



CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

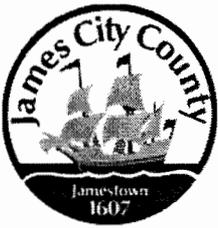
BMP NUMBER: PC109

DATE VERIFIED: October 25, 2012

QUALITY ASSURANCE TECHNICIAN: Leah Hardenbergh

Leah Hardenbergh

LOCATION: WILLIAMSBURG, VIRGINIA



Stormwater Division

MEMORANDUM

DATE: March 13, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC109

PIN: 473200001

Subdivision, Tract, Business or Owner

Name (if known):

Pelegs PT

Property Description:

Lot 1

Site Address:

4709 Williamsburg Glade

(For internal use only)

Box 4

Drawer: 2

Agreements: (in file as of scan date)

N

Book or Doc#:

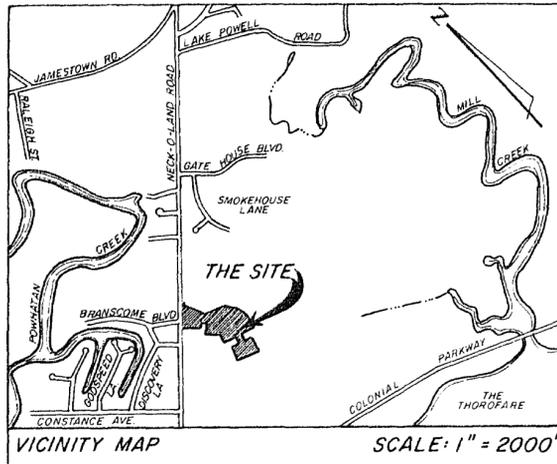
Page:

Comments

Owner is Hampton Roads Development LLC - property has not been turned over to the HOA.

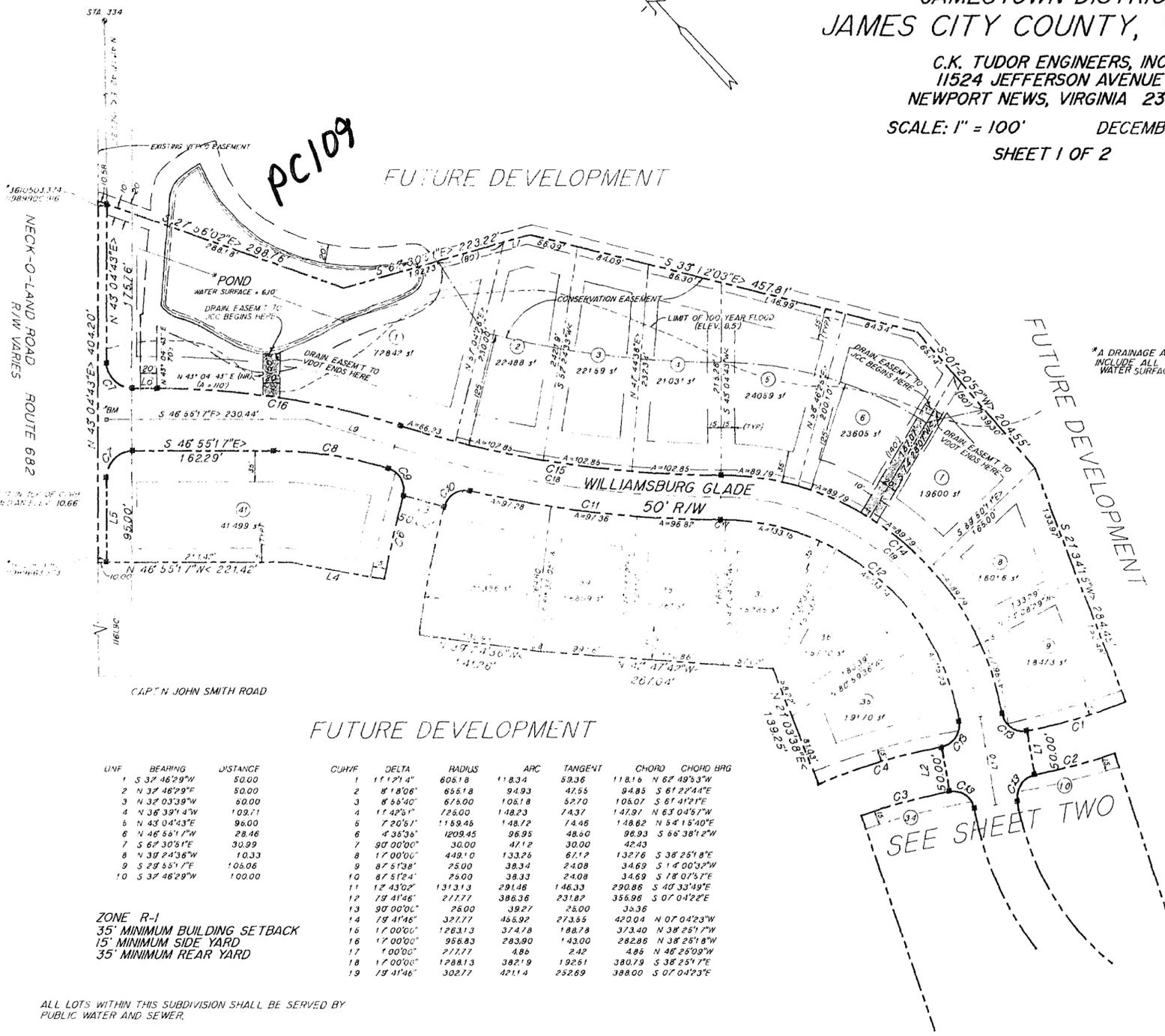
WILLIAMSBURG GLADE SECTION ONE JAMESTOWN DISTRICT JAMES CITY COUNTY, VIRGINIA

C.K. TUDOR ENGINEERS, INC.
11524 JEFFERSON AVENUE
NEWPORT NEWS, VIRGINIA 23601
SCALE: 1" = 100' DECEMBER 2, 1992
SHEET 1 OF 2



***ELEVATION EQUATION**
WILLIAMSBURG GLADE BENCHMARK 0.29 = JAMES CITY COUNTY GEODETIC GROUND CONTROL NETWORK (1929 DATUM)

***BEARING EQUATION**
WILLIAMSBURG GLADE SECTION ONE ROTATED COUNTERCLOCKWISE 06° 43' 15" = JAMES CITY COUNTY GEODETIC GROUND CONTROL NETWORK



*A DRAINAGE AND MAINTENANCE EASEMENT FOR EACH POND SHALL INCLUDE ALL THE AREA INSIDE OF A LINE MEASURED 20' FROM THE WATER SURFACE ELEVATION SHOWN UNLESS OTHERWISE NOTED.

