



CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

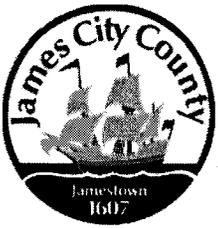
BMP NUMBER: JR017

DATE VERIFIED: June 27, 2012

QUALITY ASSURANCE TECHNICIAN: Leah Hardenbergh

Leah Hardenbergh

LOCATION: WILLIAMSBURG, VIRGINIA



Stormwater Division

MEMORANDUM

DATE: March 11, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: JR017

PIN: 4420600001B

Subdivision, Tract, Business or Owner

Name (if known):

Governors Land

Property Description:

Major Open Space #18

Site Address:

(For internal use only)

Box 14

Drawer: 7

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

JR-017

Contents for Stormwater Management Facilities As-built Files

Each file is to contain:

- ① As-built plan
2. Completed construction certification
3. Construction Plan
4. Design Calculations
- ⑤ Watershed Map
6. Maintenance Agreement
7. Correspondence with owners
- ⑧ Inspection Records
9. Enforcement Actions

James City County, Virginia
Environmental Division

Stormwater Management/BMP Facilities
Record Drawing/Construction Certification
Review Tracking Form

County Plan No.: GOV LAND 5-144-89; 5-21-93
Project Name: GOV LAND WINGFIELD LAKE
Stormwater Management Facility: JR 017

Phase: I II III

- Information Received. Date: 5/2/02 AES
- Administrative Check.
- Record Drawing. Date: 4/02 AES
- Construction Certification. Date: ECS Report Dec 2001
- RD/CC Standard Forms (Required after Feb 1st 2001 Only)
- Insp/Maint Agreement. Info: Master Plan - 6-17-93
- BMP Maintenance Plan. Location: _____
- Other: _____

Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review file. Comment #5 5-7-90
 Yes No Location: _____

Assign County BMP ID Code Code: JR 017

Log into Division's "As-Built" Tracking Log

Add Location to GIS Database Map. Obtain GIS site information (GPIN, Owner, Site Area, Address, etc.)

Preliminary Log into BMP Database (BMP ID #, Site Plan #, GPIN, Project Name)

Active Project File Review (correspondence, H&H, etc.).

Initial As-Built File setup (label, copy hydraulics, BMP information, etc.).

Inspector Check of RD/CC.

Pre-Inspection Drawing Review - Approved Plan (Quick look prior to field inspection).

Final Inspection (FI) Performed Date: 12-19-02

Record Drawing (RD) Review Date: 12-18-02

Construction Certification (CC) Review Date: ECS Report (#6221) dated 12/31/00 OK.

Actions:

No comments.

Comments. Letter Forwarded. Date: _____

Record Drawing (RD)

Construction Certification (CC)

Construction-Related (CR)

Site Issues (SI)

Other : _____

Second Submission: _____

Third Submission: _____

Acceptable for stormwater management facility purposes (RD/CC/CR/Other). Proceed with bond release.

Notify Darryl/Joan/Pat of acceptability using email (preferred), form or verbal.

Check/Clean active file of any remaining material and finish "As-Built" file.

Add to County BMP Inventory/Inspection schedule (Phase I, II or III).

Copy Final Inspection Report into County BMP Inspection Program file.

Digital Photographs obtained.

Add to JCC Hydrology & Hydraulic database (optional).

BMP Certification Information Acceptable

Plan Reviewer: _____

Date: _____



James City County, Virginia
Environmental Division

Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 - Site Information:

Project Name: GOVERNOR'S LAND AT TWO RIVERS -
Structure/BMP Name: WINFIELD LAKE
Project Location: South of Two Rivers Road
BMP Location: East end of Parcel 4, South of Winfield Lake Road
County Plan No.: 5 - 21/44 - 87

Project Type: Residential Business Commercial Office Institutional Industrial Public Roadway Other
Tax Map/Parcel No.: (A) (B)
BMP ID Code (if known): JR017
Zoning District: POWHATAN DISTRICT
Land Use: RESIDENTIAL
Site Area (sf or acres): _____

Brief Description of Stormwater Management/BMP Facility: Extended Detention Pond with 24 hours retention (detention structures 42' x 110' x 6' deep with 24 hours)

Nearest Visible Landmark to SWM/BMP Facility: CR-DE-SAC OF WINFIELD LAKE ROAD

Nearest Vertical Ground Control (if known):
 JCC Geodetic Ground Control USGS Temporary Arbitrary Other
Station Number or Name: 256
Datum or Reference Elevation: 78.00
Control Description: JCC 1990 - 30' x 30'
Control Location from Subject Facility: 10' West, 100' North of Subject Facility

Section 2 - Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: Yes No Unknown
Approx. Construction Start Date for SWM/BMP Facility: 1996
Facility Monitored by County Representative during Construction: Yes No Unknown
Name of Site Work Contractor Who Constructed Facility: C. Lewis Winfield Inc
Name of Professional Firm Who Routinely Monitored Construction: -
Date of Completion for SWM/BMP Facility: 1996
Date of Record Drawing/Construction Certification Submittal: April 2002

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 - Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: GOVERNOR'S LAND ASSOCIATES
Mailing Address: 9701 MILL POND RUN
TOANO, VIRGINIA
Business Phone: 757-234-5000 Fax: 757-234-5111
Contact Person: MR. JAMES H. BENNETT Title: VICE PRESIDENT - DEVELOPMENT

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

Firm Name: AES CONSULTING ENGINEERS
Mailing Address: 5248 OLDE TOWNE ROAD, SUITE 1
WILLIAMSBURG, VIRGINIA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994
Responsible Plan Preparer: C. ABRAHAM MURPHY III
Title: VICE PRESIDENT
Plan Name: GOVERNOR'S LAND FACILITY & CONSTRUCTION PERMITS
Firm's Project No. 7173
Plan Date: DECEMBER 1994
Sheet No.'s Applicable to SWM/BMP Facility: 1 1 1 1

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: C. Lewis Winfield Inc
Mailing Address: 1999 PRINCETON ROAD
WILLIAMSBURG, VA 23185
Business Phone: 757-253-1883
Fax: _____
Contact Person: STEVE PETERSON
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): _____

Section 4 - Professional Certifications:

Certifying Professionals: (Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

Record Drawing Certification

Firm Name: AES CONSULTING ENGINEERS
Mailing Address: 5248 OLDE TOWNE RD, SUITE 1
WILLIAMSBURG, VIRGINIA 23108
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: V. MARC BENNETT
Title: SENIOR PROJECT MANAGER
Signature: [Signature]
Date: 4/10/10

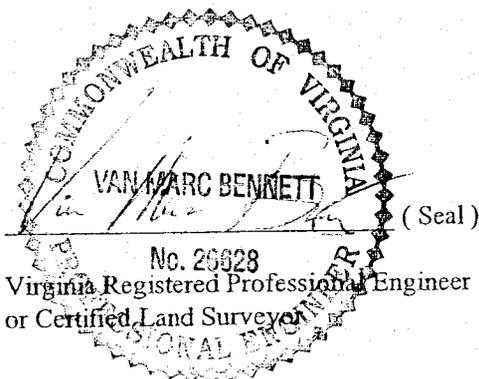
I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

Construction Certification

Firm Name: _____
Mailing Address: _____
Business Phone: _____
Fax: _____

Name: _____
Title: _____
Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this Stormwater Management/BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)

Virginia Registered
Professional Engineer

Section 5 - Record Drawing and Construction Certification Requirements and Instructions:

- PreConstruction Meeting - Provides an opportunity to review SWM / BMP facility construction, maintenance and operation plans and address any questions regarding construction and/or monitoring of the structure. The design engineer, certifying professionals (if different), Owner/Applicant, Contractor and County representative(s) are encouraged to attend the preconstruction meeting. Advanced notice to the Environmental Division is requested. Usually, this requirement can be met simultaneously with Erosion and Sediment Control preconstruction meetings held for the project.
- A fully completed ***STORMWATER MANAGEMENT / BMP FACILITIES, RECORD DRAWING and CONSTRUCTION CERTIFICATION FORM*** and ***RECORD DRAWING CHECKLIST***. All applicable sections shall be completed in their entirety and certification statements signed and sealed by the registered professional responsible for individual record drawing and/or construction certification.
- The Record Drawing shall be prepared by a Registered Professional Engineer or Certified Land Surveyor for the drainage system of the project including any Best Management Practices.
- Construction Certification. Construction of Stormwater Management / BMP facilities which contain impoundments, embankments and related engineered appurtenances including subgrade preparation, compacted soils, structural fills, liners, geosynthetics, filters, seepage controls, cutoffs, toe drains, hydraulic flow control structures, etc. shall be visually observed and monitored by a Registered Professional Engineer or his/her authorized representative. The Engineer must certify that the structure, embankment and associated appurtenances were built in accordance with the approved design plan, specifications and stormwater management plan and standard accepted construction practice and shall submit a written certification and/or drawings to the Environmental Division as required. Soil and compaction test reports, concrete test reports, inspection reports, logs and other required construction material or installation documentation may be required by the Environmental Division to substantiate the certification, if specifically requested. The Engineer shall have the authority and responsibility to make minor changes to the approved plan, in coordination with the assigned County inspector, in order to compensate for unsafe or unusual conditions encountered during construction such as those related to bedrock, soils, groundwater, topography, etc. as long as changes do not adversely affect the integrity of the structure(s). Major changes to the approved design plan or structure must be reviewed and approved by the original design professional and the James City County Environmental Division.
- Record Drawing and Construction Certifications are required within **thirty (30) days** of the completion of Stormwater Management / BMP facility construction. Submittals must be reviewed and accepted by James City County Environmental Division prior to final inspection, acceptance and bond/surety release.

Dual Purpose Facilities - Completion of construction also includes an interim stage for Stormwater Management / BMP facilities which serve dual purpose as temporary sediment basins during construction and as permanent stormwater management / BMP facilities following construction, once development and stabilization are substantially complete. For these dual purpose facilities, construction certification is required once the temporary sediment basin phase of construction is complete. Final record drawing and construction certification of additional permanent components is required once permanent facility construction is complete.

Interim Construction Certification is required for those dual purpose embankment-type facilities that are generally ten (10) feet or greater in dam height (*) and may not be converted, modified or begin function as a permanent SWM / BMP structure for a period generally ranging from six (6) to eighteen (18) months or more from issuance of a Land Disturbance permit for construction.

Interim or final record drawing and construction certifications are not required for temporary sediment basins which are designed and constructed in accordance with current minimum standards and specifications for temporary sediment basins per the Virginia Erosion and Sediment Control Handbook (VESCH); have a temporary service life of less than eighteen (18) months; and will be removed completely once associated disturbed areas are stabilized, unless a distinct hazard to the public's health, safety and welfare is determined by the Environmental Division due to the size or presence of the structure or due to evidence of improper construction.

(*Note: Dam Height as referenced above is generally defined as the vertical distance from the natural bed of the stream or waterway at the downstream toe of the embankment to the top of the embankment structure in accordance with 4VAC50-20-30, Virginia Impoundment Structure Regulations and the Virginia Dam Safety Program.)

- Record Drawings shall provide, at a minimum, all information as shown within these requirements and the attached **RECORD DRAWING CHECKLIST** specific to the type of SWM/BMP facility being constructed. Other additional record data may be formally requested by the James City County Environmental Division. *(Note: Refer to the current edition of the James City County Guidelines for Design and Construction of Stormwater Management BMP's manual for a complete list of acceptable BMP's. Currently there are over 20 acceptable water quality type BMP's accepted by the County.)*
- Record Drawings shall consist of blue/black line prints and a reproducible (mylar, sepia, diazo, etc.) set of the approved stormwater management plan including applicable plan views, profiles, sections, details, maintenance plans, etc. as related to the subject SWM / BMP facility. The set shall indicate "**RECORD DRAWING**" in large text in the lower right hand corner of each sheet with record elevations, dimensions and data drawn in a clearly annotated format and/or boxed beside design values. Approved design plan values, dimensions and data shall not be removed or erased. Drawing sheet revision blocks shall be modified as required to indicate record drawing status. Elevations to the nearest 0.1' are sufficiently accurate except where higher accuracy is needed to show positive drainage. Certification statements as shown in Section 4 of the Record Drawing and Construction Certification Form, *or similar forms thereof*, and professional signatures and seals, with dates matching that of the record drawing status in the revision or title block, are also required on all associated record drawing plans, prints or reproducible.
- Submission Requirements. Initial and subsequent submissions for review shall consist of a minimum of one (1) blue/black line set for record drawings and one copy of the construction certification documents with appropriate transmittal. Under certain circumstances, it is understood that the record drawing and construction certification submissions may be performed by different professional firms. Therefore, record drawing submission may be in advance of construction certification or vice versa. Upon approval and prior to release of bond/surety, final submission shall include one (1) reproducible set of the record drawings, one (1) blue/black line set of the record drawings and one (1) copy of the construction certification. Also for current and/or future incorporation into the County BMP database and GIS system, it is requested that the record drawings also be submitted to the Environmental Division on a diskette or CD-ROM in an acceptable electronic file format such as *.dxf, *.dwg, etc. or in a standard scanned and readable format. The electronic file requirement can be discussed and coordinated with Environmental Division staff at the time of final submission.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

I. Methods and Presentation: (Required for all Stormwater Management / BMP facilities.)

- XX 1. All constructed facilities meet approved design plans, unless otherwise shown. Record information or deviations from approved design plan shown in clearly annotated format and/or boxed beside design values.
- XX 2. Elevations to the nearest 0.1' unless higher accuracy is needed to show positive drainage.
- XX 3. All plan sheets labeled with "RECORD DRAWING" in large text in lower right hand corner (Approved County Plan Number and BMP ID Code can be included if known).
- XX 4. All plan sheet revision blocks modified to indicate date and record drawing status.
- XX 5. All plan sheets have certification statements and certifying professional's signature and seal.

II. Minimum Standards: (Required for all Stormwater Management / BMP facilities, as applicable.)

- XX 1. All requirements of Section I (Methods and Presentation) apply to this section.
- XX 2. Plan Views: Show general location, arrangement and dimensions. Location and alignment shall generally match approved design plans.
- XX 3. Profile or elevations along top or berm of the facility. At a minimum, elevations are required at each end, at intervals not to exceed 50 feet and where low spots may be present. Top of embankment or berm elevations must be no less than design elevation plus any settlement allowances.
- INC 4. Top widths, berm widths and embankment side slopes.
- INC 5. Show length, width and depth of facility or grading, contours or spot elevations as required to verify permanent pool and design storage volumes were met or were reasonably close to the approved design. Evaluation of as-built grading, contours, spot elevations, or cross-sections, may be necessary by the professional to ensure approved design configurations, depths and volumes were closely maintained. If grading or elevations are significantly different from the approved plan, the Environmental Division shall be contacted immediately to determine whether the variation is acceptable or whether further evidence will be required. Facilities which do not closely resemble approved plan grades, elevations or configurations may require regrading by the Contractor; check volumetric computations; and/or a check hydraulic routing to ensure approved design water surface elevations, discharges or freeboard were closely maintained.
- INC 6. Cross-section of the embankment through the principal spillway or outlet barrel. Must extend at least 100 ft. downstream of the pipe outlet or to recorded site property line, whichever is closer. Proper correlation is required between principal spillway (control structure) crest, emergency spillway crest, orifice and weirs and the top of the dam or facility. All elevations and dimensions must reasonably match the design plan or be sequentially relative to each other and the facility must reflect the required design storage volume(s) and/or design depth.
- XX 7. Profile or elevations along the entire centerline of the emergency spillway. Emergency spillway may be steeper, but no flatter or narrower than design.
- XX 8. Elevation of the principal spillway crest or outlet crest of the structure.

- 9.0 9. Primary control structure (riser) diameter or dimensions, height, type of material and base size. Indicate provisions for access that are present such as steps, ladders, etc.
- 10.0 10. Dimensions, locations and elevations of outlet orifices, weirs, slots and drains.
- 11.0 11. Type and size of anti-vortex and trash rack device. Height, diameter, dimensions, bar spacings (if applicable) and elevations relative to the principal spillway crest. Indicate if lockable hatch is present or not.
- 12.0 12. Type, location, size and number of anti-seep collars or documentation of other methods utilized for seepage control. **May need to obtain this information during construction.**
- 13.0 13. Top of impervious core embankment, core trench limits and elevation of cut-off trench bottom. **May need to obtain this information during construction.**
- 14.0 14. Elevation of the principal spillway barrel (outlet pipe) inlet and outlet invert.
- 15.0 15. Outlet barrel diameter, length, slope, type and thickness class of material and type of flared end sections, headwall or endwall.
- 16.0 16. Outfall protection dimension, type and depth of rock and if underlain filter fabric is present.
- N/A 17. BMP interior and periphery landscaping zones conform with arrangements and requirements of the approved design plan.
- N/A 18. Maintenance plan taken from approved design plan transposed onto record drawing set.
- N/A 19. Fencing location and type, if applicable to facility.
- 15.0 20. BMP vicinity properly cleaned of stockpiles and construction debris.
- 16.0 21. No visual signs of erosion or channel degradation immediately downstream of facility.
- 17.0 22. Any other information formally requested by the Environmental Division specific to the constructed SWM/BMP facility.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

III. Group A - Wet Ponds (Includes A-1 Small Wet Ponds; A-2 Wet Ponds; A-3 Wet Ext Det Ponds.)

- INC A1. All requirements of Section II, Minimum Standards, apply to Group A facilities.
- INC A2. Principal spillway consists of reinforced concrete pipe with O-Ring gaskets for watertight joint construction.
- N/A A3. Sediment forebays or pretreatment devices provided at inlets to pond. Generally 4 to 6 ft. deep.
- INC A4. Access for maintenance and equipment is provided to the forebay(s). Access corridors are at least 12 ft. wide, have a maximum slope of 15 percent and are adequately stabilized to withstand heavy equipment or vehicle use.
- N/A A5. Adequate fixed vertical sediment depth markers installed in the forebay(s) for future sediment monitoring purposes.
- N/A A6. Pond liner (if required) provided. Either clay liners, polyliners, bentonite liners or use of chemical soil additives based on requirements of the approved plan.
- N/A A7. Minimum 6 percent slope safety bench extending a minimum of 15 feet outward from normal pool edge and/or an aquatic bench extending a minimum of 10 feet inward from the normal shoreline with a maximum depth of 12 inches below the normal pool elevation, if applicable, per the approved design plans. (Note: Safety benches may be waived if pond side slopes are no steeper than 4H:1V).
- INC A8. No trees are present within a zone 15 feet around the embankment toe and 25 feet from the principal spillway structure.
- XY A9. Wet permanent pool, typically 3 to 6 feet deep, is provided and maintains level within facility.
- XY A10. Low flow orifice has a non-clogging mechanism.
- XY A11. A pond drain pipe with valve was provided.
- INC A12. Pond side slopes are not steeper than 3H:1V, unless approved plan allowed for steeper slope.
- XY A13. End walls above barrels (outlet pipe) greater than 48 inch in diameter are fenced to prevent a fall hazard.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

IV. Group B - Wetlands (Includes B-1 Shallow Marsh; B-2 Ext Det Shallow Wetlands; B-3 Pond Wetland System and B-4 Pocket Wetland)

- N/A B1. Same requirements as Group A Wet Ponds.
- B2. Minimum 2:1 length to width flow path provided across the facility.
- B3. Micropool provided at or around outlet from BMP (generally 3 to 6 ft. deep).
- B4. Wetland type landscaping provided in accordance with approved plan. Includes correct pondscaping zones, plant species, planting arrangements, wetland beds, etc. Wetland plants include 5 to 7 emergent wetland species. Individual plants at 18 inches on center in clumps.
- B5. Adequate wetland buffer provided (Typically 25 ft. outward from maximum design water surface elevation and 15 ft. setback to structures).
- B6. No more than one-half (½) of the wetland surface area is planted.
- B7. Topsoil or wetland mulch provided to support vigorous growth of wetland plants.
- N/A B8. Planting zones staked or flagged in field and locations subsequently established by appropriate field surveying methods for record drawing presentation.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

V. Group C - Infiltration Practices (Includes C-1 Infiltration Trench; C-2 Infiltration Trench;
C-3 Infiltration Basin; and C-4 Infiltration Basin)

- N/A C1. All requirements of Section II, Minimum Standards, apply to Group C facilities as applicable.
- C2. Facility is not located on fill slopes or on natural ground in excess of six (6) percent.
- C3. Pretreatment devices provided prior to entry into the infiltration facility. Acceptable pretreatment devices include sediment forebays, sediment basins, sediment traps, sump pits or inlets, grass channels, plunge pools or other acceptable measures.
- C4. Three (3) or more of the following pretreatment devices provided to protect long term integrity of structure: grass channel; grass filter strip; bottom sand layer; upper filter fabric layer; use of washed bank run gravel aggregate.
- C5. Sides of infiltration practice lined with filter fabric.
- C6. Facility was not used for erosion and sediment control purposes and sediment was prevented from entering the facility to the greatest extent possible during construction.
- C7. Stabilization and acceptable vegetative cover established over contributing drainage area prior to conveyance of stormwater to the facility.
- C8. Minimum one hundred (100) foot separation horizontally from any known water supply well and minimum one hundred (100) foot separation upslope from any building.
- C9. Minimum twenty-five (25) foot separation down gradient from any structure.
- C10. Stormwater outfalls provided for overflow associated with larger design storms.
- C11. No visual signs of erosion or channel degradation immediately downstream of facility.
- C12. Facility does not currently cause any apparent surface or subsurface water problems to downgrade properties.
- C13. Observation well provided.
- N/A C14. Adequate, direct access provided to the facility for future maintenance, operation and inspection.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

