stormwater Management Facility Name</u>	<u>Location</u>	<u>Type</u>	<u>Comments:</u>
1	WC 033	No	SP-92-94	Stonehouse Golf Course	Golf Course Holes 1 & 2	Wet Pond	BMP # 1, existing lake improved.
2	WC 037	Yes	S-30-97	Stonehouse Sec 4A, Leather Leaf	Near 1932 Leather Leaf Drive	Dry Pond	Basin A.
3	WC 038	Yes	S-30-97	Stonehouse Sec 4A, Leather Leaf	Near 9815 Turning Leaf Drive	Dry Pond	Basin B.
4	WC 039	Yes	S-30-97	Stonehouse Sec 4A, Leather Leaf	Near 2924 Leather Leaf	Dry Pond	Basin G.
5	WC 040	Yes	S-84-97	Stonehouse Sec 4A, Phase 1, Hollow Oak	Near 3136 Hollow Oak Drive	Dry Pond	Large concrete box riser.
6	WC 041	Yes	S-27-98	Stonehouse Sec 6B, Phase 3, Hollow Oak	Near 3241 Oak Branch Lane	Dry Pond	Basin H.
7	WC 042	Yes	S-12-98	Stonehouse Sec 4C, Phase 2, Laurel Ridge	Near 9917 Mountain Berry Court	Dry Pond	Segmental block wall in Common Area CA16.
8	WC 043	Yes	S-92-99	Stonehouse Sec 4D, Phase 1, Orchard Hill	Near 3168 Ridge Drive	Dry Pond	SWMF F. Segment block wall.
9	WC 049	No	SP-92-94	Stonehouse Golf Course	Clubhouse & Park	Wet Pond	BMP # 2. Near JCSA well lot # W-25.
10	WC 050	No	SP-92-94	Stonehouse Golf Course	Maintenance Center & Golf Course Hole 10	Dry Pond	BMP # 3. Shallow Marsh.
11	WC 051	No	SP-92-94	Stonehouse Golf Course	Golf Course Hole # 12	Forebay	BMP # 4.
12	WC 052	No	SP-92-94	Stonehouse Golf Course	Golf Course Hole # 13	Forebay	BMP # 5.
0	WC 053	No		Coats Pond - Private Dam	GPIN 0510100001	Wet Pond	Offsite large lake, farm pond.
14	WC 059	No		Stonehouse Richardson Mill Pond	End of State Route 600	Wet Pond	Large Lake; water quality control.
15	WC 069	No		Stonehouse Golf Course	Intersection Mill Pond Run & Fieldstone Pkwy	Dry Pond	Northeast of intersection.

WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	ACMP Riser
BMP ID NO	033	SITE AREA acre	245	CTRL STRUC SIZE inches	18
PLAN NO	SP-92-94	LAND USE	Golf Course	OTLT BARRL DESC	ACMP Barrel
TAX PARCEL	(04-04)(01-25)	old BMP TYP	Wet Pond	OTLT BARRL SIZE inch	12
PIN NO	0440100025	JCC BMP CODE			
CONSTRUCTION DATE	1/1/1996	POINT VALUE	11	EMERG SPILLWAY	Yes
PROJECT NAME	Legends at Stonehouse Golf Course			DESIGN HW ELEV	51.02
FACILITY LOCATION	BMP # 1 (Lake) at Holes 1 & 2			PERM POOL ELEV	45.0
CITY-STATE	Williamsburg, Va. 23188	SVC DRAIN AREA acres	149.4	2-YR OUTFLOW cfs	10.00
CURRENT OWNER	Stonehouse Inc.			10-YR OUTFLOW cfs	13.00
OWNER ADDRESS	530 East Park Court			REC DRAWING	No
OWNER ADDRESS 2	Suite A	SERVICE AREA DESCR	Golf Course, Residential and Roadway		
CITY-STATE-ZIP CODE	Sandston, Va. 23150	IMPERV AREA acres	21.44	CONSTR CERTIF	No
OWNER PHONE		RECV STREAM	UT of Bird Swam WC		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	12/18/2001
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.29	INTERNAL RATING	2
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Exist Lake Improved. Treats 35 ac. of	
		SW/FLOOD CONTROL	No	golf course.	
		GEOTECH REPORT	Yes		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	037	SITE AREA acre	20.13	CTRL STRUC SIZE inches	48
PLAN NO	S-30-97	LAND USE	Planned Res Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(05-03)(02-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	15
PIN NO	0530200001A	JCC BMP CODE		EMERG SPILLWAY	No
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	DESIGN HW ELEV	57.85
PROJECT NAME	Stonehouse Sec 4A Leather Leaf			PERM POOL ELEV	none
FACILITY LOCATION	Near (west of) 2932 Leather Leaf Drive			2-YR OUTFLOW cfs	5.99
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	15	10-YR OUTFLOW cfs	9.90
CURRENT OWNER	Stonehouse Limited Liability			REC DRAWING	Yes
OWNER ADDRESS	P.O. Box 759			SERVICE AREA DESCRI	SF Lots, Roads and Golf Course
OWNER ADDRESS 2		IMPERV AREA acres	3.30	CONSTR CERTIF	Yes
CITY-STATE-ZIP CODE	Toano, Va. 23168	RECV STREAM	UT of Bird Swamp WC		
OWNER PHONE		EXT DET-WQ-CTRL	Yes	LAST INSP DATE	8/27/2001
MAINT AGREEMENT	Yes	WTR QUAL VOL acre-ft	0.31	INTERNAL RATING	3
EMERG ACTION PLAN	No	CHAN PROT CTRL	No	MISC/COMMENTS	Basin A. Near cul-de-sac at end of Leather Leaf.
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	038	SITE AREA acre	20.13	CTRL STRUC SIZE inches	48
PLAN NO	S-30-97	LAND USE	Planned Res Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(05-03)(02-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	24
PIN NO	0530200001A	JCC BMP CODE			
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	EMERG SPILLWAY	Yes
PROJECT NAME	Stonehouse Sec 4A Leather Leaf			DESIGN HW ELEV	47.14
FACILITY LOCATION	Near (east of) 9815 Turning Leaf Dr			PERM POOL ELEV	none
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	7.6	2-YR OUTFLOW cfs	2.45
CURRENT OWNER	Stonehouse Limited Liability			10-YR OUTFLOW cfs	4.04
OWNER ADDRESS	P.O. Box 759			REC DRAWING	Yes
OWNER ADDRESS 2		SERVICE AREA DESCRI	SF Lots & Roadways		
CITY-STATE-ZIP CODE	Toano, Va. 23168	IMPERV AREA acres	1.67	CONSTR CERTIF	Yes
OWNER PHONE		RECV STREAM	UT of Bird Swamp WC		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	8/27/2001
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.16	INTERNAL RATING	2
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Basin B. End cul-de-sac Turning Leaf	
		SW/FLOOD CONTROL	Yes	east of Lot 4 (9815 Turning Leaf).	
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	039	SITE AREA acre	20.13	CTRL STRUC SIZE inches	48
PLAN NO	S-30-97	LAND USE	Planned Res Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(05-03)(02-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	15
PIN NO	0530200001A	JCC BMP CODE			
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	EMERG SPILLWAY	No
PROJECT NAME	Stonehouse Sec 4A Leather Leaf			DESIGN HW ELEV	59.59
FACILITY LOCATION	Near (west of) 2924 Leather Leaf			PERM POOL ELEV	none
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	17.5	2-YR OUTFLOW cfs	6.09
CURRENT OWNER	Stonehouse Limited Liability			10-YR OUTFLOW cfs	15.14
OWNER ADDRESS	P.O. Box 759			REC DRAWING	Yes
OWNER ADDRESS 2		SERVICE AREA DESCRI	SF Lots, Roads and Golf Course		
CITY-STATE-ZIP CODE	Toano, Va. 23168	IMPERV AREA acres	3.67	CONSTR CERTIF	Yes
OWNER PHONE		RECV STREAM	UT of Bird Swamp WC		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	8/27/2001
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.35	INTERNAL RATING	2
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Basin G.	
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Riser Box
BMP ID NO	040	SITE AREA acre	24.2	CTRL STRUC SIZE inches	10x9
PLAN NO	S-84-97	LAND USE	Res Planned Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(04-04)(01-24)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	18
PIN NO	0440100024	JCC BMP CODE			
CONSTRUCTION DATE	1/1/1999	POINT VALUE	4	EMERG SPILLWAY	Yes
PROJECT NAME	Stonehouse Sec 6A Ph 1 Hollow Oak			DESIGN HW ELEV	42.91
FACILITY LOCATION	Near (south of) 3136 Hollow Oak Drive			PERM POOL ELEV	None
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	13.74	2-YR OUTFLOW cfs	2.69
CURRENT OWNER	Stonehouse Development LLC			10-YR OUTFLOW cfs	4.26
OWNER ADDRESS	120 Tredegar St.			REC DRAWING	Yes
OWNER ADDRESS 2	6th Floor				
CITY-STATE-ZIP CODE	Richmond, Va. 23219	SERVICE AREA DESCRI	SF Lots & Roads	CONSTR CERTIF	Yes
OWNER PHONE		IMPERV AREA acres	2.75	LAST INSP DATE	8/27/2001
MAINT AGREEMENT	Yes	RECV STREAM	UT of Bird Swamp WC	INTERNAL RATING	3
EMERG ACTION PLAN	No	EXT DET-WQ-CTRL	Yes	MISC/COMMENTS	
		WTR QUAL VOL acre-ft		End of cul-de-sac Hollow Oak Dr.	
		CHAN PROT CTRL	No	Imperv approx 20%. Large Conc Box	
		CHAN PROT VOL acre-ft	0	Riser.	
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	041	SITE AREA acre	32.41	CTRL STRUC SIZE inches	60