OWNER'S CERTIFICATE

THE SUBDIVISION OF LAND SHOWN ON THIS PLAT AND KNOWN AS WILLIAMSBURG GLADE, SECTION ONE, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND TRUSTEES.

12/1/92 *Richard F. Abbitt*
DATE RICHARD F. ABBITT, PRESIDENT
MILL CREEK LANDING, LTD.

12/1/1992 *Alvin D. Woods*
DATE ALVIN D. WOODS, SENIOR VICE PRES.
CENT BANK FOR SAVINGS, FSB

CERTIFICATE OF NOTARIZATION

STATE OF VIRGINIA
CITY/COUNTY OF Newport News
I, Virginia K. Hall
A NOTARY PUBLIC IN AND FOR THE CITY/COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SIGNED TO THE FOREGOING WRITING HAVE ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY/COUNTY AFORESAID.
GIVEN UNDER MY NAME THIS 12 DAY OF December, 1992
MY COMMISSION EXPIRES 1/3/94

Virginia K. Hall
NOTARY PUBLIC

CERTIFICATE OF SOURCE OF TITLE

THE PROPERTY SHOWN ON THIS PLAT WAS CONVEYED BY REYBOLD HOMES, INC., A DELAWARE CORPORATION, TO MILL CREEK LANDING LTD, A VA. CORPORATION, BY DEED DATED JUNE 19, 1986 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY IN DEED BOOK 306, PAGE 709.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.

12/1/92 *C.K. Tudor*
DATE C.K. TUDOR P.E. & C.L.S.

ZONE R-1
35' MINIMUM BUILDING SETBACK
15' MINIMUM SIDE YARD
35' MINIMUM REAR YARD

ALL LOTS WITHIN THIS SUBDIVISION SHALL BE SERVED BY PUBLIC WATER AND SEWER.

CERTIFICATE OF APPROVAL

THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

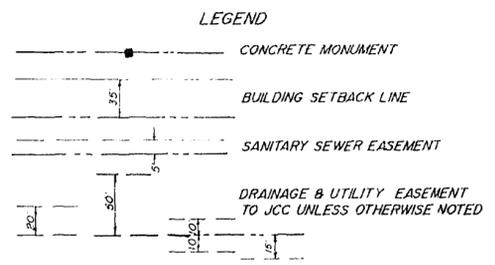
12/1/92 *James D. ...*
DATE VIRGINIA DEPARTMENT OF TRANSPORTATION

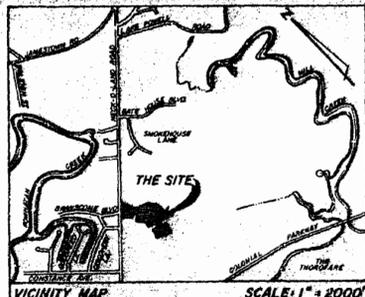
Dec 12, 1992 *James D. ...*
DATE VIRGINIA DEPARTMENT OF HEALTH

STATE OF VIRGINIA COUNTY OF JAMES CITY
IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY THIS DAY OF _____, 1993, THE MAP SHOWN HEREON WAS PRESENTED AND ADMITTED TO THE RECORD AS THE LAW DIRECTS

TESTE: _____ CLERK
PLAT BOOK _____ PAGE _____

AREA OF DEDICATED R/W 1,9345 Ac.
AREA OF LOTS 10,1297 Ac.
TOTAL AREA 12,0642 Ac.





ELEVATION DATUM
WILLIAMSBURG GLADE BENCHMARK - 0.79 - JAMES CITY
COUNTY GEODETIC GROUND CONTROL NETWORK 1929 DATUM
TYPING ELEVATION
WILLIAMSBURG GLADE SECTION ONE ROTATED COUNTER
CLOCKWISE 0° 43' 13" - JAMES CITY COUNTY GEODETIC
GROUND CONTROL NETWORK

PLAT OF CORRECTION
PELEG'S POINT
(FORMERLY WILLIAMSBURG GLADE)
SECTION ONE
JAMESTOWN DISTRICT
JAMES CITY COUNTY, VIRGINIA

C.K. TUDOR ENGINEERS, INC.
11524 JEFFERSON AVENUE
NEWPORT NEWS, VIRGINIA 23601
SCALE: 1" = 100' DECEMBER 2, 1992
SHEET 1 OF 2

OWNER'S CERTIFICATE
THE SUBDIVISION OF LAND SHOWN ON THIS PLAT AND
KNOWN AS WILLIAMSBURG GLADE SECTION ONE IS
WITH THE OTHER CONVEYANCES WITH
THIS DEED OF THE UNDERSIGNED OWNERS,
PROPRIETORS AND TRUSTEES.