VI. Group D - Filtering Systems (Includes D-1 Bioretention Cells; D-2 Surface Sand Filters; D-3 Underground Sand Filters; D-4 Perimeter Sand Filters; D-5 Organic Filters; and D-6 Pocket Sand Filters)

- N/A D1. All requirements of Section II, Minimum Standards, apply to Group D facilities.
- D2. Sediment pretreatment devices provided.
- D3. For D-1 BMPs (Bioretention Cells), pretreatment consisting of a grass filter strip below level spreader (deflector); a gravel diaphragm; and mulch and planting soil layers were provided.
- D4. For D-1 BMPs (Bioretention Cells), plantings consist of native plant species; vegetation provided was based on zones of hydric tolerances; trees and understory of shrubs and herbaceous materials were provided; woody vegetation is absent from inflow locations; and trees are located around facility perimeter.
- D5. Facility was not used for erosion and sediment control purposes and sediment was prevented from entering the facility to the greatest extent possible during construction.
- D6. No visible signs of accumulated silt/sediment were present in the facility following construction or alternately, accumulated silt/sediment was properly removed .
- D7. Filtering system is off-line from storm drainage conveyance system.
- D8. Overflow outlet has adequate erosion protection.
- D9. Deflector, diversion, flow splitter or regulator structure provided to divert the water quality volume to the filtering structure.
- D10. Minimum four (4) inch perforated underdrain provided in a clean aggregate envelope layer beneath the facility.
- D11. Minimum fifty (50) foot separation from any slope fifteen (15) percent or greater. Minimum one hundred (100) foot separation horizontally from any known water supply well. Minimum one hundred (100) foot separation upslope and twenty-five (25) foot separation downslope from any building.
- D12. Stabilization and acceptable vegetative cover established over contributing drainage area prior to conveyance of stormwater to the facility.
- D13. No visual signs of erosion or channel degradation immediately downstream of facility.
- N/A D14. Adequate, direct access provided to the pretreatment area and/or filter bed for future maintenance.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

VI. Group D - Filtering Systems (Includes D-1 Bioretention Cells; D-2 Surface Sand Filters; D-3 Underground Sand Filters; D-4 Perimeter Sand Filters; D-5 Organic Filters; and D-6 Pocket Sand Filters)

- N/A D1. All requirements of Section II, Minimum Standards, apply to Group D facilities.
- D2. Sediment pretreatment devices provided.
- D3. For D-1 BMPs (Bioretention Cells), pretreatment consisting of a grass filter strip below level spreader (deflector); a gravel diaphragm; and mulch and planting soil layers were provided.
- D4. For D-1 BMPs (Bioretention Cells), plantings consist of native plant species; vegetation provided was based on zones of hydric tolerances; trees and understory of shrubs and herbaceous materials were provided; woody vegetation is absent from inflow locations; and trees are located around facility perimeter.
- D5. Facility was not used for erosion and sediment control purposes and sediment was prevented from entering the facility to the greatest extent possible during construction.
- D6. No visible signs of accumulated silt/sediment were present in the facility following construction or alternately, accumulated silt/sediment was properly removed .
- D7. Filtering system is off-line from storm drainage conveyance system.
- D8. Overflow outlet has adequate erosion protection.
- D9. Deflector, diversion, flow splitter or regulator structure provided to divert the water quality volume to the filtering structure.
- D10. Minimum four (4) inch perforated underdrain provided in a clean aggregate envelope layer beneath the facility.
- D11. Minimum fifty (50) foot separation from any slope fifteen (15) percent or greater. Minimum one hundred (100) foot separation horizontally from any known water supply well. Minimum one hundred (100) foot separation upslope and twenty-five (25) foot separation downslope from any building.
- D12. Stabilization and acceptable vegetative cover established over contributing drainage area prior to conveyance of stormwater to the facility.
- D13. No visual signs of erosion or channel degradation immediately downstream of facility.
- N/A D14. Adequate, direct access provided to the pretreatment area and/or filter bed for future maintenance.

**STORMWATER MANAGEMENT / BMP FACILITIES
AS-BUILT PLAN CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

VII. Group E - Open Channel Systems (Includes E-1 Wet Swales (Check Dams); E-2 Dry Swales; and E-3 Biofilters)

- | | | |
|------------|------|--|
| <u>N/A</u> | E1. | All requirements of Section II, Minimum Standards, apply to Group E facilities as applicable. |
| | E2. | Open channel system has constructed longitudinal slope of less than four (4) percent. |
| | E3. | No visual signs of erosion in the open channel system's soil and/or vegetative cover. |
| | E4. | Open channel side slopes are no steeper than 2H:1V at any location. Preferred channel sideslope is 3H:1V or flatter. |
| | E5. | No visual signs of ponding are present at any location in the open channel system, except at rock check dam locations for E-1 systems (Wet Swales). |
| | E6. | For E-2 BMPs (Dry Swales), an underdrain system was provided. |
| | E7. | Treated timber or rock check dams provided as pretreatment devices for the open channel system. |
| | E8. | Gravel diaphragm provided in areas where lateral sheet flow from impervious surfaces are directly connected to the open channel system. |
| | E9. | Grass cover/stabilization in the open channel system appears adaptable to the specific soils and hydric conditions for the site and along the channel system. |
| | E10. | Open channel system areas with grass covers higher than four (4) to six (6) inches were properly mowed. |
| | E11. | Facility was not used for erosion and sediment control purposes and sediment was prevented from entering the facility to the greatest extent possible during construction. |
| | E12. | No visible signs of accumulated silt/sediment were present in the facility following construction or alternately, accumulated silt/sediment was properly removed and no adverse affects to the function of the facility are anticipated. |
| | E13. | For E-3 BMPs (Biofilters), the bottom width is six (6) feet maximum at any location. |
| | E14. | For E-3 BMPs (Biofilters), sideslopes are 3H:1V maximum at any location. |
| | E15. | For E-3 BMPs (Biofilters), the constructed channel slope is less than or equal to three (3) percent at any location. |
| <u>N/A</u> | E16. | For E-3 BMPs (Biofilters), the constructed grass channel is approximately equivalent to the constructed roadway length. |

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

VIII. Group F - Extended Dry Detention (Includes F-1 Timber Walls; and F-2 Dry Extended Detention with Forebay)

- N/A F1. All requirements of Section II, Minimum Standards, apply to Group F facilities.
- F2. Basin bottom has positive slope and drainage from all basin inflow points to the riser (or outflow) location.
- F3. Timber wall BMP used in intermittent stream only. (ie. Prohibited in perennial streams.)
- F4. Forebay provided approximately 20 ft. upstream of the facility. Forebays generally 4 to 6 feet in depth.
- F5. A reverse slope pipe, vertical stand pipe or mini-barrel and riser was provided to prevent clogging.
- F6. Principal spillway and outlet barrel provided consisting of reinforced concrete pipe with O-Ring gaskets for watertight joint construction.
- F7. Mini-barrel and riser, if used, contains a removable trash rack to reduce clogging.
- F8. Low flow orifice, if used, has a minimum diameter of three (3) inches or two (2) inches if internal orifice control was utilized and a small, cage type external trash rack.
- F9. Timbers properly reinforced or concrete footing provided if soil conditions were prohibitive.
- F10. Timber wall cross members extended to a minimum depth of two (2) feet below ground elevation.
- F11. Protection against erosion and scour from the low flow orifice and weir-flow trajectory provided.
- F12. Stilling basin or standard outlet protection provided at principal spillway outlet.
- F13. Adequate, direct access provided to the facility. Access corridor to facility is at least ten (10) feet wide, slope is less than twenty (20) percent and appropriate stabilization provided for equipment and vehicle use. Access extends to forebay, standpipe and timber wall, as applicable.
- F14. No visual signs of undercutting of timber walls or clogging of the low orifice were present.
- F15. No visual signs of erosion or channel degradation immediately downstream of facility.
- N/A F16. No visible signs of accumulated silt/sediment were present in the facility following construction or alternately, accumulated silt/sediment was properly removed and no adverse affects to the function of the facility are anticipated.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

IX. Group G - Open Spaces (Includes All Open Space Types G-1; G-2; and G-3)

- | | | |
|------------|-----|---|
| <u>N/A</u> | G1. | All requirements of Section II, Minimum Standards, apply to Group G facilities as applicable. |
| | G2. | Constructed impervious areas appear to conform with locations indicated on the approved plan and appear less than sixty (60) percent impervious in accordance with the requirements of the James City County Chesapeake Bay Preservation Ordinance. |
| | G3. | Dedicated open space areas are in undisturbed common areas, conservation easements or are protected by other enforceable instruments that ensures perpetual protection. |
| | G4. | Provisions included to clearly specify how the natural vegetated areas utilized as dedicated open space will be managed and field identified (marked). |
| | G5. | Adequate protection measures were implemented during construction to protect the defined dedicated open space areas. |
| <u>N/A</u> | G6. | Dedicated open space areas were not disturbed during construction (ie. cleared, grubbed or graded). |

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

(Key for Checklist is as follows: XX Acceptable N/A Not Applicable Inc Incomplete)

X. Storm Drainage Systems (Associated with BMP's Only)

(Includes all incidental stormwater drainage conveyance systems associated with SWM/BMP facilities such as onsite or offsite storm drains, open channels, inlets, manholes, junctions, outlet protections, deflectors, etc. These facilities are external to the treatment function of, but are directly associated with drainage to and/or from a constructed SWM/BMP facility. The intent of this portion of the certification is to accurately identify the type and quantity of inflow or outflow points associated with the facility for future reference. The Professional may use his/her own discretion to determine inclusive facilities to meet the intent of this section. As a general rule, storm drainage systems would include incidental facilities to the nearest access structure upslope or downslope from the normal physical limits of the facility or 800 feet of storm drainage conveyance system length, whichever is less.)

- N/A SD1. All requirements of Section II, Minimum Standards, apply to Storm Drainage Systems.
- SD2. Horizontal location of all pipe and structures relative to the SWM/BMP facility.
- SD3. Type, top elevation and invert elevation of all access type structures (inlets, manholes, etc.).
- SD4. Material type, size or diameter, class, invert elevations, lengths and slopes for all pipe segments.
- N/A SD5. Class, length, width and depth of riprap and outlet protections or dimensions of special energy dissipation structures.

XII. Other Systems

(Includes any non-typical, specialty, manufactured or innovative stormwater management/BMP practices or systems generally accepted for use as or in conjunction with other acceptable stormwater management / BMP practices. Requires evidence of prior satisfactory industry use and prior Environmental Division approval, waiver or exception .)

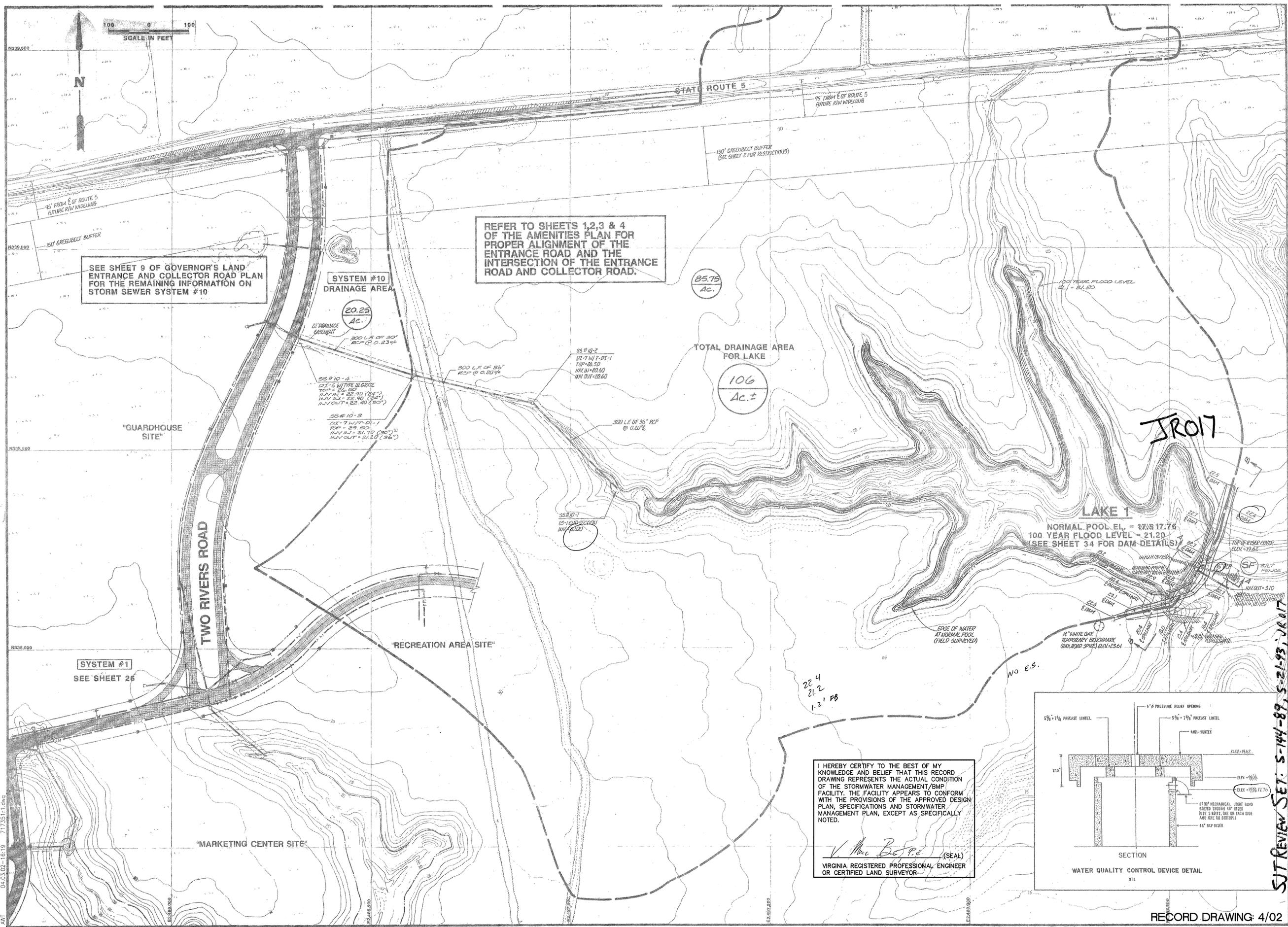
- N/A O1. All requirements of Section II, Minimum Standards, apply to this section.
- N/A O2. Certification criteria to be determined on a case-by-case basis by the Environmental Division specific to the proposed SWM/BMP facility.

**STORMWATER MANAGEMENT / BMP FACILITIES
RECORD DRAWING CHECKLIST**

XIII. References *(The James City County Record Drawing and Construction Certification Forms and Checklists for Stormwater Management / BMP facilities were developed using the following sources and references.)*

- Baltimore County, Maryland Soil Conservation District, As-Built Stormwater Management Pond Checklist.
- James City County, Virginia, Guidelines for Design and Construction of Stormwater Management BMP's (October 1999).
- James City County, Virginia, Stormwater Detention/Retention Basin Design Checklist and Erosion and Sediment Control and Stormwater Management Design Plan Checklists.
- James City County Stormwater Policy Framework, Final Report of the James City County BMP Policy Project, October 1998, The Center for Watershed Protection.
- Prince Georges County, Maryland, As-Built Requirements Retention or Detention Pond/Basin.
- Prince William County, Virginia, Stormwater Management Fact Sheet.
- Stafford County, Virginia, As-Built Plan Checklist.
- Stormwater Management Design Manual, NRCS Maryland Code No. 378, Pond Standards and Specifications.
- USEPA/Watershed Management Institute, Stormwater Management Inspection Forms.
- Virginia Impounding Structure Regulations (Dam Safety), Department of Conservation & Recreation, 1997.
- Virginia Erosion and Sediment Control Handbook, Third Edition 1992, Virginia Department of Conservation and Recreation, Division of Soil and Water Conservation.
- Virginia Stormwater Management Handbook, 1999 edition, Virginia Department of Conservation and Recreation, Division of Soil and Water Conservation.

File: Shared\SWMProg\BMP\Certi\RDCC.wpd



SEE SHEET 9 OF GOVERNOR'S LAND ENTRANCE AND COLLECTOR ROAD PLAN FOR THE REMAINING INFORMATION ON STORM SEWER SYSTEM #10

REFER TO SHEETS 1,2,3 & 4 OF THE AMENITIES PLAN FOR PROPER ALIGNMENT OF THE ENTRANCE ROAD AND THE INTERSECTION OF THE ENTRANCE ROAD AND COLLECTOR ROAD.

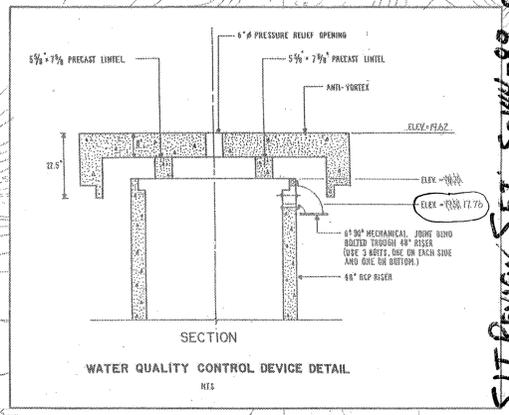
TOTAL DRAINAGE AREA FOR LAKE
106
Ac.

SYSTEM #10
DRAINAGE AREA
20.25
Ac.

LAKE 1
NORMAL POOL EL. = 21.76
100 YEAR FLOOD LEVEL = 21.20
(SEE SHEET 34 FOR DAM DETAILS)

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS RECORD DRAWING REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP FACILITY. THE FACILITY APPEARS TO CONFORM WITH THE PROVISIONS OF THE APPROVED DESIGN PLAN, SPECIFICATIONS AND STORMWATER MANAGEMENT PLAN, EXCEPT AS SPECIFICALLY NOTED.

V. Mac Bette (SEAL)
VIRGINIA REGISTERED PROFESSIONAL ENGINEER OR CERTIFIED LAND SURVEYOR



REV	DATE	DESCRIPTION
6	4/02	RECORD DRAWING
5	5/97	AS-BUILT - WINGFIELD LAKE
4	1/97	REVISED PER CHANGELIST ENVELOPES
3	1/97	REVISED PER CHANGELIST ENVELOPES
2	1/97	REVISED PER CHANGELIST ENVELOPES
1	1/97	REVISED PER CHANGELIST ENVELOPES

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5246 Olde Towne Road, Suite 1
Williamsburg, Virginia 23185
804-253-0040
Engineering, Planning, Surveying

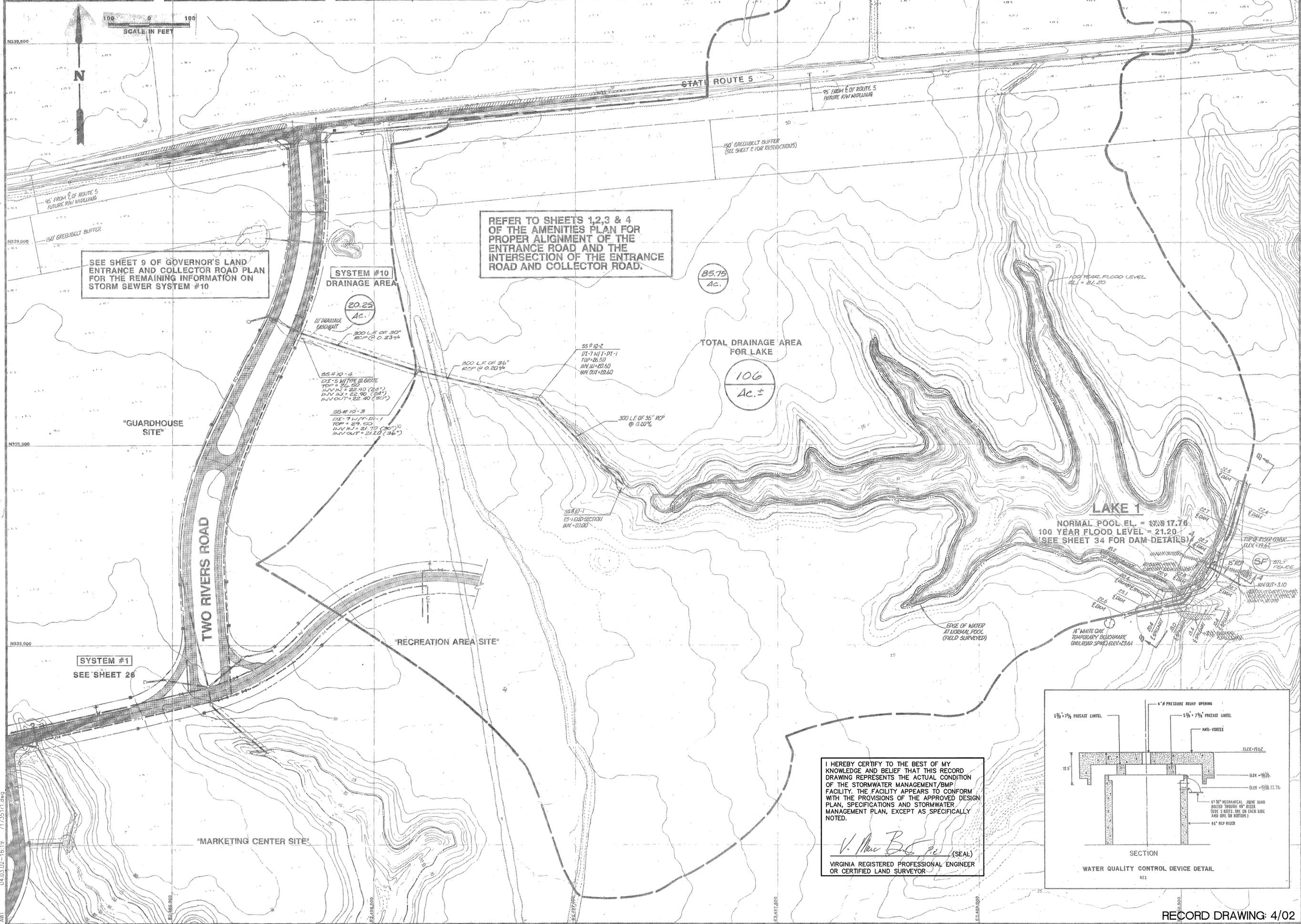


STORMWATER MANAGEMENT PLAN
LAKE 1
AS-BUILT - WINGFIELD LAKE
GOVERNOR'S LAND
PHASE I
OWNER/DEVELOPER: GOVERNOR'S LAND PARTNERS
JAMES CITY COUNTY, VIRGINIA

Designed	Drawn
AES	AES
Scale	Date
1" = 100'	FEB, 1999
Project No.	7173
Drawing No.	1

RECORD DRAWING: 4/02

SJT REVIEW SET: S-144-89, S-21-93, JR 017



REFER TO SHEETS 1,2,3 & 4 OF THE AMENITIES PLAN FOR PROPER ALIGNMENT OF THE ENTRANCE ROAD AND THE INTERSECTION OF THE ENTRANCE ROAD AND COLLECTOR ROAD.