PLAN NO	S-27-98	LAND USE	Res Planned Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(04-04)(01-24)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	18
PIN NO	0440100024	JCC BMP CODE		EMERG SPILLWAY	Yes
CONSTRUCTION DATE	1/1/2000	POINT VALUE	4	DESIGN HW ELEV	44.87
PROJECT NAME	Stonehouse Sec 6B Ph 3 Hollow Oak			PERM POOL ELEV	None
FACILITY LOCATION	Near 3241 Oak Branch Lane			2-YR OUTFLOW cfs	4.24
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	27.5	10-YR OUTFLOW cfs	23.33
CURRENT OWNER	Stonehouse Development LLC			REC DRAWING	Yes
OWNER ADDRESS	120 Tredegar St.			CONSTR CERTIF	Yes
OWNER ADDRESS 2	6th Floor	SERVICE AREA DESCR	SF Lots & Roadways and Future area.		
CITY-STATE-ZIP CODE	Richmond, Va. 23219	IMPERV AREA acres	6.87	LAST INSP DATE	8/29/2001
OWNER PHONE		RECV STREAM	UT of Bird Swamp WC		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	INTERNAL RATING	3
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	1.27	MISC/COMMENTS	Basin H. See Plan S-87-01 for MP, Hillcrest Sec 6C. Rev DHW 44.68.
		CHAN PROT CTRL	No		
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	042	SITE AREA acre	27.34	CTRL STRUC SIZE inches	48
PLAN NO	S-12-98	LAND USE	Res Planned Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(05-01)(07-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	24
PIN NO	0510700001A	JCC BMP CODE		EMERG SPILLWAY	Yes
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	DESIGN HW ELEV	76.62
PROJECT NAME	Stonehouse Sec 4C Ph 2 Laurel Ridge			PERM POOL ELEV	na
FACILITY LOCATION	Behind (south) 9917 Mountain Berry Ct.			2-YR OUTFLOW cfs	4.33
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	11.32	10-YR OUTFLOW cfs	12.11
CURRENT OWNER	Stonehouse Limited Liability			REC DRAWING	Yes
OWNER ADDRESS	P.O. Box 759			CONSTR CERTIF	Yes
OWNER ADDRESS 2		SERVICE AREA DESCR	SF Lots and Roadways	LAST INSP DATE	8/29/2001
CITY-STATE-ZIP CODE	Toano, Va. 23168	IMPERV AREA acres	3.28	INTERNAL RATING	2
OWNER PHONE		RECV STREAM	UT of Bird Swamp	MISC/COMMENTS	Block Wall Dam. Common Area CA16. 24 hr det 1" rainfall.
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes		
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.3		
		CHAN PROT CTRL	No		
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Conc Weir
BMP ID NO	043	SITE AREA acre	27.57	CTRL STRUC SIZE inches	264
PLAN NO	S-92-99	LAND USE	Res Planned Unit D	OTLT BARRL DESC	DIP
TAX PARCEL	(05-01)(07-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	4
PIN NO	0510700001A	JCC BMP CODE			
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	EMERG SPILLWAY	No
PROJECT NAME	Stonehouse Sec 4D Ph 1 Orchard Hill			DESIGN HW ELEV	53.29
FACILITY LOCATION	Behind (North of) 3168 Ridge Drive			PERM POOL ELEV	na
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	63	2-YR OUTFLOW cfs	82.18
CURRENT OWNER	Stonehouse Limited Liability			10-YR OUTFLOW cfs	200.22
OWNER ADDRESS	P.O. Box 759			REC DRAWING	Yes
OWNER ADDRESS 2		SERVICE AREA DESCRI	SF Lots & Roads (4d & 5a)		
CITY-STATE-ZIP CODE	Toano, Va. 23168	IMPERV AREA acres	15.45	CONSTR CERTIF	Yes
OWNER PHONE		RECV STREAM	UT of Ware Creek		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	8/29/2001
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	1.45	INTERNAL RATING	3
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Block Wall Dam in comm area end of Ridge Drive. SWM IV/VA "F". 24 det of 1" rf.	
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	ACMP Riser
BMP ID NO	049	SITE AREA acre	245	CTRL STRUC SIZE inches	24
PLAN NO	SP-92-94	LAND USE	Res Planned Unit D	OTLT BARRL DESC	ACMP
TAX PARCEL	(05-03)(01-04)	old BMP TYP	Wet Pond	OTLT BARRL SIZE inch	18
PIN NO	0530100004	JCC BMP CODE			
CONSTRUCTION DATE	1/1/1996	POINT VALUE	11	EMERG SPILLWAY	Yes
PROJECT NAME	Legends at Stonehouse Golf Course			DESIGN HW ELEV	45.78
FACILITY LOCATION	BMP # 2 (Lake) SW Clubhouse & Park Area			PERM POOL ELEV	41.5
CITY-STATE	Williamsburg, Va. 23188	SVC DRAIN AREA acres	44	2-YR OUTFLOW cfs	2.00
CURRENT OWNER	The Traditions Golf Club at Stonehouse			10-YR OUTFLOW cfs	19.00
OWNER ADDRESS	745 Atlantic Avenue			REC DRAWING	No
OWNER ADDRESS 2		SERVICE AREA DESCR	Office, Clubhouse, Driv Range & Woods		
CITY-STATE-ZIP CODE	Boston, MA 02111-2735	IMPERV AREA acres	10.44	CONSTR CERTIF	No
OWNER PHONE		RECV STREAM	UT of Bird Swamp		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	4/22/2003
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	1.62	INTERNAL RATING	2
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Near JCSA well lot W-25. Upgrade Sht 21, SP-37-96 (1995).	
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Single Barrel
BMP ID NO	050	SITE AREA acre		CTRL STRUC SIZE inches	12
PLAN NO	SP-92-94	LAND USE	Res Planned Unit D	OTLT BARRL DESC	Corrug PE
TAX PARCEL	(04-04)(01-24)	old BMP TYP	Dry Pond w/SM	OTLT BARRL SIZE inch	12
PIN NO	0440100024	JCC BMP CODE		EMERG SPILLWAY	No
CONSTRUCTION DATE	1/1/1997	POINT VALUE	9	DESIGN HW ELEV	79.03
PROJECT NAME	Legends at Stonehouse Golf Course			PERM POOL ELEV	76.5
FACILITY LOCATION	BMP # 3 Maint Center & GC Hole 10			2-YR OUTFLOW cfs	2.00
CITY-STATE	Williamsburg, Va. 23188	SVC DRAIN AREA acres	4.5	10-YR OUTFLOW cfs	5.00
CURRENT OWNER	Stonehouse Development Co. LLC			REC DRAWING	No
OWNER ADDRESS	120 Tredegar Street			CONSTR CERTIF	No
OWNER ADDRESS 2	6th Floor	SERVICE AREA DESCR	Golf Course Hole 10, Maint Bldg, Woods		
CITY-STATE-ZIP CODE	Richmond, Va. 23219-4306	IMPERV AREA acres	1.25	LAST INSP DATE	
OWNER PHONE		RECV STREAM	UT of Bird Swamp		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	INTERNAL RATING	
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.11	MISC/COMMENTS	Constructed per subsequent plan SP-34-95 Maint Area. Treats 1" rainfall.
		CHAN PROT CTRL	No		
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