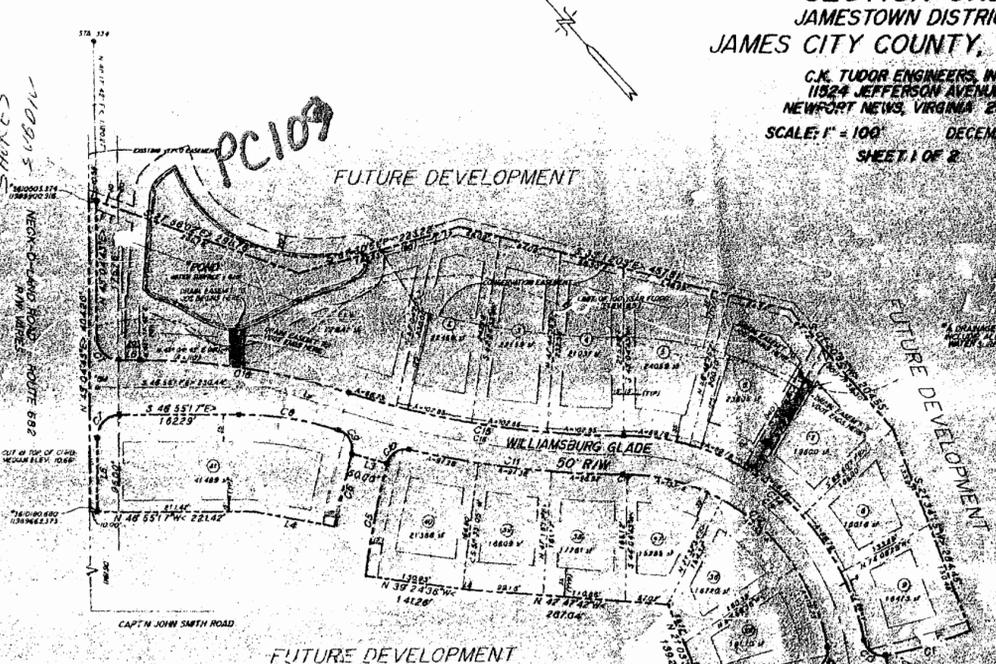
12/1/92 *Richard H. Hill*
DATE *Richard H. Hill*
12/11/1992 *Alvin A. Rogers*
DATE *Alvin A. Rogers*
ALVIN A. ROGERS, SENIOR VEE PRES
CITY BANK FOR SAVINGS, INC.

CERTIFICATE OF NOTARIZATION
STATE OF VIRGINIA
CITY/COUNTY OF *James City*
I, *Richard H. Hill*
A NOTARY PUBLIC IN AND FOR THE CITY/COUNTY AND
STATE AFORESAID, DO HEREBY CERTIFY THAT THE
PERSONS WHOSE NAMES ARE SIGNED TO THE
CONVEYANCES HEREIN HAVE FURNISHED THE SAME
BEFORE ME IN THE CITY/COUNTY AFORESAID
GIVEN UNDER MY HAND AND SEAL OF OFFICE, 1992
MY COMMISSION EXPIRES *4-30-94*

CERTIFICATE OF SOURCE OF TITLE
THE PROPERTY SHOWN ON THIS PLAT WAS
CONVEYED BY REICOLD HOMES, INC., A DELAWARE
CORPORATION, TO WILL GREEN LANDING, LTD., A VA.
CORPORATION, BY DEED DATED JUNE 19, 1986 AND
RECORDED IN THE OFFICE OF THE CLERK OF THE
CIRCUIT COURT OF THIS COUNTY OF JAMES CITY
IN DEED BOOK 306, PAGE 705.

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT TO THE BEST OF MY
KNOWLEDGE AND BELIEF THIS PLAT COMPLIES
WITH ALL OF THE REQUIREMENTS ON THE BOARD
OF SUPERVISORS AND ORDINANCES OF THE COUNTY
OF JAMES CITY, VIRGINIA, REGARDING THE
PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.

12/3/92 *C.K. Tudor*
DATE *C.K. Tudor*
C.K. TUDOR, R.E. & S.L.S.

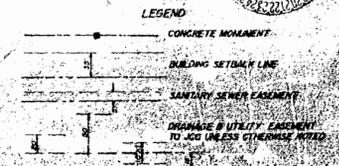


LINE	BEARING	DISTANCE	CURV.	ARC	CHORD	CHORD BEARING	CHORD DISTANCE
1	S 37° 42' 00" W	82.00					
2	N 37° 42' 00" E	82.00					
3	S 00° 00' 00" W	60.00					
4	N 00° 00' 00" E	100.00					
5	N 42° 04' 47" E	86.00					
6	N 42° 04' 47" E	28.00					
7	S 42° 04' 47" W	102.00					
8	S 42° 04' 47" W	102.00					
9	S 42° 04' 47" W	102.00					
10	S 42° 04' 47" W	102.00					
11	S 42° 04' 47" W	102.00					
12	S 42° 04' 47" W	102.00					
13	S 42° 04' 47" W	102.00					
14	S 42° 04' 47" W	102.00					
15	S 42° 04' 47" W	102.00					
16	S 42° 04' 47" W	102.00					
17	S 42° 04' 47" W	102.00					
18	S 42° 04' 47" W	102.00					
19	S 42° 04' 47" W	102.00					

ALL LOTS WITHIN THIS SUBDIVISION SHALL BE SERVED BY
PUBLIC WATER AND SEWER.

CERTIFICATE OF APPROVAL
THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED
IN ACCORDANCE WITH EXISTING SUBDIVISION
REGULATIONS AND MAY BE ADMITTED TO RECORD.