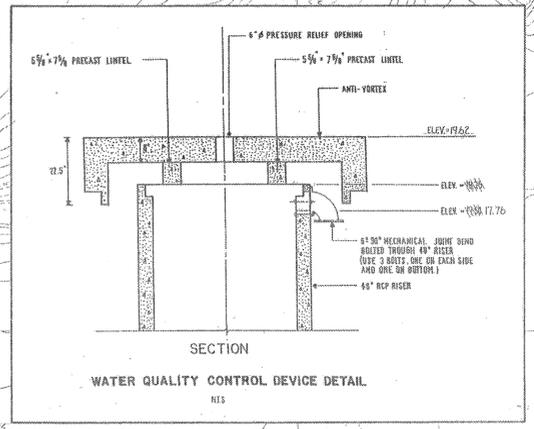
SEE SHEET 9 OF GOVERNOR'S LAND ENTRANCE AND COLLECTOR ROAD PLAN FOR THE REMAINING INFORMATION ON STORM SEWER SYSTEM #10

TOTAL DRAINAGE AREA FOR LAKE
106 Ac.±

LAKE 1
NORMAL POOL EL. = 17.76
100 YEAR FLOOD LEVEL = 21.20
(SEE SHEET 34 FOR DAM-DETAILS)

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS RECORD DRAWING REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP FACILITY. THE FACILITY APPEARS TO CONFORM WITH THE PROVISIONS OF THE APPROVED DESIGN PLAN, SPECIFICATIONS AND STORMWATER MANAGEMENT PLAN, EXCEPT AS SPECIFICALLY NOTED.

V. Marc B... (SEAL)
VIRGINIA REGISTERED PROFESSIONAL ENGINEER OR CERTIFIED LAND SURVEYOR



NO.	DATE	REVISION / COMMENT / NOTE
1	08/17/00	REVISED PER CHALKER DEVELOPER
2	08/17/00	REVISED PER CHALKER DEVELOPER
3	08/17/00	REVISED PER CHALKER DEVELOPER
4	08/17/00	REVISED PER CHALKER DEVELOPER
5	08/17/00	REVISED PER CHALKER DEVELOPER
6	08/17/00	REVISED PER CHALKER DEVELOPER
7	08/17/00	REVISED PER CHALKER DEVELOPER
8	08/17/00	REVISED PER CHALKER DEVELOPER

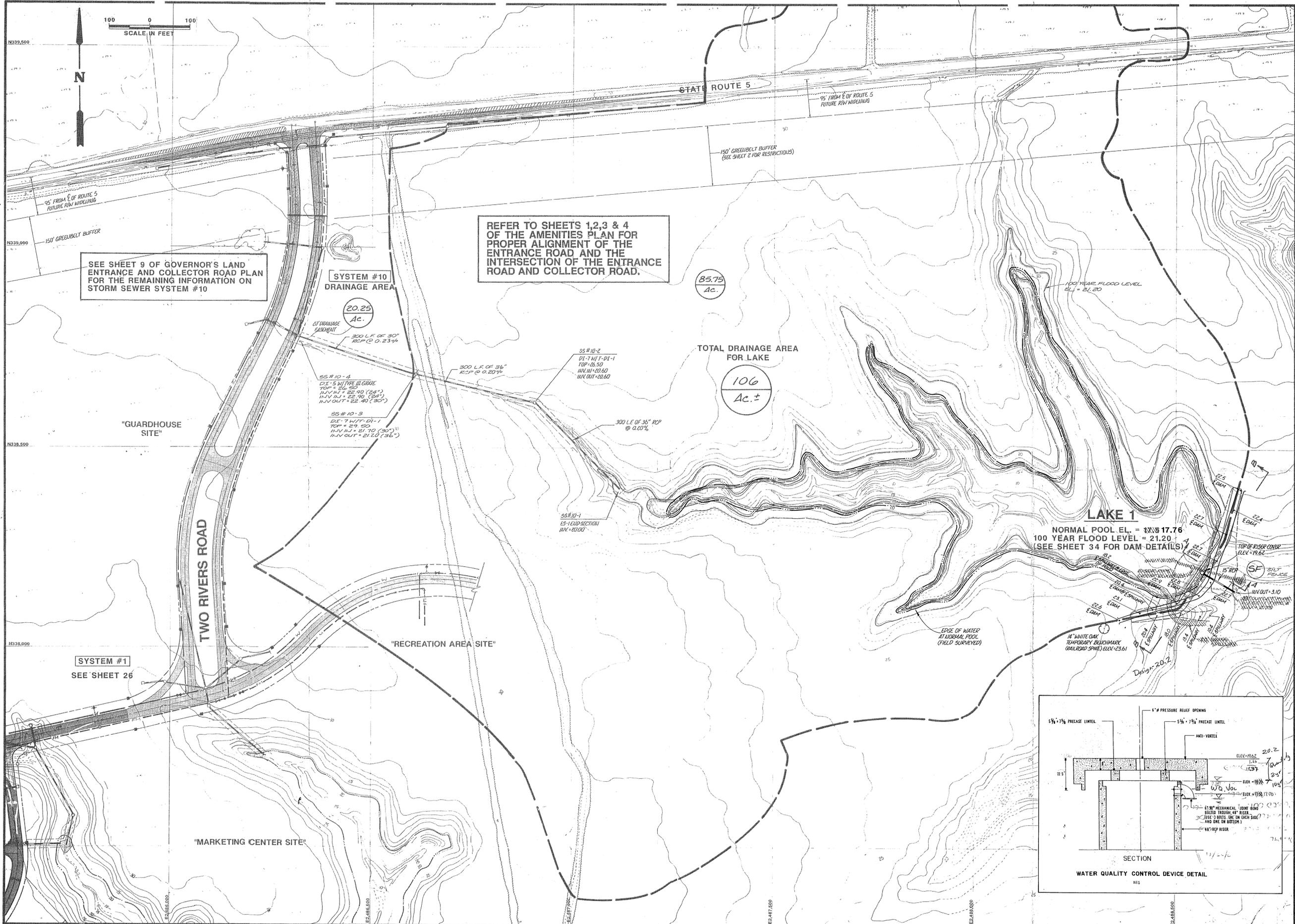
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AS-BUILT - WINGFIELD LAKE
STORMWATER MANAGEMENT PLAN
LAKE 1
PHASE I
OWNER/DEVELOPER: GOVERNOR'S LAND PARTNERS
JAMES CITY COUNTY, VIRGINIA

Designed AES	Drawn AES
Scale 1" = 100'	Date FEB. 1999
Project No. 7173	
Drawing No.	

RECORD DRAWING: 4/02



SEE SHEET 9 OF GOVERNOR'S LAND ENTRANCE AND COLLECTOR ROAD PLAN FOR THE REMAINING INFORMATION ON STORM SEWER SYSTEM #10

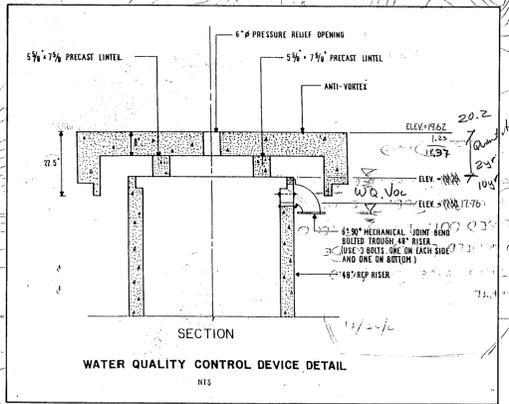
REFER TO SHEETS 1,2,3 & 4 OF THE AMENITIES PLAN FOR PROPER ALIGNMENT OF THE ENTRANCE ROAD AND THE INTERSECTION OF THE ENTRANCE ROAD AND COLLECTOR ROAD.

85.75
Ac.

TOTAL DRAINAGE AREA FOR LAKE

106
Ac. ±

LAKE 1
NORMAL POOL EL. = 17.76
100 YEAR FLOOD LEVEL = 21.20
(SEE SHEET 34 FOR DAM-DETAILS)



NO.	DATE	REVISION / COMMENT / NOTE
1	10/10/00	AS-BUILT - WINGFIELD LAKE
2	11/10/00	REVISED PER FINAL COMMENTS
3	12/10/00	REVISED PER CHAIRMAN DEVELOPER
4	1/10/01	REVISED PER CHAIRMAN DEVELOPER
5	2/10/01	REVISED PER CHAIRMAN DEVELOPER
6	3/10/01	REVISED PER CHAIRMAN DEVELOPER
7	4/10/01	REVISED PER CHAIRMAN DEVELOPER

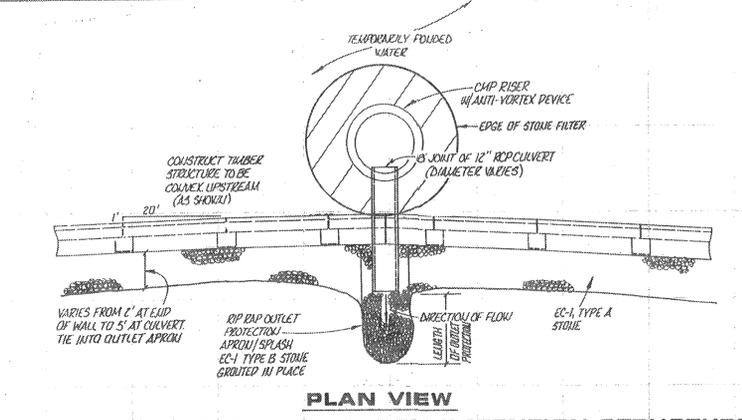


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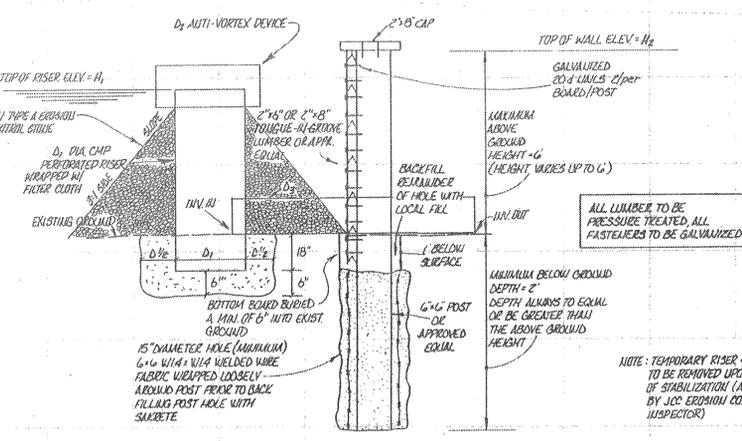


AS-BUILT - WINGFIELD LAKE
STORMWATER MANAGEMENT PLAN
LAKE 1
GOVERNOR'S LAND
PHASE I
OWNER/DEVELOPER: GOVERNOR'S LAND PARTNERS
JAMES CITY COUNTY
POWhatan DISTRICT

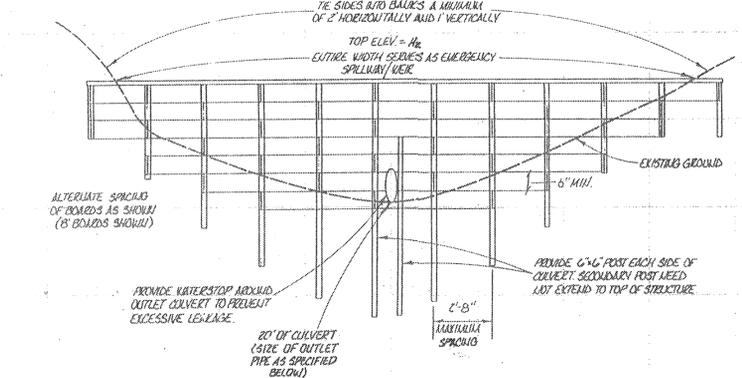
Designed AES	Drawn AES
Scale 1" = 100'	Date FEB. 1990
Project No. 7173	
Drawing No.	



PLAN VIEW
PRESSURE TREATED WOOD DRY DETENTION STRUCTURE
N.T.S.



END VIEW
PRESSURE TREATED WOOD DRY DETENTION STRUCTURE
N.T.S.



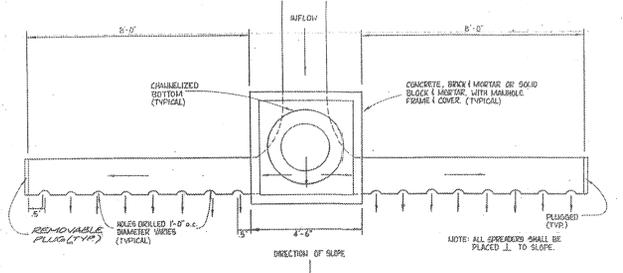
UPSTREAM ELEVATION
PRESSURE TREATED WOOD DRY DETENTION STRUCTURE
N.T.S.

TIMBER DRY DETENTION STRUCTURE DIMENSIONS

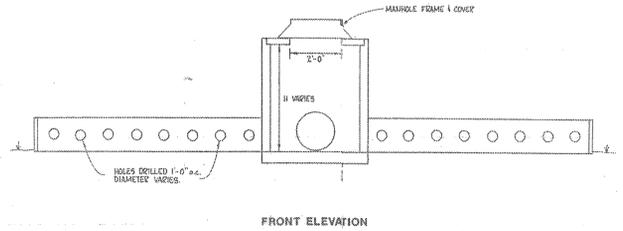
TIMBER STRUCTURE	ELEVATION OF RISER H ₁	ELEVATION OF STRUCTURE H ₂	RISER DIA D ₁	ANTI-VORTEX DIA D ₂	OUTLET PIPE DIA D ₃	ELEVATION OF INV. IN	ELEVATION OF INV. OUT
NO. 1	15'	16'	48"	72"	18"	10.5'	10.0
NO. 2	14'	15'	24"	36"	8"	9.0'	8.7
NO. 3	14'	15'	24"	36"	8"	9.0'	8.7
NO. 4	13'	14'	24"	36"	8"	8.0'	7.7

TIMBER DRY DETENTION STRUCTURE OUTLET PROTECTION

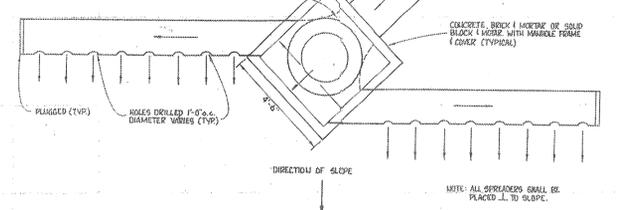
TIMBER STRUCTURE	10' WIDE RIPPAP AERON BEHIND WALL	OUTLET PROTECTION
NO. 1	20 CY EC-1 TYPE A	7 CY EC-1 TYPE B LENGTH = 25'
NO. 2	15 CY EC-1 TYPE A	3 CY EC-1 TYPE B LENGTH = 15'
NO. 3	15 CY EC-1 TYPE A	3 CY EC-1 TYPE B LENGTH = 15'
NO. 4	15 CY EC-1 TYPE A	3 CY EC-1 TYPE B LENGTH = 15'



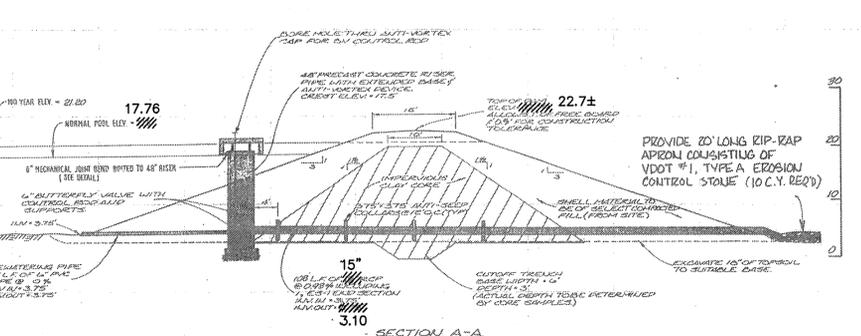
PLAN VIEW
SPREADER DETAILS
N.T.S.



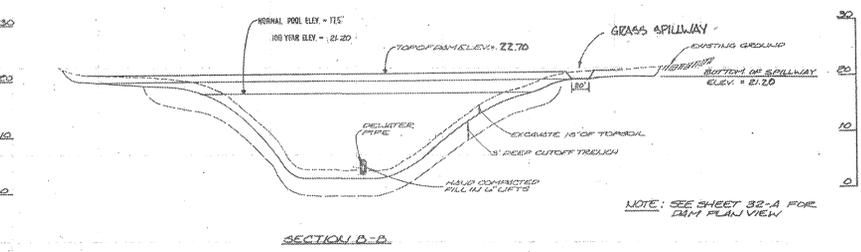
FRONT ELEVATION
SPREADER DETAILS
N.T.S.



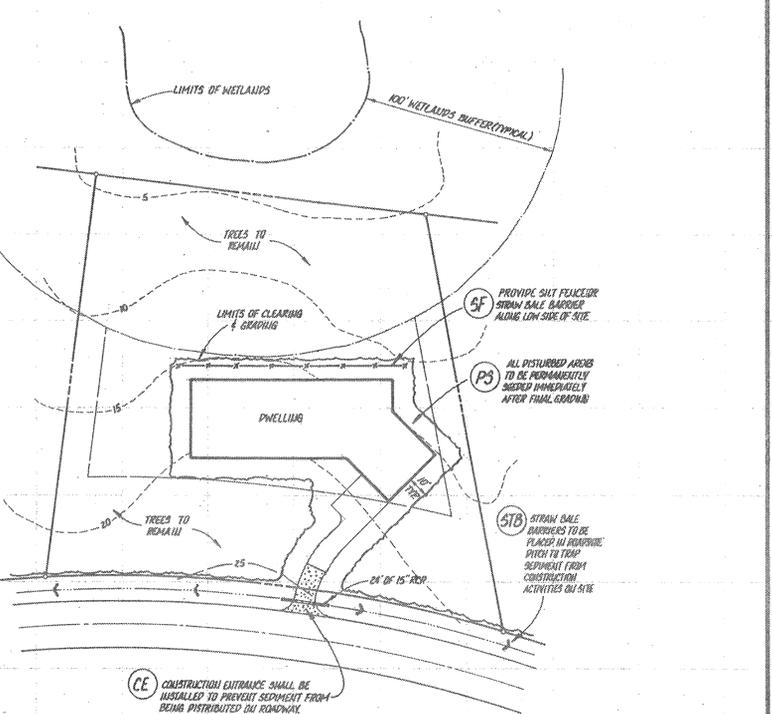
PLAN VIEW WHEN INFLOW PIPE IS SKEWED TO THE SLOPE OF THE LAND
SPREADER DETAILS
N.T.S.



SECTION A-A
LAKE I - DAM DETAILS
N.T.S.

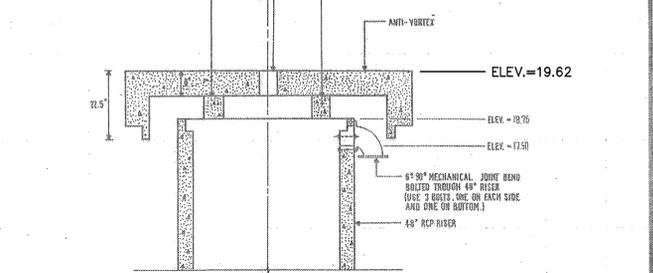


SECTION B-B
LAKE I - DAM DETAILS
N.T.S.