[Get Last BMP No](#)

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	None
BMP ID NO	051	SITE AREA acre		CTRL STRUC SIZE inches	
PLAN NO	SP-92-94	LAND USE	Res Planned Unit D	OTLT BARRL DESC	None
TAX PARCEL	(05-01)(01-06)	old BMP TYP	Wet Forebay	OTLT BARRL SIZE inch	
PIN NO	0510100006	JCC BMP CODE			
CONSTRUCTION DATE	1/1/1996	POINT VALUE	9	EMERG SPILLWAY	No
PROJECT NAME	Legends at Stonehouse Golf Course			DESIGN HW ELEV	75.0
FACILITY LOCATION	BMP #4 Golf Course Hole 12			PERM POOL ELEV	75.0
CITY-STATE	Williamsburg, Va. 23188	SVC DRAIN AREA acres	5.7	2-YR OUTFLOW cfs	0.00
CURRENT OWNER	The Tradition Golf Club at Stonehouse LLC			10-YR OUTFLOW cfs	0.00
OWNER ADDRESS	745 Atlantic Avenue			REC DRAWING	No
OWNER ADDRESS 2		SERVICE AREA DESCRI	Golf Course area		
CITY-STATE-ZIP CODE	Boston, MA 02111-2735	IMPERV AREA acres	0.06	CONSTR CERTIF	No
OWNER PHONE		RECV STREAM	UT of Bird Swamp		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.029	INTERNAL RATING	
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Treats 1" rainfall. EC-1 type A lining.	
		SW/FLOOD CONTROL	No		
		GEOTECH REPORT	No		

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	None
BMP ID NO	052	SITE AREA acre		CTRL STRUC SIZE inches	
PLAN NO	SP-92-94	LAND USE	Res Planned Unit D	OTLT BARRL DESC	None
TAX PARCEL	(05-01)(01-06)	old BMP TYP	Wet Forebay	OTLT BARRL SIZE inch	
PIN NO	0510100006	JCC BMP CODE			
CONSTRUCTION DATE	1/1/1996	POINT VALUE	9	EMERG SPILLWAY	No
PROJECT NAME	Legends at Stonehouse Golf Course			DESIGN HW ELEV	69.0
FACILITY LOCATION	BMP # 5 Golf Course Hole 13			PERM POOL ELEV	69.0
CITY-STATE	Williamsburg, Va. 23188	SVC DRAIN AREA acres	4.5	2-YR OUTFLOW cfs	0.00
CURRENT OWNER	The Tradition Golf Club at Stonehouse LLC			10-YR OUTFLOW cfs	0.00
OWNER ADDRESS	745 Atlantic Avenue			REC DRAWING	No
OWNER ADDRESS 2		SERVICE AREA DESCRI	Golf Course area		
CITY-STATE-ZIP CODE	Boston, MA. 02111-2735	IMPERV AREA acres	0.05	CONSTR CERTIF	No
OWNER PHONE		RECV STREAM	UT of Bird Swamp		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.022	INTERNAL RATING	
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Treats 1" rainfall. EC-1 type A lining.	
		SW/FLOOD CONTROL	No		
		GEOTECH REPORT	No		