12/15/92 *[Signature]*
DATE *[Signature]*
VIRGINIA DEPARTMENT OF TRANSPORTATION
12/17/92 *[Signature]*
DATE *[Signature]*
VIRGINIA DEPARTMENT OF HEALTH
3/1/93 *[Signature]*
DATE *[Signature]*
SUBDIVISION CLERK OF JAMES CITY COUNTY



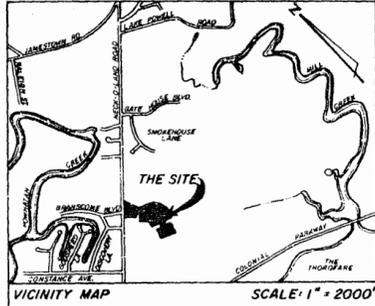
5-15-93 Peleg's Point, Section One

PC 109
1.63 AC.
Zoned R1

MILL CREEK LANDING LTD
121 THIMBLE FIELDS BLVD
NW, VA. 23060

MG-026 PC 109
5-15-93 Peleg's Pt. Sec 1
5-98-89 Williamsburg
Glade

4732 000001
4704 WGS GLADE



OWNER'S CERTIFICATE
 THE SUBDIVISION OF LAND SHOWN ON THIS PLAT AND KNOWN AS WILLIAMSBURG GLADE, SECTION ONE, IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND TRUSTEES:

12/1/92 Richard F. Abbott
 DATE PRESIDENT
 MILL CREEK LANDING, LTD.
 12/1/1992 Alvin D. Woods
 DATE SENIOR VICE PRES.
 CENT BANK FOR SAVINGS, FSB

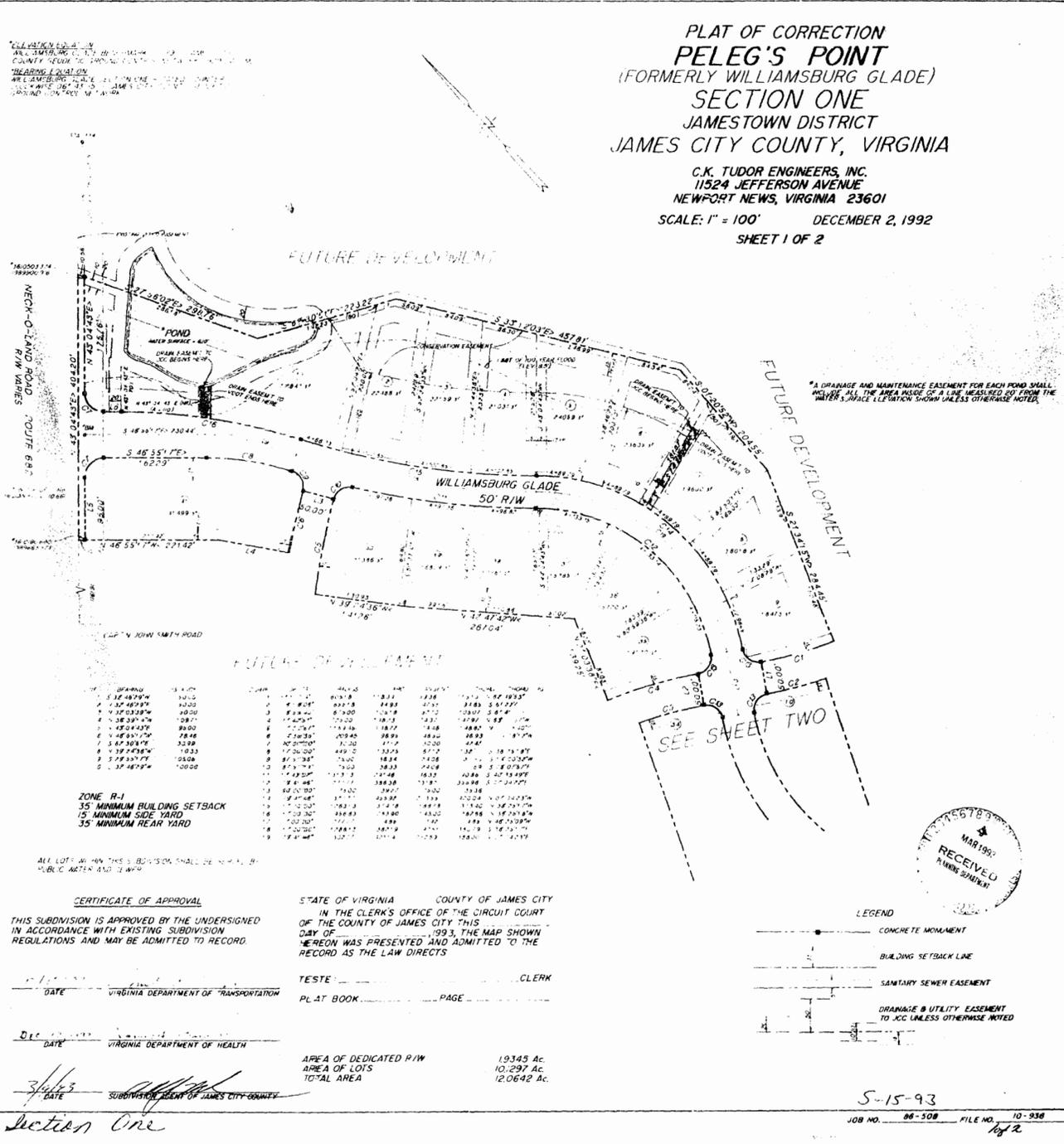
CERTIFICATE OF NOTARIZATION
 STATE OF VIRGINIA
 CITY/COUNTY OF Newport News
 I, Erinnda K. Hall,
 A NOTARY PUBLIC IN AND FOR THE CITY/COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SIGNED TO THE FOREGOING WRITING HAVE ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY/COUNTY AFORESAID, GIVEN UNDER MY NAME THIS 12th day of December, 1992. MY COMMISSION EXPIRES 7-22-94.
Erinnda K. Hall
 NOTARY PUBLIC

CERTIFICATE OF SOURCE OF TITLE
 THE PROPERTY SHOWN ON THIS PLAT WAS CONVEYED BY REYBOLD HOMES, INC., A DELAWARE CORPORATION, TO MILL CREEK LANDING, LTD., A VA CORPORATION, BY DEED DATED JUNE 19, 1986 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY IN DEED BOOK 306, PAGE 709.

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.
 12/9/92 C.K. Tudor
 DATE SURVEYOR
 C.K. TUDOR P.E. & C.L.S.