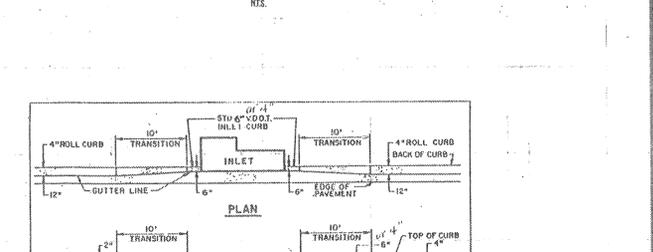


TYPICAL EROSION CONTROL PLAN FOR SITES THAT BORDER WETLANDS
NOT TO SCALE

STANDARD PIPE	CAP	END PIPE	CAP
TYPE	LB	TYPE	WEIGHT
12"	21	12"	21
14"	27	14"	27
16"	33	16"	33
18"	39	18"	39
20"	45	20"	45
22"	51	22"	51
24"	57	24"	57
26"	63	26"	63
28"	69	28"	69
30"	75	30"	75
32"	81	32"	81
34"	87	34"	87
36"	93	36"	93
38"	99	38"	99
40"	105	40"	105
42"	111	42"	111



WATER QUALITY CONTROL DEVICE DETAIL
N.T.S.



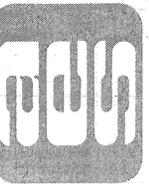
CURB TRANSITION DETAIL FOR 4" ROLL CURB & D.I. 3A, B, C
(DETAIL PROVIDED BY V.D.O.T.)

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS RECORD DRAWING REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP FACILITY. THE FACILITY APPEARS TO CONFORM WITH THE PROVISIONS OF THE APPROVED DESIGN PLAN, SPECIFICATIONS AND STORMWATER MANAGEMENT PLAN, EXCEPT AS SPECIFICALLY NOTED.

V. Mac B... PE (SEAL)
VIRGINIA REGISTERED PROFESSIONAL ENGINEER OR CERTIFIED LAND SURVEYOR

NO.	DATE	REVISION / COMMENT / NOTE	BY
6	4/02	RECORD DRAWING	
5	10/01	REVISED PER CIVIL COMMENTS	
4	10/01	REVISED PER CIVIL COMMENTS	
3	10/01	REVISED PER CIVIL COMMENTS	
2	10/01	REVISED PER J.C.C. REVIEW LOT CHANGES	
1	10/01	REVISED PER J.C.C. REVIEW LOT CHANGES	

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Williamsburg, Virginia 23185
(804) 253-0040
Engineering, Planning, Surveying



MISCELLANEOUS DETAILS
GOVERNOR'S LAND PHASE I
OWNER/DEVELOPER: GOVERNOR'S LAND PARTNERS
JAMES CITY COUNTY, VIRGINIA

Designed	Drawn
AES	AES
Scale	Date
1" = 100'	FEB. 1990
Project No.	Drawing No.
7173	

RECORD DRAWING: 4/02

AES CONSULTING ENGINEERS

Engineering, Surveying and Planning

5248 Olde Towne Road, Suite 1
WILLIAMSBURG, VIRGINIA 23188

LETTER OF TRANSMITTAL

(757) 253-0040
FAX (757) 220-8994

TO James City County Environmental Division

DATE <u>December 2, 1998</u>	JOB NO. <u>7173</u>
ATTENTION <u>DAVID MEDDAR</u>	
RE: <u>WINGFIELD LAKE (GOVERNOR'S LAND)</u>	

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
<u>2</u>			<u>WINGFIELD LAKE RECORD DRAWINGS</u>

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS

David,
 I HAVE ATTACHED TWO COPIES OF THE RECORD DRAWINGS FOR WINGFIELD LAKE. I AM ASSUMING THIS IS ~~THE~~ ONE OF THE COMPONENTS NEEDED TO RELEASE OR REDUCE THE LETTER OF CREDIT FOR WINGFIELD LAKE.

COPY TO _____

SIGNED: V. Marc B...

AES CONSULTING ENGINEERS

Engineering, Surveying and Planning

5248 Olde Towne Road, Suite 1
WILLIAMSBURG, VIRGINIA 23188

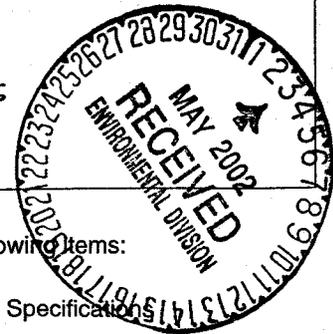
LETTER OF TRANSMITTAL

(757) 253-0040
FAX (757) 220-8994

DATE 5/02/02	JOB NO. 7173-00
ATTENTION	
RE: GOVERNOR'S LAND BMP AS-BUILTS	

TO JAMES CITY ENVIRONMENTAL DIVISION

5-21-93
5-144-89
JR 017



WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
- Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1			EXCERPT FROM GEO-TECHNICAL REPORT FOR FOWLER'S LAKE
1			EXCERPT FROM GEO-TECHNICAL REPORT FOR WINFIELD LAKE
2			RECORD DRAWINGS FOR TIMBER STRUCTURES #1, #2, #3, #4 IN PHASE 1
2			RECORD DRAWINGS FOR WINFIELD LAKE
2			RECORD DRAWINGS FOR HORNES LAKE
2			RECORD DRAWINGS FOR MARINA BMP
2			RECORD DRAWINGS FOR THE HARBOR BMP
2			RECORD DRAWINGS FOR WHITE HAMLET BMP
2			RECORD DRAWINGS FOR NATHANIEL'S CORNER TIMBER STRUCTURE BMP

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
- For your use Approved as noted Submit _____ copies for distribution
- As requested Returned for corrections Return _____ corrected prints
- For review and comment _____
- FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS

~~THE~~ SHOULD BE THE FINISH OF THE BMP RECORD DRAWINGS IN GOVERNOR'S LAND

COPY TO _____

SIGNED: V. MueBe

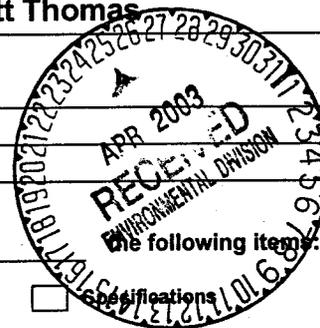
AES CONSULTING ENGINEERS

Engineering, Surveying and Planning
 5248 Olde Towne Road, Suite 1
 Williamsburg, Virginia 23188
 Phone: (757) 253-0040
 Fax: (757) 220-8994

LETTER OF TRANSMITTAL

DATE: 23-Apr-03	JOB NO. 7173-09
ATTENTION: Scott Thomas	
RE : Governor's Land	

TO : James City County
 Environmental Division
 101 Mounts Bay Road
 Williamsburg, VA 23187



WE ARE SENDING YOU:

- Attached Under separate cover via _____
 Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order Other Construction Certification

COPIES	DATE	NO.	DESCRIPTION
1	4-23-03		As-Built drawing (Mylar) - Wingfield Lake JR017
1	4-23-03		As-Built drawing (Black line) - Wingfield Lake JR017
1	4-23-03		Memo responding to letter from County - Wingfield Lake JR017
1	4-23-03		As-Built drawing (Mylar) - Cypress Isle JR041
1	4-23-03		As-Built drawing (Black line) - Cypress Isle JR041
1	4-23-03		Memo responding to letter from County - Cypress Isle JR041
1	4-23-03		Routing computations using As-Built information JR041
1	4-23-03		As-Built drawing (Mylar) - Barrett's Point Pond JR042
1	4-23-03		As-Built drawing (Black line) - Barrett's Point Pond JR042
1	4-23-03		Memo responding to letter from County - Barrett's Point Pond JR042
1	4-23-03		As-Built drawing (Mylar) - Wythe-Hamlet Dry Pond JR040
1	4-23-03		As-Built drawing (Black line) - Wythe-Hamlet Dry Pond JR040
1	4-23-03		Memo responding to letter from County - Wythe-Hamlet Dry Pond JR040
1	4-23-03		As-Built drawing (Mylar) - Travis Pond Dry Pond #2
1	4-23-03		As-Built drawing (Black line) - Travis Pond Dry Pond #2
1	4-23-03		Memo responding to letter from County - Travis Pond Dry Pond #2
1	4-23-03		As-Built drawing (Mylar) - Two Rivers Point Timber Structure JR036
1	4-23-03		As-Built drawing (Black line) - Two Rivers Point Timber Structure JR036
1	4-23-03		Memo responding to letter from County - Two Rivers Point Timber JR036
1	4-23-03		As-Built drawing (Mylar) - Wingfield Lake Timber Structure JR031
1	4-23-03		As-Built drawing (Black line) - Wingfield Lake Timber Structure JR031
1	4-23-03		Memo responding to letter from County - Wingfield Lake Timber JR031

THESE ARE TRANSMITTED as checked below:

- For Approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ Corrected prints
 For review and comment For Signature _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

If you have any questions please contact me. Thank you.

COPIES TO: file

SIGNED:

Victoria Bains
 Victoria Bains

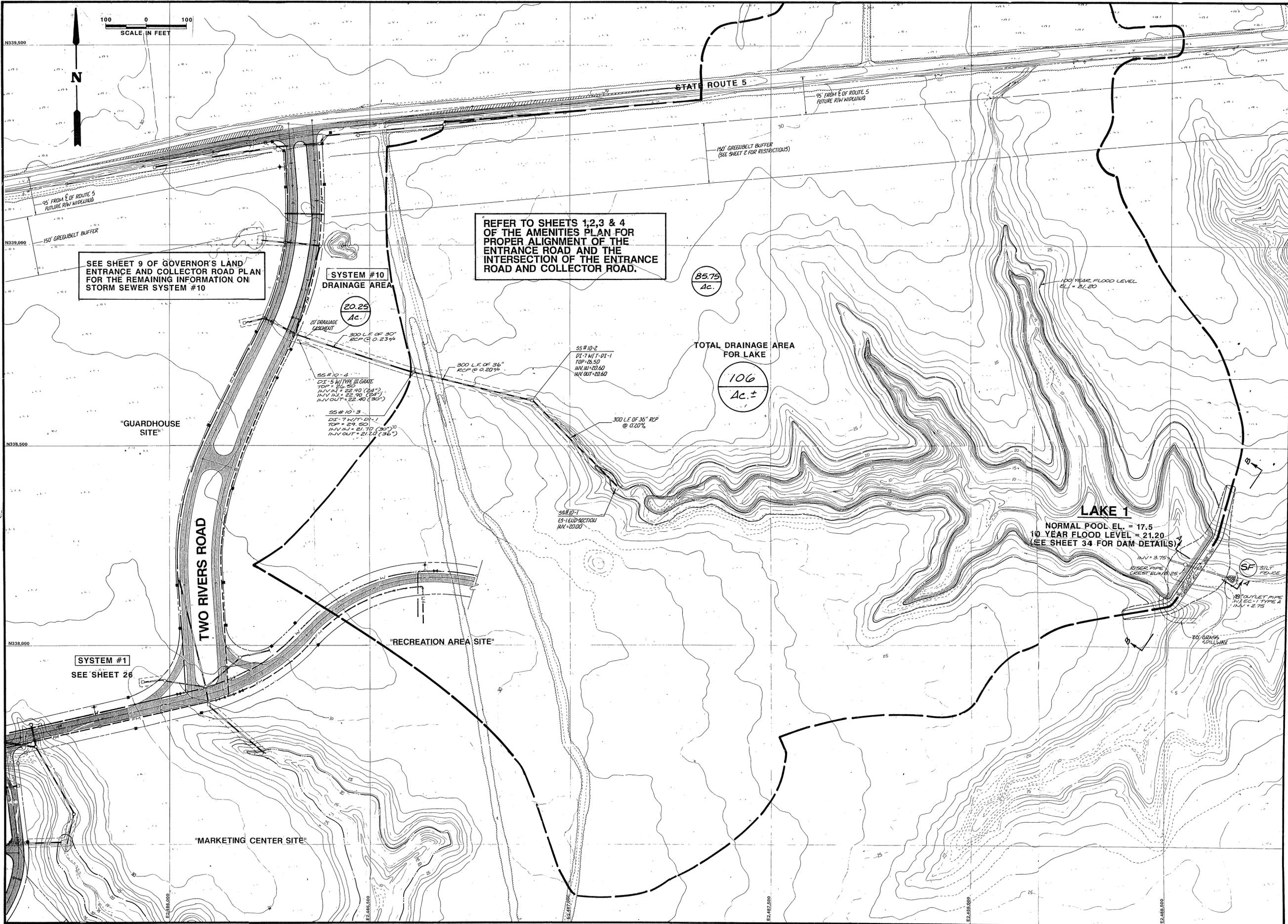
James City County, Virginia
Environmental Division

Stormwater Management/BMP
Record Drawing Review Form

County Plan No. GOVERNOR'S LAND 5-144-89, 5-21-93
 Project Name: Winfield Lake
 Stormwater Management Facility: JR-017

Component	Approved Plan	Record Drawing	OK
Top of dam (lowest point)	22.7	22.4	
Top of Dam (reported)	22.7	22.7	
Top width of dam	15.0'	NA	
Crest of riser	18.25	NA	
Crest of Emerg. Spillway	21.20	20.40	
Low Water elevation	17.5	17.76	
Normal Water level	17.5	17.76	
Bottom of pond elevation	NA	NA	
Inflow Pipe size (1)	36" RCP	36" RCP	
Inflow Pipe size (2)	-	-	
Inflow Pipe size (3)	-	-	
Barrel Diameter (inches)	18" RCP	15" RCP	
100 yr Storm Elevation	21.2	21.2	
Traffic rack/anti-vortex type	CONCRETE	CONCRETE	
Forbay, baffle wall, etc.	NONE	NONE	
Pond drain elevation	3.75	NA	

Date: 1-3-03
 Name: R. HALL



NO.	DATE	REVISION / COMMENT / NOTE	BY
1	01/03	DESIGNED FOR FINAL COMMENTS	AMB
2	01/03	REVISED FOR CHUCK TRESCOWER	VMB
3	01/03	REVISED FOR CHUCK TRESCOWER	VMB
4	01/03	REVISED FOR CHUCK TRESCOWER	VMB
5	01/03	REVISED FOR CHUCK TRESCOWER	VMB



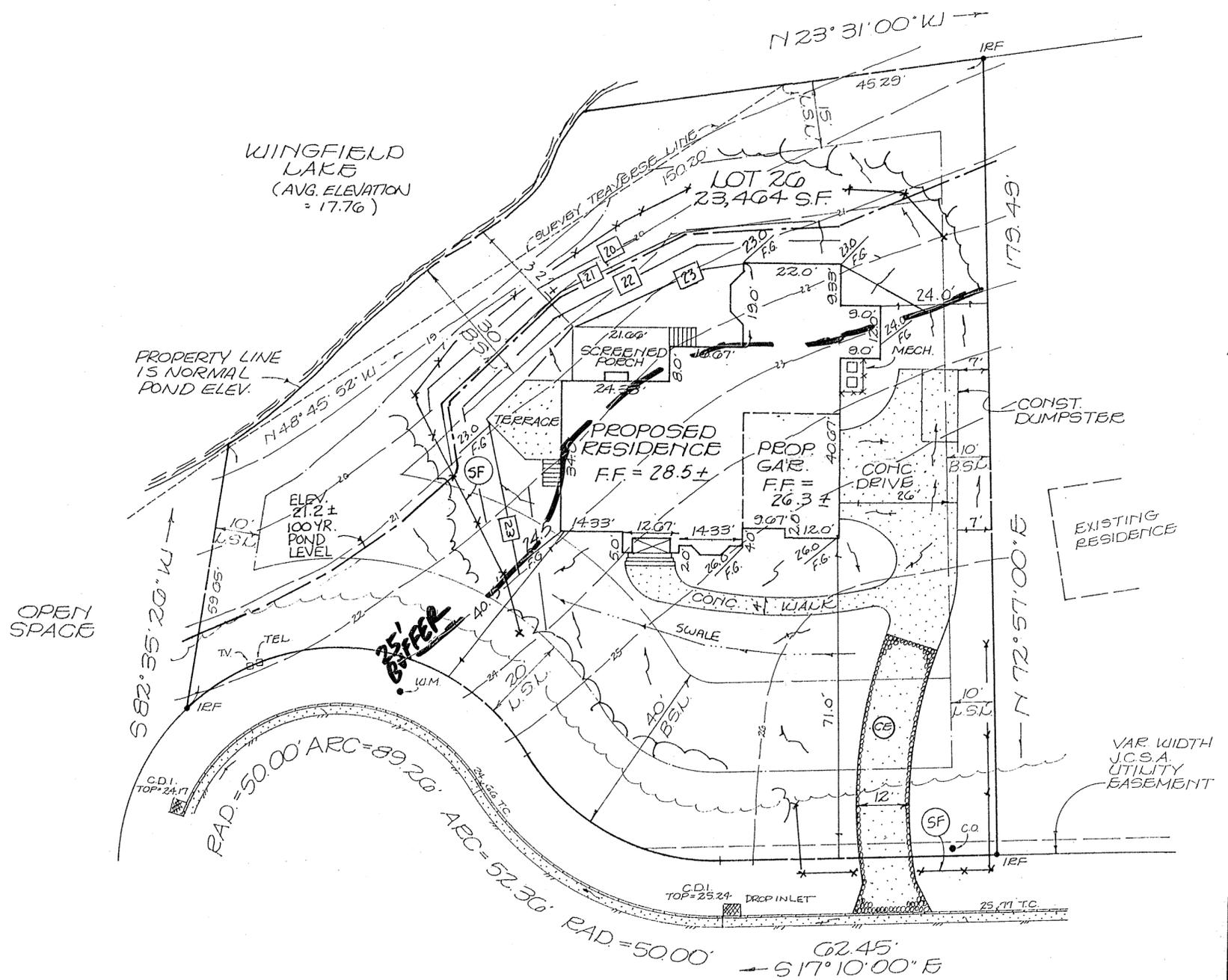
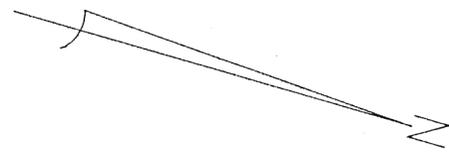
AES, a professional corporation
 5248 Olde Towne Road, Suite 1
 Williamsburg, Virginia 23185
 804-253-0040
 Engineering, Planning, Surveying



STORMWATER MANAGEMENT PLAN
 LAKE 1
GOVERNOR'S LAND
 PHASE I
 OWNER/DEVELOPER: GOVERNOR'S LAND PARTNERS
 POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA

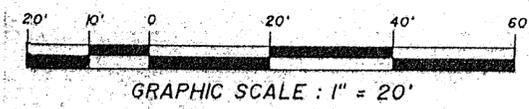
Designed AES	Drawn AES
Scale 1" = 100'	Date FEB. 1990
Project No. 7173	
Drawing No. 32-A	

JR017 - WINGFIELD LAKE

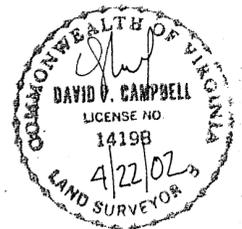


- LEGEND**
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - - - DRAINAGE / UTILITY EASEMENT
 - CONSERVATION EASEMENT
 - 100' BUFFER
 - EXISTING ELEVATION CONTOUR (NGVD)
 - 78 --- PROPOSED ELEVATION CONTOUR
 - 18±3 78.0 --- EXIST. SPOT ELEVATION
 - F.G. --- FIN. GRADE ELEVATION
 - EXISTING WOODS LINE
 - LIMITS OF PROPOSED CLEARING & PROTECTIVE FENCING
 - --- EXISTING TREE
 - --- TREE TO BE REMOVED
 - PROPOSED RESIDENCE
 - EXISTING RESIDENCE
 - CONCRETE PAVEMENT
 - DIRECTION OF SURFACE DRAINAGE
 - WOOD FENCE