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WATERSHED WC
BMP ID NO 053
PLAN NO
TAX PARCEL (05-01)(01-01)
PIN NO 0510100001
CONSTRUCTION DATE 1/1/1999
PROJECT NAME Coats Pond - Private Dam
FACILITY LOCATION South of Ware Creek
CITY-STATE Williamsburg, Va. 23188
CURRENT OWNER Charles D. & JoAnn Coats
OWNER ADDRESS 6 West Lamington Road
OWNER ADDRESS 2
CITY-STATE-ZIP CODE Hampton, Va. 23699-2138
OWNER PHONE
MAINT AGREEMENT No
EMERG ACTION PLAN No

MAINTENANCE PLAN No
SITE AREA acre 5.507
LAND USE Gen Agricultural
old BMP TYP Farm Pond
JCC BMP CODE
POINT VALUE
SVC DRAIN AREA acres 118
SERVICE AREA DESCR Portions of Stonehouse & Undev Lands
IMPERV AREA acres 0.00
RECV STREAM UT of Ware Creek
EXT DET-WQ-CTRL No
WTR QUAL VOL acre-ft 0
CHAN PROT CTRL No
CHAN PROT VOL acre-ft 0
SW/FLOOD CONTROL Yes
GEOTECH REPORT Yes

CTRL STRUC DESC Riser
CTRL STRUC SIZE inches 48
OTLT BARRL DESC Barrel
OTLT BARRL SIZE inch 36
EMERG SPILLWAY Yes
DESIGN HW ELEV 45.8
PERM POOL ELEV 39
2-YR OUTFLOW cfs 36.00
10-YR OUTFLOW cfs 47.00
REC DRAWING No
CONSTR CERTIF No
LAST INSP DATE
INTERNAL RATING
MISC/COMMENTS
 Old Farm Pond. See Legends
 Stonehouse offsite dam improvement
 plan (4/1998).

Get Last BMP No

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WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Conc. Spillw
BMP ID NO	059	SITE AREA acre		CTRL STRUC SIZE inches	
PLAN NO		LAND USE		OTLT BARRL DESC	Conc. Spillw
TAX PARCEL	(04-04)(01-24)	old BMP TYP	Wet Pond	OTLT BARRL SIZE inch	
PIN NO	0440100024	JCC BMP CODE			
CONSTRUCTION DATE		POINT VALUE	8	EMERG SPILLWAY	Yes
PROJECT NAME	Stonehouse-Richardsons Mill Pond			DESIGN HW ELEV	13.2
FACILITY LOCATION	State Route 600 and Ware Creek			PERM POOL ELEV	9.5
CITY-STATE	Toano, Va. 23011	SVC DRAIN AREA acres	3960	2-YR OUTFLOW cfs	179.00
CURRENT OWNER	Stonehouse Development Company LLC			10-YR OUTFLOW cfs	390.00
OWNER ADDRESS	120 Tredegar St.			REC DRAWING	No
OWNER ADDRESS 2	6th Floor	SERVICE AREA DESCRI	Stonhouse & Surrounding Area		
CITY-STATE-ZIP CODE	Richmond, Va. 23219	IMPERV AREA acres	990.00	CONSTR CERTIF	No
OWNER PHONE		RECV STREAM	Ware Creek		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	103.2	INTERNAL RATING	
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Provides WQ 2.5 Vr; Road El. 14.6;	
		SW/FLOOD CONTROL	Yes	25% imperv.	
		GEOTECH REPORT	Yes		

[Get Last BMP No](#)

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WATERSHED WC
BMP ID NO 069
PLAN NO
TAX PARCEL
PIN NO
CONSTRUCTION DATE
PROJECT NAME Stonehouse Golf Course
FACILITY LOCATION NE of Intx Mill Pond Run & Fieldstone Pk
CITY-STATE Toano, Va. 23168
CURRENT OWNER Stonehouse Dev Co LLC
OWNER ADDRESS 9701 Mill Pond Run
OWNER ADDRESS 2
CITY-STATE-ZIP CODE Toano, Va. 23168
OWNER PHONE
MAINT AGREEMENT No
EMERG ACTION PLAN No

MAINTENANCE PLAN No
SITE AREA acre 55.4
LAND USE
old BMP TYP Dry Pond
JCC BMP CODE
POINT VALUE
SVC DRAIN AREA acres 55.2
SERVICE AREA DESCRI
IMPERV AREA acres 0.00
RECV STREAM UT of Ware Creek
EXT DET-WQ-CTRL No
WTR QUAL VOL acre-ft
CHAN PROT CTRL No
CHAN PROT VOL acre-ft
SW/FLOOD CONTROL No
GEOTECH REPORT No