CERTIFICATE OF APPROVAL
 THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.
 DATE 12/9/92 VIRGINIA DEPARTMENT OF TRANSPORTATION
 DATE 12/9/92 VIRGINIA DEPARTMENT OF HEALTH
 DATE 3/16/93 SUBDIVISION DEPT. OF JAMES CITY COUNTY

5-15-93 Peleg's Point, Section One



PC109

FUTURE DEVELOPMENT

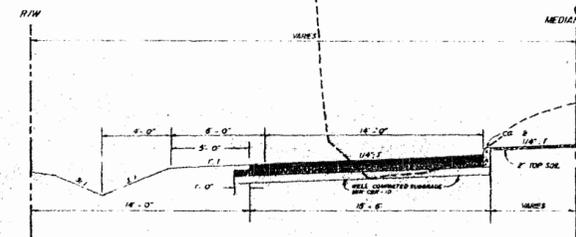
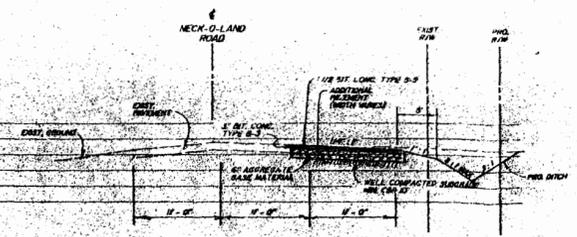


MATCH LINE (SEE ABOVE)

FUTURE DEVELOPMENT

ARCHAEOLOGY SITE # 4

LINE	BEARING	DISTANCE	CURVE	FLTA	RAIUS	ARC	TANGENT	CHORD	CHORD BRG
1	S 32° 48' 29" W	30.00	1	111° 29' 41"	600.78	118.34	59.36	118.15	N 62° 49' 53" W
2	N 11° 37' 48" E	50.00	1	8° 18' 08"	658.18	94.93	47.55	94.95	S 84° 25' 44" E
3	N 43° 03' 39" W	30.00	1	8° 35' 40"	675.00	101.25	50.72	101.16	S 81° 31' 12" E
4	N 48° 53' 17" W	28.46	1	11° 42' 51"	723.00	148.23	74.37	147.97	N 63° 04' 57" W
5	N 39° 43' 36" W	1.33	1	2° 31' 37"	1159.45	188.2	74.46	188.62	N 55° 13' 43" E
6	N 33° 35'	1079.44	2	133.35	26.95	14.50	36.93	S 55° 34' 37" W	
7	N 90° 00' 00"	30.00	0	90° 00' 00"	30.00	47.17	30.00	42.43	42.43
8	N 50° 00' 00"	449.10	0	50° 00' 00"	449.10	312.25	67.12	312.76	S 38° 25' 18" E
9	N 87° 51' 38"	25.00	0	87° 51' 38"	25.00	38.34	24.08	34.69	S 1° 00' 32" W
10	N 87° 51' 38"	25.00	0	87° 51' 38"	25.00	38.34	24.08	34.69	S 1° 00' 32" W
11	N 24° 43' 27"	31.13	0	24° 43' 27"	31.13	46.33	24.36	42.13	S 65° 16' 33" E
12	N 24° 43' 27"	31.13	0	24° 43' 27"	31.13	46.33	24.36	42.13	S 65° 16' 33" E
13	N 90° 00' 00"	25.00	0	90° 00' 00"	25.00	34.97	25.00	35.36	35.36
14	N 7° 41' 48"	32.77	0	7° 41' 48"	32.77	45.97	27.35	42.04	N 67° 04' 13" W
15	N 17° 00' 00"	1263.13	0	17° 00' 00"	1263.13	374.78	188.78	373.40	N 54° 25' 17" W
16	N 17° 00' 00"	958.83	0	17° 00' 00"	958.83	283.90	143.00	282.86	N 38° 25' 07" W
17	N 17° 00' 00"	277.77	0	17° 00' 00"	277.77	85	24	85	N 48° 25' 09" W
18	N 17° 00' 00"	1288.13	0	17° 00' 00"	1288.13	382.19	192.51	380.79	S 38° 25' 17" E
19	N 7° 41' 48"	32.77	0	7° 41' 48"	32.77	45.97	27.35	42.04	S 67° 04' 13" E
20	N 17° 00' 00"	1023.91	0	17° 00' 00"	1023.91	298.57	153.06	297.81	S 38° 25' 17" E



SECTION AA
P.A.S.
PAVEMENT (CLASS IVC)
2" INT. CONC. TYPE S-3
6" AGGREGATE BASE MATERIAL
6" SELECT MATERIAL TYPE III OR IIX

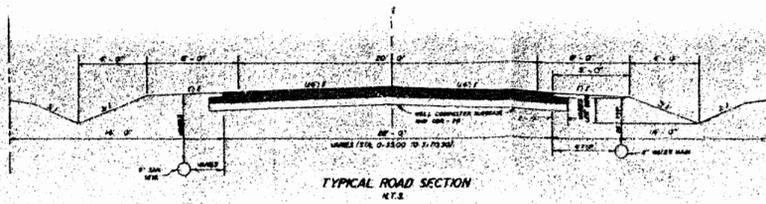
CONCRETE
PAVEMENT
WARRANTY
PERIOD
5 YEARS
OR
100,000
CYCLES
WHICHEVER
COMES FIRST
EXCEPT AS
OTHERWISE
SPECIFIED
IN THE
CONTRACT
DOCUMENTS
THIS WARRANTY
DOES NOT
COVER
DEFECTS
DUE TO
POOR
CONSTRUCTION
OR
MAINTENANCE
OR
OTHER
CAUSES
BEYOND
THE
CONTROL
OF
THE
ENGINEER
OR
CONTRACTOR

21414E - POND A REVISED CONSERVATION EASEMENT
51819I - 4' WIDE SIDEWALKS
112579I - PSL REVIEW
518190 - ARCHAEOLOGY SITE ALDED
10317I - WETLANDS DELINEATION
518190 - PER REVIEW
REVISE: 5/25/90 - LOT NUMBERING



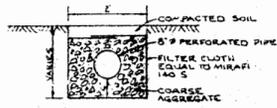
DEVELOPMENT PLAN			
WILLIAMSBURG GLADE			
SECTION ONE			
JAMES CITY COUNTY, VIRGINIA			
C.K. TUDOR ENGINEERS, INC.		SCALE	DATE
NEWPORT NEWS, VIRGINIA		1" = 50'	10/2/88
DESIGN BY	DRAWN BY	CHECKED BY	CAD. NO.
ADP	ADPELLE	ERT	88-208
		SHEET	2 OF 6
		FILE NO.	22-1913

UNDERGROUND UTILITY LINES SHOWN ON THIS DRAWING ARE BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THE EXACT LOCATION OF THE UTILITY SHANK AND TO ASCERTAIN LOCATION OF OTHER UTILITIES NOT SHOWN HEREON.