- EROSION & SEDIMENT CONTROL LEGEND**
- 3F - SILT FENCE
 - CE - STONE CONSTRUCTION ENTRANCE



MARGARET JONES LANE
50' R/W

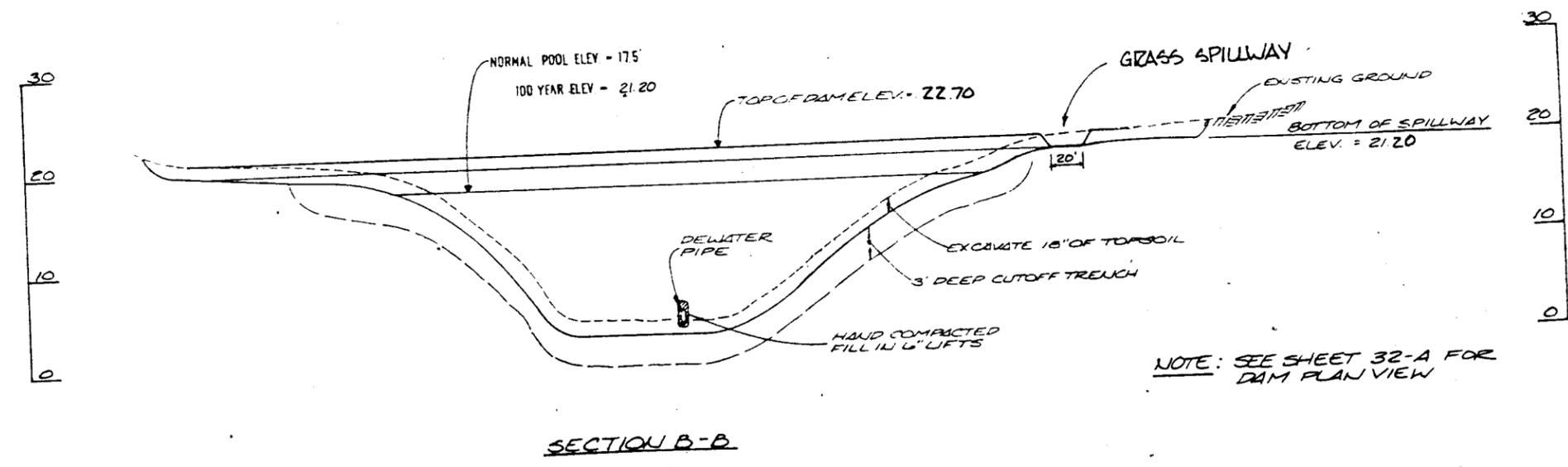
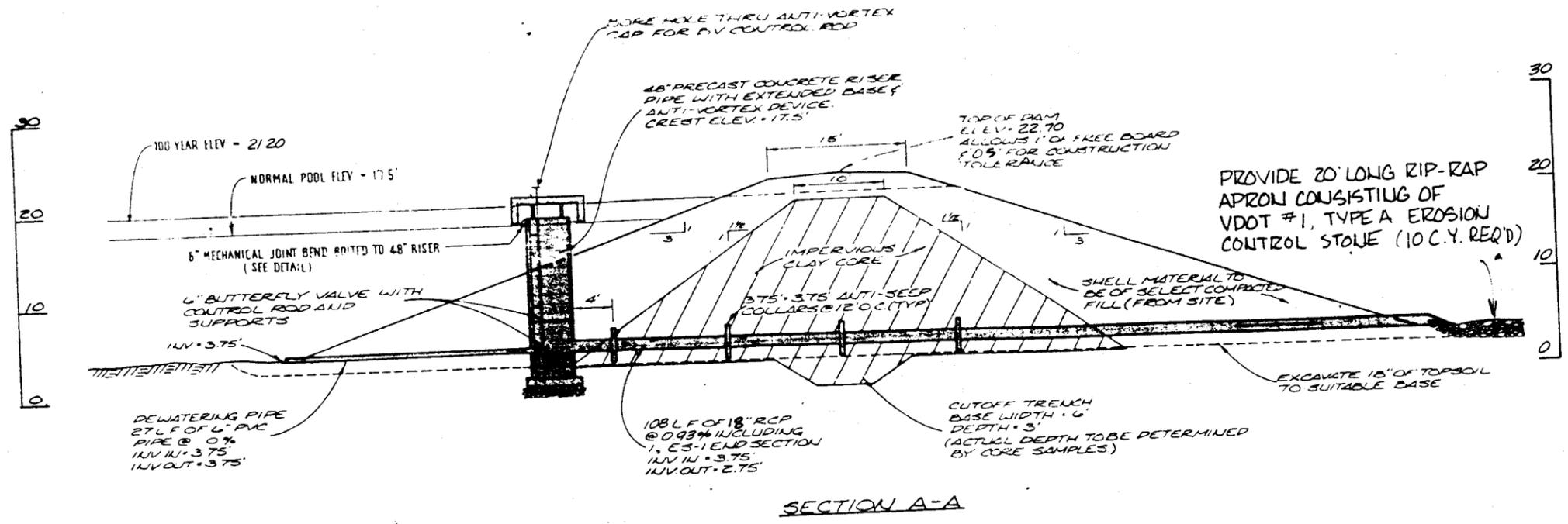


LOT DEVELOPMENT PLAN

LOT 26
WINGFIELD LAKE
THE GOVERNORS LAND
AT TWO RIVERS
JAMES CITY COUNTY, VIRGINIA

CAMPBELL LAND SURVEYING, INC.		DATE	SCALE
YORK COUNTY, VIRGINIA		4/22/02	1" = 20'
DESIGN BY	DRAWN BY	CHECKED BY	JOB NO.
D.P.C.	K.L.B.	D.P.C.	02-413
SHEET		OF	
1		1	

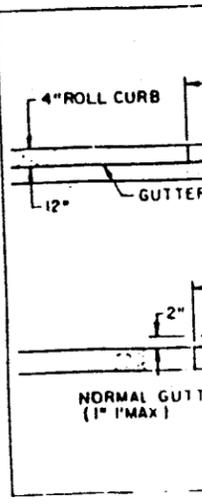
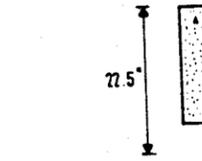
26317

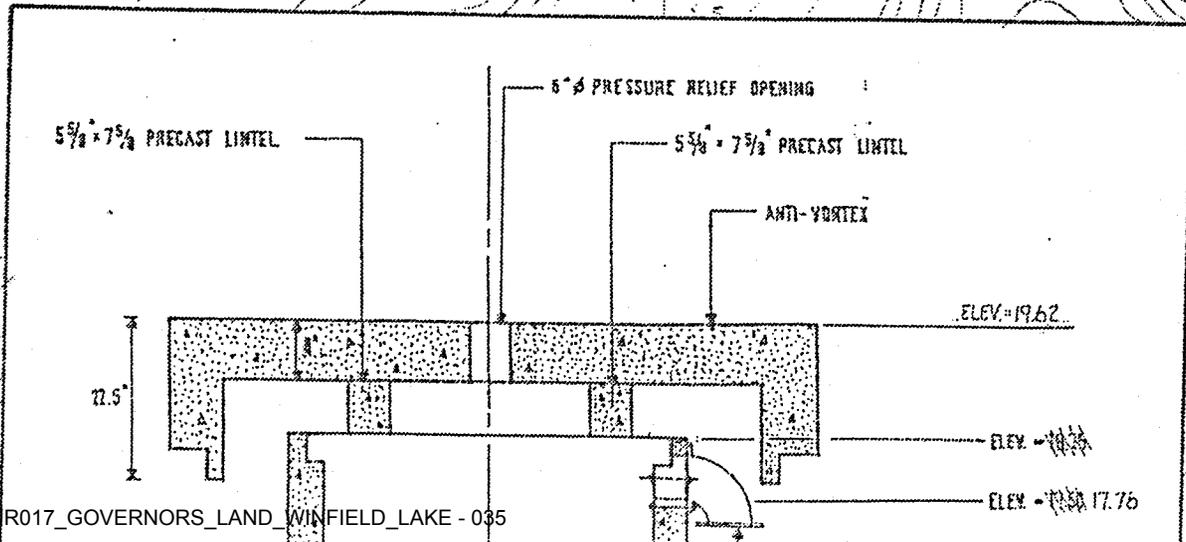
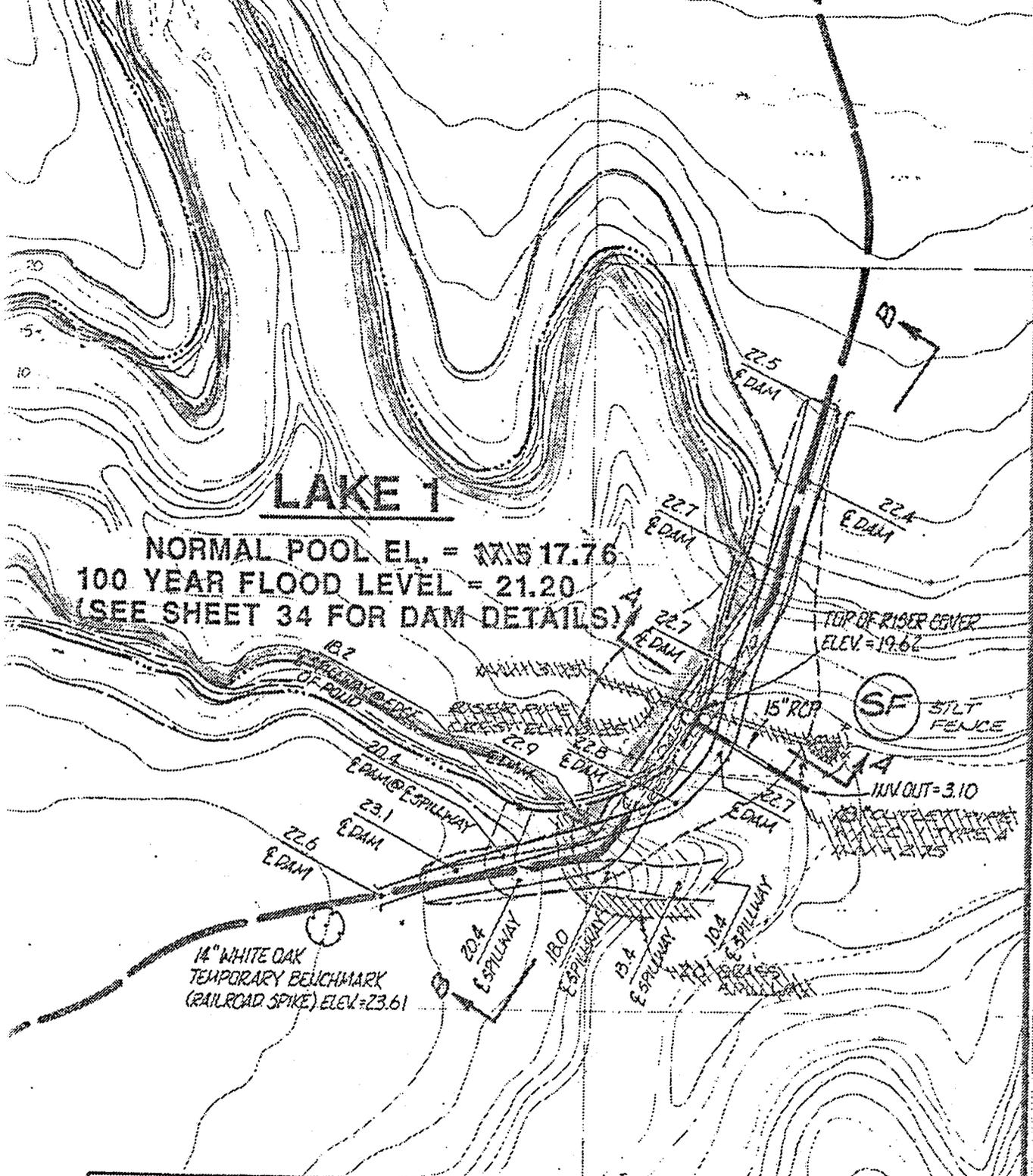


LAKE I - DAM DETAILS
N.T.S. JR017

JRE

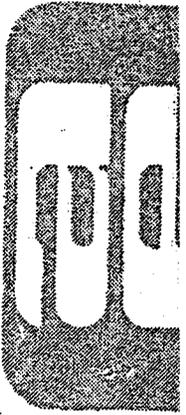
NO. OF	ELEVATION OF INV. OUT
1	10.0
1	8.7
1	8.7
1	7.7





R017_GOVERNORS_LAND_WINFIELD_LAKE - 035

**S-BUILT - WINGFIELD LAKE
 WATER MANAGEMENT PLAN
 LAKE 1**



AES, a professional c
 5248 Olde Towne Road
 Williamsburg, Virginia

OVERNOR'S LAND

RESPONDING LOT SHALL BE OR LAKE THE NORMAL POOL (OR CLOSURE) AND

WINGFIELD LAKE
MAJOR OPEN SPACE #18
(P.B. 57, PG. 74)

NOTE
NORMAL POOL OF WINGFIELD LAKE IS PROPERTY LINE

COPY

LOT 28
T.M. (45-1)(7-28)
VACANT

SURVEY OF THE PROPERTY BY THE OWNER AND/OR RECORDED ON PLAT OF RECORD DEPT. OF RECORDS & SURVEYING INFORMATION AT TWO RIVERS PROJECT

NOT TO DAMAGE TREES DURING ERECTION OF A TEMPORARY SCREENING FENCE (SEE SECTION 3.38)

CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY FOR

REMOVAL OF THE PROPERTY FOR

ACCORDING TO THE REGULATORY GUIDELINES, 1993

WITHIN SEVEN DAYS OF

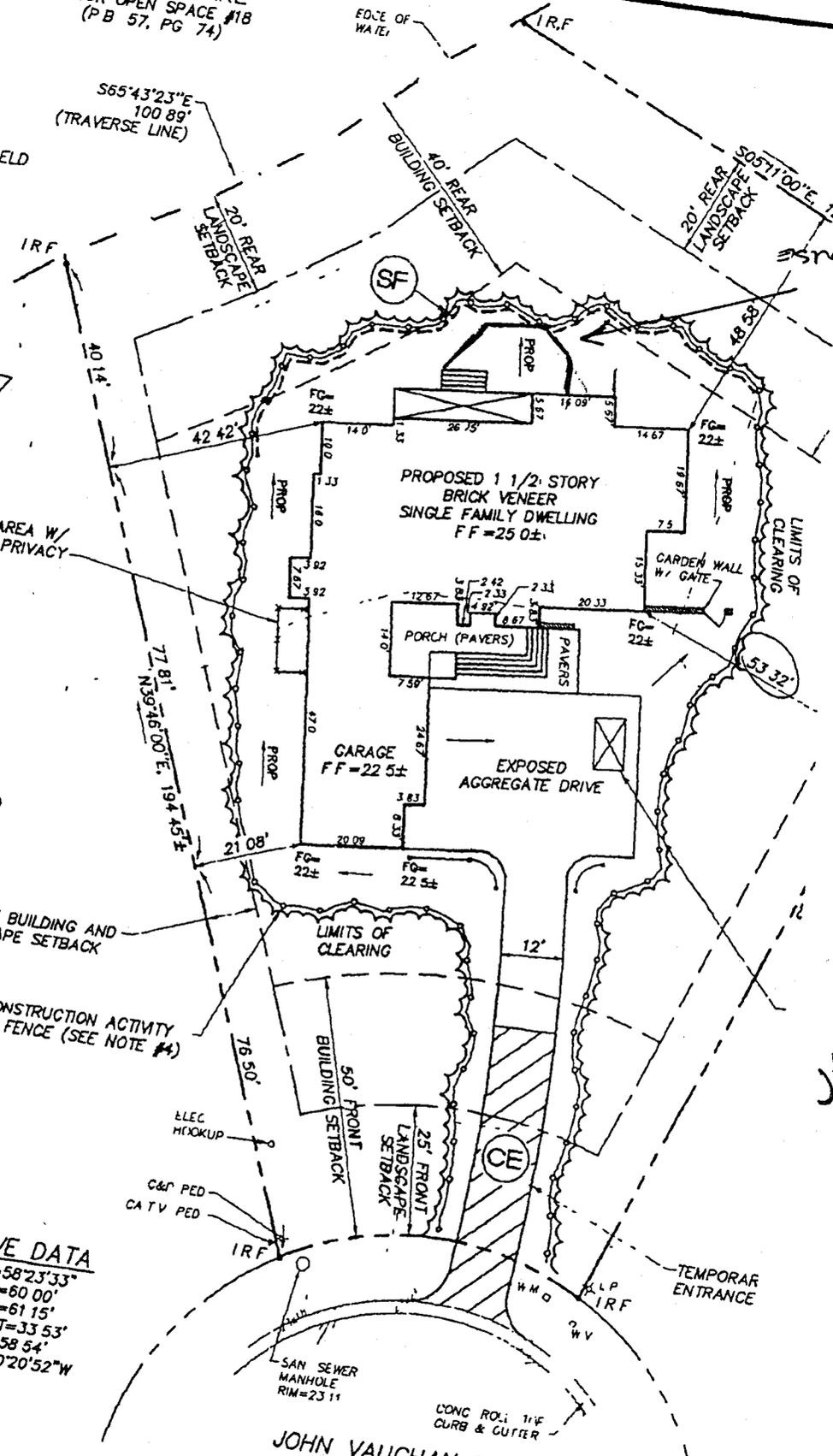
WITH A SUFFICIENT

BLOCK/FRAME LINE

BRESLER RESIDENCE
BUILDER C D JONES CONSTRUCTION, INC



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188



288 58 ST
DECK OFF
REAR OF HOUSE

JR017
DHW=21.2
Lot 27
Planters Row
3028 John
Vaughan Rd
4510 7000 27
3028 John
Vaughan
Road
Lot 27
Planters Row

N 23° 31' 00" W
80' ±

TRAVERSE LINE
150.20'

LOT 26
23,464 S.F.

Design High Water

25' POND BUFFER

LOT 25

SCREENED PORCH
21.06'
16.67'
8.0'
24.33'

PROPOSED RESIDENCE
F.F. = 28.5 ±

PROP. GAR.
F.F. = 26.3 ±

CONC. DRIVE
26'

CONST. DUMPSTER

4.33' 12.67' 14.33' 9.67' 12.0'
5.0' 2.0' 16.0' F.G. 4.0' 26.0' F.G.

CONC. WALK

SWALE

N 72° 57' 00" E

1. GRADING
2. SHOW DRAW LIMIT
3. SHOW 25' POND BUFFER/SB

VAR. WIDTH
J.C.S.A.
UTILITY
EASEMENT

WINFIELD LAKE

DRW. E. 2/12

JR017

NP 17.74

SURVEY TRAVERSE LINE
150.20'

LOT 20
23,464 SF.

25' POND BUFFER

CONST. DUMPSTE

PROPOSED RESIDENCE
F.F. = 28.5 ±

PROP. GAR.
F.F. = 26.3 ±

CONC. DRIVE
26'

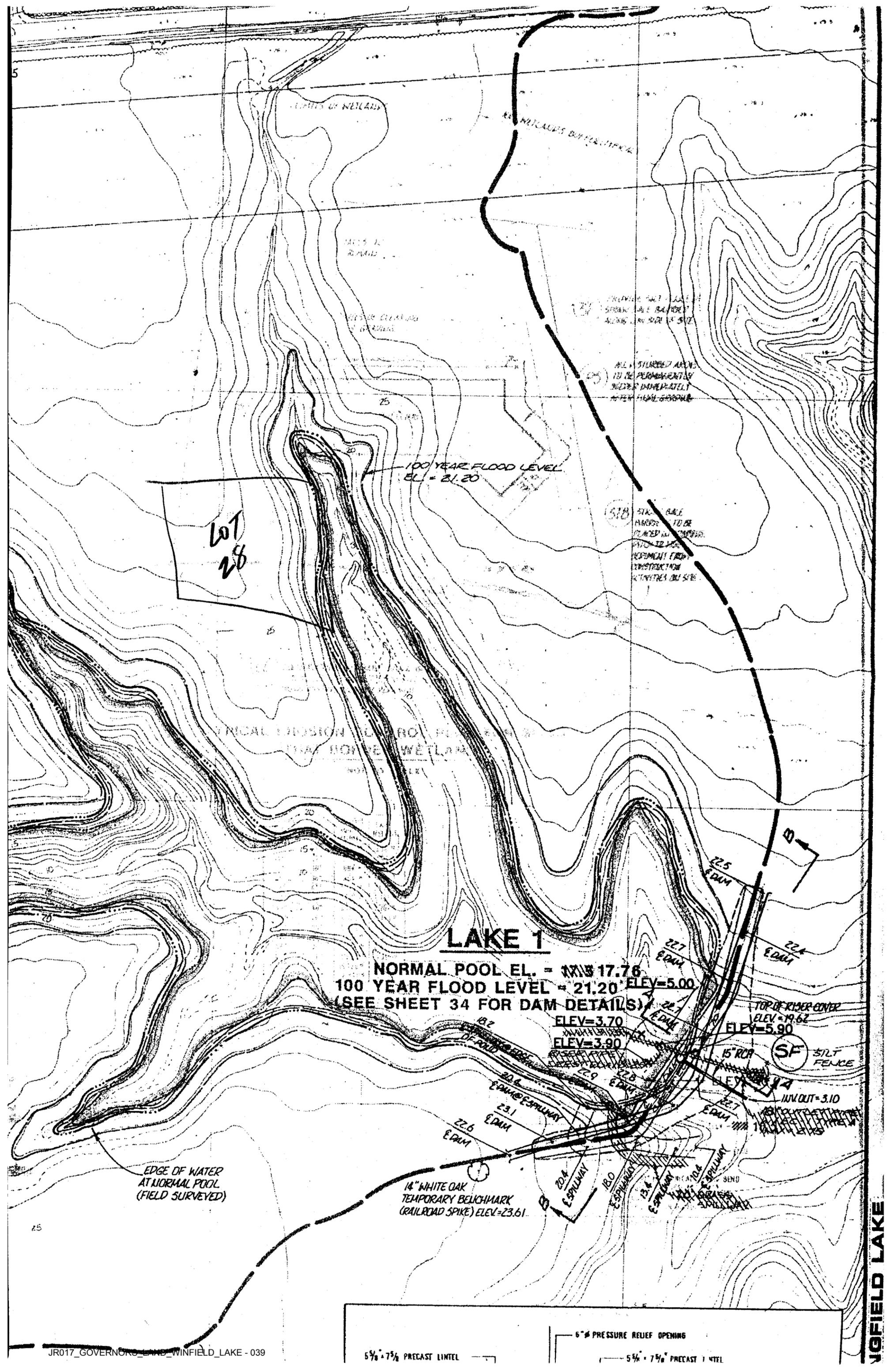
CONC. WALK

SWALE

DROP INLET

N 72° 57' 00" E

62.45'
S 17° 10' 00" E



LOT
28

100 YEAR FLOOD LEVEL
EL. = 21.20

STAKE TO BE
PLACED IN
POSITION FROM
CONSTRUCTION
ACTIVITY ON SITE

STAKE TO BE
PLACED IN
POSITION FROM
CONSTRUCTION
ACTIVITY ON SITE

ORIGINAL DIVISION OF ROAD
THROUGH WETLAND

LAKE 1

NORMAL POOL EL. = 17.76
100 YEAR FLOOD LEVEL = 21.20 ELEV=5.00
(SEE SHEET 34 FOR DAM DETAILS)

ELEV=3.70
ELEV=3.90

TOP OF RIVER COVER
ELEV=19.62
ELEV=5.90

SF SILT FENCE

INLET=3.10

EDGE OF WATER
AT NORMAL POOL
(FIELD SURVEYED)

14" WHITE OAK
TEMPORARY BENCHMARK
(RAILROAD SPIKE) ELEV=23.61

6" PRESSURE RELIEF OPENING

5/8" x 7/8" PRECAST LINTEL

5/8" x 7/8" PRECAST LINTEL

Scott Thomas

From: Virungas@aol.com
Sent: Thursday, May 30, 2002 12:27 PM
To: scottt@james-city.va.us
Subject: Deck Permit

Mr. Scott Thomas,

This is to inform you that Mr. Jay Eckstein of American Lawn and Landscaping has told us that our new deck will be within the pond buffer. We nevertheless would like to proceed with the project.