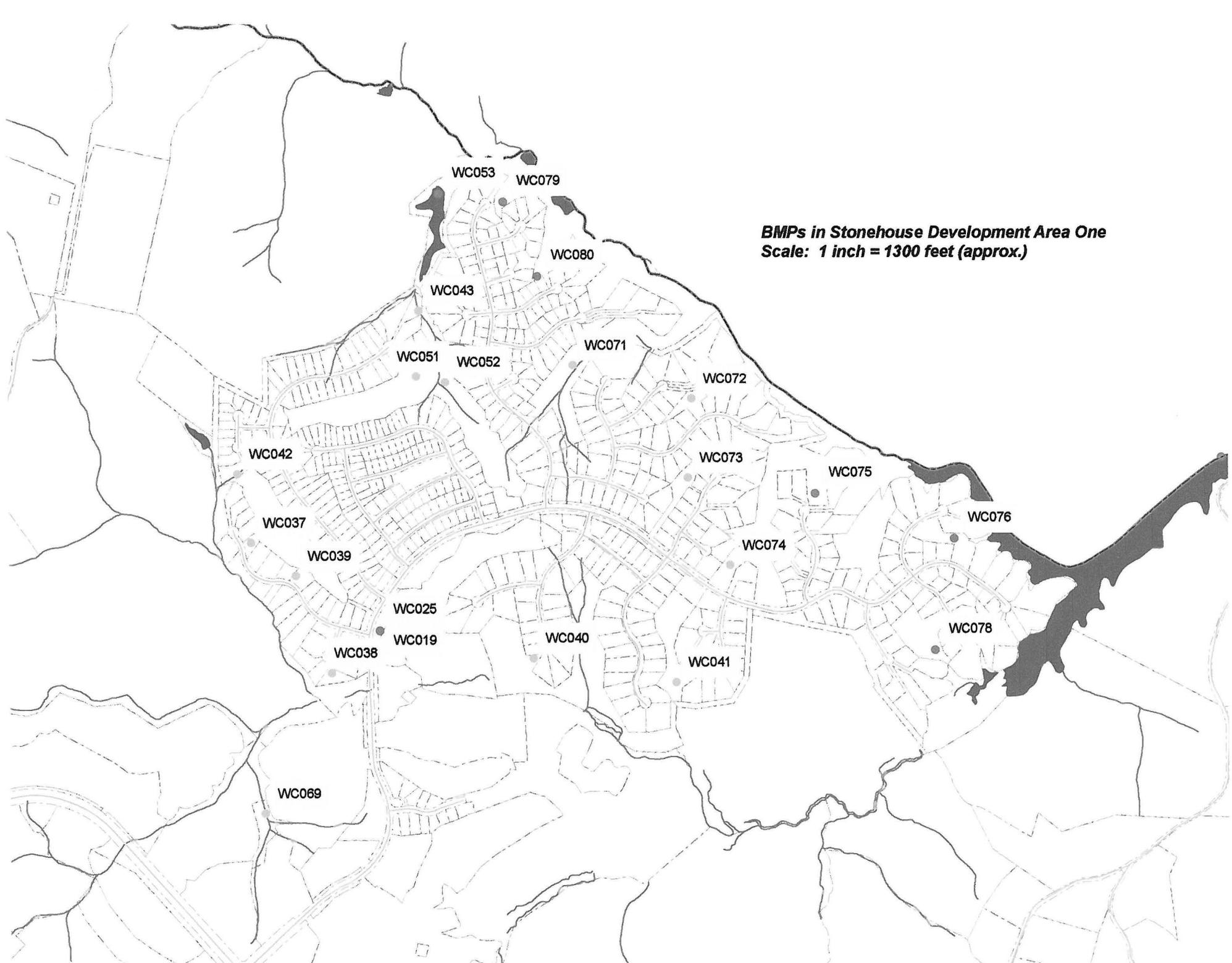
CTRL STRUC DESC multi-stage
CTRL STRUC SIZE inches 10X10
OTLT BARRL DESC RCP
OTLT BARRL SIZE inch 30
EMERG SPILLWAY Yes
DESIGN HW ELEV
PERM POOL ELEV
2-YR OUTFLOW cfs 0.00
10-YR OUTFLOW cfs 0.00
REC DRAWING No
CONSTR CERTIF No
LAST INSP DATE 4/7/2004
INTERNAL RATING 3
MISC/COMMENTS
 Fieldstone-Mill Pond intx.

Get Last BMP No

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FI 8-27-01	24	X WC 037	S-30-97	Stonehouse SEC 4A LEATHER LEAF BMP A (END CUL-DE-SAC) WAS	II
FI 8-27-01	25	X WC 038	S-30-97	Stonehouse SEC 4A LEATHER LEAF BMP B (9815 TURNING LEAF DRIVE)	II
FI 8-27-01	26	X WC 039	S-30-97	Stonehouse SEC 4A LEATHER LEAF BMP G (2924 LEATHER LEAF)	II
FI 8-27-01	27	X WC 040	S-84-97	Stonehouse SEC 4A Phase 1 3136 HOLLOW OAK HOLLOW OAK END CUL-DE-SAC DRY POND	II
FI 8-29-01	28	X WC 041	S-27-98	Stonehouse SEC 4B Phase 3 3241 HOLLOW OAK OAK BRANCH CANE	II
FI 8-29-01	29	X WC 042	S-12-98	Stonehouse SEC 4C Phase 2 9917 MOUNT LAUREL RIDGE BUCKWALK BERRY CT.	II
FI 8-29-01	30	X WC 043	S-97-99 S-98-97 S-98-97	Stonehouse SEC 4D Phase 1 & Future 5A Orchard Hill - LAUREL RIDGE (BUCKWALK) END CUL-DE-SAC 3168 RIDGE DRIVE	II

BMPs in Stonehouse Development Area One
Scale: 1 inch = 1300 feet (approx.)