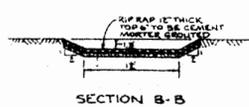


TYPICAL ROAD SECTION
NT.S

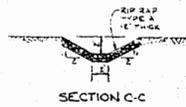
INVERT
2" BIT CONC TYPE S-S
6" AGGREGATE BASE MATERIAL
6" SELECT MATERIAL TYPE I OR III



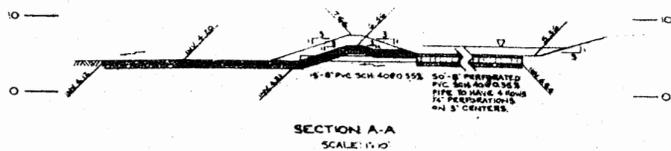
SECTION
D-D
SCALE 1"=2'



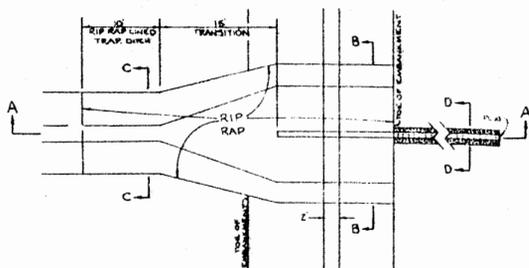
SECTION B-B
SCALE 1"=0'



SECTION C-C
SCALE 1"=0'



SECTION A-A
SCALE 1"=0'



PLAN
DETAIL - DAM & SPILLWAY
POND A
SCALE 1"=0'

1. Components of the water distribution system shall be designed and installed in accordance with the latest edition of the James City Service Authority Standards and Specifications for Water Distribution Systems and the Virginia Waterworks Regulations.

2. The developer's representative shall submit a list of materials for approval to the James City Service Authority prior to commencement of construction.

3. Water mains shall be installed after compaction and prior to placement of base material.

4. All approved location and adjustment control requirements shall be observed during water main construction.

5. All water mains shall be disinfected and pressure tested, and bacteriological sampling obtained, in accordance with James City Service Authority standards.

6. After testing is complete and all components of the water system are acceptable to the James City Service Authority, all bills of materials shall be submitted to the Service Authority. No water meters shall be installed until all bills of materials are received and checked for accuracy by the James City Service Authority. Any discrepancies shall be corrected by the developer's representative within 30 days.

7. Positive periodic inspections during construction shall be provided by the James City Service Authority. These inspections shall include the developer from his obligation and responsibility for constructing a water distribution system in strict accordance with the standards and specifications of the James City Service Authority.

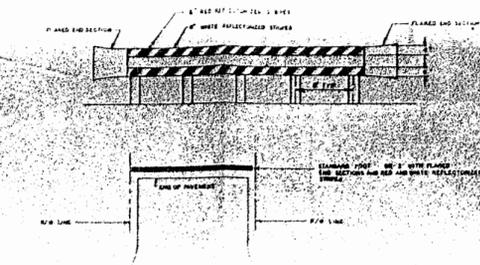
8. Any changes to the final plan shall be approved by the James City Service Authority and shall be accurately reflected on the as-built drawings.

9. All tests shall be provided with water meter connections. The connections shall be extended from the water to the property line, the assembly and shall terminate with a plug in a water box at the existing grade meters for all tests. Meters shall be furnished by the developer and installed by the JCSA.

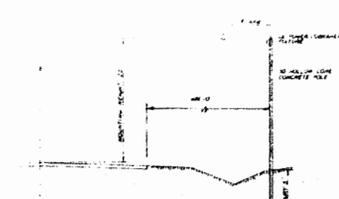
10. The developer is required to submit water meter sheets and shall be responsible for providing a list of meter locations to the James City Service Authority prior to commencement of construction.

11. Any required assessments, permits and approvals shall be submitted to the developer prior to commencement of water main construction.

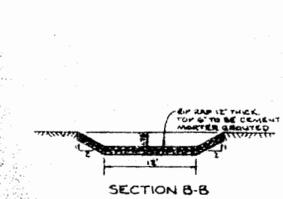
12. The water main contractor shall comply with all applicable codes, regulations, and standards and shall be responsible for obtaining all necessary permits and approvals. The developer shall be responsible for providing the necessary information and assistance to the contractor to ensure compliance with all applicable codes, regulations, and standards.