We will not hold the county liable for any flood damage which might result.

A prompt response would be appreciated as we would to complete the project as soon as possible.

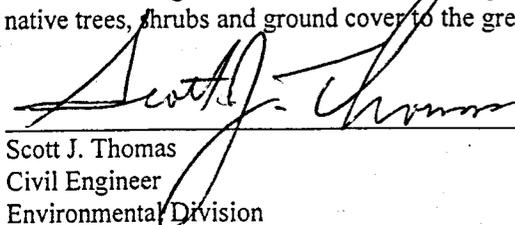
Please call me at 564-8702 if you have any questions.

Many thanks,
Ralph Bresler
3028 John Vaughan Road

Approval

LOCATION: Lot 27, Planters Round, Governors Land, 3028 John Vaughan Road (County BMP ID Code: JR 017)

Variance to JCC BMP Manual pond buffer and setback requirements and supporting documentation as submitted on May 30th 2002 by the Applicant found to be acceptable. Allows for installation of treated lumber deck and brick patio in backyard within the pond buffer/setback. Efforts should be made to preserve existing trees and vegetation in the buffer during construction and to landscape or stabilize impacted buffer to resemble meadow or forest area with native trees, shrubs and ground cover to the greatest extent possible.



Scott J. Thomas
Civil Engineer
Environmental Division

5-30-02
Date

Scott Thomas

From: Virungas@aol.com
Sent: Thursday, May 30, 2002 12:27 PM
To: scottt@james-city.va.us
Subject: Deck Permit

Mr. Scott Thomas,

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We will not hold the county liable for any flood damage which might result.

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Please call me at 564-8702 if you have any questions.

Many thanks,
Ralph Bresler
3028 John Vaughan Road

Scott Thomas

From: dhall203@aol.com
Sent: Monday, June 03, 2002 10:28 AM
To: scottt@james-city.va.us
Subject: Re Lot 26, Wingfield Lake, Governor's Land

Mr. Scott Thomas:

We are the owners of Lot 26, Wingfield Lake in Governor's Land where we plan to build a house.

We request a variance from the James City County 25 foot pond buffer requirement as it relates to our lot. We understand the issues relating to a

100 year storm and its impact on Wingfield Lake. We release James City County from liability as a result of granting this variance.

We appreciate your prompt attention to this matter.

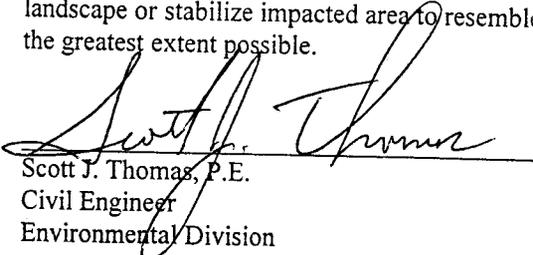
Sincerely,

Judith S. and Daniel M. Hall

Approval

LOCATION: Lot 26, Governor's Land, Wingfield Lake, 3008 Margaret Jones Lane (County BMP ID Code: JR 017)

Variance to JCC BMP Manual pond buffer and setback requirements and supporting documentation as submitted by Campbell Land Surveying on June 6th 2002 reviewed and found to be acceptable. Efforts should be made to preserve existing trees and vegetation in the buffer and impact design high water area during construction and to landscape or stabilize impacted area to resemble meadow or forest area with native trees, shrubs and ground cover to the greatest extent possible.


Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

6-6-02
Date

CAMPBELL LAND SURVEYING, INC.
P.O. BOX 855
YORKTOWN, VA. 23692-0855
890-0837

JUNE 5, 2002

MR. SCOTT THOMAS
JAMES CITY COUNTY
ENVIRONMENTAL DIVISION



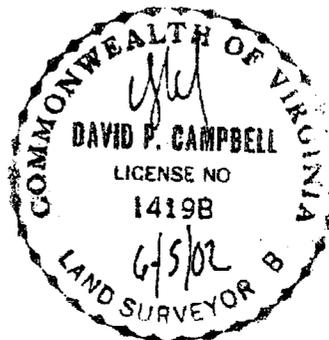
RE: HALL RESIDENCE / CLECKLEY AND SMITH BLDRS.
LOT 26, WINGFIELD LAKE, GOVERNORS LAND

DEAR MR. THOMAS,

THE LOT DEVELOPMENT PLAN HAS BEEN REVISED TO KEEP THE MINIMUM ELEVATION ADJACENT TO THE PROPOSED RESIDENCE AT AN ELEVATION OF 23.0. THIS WILL REQUIRE ABOUT 2' OF FILL TO BE PLACED ON THE POND SIDE OF THE HOUSE. APPROXIMATELY 30 - 40 CUBIC YARDS OF FILL WILL BE PLACED WITHIN THE AREA BETWEEN THE NORMAL POND LEVEL (ELEVATION 17.8) AND THE 100 YEAR POND LEVEL (ELEVATION 21.2). THIS FILL WILL DISPLACE ABOUT 0.1% OF THE 6 AC. POND'S PEAK STORAGE CAPACITY, WHICH WILL HAVE MINIMUM IMPACT ON ITS DESIGNED FUNCTION. IF YOU HAVE ANY QUESTIONS, PLEASE CALL OUR OFFICE AT 890-0837.

SINCERELY YOURS,

DAVID P. CAMPBELL L.S.



CAMPBELL LAND SURVEYING, INC.
P.O. BOX 855
YORKTOWN, VA. 23692-0855
890-0837

JUNE 5. 2002

MR. SCOTT THOMAS
JAMES CITY COUNTY
ENVIRONMENTAL DIVISION

RE: HALL RESIDENCE / CLECKLEY AND SMITH BLDRS.
LOT 26, WINGFIELD LAKE, GOVERNORS LAND



DEAR MR. THOMAS,

THE LOT DEVELOPMENT PLAN HAS BEEN REVISED TO KEEP THE MINIMUM ELEVATION ADJACENT TO THE PROPOSED RESIDENCE AT AN ELEVATION OF 23.0. THIS WILL REQUIRE ABOUT 2' OF FILL TO BE PLACED ON THE POND SIDE OF THE HOUSE. APPROXIMATELY 30 - 40 CUBIC YARDS OF FILL WILL BE PLACED WITHIN THE AREA BETWEEN THE NORMAL POND LEVEL (ELEVATION 17.8) AND THE 100 YEAR POND LEVEL (ELEVATION 21.2). THIS FILL WILL DISPLACE ABOUT 0.1% OF THE 6 AC. POND'S PEAK STORAGE CAPACITY, WHICH WILL HAVE MINIMUM IMPACT ON ITS DESIGNED FUNCTION. IF YOU HAVE ANY QUESTIONS, PLEASE CALL OUR OFFICE AT 890-0837.

SINCERELY YOURS,

DAVID P. CAMPBELL L.S.

**Need
Seal**

WILL ACCEPT
CLASS III-B
CERT DUE TO
MINOR FILL +
IMPACT OF DHW.

Scott Thomas

From: Scott Thomas
Sent: Tuesday, June 04, 2002 11:30 AM
To: 'dhall203@aol.com'
Cc: 'cleckley@cox.net'
Subject: RE: Re Lot 26, Wingfield Lake, Governor's Land

Mr. & Mrs. Hall:

I received your variance request via email dated June 3rd 2002. I apologize for any delay in a response to you as this was the first I saw this lot plan. Based on a review of the house and it's siting on the lot, and it's relation to Wingfield Lake and the building setback lines, I agree that an approval to your request for variance for being within the pond buffer/setback is justified. This approval can be processed; however, there are some other issues that need addressed on the plan and in regards to the potential for grading/filling with design high water of the adjacent stormwater management facility. I have attached a copy of the comments which we will be forwarding for the single family plan. Please be aware that normally we do not allow for filling within the limits design high water for stormwater management facilities, without proper documentation and a certification statement by an engineer. This is both for the protection of you as resident of the permanent structure and to ensure there are no adverse affects cumulatively to the pond/BMP.

Please review the following comment:

James City County
Environmental Division
Single Family Plan Submittal - Miscellaneous

Lot 26, Wingfield Lake Governor's Land (3008 Margaret Jones Lane)

Based on information as available in our record files, it appears the 100-year design high water surface elevation for the adjacent stormwater management facility (Wingfield Lake, County BMP ID Code: JR 017) is at Elevation 21.2. The following information needs to be shown on the proposed single family lot plan: delineate design high water elevation (El. 21.2); delineate the pond setback/buffer (25 ft. minimum) as required per page 38 of the James City County BMP manual; and show proposed grading, especially along the back (west) portion of the lot nearest to Wingfield Lake. (Note: For proper comparison purposes, topographical datum should be consistent between contours and elevations shown on the lot and design high water elevation for the pond.)

Based on our preliminary review, it appears clearing, grading and permanent structures will be situated within the pond setback/ buffer and a variance request will be necessary. This request was received from the owner/applicant via email dated June 3rd 2002. Based on the proposed finished floor elevation of the house (El. 28.5±) and limitations of buildable area on the lot, it appears a variance could be granted to have permanent structures situated within the pond buffer/setback.

However, our concern is the proximity of the proposed residence to the design high water limit of the pond and based on the limit of work shown on the plan, the potential to fill within the existing the stormwater storage volume of the BMP. Grading needs to be shown on the plan to properly make determination of effects to the adjacent stormwater

management facility. If clearing, grading and fill are proposed within the limit of design high water, two alternatives are available. One is to reconfigure the plan to maintain limit of work outside the limit of design high water; or alternatively, in addition to the written request already submitted, submit an engineer's statement (analyses) that the proposed lot fill material will have no adverse impact on the storage volume or function of the stormwater management facility. (Note: It is suggested that if the current footprint is to be maintained without change and grading/fill is proposed within the limit of design high water, then a minimum finished grade spot elevation of El. 23.0 be maintained around the back-west side of the structure a sufficient horizontal distance to provide adequate vertical separation to design high water of the facility.)

-----Original Message-----

From: dhall203@aol.com [mailto:dhall203@aol.com]
Sent: Monday, June 03, 2002 10:28 AM
To: scottt@james-city.va.us
Subject: Re Lot 26, Wingfield Lake, Governor's Land

Mr. Scott Thomas:

We are the owners of Lot 26, Wingfield Lake in Governor's Land where we plan to build a house.

We request a variance from the James City County 25 foot pond buffer requirement as it relates to our lot. We understand the issues relating to a

100 year storm and its impact on Wingfield Lake. We release James City County from liability as a result of granting this variance.

We appreciate your prompt attention to this matter.

Sincerely,

Judith S. and Daniel M. Hall

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Sent: Monday, June 03, 2002 10:28 AM
To: scottt@james-city.va.us
Subject: Re Lot 26, Wingfield Lake, Governor's Land

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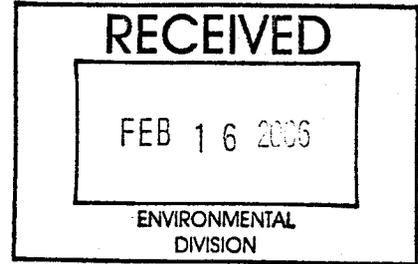
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We appreciate your prompt attention to this matter.

Sincerely,

Judith S. and Daniel M. Hall



February 15, 2006

To Whom It May Concern

Re: 3013 Margaret Jones Lane, Williamsburg, VA 23185

It is our understanding that there exists a 25' setback requirement on the above referenced lot. Additionally, we realize that the affected area must be restored and maintained.

We, the owners of the property, are requesting a variance of the setback requirement.

If you require additional information or have any questions, we can be reached at 212-427-7470 or 201-240-0494.

Yours truly,

Julius C. Haynie

Carolyn M. Haynie

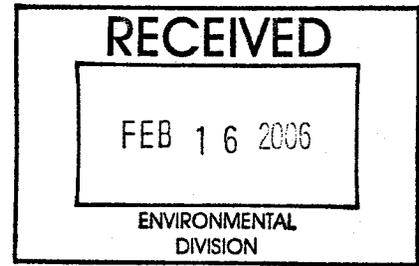
Cc: Butch Palmer, Palmer & Company

LOCATION: Lot 28, Governor's Land, Wingfield Lake, 3013 Margaret Jones Lane
County BMP ID Code: JR 017

Variance request as submitted by Owner dated February 15, 2006 for clearing, grading and placement of a structure in the pond buffer/setback reviewed and found to be acceptable. Efforts should be made to preserve existing trees and vegetation in the buffer during construction and to landscape or stabilize impacted buffer area to resemble meadow or forest area with native trees, shrubs and ground cover to the greatest extent possible.

Scott J. Thomas
Senior Engineer
Environmental Division

2-17-06
Date



February 15, 2006

To Whom It May Concern

Re: 3013 Margaret Jones Lane, Williamsburg, VA 23185

It is our understanding that there exists a 25' setback requirement on the above referenced lot. Additionally, we realize that the affected area must be restored and maintained.

We, the owners of the property, are requesting a variance of the setback requirement.

If you require additional information or have any questions, we can be reached at 212-427-7470 or 201-240-0494.

Yours truly,

A handwritten signature in cursive script, appearing to read "Julius C. Haynie".

Julius C. Haynie

A handwritten signature in cursive script, appearing to read "Carolyn M. Haynie".

Carolyn M. Haynie

Cc: Butch Palmer, Palmer & Company

JR017

To:
Mr. Scott Thomas
James City County - Environmental Division
May 2, 2003

RE: Variance for Pond Buffer- Wingfield Lake Lot 30- Governor's Land

Thank you for faxing the James City County Guidelines for Design and Construction of Storm Water Management BMP's. The document has been read and we concur with the importance of maintaining an environmentally sound border for Wingfield Lake.

Due to the building envelope of our particular lot, we are requesting a variance from the above-mentioned guidelines. It is our intention to have minimal clearance in the 25-foot barrier, enough only to allow for the construction of the residence that has been submitted to the County for approval by Mr. Gregg Prichard. When construction is complete we will replace any disturbed vegetation with new healthy natural vegetation that will provide a "Forest or Meadow" condition.

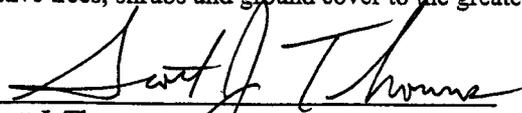
Thank you for considering this request.
Please contact us at 610-282-2295 for any additional information.

Sincerely,

Marley and Robert T. Numbers

LOCATION: Lot 3 Wingfield Lake Governor's Land, 3005 Margaret Jones Lane (County BMP ID Code: JR 017)

Variance request to County BMP Manual pond buffer and setback requirements as submitted on May 2nd 2003 by the Owner/Applicant reviewed and found to be acceptable. Variance is for a portion of the building structure, deck and clearing and grading in the pond buffer. Efforts should be made to preserve existing trees and vegetation in the buffer during construction and to landscape or stabilize impacted buffer area to resemble meadow or forest area with native trees, shrubs and ground cover to the greatest extent possible.



Scott J. Thomas
Civil Engineer
Environmental Division

05/05/03
Date

To:
Mr. Scott Thomas
James City County – Environmental Division
May 2, 2003

RE: Variance for Pond Buffer- Wingfield Lake Lot 30- Governor's Land

Thank you for faxing the James City County Guidelines for Design and Construction of Storm Water Management BMP's. The document has been read and we concur with the importance of maintaining an environmentally sound border for Wingfield Lake.

Due to the building envelope of our particular lot, we are requesting a variance from the above-mentioned guidelines. It is our intention to have minimal clearance in the 25-foot barrier, enough only to allow for the construction of the residence that has been submitted to the County for approval by Mr. Gregg Prichard. When construction is complete we will replace any disturbed vegetation with new healthy natural vegetation that will provide a "Forest or Meadow" condition.

Thank you for considering this request.
Please contact us at 610-282-2295 for any additional information.

Sincerely,

Marley and Robert T. Numbers

Memorandum

DATE: April 23, 2003
TO: Scott Thomas
FROM: Victoria Bains
SUBJECT: Wingfield Lake, County BMP ID Code: JR017

In response to your letter dated January 23, 2003 AES Consulting Engineers has taken several actions.

Construction Certification:

No further action required.

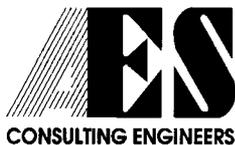
Record Drawings:

As-built elevations for the bottom of the pond have been added to plan view on drawings. Based upon this evidence, there appears to be no significant sediment accumulation.

Crest elevation for the riser has been added to the detail sheet of the drawings.

Construction – Related Items:

Pine saplings along the shoreline and downstream slope have been removed. Grass has been mowed to an acceptable height in the dam area. Outfall has been cleared of any debris, sediment and vegetation and the outlet protection has been improved.



5248 Olde Towne Road • Suite 1 • Williamsburg, Virginia 23188
(757) 253-0040 • Fax (757) 220-8994 • E-mail aes@aesva.com



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

CODE COMPLIANCE
(757) 253-6626
codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 253-2620

January 23, 2003

Mr. James H. Bennett
Governors Land Associates
9701 Mill Pond Run
Toano, Va. 23168

Reinspect 6-2-03

Re: Governor's Land - Wingfield Lake
County Plan No. S-144-89
Stormwater Management Facility
County BMP ID Code: JR017

Dear Mr. Bennett:

The Environmental Division has reviewed a record drawing and post-construction geotechnical report (ECS # 6221 dated December 31st 2000) as submitted to our office for the above referenced BMP. The record drawing provides as-built information for a large wet pond facility known as Wingfield Lake (Lake 1) as situated in the east-central portion of Governor's Land.

Based on our review of the project and a concurrent field inspection as performed on December 19th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site and to proceed with closing out the project:

Construction Certification:

✓ OK

1. The portion of the post-construction geotechnical report for Bennett's Pond appears to satisfy any outstanding construction certification requirements for the facility and is satisfactory.

Record Drawing:

*✓ OK
6-26-03*

2. Provide an asbuilt elevation for the bottom of the pond at the riser structure to verify that design depth (elevation) was achieved and that excessive sedimentation does not exist in the bottom of the facility. Record drawing Sheet 2, Section A-A shows a design elevation at the upstream toe of dam at the riser at El. 3.75. The upstream toe is approximately 14 ft. below normal pool.
(3.70, 3.90, 5.00, 5.90)

*✓ OK
6-26-03*

3. Clearly show the crest elevation of the principal flow control structure (riser) on the "water quality control device detail" on the record drawings.

Construction - Related Items:

✓
OK 4.
6-2-03

Grass along the downstream embankment was 2 to 4 feet in height. Mow grass on the downstream embankment to a height of 2- 4 inches to promote growth of desirable grasses and to allow for proper future inspection

✓
OK
6-2-03

5. Remove small trees and woody vegetation on the downslope embankment. For older facilities which may have established tree growth, we recommend that trees be cut flush to or below ground level and be maintained in that fashion as to not disturb root systems that may already be extensive. Efforts should then be made to reduce tree re-establishment and to replace tree growth with an acceptable low-maintenance grass covering.

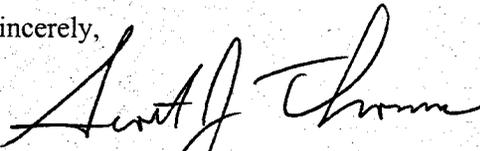
✓
OK
6-2-03

6. Clean and remove sediment accumulations, debris and vegetation within the riprap outlet protection pad at the outfall end of the barrel through the dam. Flow out of the facility shall not be obstructed by debris, sediment and vegetation.

Once this work is satisfactorily completed, contact our office appropriately for reinspection. We can then proceed with final release of the surety and/or closing out the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed.

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Joe Buchite at 757-253-6643 if you have any further comments or questions.

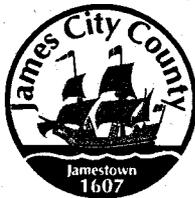
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: Marc Bennett, AES - via fax

G:\AsBuilts\S14489.jr017



DEVELOPMENT MANAGEMENT

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January 23, 2003

Mr. James H. Bennett
Governors Land Associates
9701 Mill Pond Run
Toano, Va. 23168

Re: Governor's Land - Wingfield Lake
County Plan No. S-144-89
Stormwater Management Facility
County BMP ID Code: JR017

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The Environmental Division has reviewed a record drawing and post-construction geotechnical report (ECS # 6221 dated December 31st 2000) as submitted to our office for the above referenced BMP. The record drawing provides as-built information for a large wet pond facility known as Wingfield Lake (Lake 1) as situated in the east-central portion of Governor's Land.