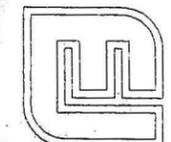


STONEHOUSE

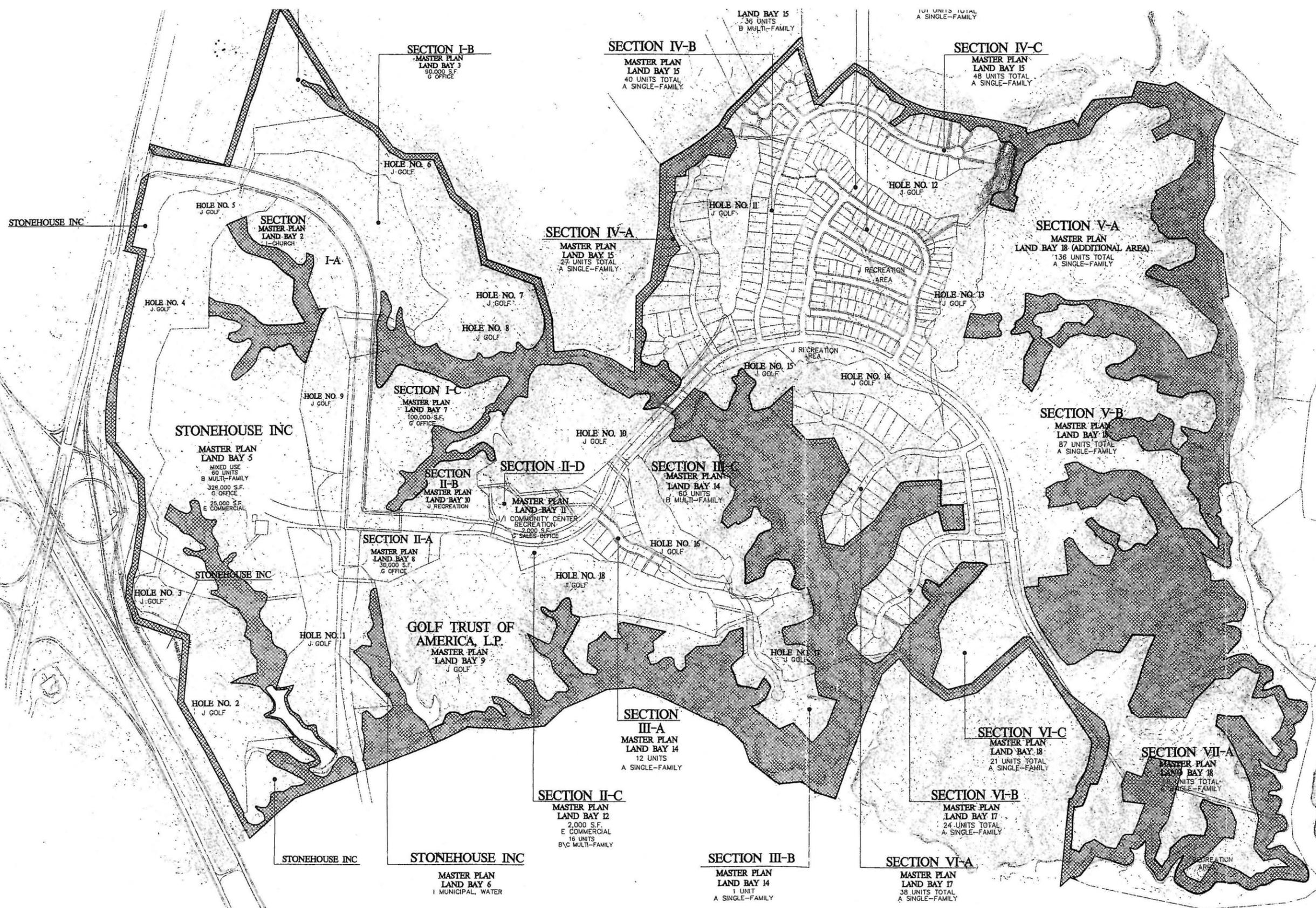
PHASE I

Natural Open Space Exhibit

Date: February 19, 1999



Langley and McDonald, P.C.



POTENTIAL UNDISTURBED NATURAL OPEN SPACE

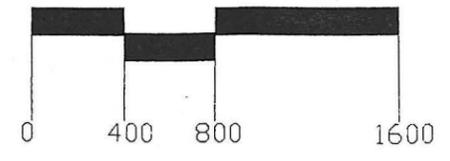
POTENTIAL UNDISTURBED NATURAL OPEN SPACE SHOWN : ± 330.0 AC.

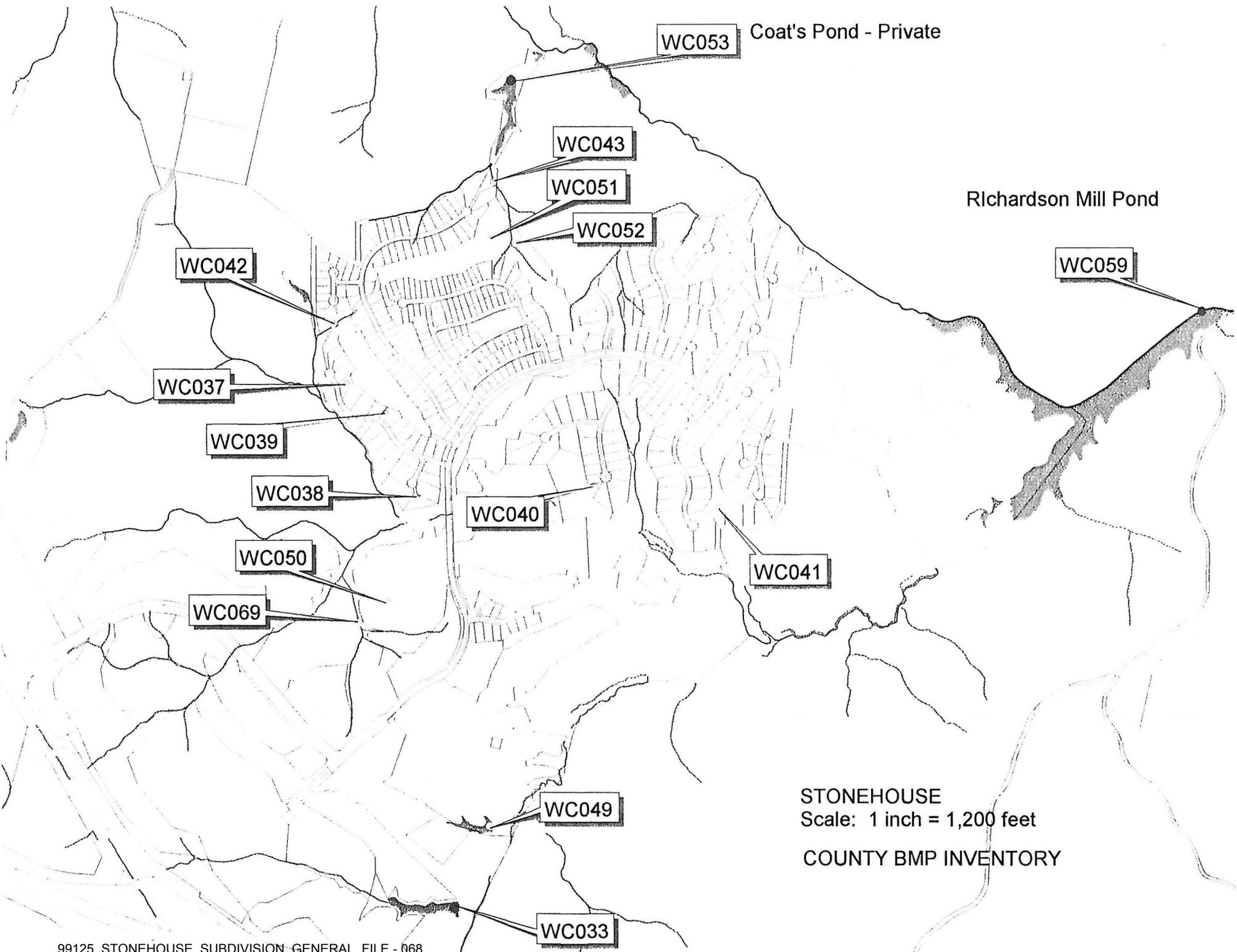
AREA TABULATIONS

UNDISTURBED NATURAL OPEN SPACE	
LEGENDS GOLF	56.1 AC. (RECORDED)
STONEHOUSE LLC	±240.0 AC.