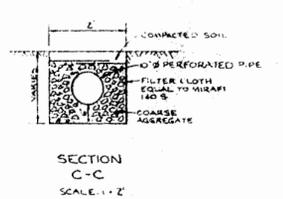
DETAIL
STANDARD
BARRICADE
NT.S



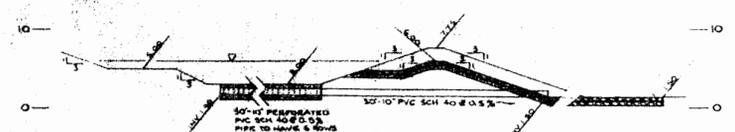
SECURITY LIGHT DETAIL
NT.S



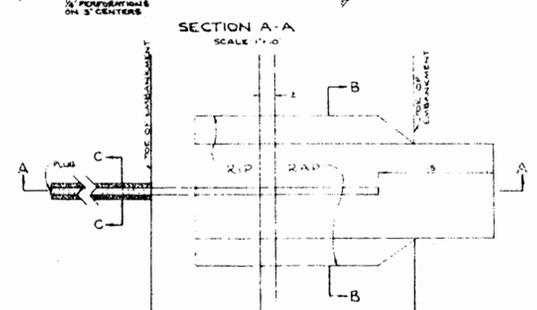
SECTION B-B
SCALE 1"=0'



SECTION
C-C
SCALE 1"=2'



SECTION A-A
SCALE 1"=0'

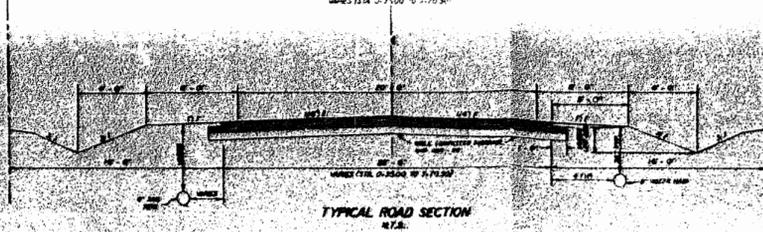


PLAN
DETAIL - DAM & SPILLWAY
POND C
SCALE 1"=0'

1.1.1.2. SPILLWAY PERFORMS AS B. DELETED DETAILS. POND B A1C ADDED
1/28/91 - PER REVIEW
5/3/90 - PER REVIEW

DETAILS			
WILLIAMSBURG GLADE			
SECTION ONE			
JAMES CITY COUNTY, VIRGINIA			
C.K. TUDOR ENGINEERS, INC.		SCALE	DATE
NEWPORT NEWS, VIRGINIA		AS SHOWN	10/16/89
DESIGN BY	DR-MNH BY	CHECKED BY	JOB NO.
ADM	LLB	CKT	86-308
			SHEET
			6 OF 5

808 FILE NO. 22-749

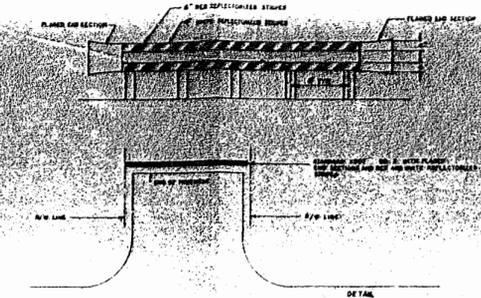


TYPICAL ROAD SECTION
N.T.S.

PAVEMENT:
3" BIT CONC TYPE S-3
6" AGGREGATE BASE MATERIAL
6" SELECT MATERIAL TYPE I OR III

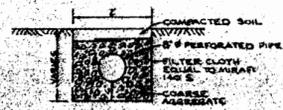
1. All components of the water distribution system shall be installed and tested in accordance with the latest edition of the James City Service Authority Standards and Specifications for Water Distribution System and the Virginia Department of Transportation.
2. The developer's representative shall submit a list of materials for approval to the James City Service Authority prior to commencement of construction.
3. Water mains shall be installed after road grading and prior to placement of base material.
4. All approved location and layout requirements shall be observed for the water main construction.
5. All pipe shall be installed and secured to the roadway with satisfactory mechanical joints. Attention to be given to the James City Service Authority's standards.
6. After testing is complete and all components of the water system are acceptable to the James City Service Authority, the final drawings shall be submitted to the James City Service Authority. No other work shall be installed until all bills of material are received and checked for accuracy by the James City Service Authority. Any discrepancies shall be corrected by the developer's representative within 10 days.
7. Routine periodic inspections during construction will be provided by the James City Service Authority. These inspections do not relieve the developer from his obligation and responsibility for constructing a water distribution system in strict accordance with the Standards and Specifications of the James City Service Authority.
8. Any changes to the final plans shall be approved by the James City Service Authority and shall be accurately reflected on the as-built drawings.
9. All lots shall be provided with water service connections. The connections shall be extended from the main to the property line or easement line, and shall terminate with a meter box set at the finished grade. Meters for all lots (wells) shall be furnished by the developer and installed by the JCSA.
10. The developer is required to submit meter data sheets and shall receive a certificate to construct prior to commencement of construction.
11. Any required permits, permits and approvals shall be secured by the developer prior to commencement of water main construction.
12. The water main contractor shall comply with all applicable law, ordinances, rules, regulations and orders of any public body having jurisdiction. He shall erect and maintain, as required by the conditions and progress of the work, all necessary safeguards for safety and protection. He shall also notify "his utility" prior to performing any underground excavation.

1. All components of the sanitary sewer system shall be installed and tested in accordance with the latest edition of the James City Service Authority Standards and Specifications for Sanitary Sewer System and the Virginia Department of Transportation.
2. The developer's representative shall submit a list of materials for approval to the James City Service Authority prior to commencement of construction.
3. Sewer lines shall be installed after road grading and prior to placement of base material.
4. All approved location and layout requirements shall be observed for the sanitary sewer construction.
5. All sewer shall be installed and secured to the roadway with satisfactory mechanical joints by the developer.
6. After testing is complete and all components of the sewer system are acceptable to the James City Service Authority, the final drawings shall be submitted to the James City Service Authority. No other work shall be installed until all bills of material are received and checked for accuracy by the James City Service Authority. Any discrepancies shall be corrected by the developer's representative within 10 days.
7. Routine periodic inspections during construction will be provided by the James City Service Authority. These inspections do not relieve the developer from his obligation and responsibility for constructing a sanitary sewer system in strict accordance with the Standards and Specifications of the James City Service Authority.
8. Any changes to the final plans shall be approved by the James City Service Authority and shall be accurately reflected on the as-built drawings.
9. All lots shall be provided with sewer service connections. The connections shall be extended from the main to the property line or easement line, and shall terminate with a pipe fitting, plug and cap set at the finished grade. Meters for all lots (wells) shall be furnished by the developer and installed by the JCSA.
10. The developer is required to submit meter data sheets and shall receive a certificate to construct prior to commencement of construction.
11. Any required permits, permits and approvals shall be secured by the developer prior to commencement of sanitary sewer construction.
12. The sewer main contractor shall comply with all applicable law, ordinances, rules, regulations and orders of any public body having jurisdiction. He shall erect and maintain, as required by the conditions and progress of the work, all necessary safeguards for safety and protection. He shall also notify "his utility" prior to performing any underground excavation.