Based on our review of the project and a concurrent field inspection as performed on December 19th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site and to proceed with closing out the project:

Construction Certification:

1. The portion of the post-construction geotechnical report for Bennett's Pond appears to satisfy any outstanding construction certification requirements for the facility and is satisfactory.

Record Drawing:

2. Provide an asbuilt elevation for the bottom of the pond at the riser structure to verify that design depth (elevation) was achieved and that excessive sedimentation does not exist in the bottom of the facility. Record drawing Sheet 2, Section A-A shows a design elevation at the upstream toe of dam at the riser at El. 3.75. The upstream toe is approximately 14 ft. below normal pool.
3. Clearly show the crest elevation of the principal flow control structure (riser) on the "water quality control device detail" on the record drawings.

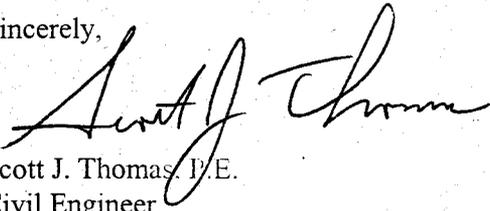
Construction - Related Items:

4. Grass along the downstream embankment was 2 to 4 feet in height. Mow grass on the downstream embankment to a height of 2- 4 inches to promote growth of desirable grasses and to allow for proper future inspection
5. Remove small trees and woody vegetation on the downslope embankment. For older facilities which may have established tree growth, we recommend that trees be cut flush to or below ground level and be maintained in that fashion as to not disturb root systems that may already be extensive. Efforts should then be made to reduce tree re-establishment and to replace tree growth with an acceptable low-maintenance grass covering.
6. Clean and remove sediment accumulations, debris and vegetation within the riprap outlet protection pad at the outfall end of the barrel through the dam. Flow out of the facility shall not be obstructed by debris, sediment and vegetation.

Once this work is satisfactorily completed, contact our office appropriately for reinspection. We can then proceed with final release of the surety and/or closing out the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed.

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Joe Buchite at 757-253-6643 if you have any further comments or questions.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: Marc Bennett, AES - via fax

G:\AsBuilts\S14489.jr017

Scott Thomas

From: Scott Thomas
Sent: Wednesday, November 08, 2000 2:13 PM
To: Mike Woolson
Subject: Governors Land BMP's

Mike

Here are my comments for the 3 BMP facilities we looked at in Governors Land on October 25th.

JR 017 Governors Land - Wingfield Lake

Description: Large lake (wet pond) at end of John Vaughan and Wingfield Lake Roads.

1. Certification of the constructed pond fill embankment is requested.
2. Clean and remove trees and woody vegetation on the downslope embankment. Saturated roots mats combined with high wind can cause trees to overtop and accelerate soil erosion and embankment failure.
3. Clean and remove trees and vegetation within 15 feet of the pond riser and clean all weirs and orifices.
4. Clean and remove vegetation and establish riprap outlet protection at the downstream pond barrel outfall.
5. Remove large, dead woody debris from the emergency spillway.
6. Remove previously installed downstream toe silt fence which is deteriorated.

JR 031 Governors Land - Wingfield Drive

Description: Timber crib detention structure in back of 3251 Wingfield Lake Road, Lot 40.

1. An 8 inch diameter tree located between the timber crib wall and riser structure has fallen and caused serious structural damage to the pretreated wood structure. The wall is 45 degree offset from vertical. Inspection by a qualified professional is required to assess the structural and stormwater integrity of the timber crib wall and outlet barrel pipe and overall impact to function of the basin. A report with recommendations for action/repair is required.
2. Clean and remove all debris from along the upstream base of wall and within 15 feet of the riser.
3. Outlet protection is required at the downstream pond barrel outfall.
4. The EC-1 Type A stone (toe protection) required along the downstream edge of wall was not visible and needs installed.

JR 016 Governors Land - Travis Pond

Description: Large wet pond at end of Travis Close Road near Golf Course Hole 9.

1. Certification of the constructed pond fill embankment is requested.
2. Fill and stabilize erosion gullies which have formed on the downstream embankment.
3. Clean and remove construction debris from the downstream embankment toe and at the pond barrel outfall. A considerable amount of 1 to 3 foot size concrete rubble was present and is severely restricting outflow from the pond barrel and may have damaged the pipe.
4. The valve control mechanism was not visible on the concrete riser. The design plans requires a 12 inch PVC dewatering pipe with a 6 inch butterfly valve. It is unclear if the drain and valve were installed since an access hatch or inspection port was not present on the riser cap.



**James City County Environmental Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities**

Database Inventory No. (if known): JR 017
 Name of Facility: Wingfield Lake - Governors Land BMP No.: 1 of 2 Date: 10/25/00
 Location: Planters Road (End of John VAUGHAN RD & WINGFIELD LAKE RD)
 Name of Owner: GOVERNORS LAND MANAGEMENT (DOMINION LANDS)
 Inspector: ST THOMAS, MD WOOLSON 3252 WINGFIELD LAKE RD
 Type of Facility: WET POND EMBANKMENT TYPE
 Weather Conditions: Sunny, Cool 70's

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory.
- Routine - The item checked requires attention, but does not present an immediate threat to the function of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

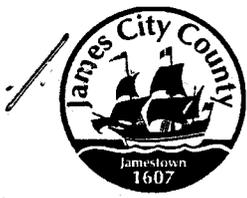
Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes:				
Grass Height	X			2' Height most of embank.
Vegetation Condition	X			
Tree Growth		X	X	Loblolly Pines on d/s, 12-15' HIGH SAPLINGS ON SOTO EMBANK.
Erosion	X			
Trash & Debris		X		Dead Fallen Trees
Seepage	X			
Fencing or Benches				None. Remove Toe SF
Interior Landscaping/Planted Areas: <input checked="" type="checkbox"/> None <input type="checkbox"/> Constructed Wetland/Shallow Marsh <input type="checkbox"/> Naturally Established Vegetation				
Vegetated Conditions				
Trash & Debris				
Floating Material				
Erosion				
Sediment				
Dead Plant				
Aesthetics				
Other				Wet Pool
<u>Low Profile C+6 ROADWAYS TO inlets, cross culverts to Pond.</u>				

GPIN 4420100016

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools <input checked="" type="checkbox"/> Permanent Pool (Retention Basin) <input type="checkbox"/> Shallow Marsh (Detention Basin) <input type="checkbox"/> None (Detention Basin)				
Shoreline Erosion	X			Minor at Newhouse South(ES) side of Emb.
Algae	X			Minor @ Embank.
Trash & Debris		X		LARGE Dead Tree near riser.
Sediment	X			
Aesthetics	X			
Other				4.5' water @ Riser.
Inflow Structures (Describe Locations): MISC Storm Drain/OC; PRIMARY RIPRAP OC IN BACK ELLIPT				
Condition of Structure	X			24x38 PIPE WINGFIELD LN
Erosion	X			
Trash and Debris		X		Minor Leaves, wood + silts.
Sediment	X			
Aesthetics	X			Well Groomed
Other				NO HW SIGNS OUTSIDE CHANNEL
Principal Flow Control Structure - Intake, Riser, etc. (Describe Location): 48"φ RCP Riser, 14'± deep				
Condition of Structure	X			
Corrosion	X			
Trash and Debris	X			
Sediment	X			
Aesthetics	X			Water flow in riser 1' deep
Other	X			8'φ CONC. CAP w/ vent hole + valve wheel.
Principal Outlet Structure - Barrel, Conduit, etc. : 18"φ RCP with FES				
Condition of Structure	X			OK.
Settlement	X			None.
Trash & Debris	X			None.
Sediment	X			
Erosion	X			
Other				OP needs reestablished. RR displaced
Emergency Spillway (Overflow): South Side of Emb.				
Vegetation	X			
Lining	X			
Erosion	X			
Trash & Debris				Large Trees (Dead) Need Removed
Other				

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type Conditions:				
Mosquito Breeding	X			None.
Animal Burrows	X			None.
Graffiti	X			None
Other	X			
Surrounding Perimeter Conditions:				
Land Uses	X			LARGE SF Lots Well Groomed.
Vegetation	X			Good Natural 2-4' GRASS Perimeter
Trash & Debris	X			
Aesthetics	X			Good Shoreline Veg.
Access /Maintenance Roads or Paths	X			Thru Lot Access.
Other				wildlife observed.
Remarks:				
<ul style="list-style-type: none"> • Core Sampling being performed during dam inspection, Grouting holes. 3' @ 100' intervals B-3, B-2's B-1 Flagged B-3 15' deep • Remove Willow's + Veg 15' from Riser. • Young Saplings & Trees need removed o/s EMBANK. Also Dead Fallen Trees. Remove Toe SF. • Riprap OR displaced. Reset. & clean veg. • Large Dead Trees in ES. 				
Overall Environmental Division Internal Rating: <u>3</u>				
Signature: <u><i>Scotty Chance</i></u>		Date: <u>10/25/00</u>		
Title: <u>Civil Engineer Environmental Division</u>				

SWMPProg\BMP\CoInspProg\DetRet.wpd



**James City County Environmental Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities**

County BMP ID Code (if known): JR-017 LAKE 1
LARGE LAKE

Name of Facility: Winfield Lake BMP No.: _____ of _____ Date: 12/19/02

Location: Governor's Land

Name of Owner: _____

Name of Inspector: Bick Hall

Type of Facility: Permanent Pond

Weather Conditions: cloudy, 40 Type: Final Inspection County BMP Inspection Program Owner Inspection

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.
- Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and to prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes:				
Grass Height		✓		<u>Top of dam mowed</u> <u>slipnet have tall weeds</u> <u>several small trees</u>
Vegetation Condition	✓			
Tree Growth		✓		
Erosion	✓			
Trash & Debris	✓			
Seepage	✓			
Fencing or Benches				
Interior Landscaping/Planted Areas: <input checked="" type="checkbox"/> None <input type="checkbox"/> Constructed Wetland/Shallow Marsh <input type="checkbox"/> Naturally Established Vegetation				
Vegetated Conditions	<u>None</u>			
Trash & Debris	✓			
Floating Material	✓			
Erosion	✓			
Sediment	✓			
Dead Plant	✓			
Aesthetics	✓			
Other				
Notes:				

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools: <input checked="" type="checkbox"/> Permanent Pool (Retention Basin) <input type="checkbox"/> Shallow Marsh (Detention Basin) <input type="checkbox"/> None, Dry (Detention Basin)				
Shoreline Erosion	✓			
Algae	✓			
Trash & Debris	✓			
Sediment	✓			
Aesthetics	✓			
Other				
Inflows (Describe Types/Locations): 36" RCP, west end, RIP RAP lined ditches				
Condition of Structure	✓			
Erosion	✓			
Trash and Debris	✓			
Sediment	✓			
Outlet Protection	✓			
Other				
Principal Flow Control Structure - Riser, Intake, etc. (Describe Type): RCP RISER w/ VALVE				
Condition of Structure	✓			
Corrosion	✓			
Trash and Debris	✓			
Sediment	✓			
Vegetation	✓			
Other				
Principal Outlet Structure - Barrel, Conduit, etc.: RCP w/ FLARED END				
Condition of Structure	✓			
Settlement	✓			RIP RAP AT OUTLET BUILT UP w/ SEDIMENT AND PLANTS -
Trash & Debris	✓			
Erosion/Sediment	✓			
Outlet Protection	✓			
Other				
Emergency Spillway (Overflow): AT THIS				
Vegetation	✓			
Lining	✓			
Erosion	✓			
Trash & Debris	✓			
Other				
Notes:				

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type Conditions:				
Mosquito Breeding	✓			
Animal Burrows	✓			
Graffiti	✓			
Other				
Surrounding Perimeter Conditions:				
Land Uses	✓			
Vegetation	✓			
Trash & Debris	✓			
Aesthetics	✓			
Access /Maintenance Roads or Paths	NONE			must walk through private yard.
Other				

Remarks:

Excavated pond with fill embankment.
 Tall weeds and several small trees, 1"-2" dia. on back slope of dam also numerous low stumps (pine) some 3"-4" dia.
 Riprap at barrel outlet built up with sediment, plants and dead plants - does not impede normal outflow
 No direct access provided.

Overall Environmental Division Internal Rating: 4

Signature: *David Ball*
 Title: Envir. Spec.

Date: 12/19/02

Date Record Created:

WS_BMPNO:

Print Record

Created By:

JR017

PRINTED ON
Thursday, March 11, 2010
2:10:14 PM

WATERSHED JR
 BMP ID NO 017
 PLAN NO S-144-89
 TAX PARCEL (44-2)(1-16)
 PIN NO 4420100016
 CONSTRUCTION DATE 1/1/1990
 PROJECT NAME Governor's Land - Wingfield Lake
 FACILITY LOCATION 3252 Wingfield Lake Court (End of Road)
 CITY-STATE Williamsburg, Va. 23185
 CURRENT OWNER Governors Land Management Co.
 OWNER ADDRESS 2700 Two Rivers Road
 OWNER ADDRESS 2
 CITY-STATE-ZIP CODE Williamsburg, Va. 23185
 OWNER PHONE
 MAINT AGREEMENT Yes
 EMERG ACTION PLAN No

Get Last BMP No

Return to Menu

MAINTENANCE PLAN

No
 SITE AREA acre 1444
 LAND USE Res Planned Com
 old BMP TYP Wet Pond
 JCC BMP CODE A2 Wet Pond
 POINT VALUE 11

SVC DRAIN AREA acres 109.6

SERVICE AREA DESCRIB SF lots and Roadway Governors Land

IMPERV AREA acres
 RECV STREAM UT to James River

EXT DET-WQ-CTRL No
 WTR QUAL VOL acre-ft 0
 CHAN PROT CTRL No
 CHAN PROT VOL acre-ft 0
 SW/FLOOD CONTROL Yes
 GEOTECH REPORT No

CTRL STRUC DESC RCP Riser
 CTRL STRUC SIZE inches 48
 OTLT BARRL DESC RCP Barrel
 OTLT BARRL SIZE inch 15

EMERG SPILLWAY Yes
 DESIGN HW ELEV 21.2
 PERM POOL ELEV 17.76
 2-YR OUTFLOW cfs
 10-YR OUTFLOW cfs
 REC DRAWING Yes

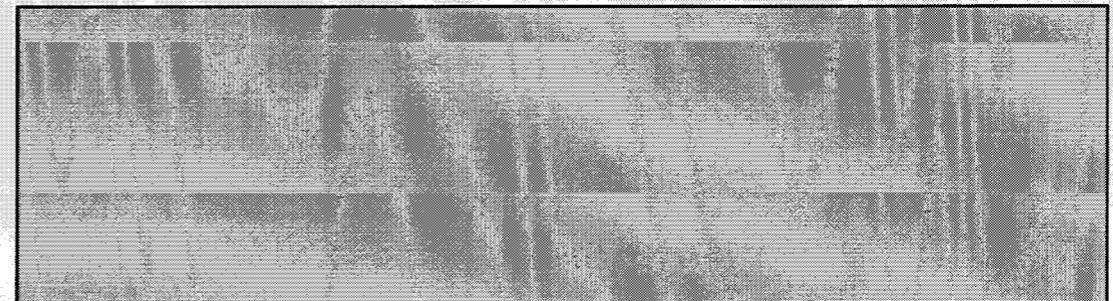
CONSTR CERTIF No

LAST INSP DATE 12/19/2002 Inspected by:

INTERNAL RATING 4

MISC/COMMENTS
Large Lake. Post geotech report 12/31/00.

Additional Comments:



James City County
Environmental Division
Single Family Plan Submittal - Miscellaneous

Lot 27, Governor's Land - Planters Round (3028 John Vaughan Road)

It is unclear if permanent structures and grading as proposed are within the pond setback/buffer as required per page 38 of the James City County BMP manual or if proposed structures or grading are situated within the emergency spillway for the adjacent stormwater management facility. A pond buffer should be provided that extends 25 feet outward from the maximum water surface elevation of the pond. Based on available information, it appears the 100-year design high water surface elevation for the adjacent pond (Wingfield Lake, County BMP ID Code: JR 017) is at Elevation 21.2.

Delineate the design high water elevation and the corresponding landward 25 ft. buffer/setback on the lot plan and ensure the proposed structures are not situated within the emergency spillway for the pond. If the structures or grading as proposed are within the pond buffer/setback, reconfigure the plan to conform with current setback/buffer requirements or alternatively, submit a written request for waiver to the Environmental Division with supporting information including: acknowledgment from the owner/tenant; proposed horizontal and vertical separations from the structures to design high water; and the plan for restoration of the impacted buffer. The variance request needs to be from the owner or tenant, current or future, rather than the builder or contractor.

Placement of structures or grading within the emergency spillway will not be allowed. Also, if within the buffer, certification of house/structure location and setback will be required following construction.

James City County
Environmental Division
Single Family Plan Submittal - Miscellaneous

Lot 26, Wingfield Lake Governor's Land (3008 Margaret Jones Lane)

Based on information as available in our record files, it appears the 100-year design high water surface elevation for the adjacent stormwater management facility (Wingfield Lake, County BMP ID Code: JR 017) is at Elevation 21.2. The following information needs to be shown on the proposed single family lot plan: delineate design high water elevation (El. 21.2); delineate the pond setback/buffer (25 ft. minimum) as required per page 38 of the James City County BMP manual; and show proposed grading, especially along the back (west) portion of the lot nearest to Wingfield Lake. *(Note: For proper comparison purposes, topographical datum should be consistent between contours and elevations shown on the lot and design high water elevation for the pond.)*

Based on our preliminary review, it appears clearing, grading and permanent structures will be situated within the pond setback/ buffer and a variance request will be necessary. This request was received from the owner/applicant via email dated June 3rd 2002. Based on the proposed finished floor elevation of the house (El. 28.5±) and limitations of buildable area on the lot, it appears a variance could be granted to have permanent structures situated within the pond buffer/setback.

However, our concern is the proximity of the proposed residence to the design high water limit of the pond and based on the limit of work shown on the plan, the potential to fill within the existing the stormwater storage volume of the BMP. Grading needs to be shown on the plan to properly make determination of effects to the adjacent stormwater management facility. If clearing, grading and fill are proposed within the limit of design high water, two alternatives are available. One is to reconfigure the plan to maintain limit of work outside the limit of design high water; or alternatively, in addition to the written request already submitted, submit an engineer's statement (analyses) that the proposed lot fill material will have no adverse impact on the storage volume or function of the stormwater management facility. *(Note: It is suggested that if the current footprint is to be maintained without change and grading/fill is proposed within the limit of design high water, then a minimum finished grade spot elevation of El. 23.0 be maintained around the back-west side of the structure a sufficient horizontal distance to provide adequate vertical separation to design high water of the facility.)*



APPLICATION FOR BUILDING PERMIT

101 Mounts Bay Road, P.O. Box 8784, Williamsburg, VA 23187-3627 (804) 253-6626

Office Hours: Mon-Fri 8:30 a.m. - 5:00 p.m.

CONTRACTOR INFORMATION

License No. 1705-038308A
Company Name AMERICAN LAWN + LANDSCAPING INC
Address 330 FREEDOM BLVD, YORKTOWN VA 23692
Phone No. 757-8984770

Signature Thomas H Echstein

OWNER INFORMATION

Name Mr + Mrs BRESSLER
Address 3028 JOHN VAUGHAN RD WILLIAMS
Phone No. 564-8702
Signature _____

Agent Thomas H Echstein

DESCRIPTION OF WORK

INSTALL TREATED LUMBER DECK IN THE BACK YARD AND A BRICK PATIO IN THE BACK YARD

Site Plan No. _____ Date Approved _____

(For Commercial Projects Only)

LOCATION OF WORK

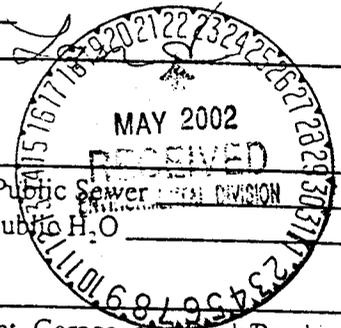
Real Estate Tax Map No. (45-1)(7-27)
Street Address 3028 John Vaughan Rd

Zoned _____
Subdivision CAV

BUILDING INFORMATION

Stories DECK
No. Rooms _____
No. Baths _____ No. Bath Fixtures _____
No. Fireplaces _____
Exterior Finish (Vinyl Brick Wood Other) _____
Interior Finish (Gypsum Wallboard Wood Other) _____
Flooring (Carpet Wood Vinyl Other) _____
Roofing (Asphalt Fiberglass Wood Other) _____
Heat Type (Gas Heatpump Electric Other) _____
Air Conditioning-Type (Central Window None) _____

Grinder Pump _____
Septic _____ Public Sewer _____
Well _____ Public H₂O _____



Floor Area (sq.ft.) _____
(Do not include Basement, Garage, and Deck/Porch)
Deck (sq.ft.) 238
Porch (sq.ft.) _____
Total Area (sq.ft.) _____
Basement Area (sq.ft.) _____
Garage Area (sq.ft.) _____

Estimated Value \$3456.00
Do not include Lot \$)

OFFICE USE ONLY

Lot Width _____
Lot Depth _____
Front Property Line _____
Right Property Line _____
Left Property Line _____
Rear Property Line _____
Improvement Code _____
Structure Used As _____
Use Group _____
Occupancy Load _____
Type Construction _____
Zoning Approved _____
Zoning Disapproved _____
Plan Approved _____
Plan Disapproved _____

Notes:

PERMIT NO. _____
LINE NO. 02-0684
Date/Time In 5/16/02
Date Plan Reviewed _____
PLAN REVIEW FEE _____
PERMIT FEE _____

D.H.W.
EL 21.2

WINGFIELD
LAKE (JR 017)

EMERG.
SPILLWAY



FILE: JR017 WINGFIELD LAKE
VARIANCE APPROVAL

APPLICATION FOR BUILDING PERMIT

101-E Mounts Bay Road, P.O. Box 8784, Williamsburg, VA 23187-8784

(757) 253-6626

FAX: (757) 259-4038

(0.534AC)

Office Hours: Mon-Fri 8:00 a.m. - 5:00 p.m.