99125_STONEHOUSE_SUBDIVISION_GENERAL_FILE - 067

GRAPHIC SCALE





WC053

Coat's Pond - Private

WC043

WC051

WC052

Richardson Mill Pond

WC042

WC059

WC037

WC039

WC038

WC040

WC041

WC050

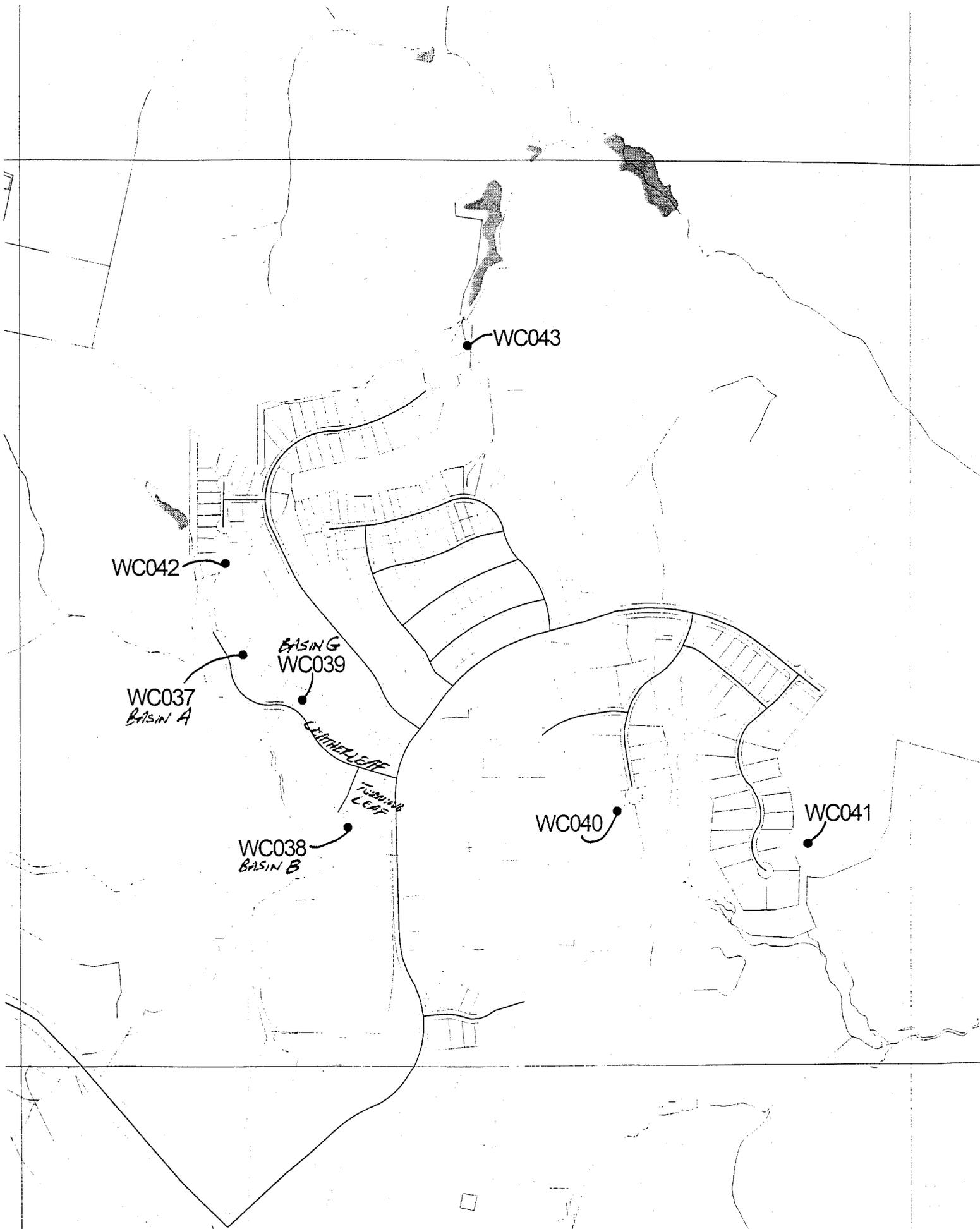
WC069

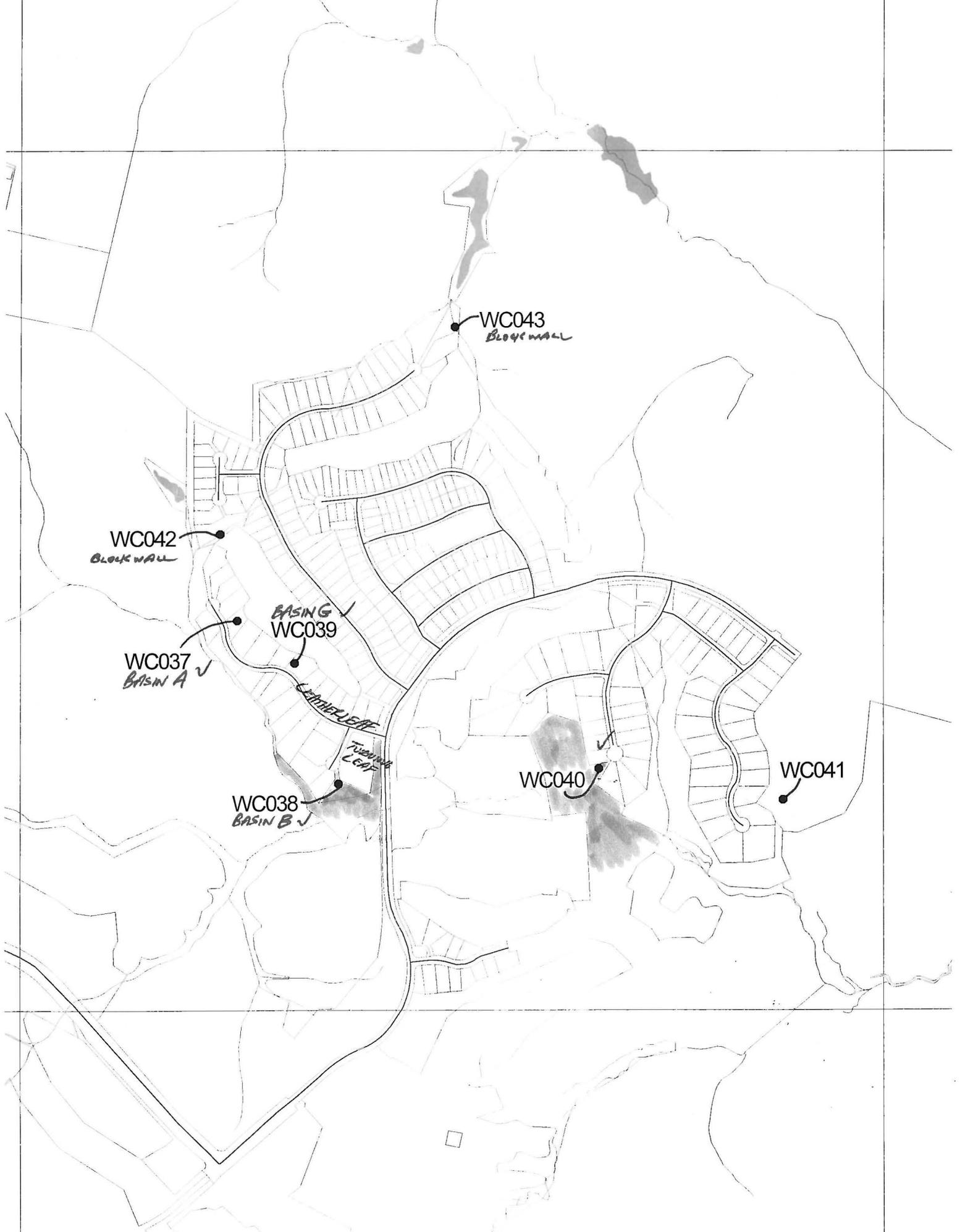
WC049

STONEHOUSE
Scale: 1 inch = 1,200 feet

COUNTY BMP INVENTORY

WC033





WC043
Block Wall

WC042
Block Wall

BASIN
WC039

WC037
Basin A

WC038
Basin B

WC040

WC041

TABLE 3

WORKSHEET FOR BMP POINT SYSTEM

A. STRUCTURAL BMP POINT ALLOCATION

<u>BMP</u>	<u>BMP Points</u>		<u>Fraction of Site Served by BMP</u>		<u>Weighted BMP Points</u>
<u>WEG #1</u>	<u>11</u>	x	$\frac{100}{2425}$	=	<u>0.45</u>
<u>WEG #2</u>	<u>11</u>	x	$\frac{44}{2425}$	=	<u>0.20</u>
<u>R.M.P.</u>	<u>8</u>	x	$\frac{1748-144}{2425-338.50}$	=	<u>6.15</u>
		x		=	
TOTAL WEIGHTED STRUCTURAL BMP POINTS:					<u>6.80</u>

B. NATURAL OPEN SPACE CREDIT

<u>Fraction of Site</u>		<u>Natural Open Space Credit</u>		<u>Points for Natural Open Space</u>
$\frac{776}{2425}$	x	$\frac{10}{(0.1 \text{ per } 1\%)}$	=	<u>3.2</u>

C. TOTAL WEIGHTED POINTS

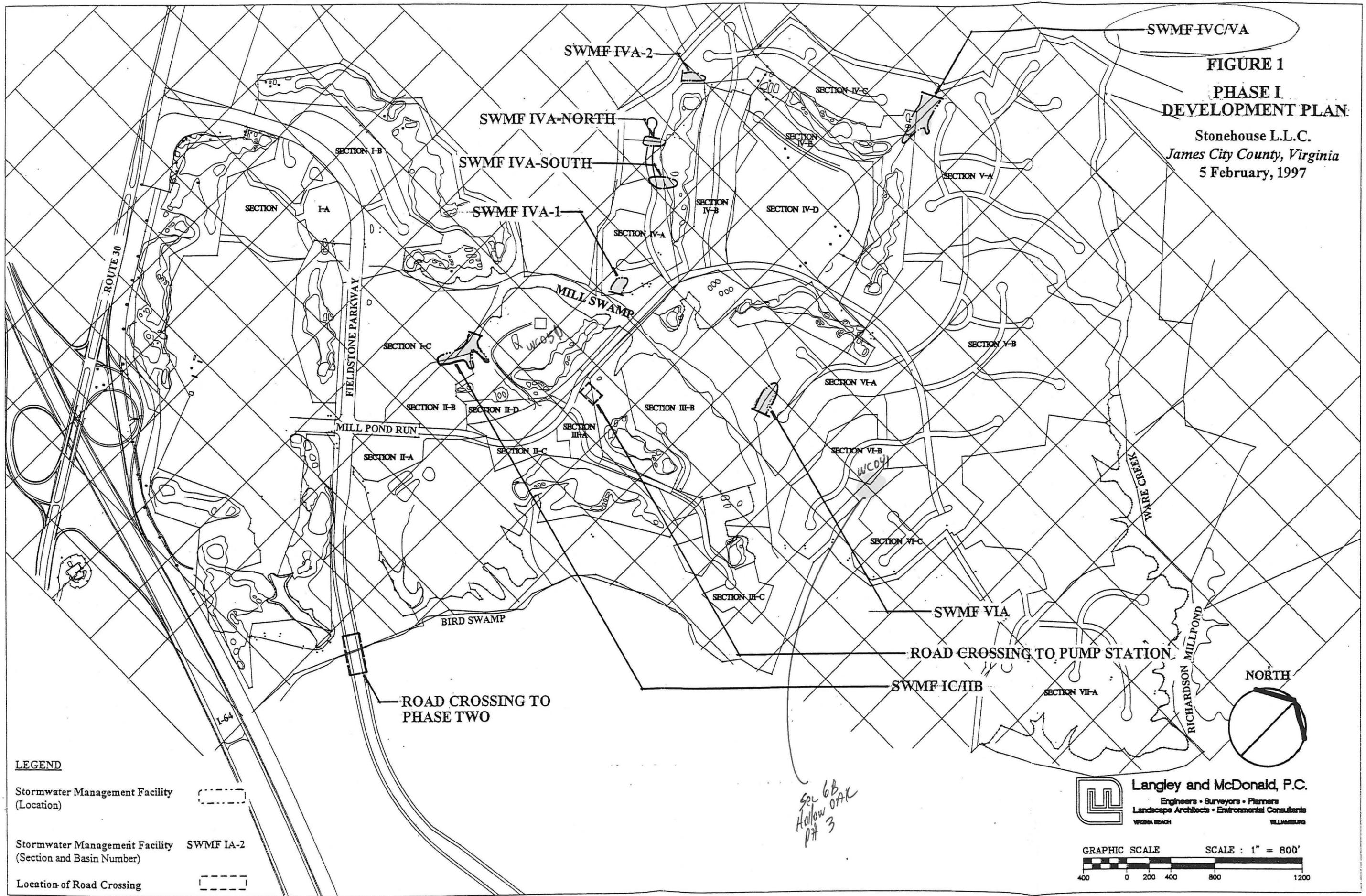
<u>6.80</u>	+	<u>3.2</u>	=	<u>10</u>
Structural BMP Points		Natural Open Space Points		TOTAL

1650
776
2426

SWMF IVC/VA

FIGURE 1
PHASE I
DEVELOPMENT PLAN

Stonehouse L.L.C.
James City County, Virginia
5 February, 1997



LEGEND

- Stormwater Management Facility (Location)
- Stormwater Management Facility (Section and Basin Number) SWMF IA-2
- Location of Road Crossing

*Sec 6B
Hollow OAK
#3*

Langley and McDonald, P.C.
 Engineers • Surveyors • Planners
 Landscape Architects • Environmental Consultants
 VIRGINIA BEACH WILLIAMSBURG