CONTRACTOR INFORMATION

License No. 2701 033315A
Company Name Chickley & Smith, Inc.
Street Address 5 Sutton Place
City Hampton State VA Zip 23166
Phone No. (157) 838-2400 Fax No. (757) 826-3507
E-Mail Address _____

Signature: D. Scott Chickley
Print Name: D. Scott Chickley, Pres.

DESCRIPTION OF WORK

New SFD

SAME AS PLAN NUMBER _____ (Lists Options)

LOCATION OF WORK

Tax Map No. (442-06) (000-26 - - -)
Street Address 3008 Margaret Jones Ln.
City Williamsburg State VA Zip 23185
Zone R4 Subdivision Governor's Land

BUILDING INFORMATION

Stories 2 No. Rooms 9 No. Baths 3 1/2 No. Bath Fix. 11
No. Fireplaces 1 Type Misc
Exterior Finish: (Vinyl, Brick, Wood, Other) _____
Interior Finish: (Gypsum wallboard, Wood, Other) _____
Flooring: (Carpet, Wood, Vinyl, Other) _____
Roofing: (Asphalt-Fiberglass, Wood, Other) _____
Heat Type: (Gas, Heatpump, Electric, Other) _____
Air Conditioning-Type: (Central, Window, None) _____

Estimated Construction Value 370,000. (Do not include Lot \$)

OWNER INFORMATION

Name Daniel & Judy Hall
Address 45 Old Stone Bridge Rd.
City Cus Cob State CT Zip 06807
Phone No. (863) 869-2647 Fax No. () _____
E-Mail Address _____

Signature: D. Scott Chickley
Print Name: D. Scott Chickley

Agent: _____
Print Name: D. Scott Chickley

(For Commercial Projects Only)

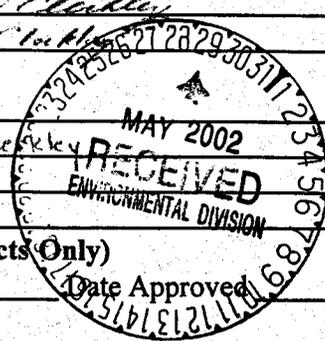
Site Plan No. _____ Date Approved _____

MECHANICS' LIEN AGENT

Name: David A. Holcomb, Atty.
Address: 195 Strawberry Plain Rd. Suite A
City Williamsburg State VA Zip 23185
Phone No. (157) 229-8284 Fax No. (157) 229-7537

Floor Area (sq.ft.) 4111
(Do not include Basement, Garage, and Deck/Porch)
Deck (sq.ft.) _____
Porch (sq.ft.) 260
Basement Area (sq.ft.) _____
Garage Area (sq.ft.) 595
Total Area (sq.ft.) 4966

Septic _____ Public Sewer Grinder Pump _____
Well _____ Public H₂O



OFFICE USE ONLY

Lot Width _____ Improvement Code _____
Lot Depth _____ Structure Used As _____
Front Property Line _____ Use Group _____
Right Property Line _____ Occupancy Load _____
Left Property Line _____ Type Construction _____
Rear Property Line _____ Zoning Approved _____
Zoning Disapproved _____

PERMIT NO. _____ Plan Approved _____
Plan Disapproved _____

LINE NO. 02-0738 PLAN REVIEW FEE _____

Date/Time In 5/24/02 PERMIT FEE _____
Date Plan Reviewed _____

Notes: Builder -
D. Scott Chickley



APPLICATION FOR BUILDING PERMIT

101-E Mounts Bay Road, P.O. Box 8784, Williamsburg, VA 23187-8784

(757) 253-6626

FAX: (757) 259-4038

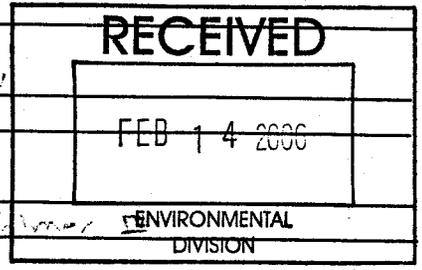
Office Hours: Mon-Fri 8:00 a.m. - 5:00 p.m.

CONTRACTOR INFORMATION

License No. 2705 059446A
 Company Name James City Contractors LLC
 Street Address 100 John Wickham
 City Williamsburg State VA Zip 23185
 Phone No. (757) 259-1111 Fax No. ()
 E-Mail Address nh@jamescitycontractors.com
 Signature: [Signature]
 Print Name: NH P. [Signature]

OWNER INFORMATION

Name Mrs. Mrs. Julian Harper
 Address 5 East 12th St Apt. 1
 City NY City State NY Zip 10007
 Phone No. (212) 427-7470 Fax No. (212) 972-1011
 E-Mail Address _____
 Signature: [Signature]
 Print Name: _____
 Agent: [Signature]
 Print Name: NH P. [Signature]



DESCRIPTION OF WORK

S/D

SAME AS PLAN NUMBER _____ (Lists Options)

(For Commercial Projects Only)

Site Plan No. _____ Date Approved _____

LOCATION OF WORK

Tax Map No. (45-1) (- - 8 - 25)
 Street Address 3013 Mt. Vernon Dr
 City Williamsburg State VA Zip 23105
 Zone _____ Subdivision Winfield Lake

MECHANICS' LIEN AGENT

Name: [Signature]
 Address: _____
 City _____ State _____ Zip _____
 Phone No. () _____ Fax No. () _____

BUILDING INFORMATION

Stories 2 No. Rooms 13 No. Baths 6 No. Bath Fix. 12
 No. Fireplaces 2 Type [Signature]
 Exterior Finish: (Vinyl, Brick, Wood, Other)
 Interior Finish: (Gypsum wallboard, Wood, Other)
 Flooring: (Carpet, Wood, Vinyl, Other)
 Roofing: (Asphalt-Fiberglass, Wood, Other)
 Heat Type: (Gas, Heatpump, Electric, Other)
 Air Conditioning-Type: (Central, Window, None)

Floor Area (sq.ft.) 5259
 (Do not include Basement, Garage, and Deck/Porch)
 Deck (sq.ft.) 407
 Porch (sq.ft.) [Signature]
 Basement Area (sq.ft.) -
 Garage Area (sq.ft.) 724
 Total Area (sq.ft.) 6400

Estimated Construction Value 95,000 (Do not include Lot \$)

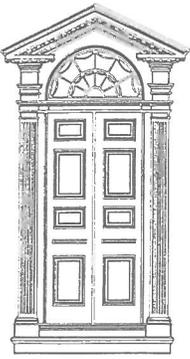
Septic _____ Public Sewer Grinder Pump _____
 Well _____ Public H₂O

OFFICE USE ONLY

Lot Width _____	Improvement Code _____
Lot Depth _____	Structure Used As _____
Front Property Line _____	Use Group _____
Right Property Line _____	Occupancy Load _____
Left Property Line _____	Type Construction _____
Rear Property Line _____	Zoning Approved _____
PERMIT NO. _____	Zoning Disapproved _____
LINE NO. <u>Acc-0267</u>	Plan Approved _____
Date/Time In <u>2-11-06</u>	Plan Disapproved _____
Date Plan Reviewed _____	PLAN REVIEW FEE _____
	PERMIT FEE _____

Notes:

REJECTED



Palmer & Co.

Distinctive Custom Homes

108 John Wickham
Williamsburg, VA 23185

229-1800 229-0006
Office/Fax Home

2/13/06

Mr. Scott Thomas

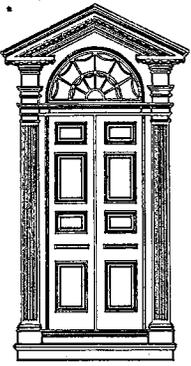
JCC Environmental Division

Scott, As you can see from this site plan, the home the Haynies wish to build will not fit on the lot without a variance to the "25' pond buffer". Because of this I would like to request this variance. Thanks for your prompt consideration.

Sincerely,
Butch Palmer

This is the
buffer
not a front
or side
owner
need letter or
email from
Haynies

Var
cases
with
from



Palmer & Co.

Distinctive Custom Homes

108 John Wickham
Williamsburg, VA 23185

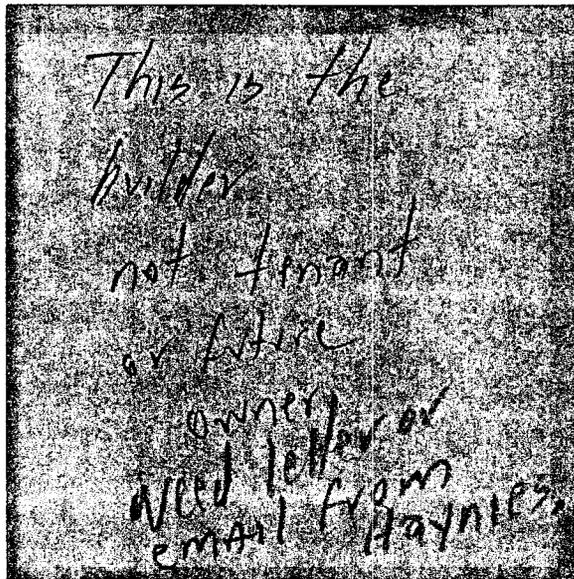
229-1800 229-0006
Office/Fax Home

2/13/06

Mr. Scott Thomas
JCC Environmental Division

Scott, As you can see from this site plan, the home the Haynies wish to build will not "fit" on the lot without a variance to the "25' pond buffer". Because of this I would like to request this variance. Thanks for your prompt consideration.

Sincerely,
Buck Palmer



VOID -
CANNOT ACCEPT
WAIVER FROM
FROM BUILDER.



Permit Agreement in Lieu of an Erosion and Sediment Control Plan for a Single-Family Residence in a Subdivision

Building Permit No.: _____

Subdivision: Governor's Land

Address: 3013 Magnet Tera Lane

Winfield Lake

In lieu of submission of an erosion and sediment control plan for the construction of this single-family dwelling, I agree to comply with the limitations and conditions of this agreement to prevent off-site sedimentation. In addition, I agree to comply with any requirements determined necessary by employees of JCC Development Management if upon field inspections the measures employed on-site are found to not be effective in controlling off-site sedimentation. Such requirements shall be based on the conservation standards contained in the Virginia Erosion and Sediment Control Handbook and shall represent the minimum practices necessary to provide adequate control of erosion and sedimentation resulting from this project.

REQUIREMENTS:

1. The site, work, materials, and plans shall be available at all times for inspections by duly authorized officials of James City County.
2. Clearing or grading is permitted only in areas so designated and approved on the project plans. No storage of materials or land disturbance is permitted outside of the limits of clearing. Areas not to be disturbed shall be protected by fencing methods approved by the Environmental Division and shall be maintained throughout construction. Acceptable fencing methods are presented in the Virginia Erosion and Sediment Control Handbook (VESCH), Specification 3.38, and include snow fence, board fence, cord fence, plastic fence, earth berms and silt fence.
3. The owner/developer shall in all cases install a sediment control structure at the time of initial land disturbance to prevent off-site sedimentation. Such sediment control structures shall be silt fences, gravel filter berms, sediment traps, perimeter berms or other structures which trap sediment on the property. These structures shall be placed at the limit of clearing in the locations shown on the approved site plan. The location of the structures may be adjusted to ensure that all runoff from disturbed areas is directed to the structure.
4. All sediment control structures shall be maintained in an effective operating condition.
5. All soil stockpiles shall be protected by a sediment control measure or be seeded and covered with a mulch material as presented in VESCH Specification 3.35.
6. A construction entrance made of VDOT No. 1 or No. 3 size stone placed on a filter fabric underliner shall be installed as a first step, prior to lot clearing. All vehicle ingress and egress shall be directed over the installed construction entrance to prevent the tracking of mud onto public roads.
7. All cut and/or fill slopes greater than three (3) feet in vertical height shall be graded to a 3:1 or flatter slope.
8. This agreement does not authorize the use of any decomposable materials as fill.
9. Development shall not impair existing surface drainage or constitute a potential sediment hazard. Stormwater runoff shall not be conveyed or discharged onto adjacent properties in a manner which may cause damage.
10. All disturbed areas on the lot shall be stabilized within seven days of final grading with permanent vegetation or a protective ground cover suitable for the time of year.

I further understand that failure to comply with the above requirements within three working days following notice by the representatives of the Environmental Division could result in citation for violation of the James City County Erosion and Sedimentation Control Ordinance. I also understand that noncompliance could result in revocation of this land disturbance permit agreement and the building permit for which it was issued.

Signature of Landowner: X [Signature]

Responsible Land Disturber: HR Dellinger Certificate No: 10806
(Certified by Dept. of Conservation and Recreation)

Approved By: _____ Date: _____



JAMES CITY COUNTY ENVIRONMENTAL DIVISION

Building Permit Submission Requirements for Single Family Site Plans

All single-family site plans submitted along with a James City County Building Permit application shall have the following information clearly identified:

- The limits of clearing, grading, and disturbance must be clearly identified and distinguished from those areas of Trees and Understory which are to be preserved.
- Erosion Control measures are required to be shown on the plan. Indicate the proposed locations for the installation of Silt Fence and a stone Construction Entrance.
- Provide the existing Topographic Contours of the lot and any proposed grade changes. Show any existing drainage ways. All slopes 25% or greater MUST be identified on the site plan with hash marks AND a signed exception request (FORM A) must be submitted.
- Provide the proposed Finished Floor elevations, along with the proposed Final Grade elevations at the building corners.
- Indicate if the proposed dwelling is located within the 100 Year Floodplain.
- Provide spot elevations or invert elevations of the nearest drainage structure or ditch which will handle the stormwater runoff from the lot and from proposed structures.
- Provide directional arrows indicating the proposed drainage patterns and flow directions for stormwater runoff.
- Show the location of any streams, ponds, surface waters, or wetlands on the lot or within 100 linear feet of the lots boundary lines. Show any platted or County identified RPA boundaries and corresponding 100 foot buffers.
- Submit a Perennial Evaluation for any water body within 100 linear feet of the lot's boundary lines that has not been identified as an RPA feature, but may be a perennial stream. When submitting the evaluation, please follow the Division's evaluation guidelines set forth in "Chesapeake Bay Ordinance Submission Requirements for Single Family Site Plans", available at the Division. If a water body is determined to be perennial, RPA boundaries and corresponding 100' buffers must be identified and platted.
- Identify the locations of any proposed or existing drainfields or wells.
- Miscellaneous: _____

NOTE

If the plan is submitted without the above information, it will be disapproved, returned to the applicant for revisions, and the building permit will not be issued.

The applicant must provide James City County with the name and certificate number of a Responsible Land Disturber along with the permit application.

Applicant's Signature: _____



SJT

**James City County
Environmental Division**
Single Family Plan Submittal - Miscellaneous

Lot 28, Governor's Land Wingfield Lake (3013 Margaret Jones Lane)

Clearing is shown within the design high water elevation of the adjacent stormwater management facility and clearing, grading and permanent structures are shown within the pond setback/buffer. The pond buffer/setback is required per page 38 of the County BMP manual. A pond buffer/setback should be provided that extends 25 feet outward from the design high water elevation of the pond. Based on information as available in our record files, it appears the 100-year design high water surface elevation for the Wingfield Lake (County BMP ID Code: JR 017) is at Elevation 21.2.

First, reconfigure the plan to remove clearing and grading from within the design high water elevation of the stormwater management facility. Second, reconfigure the limits of clearing and grading as shown on the plan to avoid disturbance of the buffer; or alternatively, properly submit a written request for waiver to the Environmental Division. Although a request was provided with the application, the request was from the builder/contractor. The request needs to be from the owner or tenant, current or future, rather than the builder/contractor and must include a commitment to stabilize or landscaping disturbed buffer area back to meadow or forest condition using native trees, shrubs or ground cover to the greatest extent possible. *(Note: Manicured turf or lawn to the water's edge is not consistent with the intent of pond buffer requirements and a waiver cannot be issued if this is the intent within the disturbed buffer area.)*



NOTI
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SHOWN
"FRAME

DO NOT REPRESENT AN ACTUAL FIELD SURVEY OF THE PROPERTY. ARE BASED ON INFORMATION SUPPLIED BY THE OWNER AND/OR OF THE LOT AND EASEMENTS ARE BASED ON PLAT OF RECORD. WETLANDS, WETLAND BUFFERS, AND SLOPES GREATER THAN 25% SHOWN ON PLATS OF RECORD, AVAILABLE TOPOGRAPHIC INFORMATION FROM THE "GOVERNOR'S LAND AT TWO RIVERS" PROJECT.

WHEN CLEARING BUILDING SITE SO AS NOT TO DAMAGE TREES PROTECTION SHALL BE PROVIDED BY THE ERECTION OF A TEMPORARY DRAINAGE LINE OF THE TREES ARMORING THE TREE TRUNK. (SEE "SEDIMENT CONTROL HANDBOOK, CHAPTER III, SECTION 3.38).

15 YARD TRASH BIN (TO BE CLEANED WEEKLY) SHALL BE PROVIDED PRIOR TO THE START OF FRAMING ACTIVITIES FOR THE CONTAINMENT OF CONSTRUCTION DEBRIS. A TRASH BIN SHALL BE MADE AVAILABLE FOR TRASH RESULTING FROM SNACKS AND LUNCH.

A SILT FENCE SHALL BE INSTALLED TO ENCOMPASS THE PROPERTY FOR CONSTRUCTION ACTIVITIES.

ENTRANCE SHOWN SHALL BE PROVIDED ACCORDING TO THE REQUIREMENTS PROVIDED IN THE "ADDITION TO ARCHITECTURAL GUIDELINES, SECTION 5, 1993," AND AMENDMENT V, OCTOBER 28, 1993."

ALL DISTURBED AREAS ARE TO BE SEEDED WITHIN SEVEN DAYS OF COMPLETION.

PROPERTY IS SURROUNDED BY TRELLIS AND SCREENED WITH A SUFFICIENT AMOUNT OF PLANTING.

THE BUILDING ARE TO THE OUTSIDE FACE OF THE BLOCK/FRAME LINE.

IN ADJACENT PONDS OR LAKES, THE CORRESPONDING PROPERTY LINE BETWEEN THE ADJACENT LOTS SHALL BE THE LINE OF NORMAL POOL OF THE ADJACENT POND OR LAKE. THE DOTTED LINE IS THE PROPERTY LINE (FOR CLOSURE) AND DOES NOT REPRESENT A PROPERTY LINE.

MINIMUM FINISHED FLOOR ELEVATION FOR GRAVITY SEWER SERVICES = 26.25

WINGFIELD LAKE
NORMAL POOL ELEV. 17.76
100 YEAR STORM ELEV. 21.2

SILT FENCE (TYPICAL) SF

BEACON ORANGE SAFETY FENCING TO BE INSTALLED ALONG THE PERIMETER OF THE CONSTRUCTION SITE FOR THE CONTROL OF WINDBLOWN DEBRIS. (SEE NOTE 4)

LOT 29
T.M.(45-1)(8-29)

EXISTING DWELLING

15 CUBIC YARD TRASH BIN (SEE NOTE 3)

LIMITS OF CLEARING AND GRADING ALONG P/L

PROPOSED CONSTRUCTION ENTRANCE (SEE NOTE 5)

100 YEAR FLOOD ELEV = 21.2 (PER RECORD DRAWING, STORM WATER MANAGEMENT PLAN LAKE 1, GOVERNOR'S LAND, PHASE 1)

LIMITS OF CLEARING AND GRADING

25' POND BUFFER PER JAMES CITY COUNTY.

OWNER TO REQUEST A VARIANCE TO THIS POND BUFFER.

GENERAL PURPOSE EASEMENT "B". (SEE DOCUMENT # 050007624.)

LOT 27
T.M.(45-1)(8-27)

LIMITS OF CLEARING AND GRADING

LIMITS OF CLEARING AND GRADING

REJECTED

EROSION CONTROL NOTE:
FOR ALL EROSION AND SEDIMENT CONTROL ITEMS, EXCESSIVE SEDIMENT SHALL BE REMOVED FROM LOT PRIOR TO THE START OF CONSTRUCTION. ROADSIDE DITCH AND, IF APPLICABLE, SHALL BE CLEANED OF SEDIMENT/OR CONSTRUCTION DEBRIS ON A REGULAR BASIS DURING CONSTRUCTION.



7/27/99

DARRYL:

THIS FILE GOV. LAND
(WINGFIELD LAKE) CAN BE
CLOSED OUT. L/C IS 76,000
FOR E&S & SUB. THE AS-
BUILTS & CALCS. ARE ON

TOP.

DAVID

- Need to determine elev. of riser crest
- wants to reduce E-S