DETAIL
STANDARD
BARRICADE
N.T.S.

NOTE: DEAD END STREET BARRICADES SHALL BE CONSTRUCTED OF CONCRETE, 4' HIGH PARAPET WALL ON 2' WIDE FLARED END SECTION SHALL BE INSTALLED ON THE ENDS OF THE BARRICADE. SECTION TO A WIDE RED AND WHITE STRIPE OF ENCAPSULATED ENHANCED REINFORCED CONCRETE SHALL BE INSTALLED AT THE TOP AND BOTTOM OF THE GUARDRAIL.



SECTION
B-B
SCALE: 1/2"



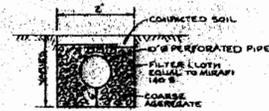
SECTION
B-B
SCALE: 1/2"



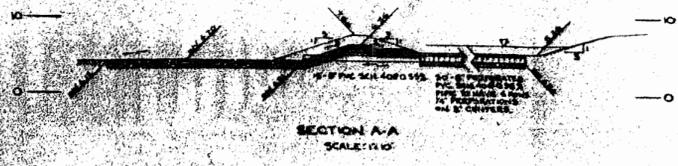
SECTION
C-C
SCALE: 1/2"



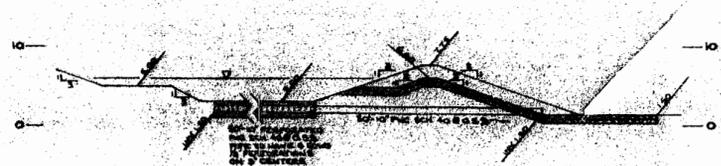
SECTION
B-B
SCALE: 1/2"



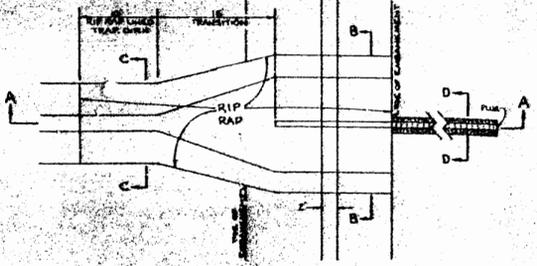
SECTION
C-C
SCALE: 1/2"



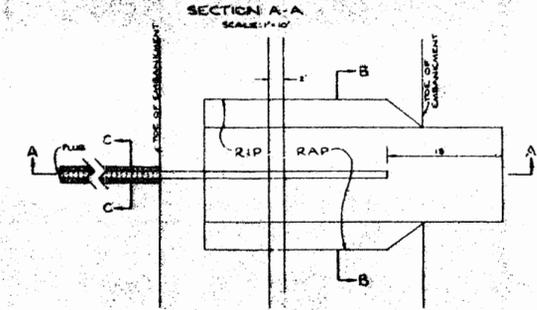
SECTION
A-A
SCALE: 1/2"



SECTION
A-A
SCALE: 1/2"



PLAN
DETAIL - DAM & SPILLWAY
POND A
SCALE: 1/4"



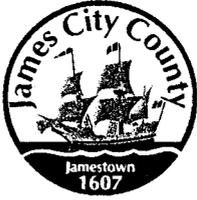
PLAN
DETAIL - DAM & SPILLWAY
POND C
SCALE: 1/4"



2.4% SPILLWAYS FOR POND A & B DELETED DETAILS. POND A & C ADDED.
1/20/91 - PER REVIEW
8/3/92 - PER REVIEW

DETAILS		
WILLIAMSBURG GLADE		
SECTION ONE		
JAMES CITY COUNTY, VIRGINIA		
DESIGN BY	SCALE	DRAWN BY
G.K. TUDOR ENGINEERS, INC.	AS SHOWN	ING. J.P.
NEWPORT NEWS, VIRGINIA		
CHECKED BY	DATE	SHEET
J.C.M.	04-20-92	6 OF 6

8048 FILE NO. 44-710



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

CODE COMPLIANCE
(757) 253-6626
codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

March 7, 2001

Mr. David Volz
Pelegs Point HOA
4725 Williamsburg Glade
Williamsburg, Va. 23185

Re: Pelegs Point Subdivision
Pond A - Stormwater Management Facility
County Plan No. S-15-93; County BMP ID # PC 109

Dear Mr. Volz:

At your request, the Environmental Division is forwarding information relative to an inspection performed at the referenced facility. In addition to specific comments as outlined below, the following additional information is also attached for your group's review and use:

- A 1 inch = 800 ft. scale map showing the general location of Pond A.
- A current inspection report for Pond A dated November 28th 2000.
- A Typical Maintenance Plan as prepared for the facility.
- General Landscaping Guidance (Tips).
- Two (2) Informative Brochures published by the Association of State Dam Safety Officials - *Dam Ownership: Responsibility and Liability* and *Dam Ownership: Procuring the Services of a Professional Engineer*.
- An informational brochure entitled *A Guide for Maintaining and Operating BMP's*. This publication is distributed through our office in response to a cooperative effort by the Hampton Roads Regional Stormwater Management Committee and HR STORM, a regional stormwater education effort coordinated by the Hampton Roads Planning District Commission.

Pond A appears to be a dry-detention stormwater management facility with a shallow marsh bottom. Based on county topography, it would initially appear that Pond A is situated in the Mill Creek watershed; however, the drainage plan for the project indicates that runoff tributary to the facility is collected and discharged via the principal control structure(s) across Neck-O-Land Road through the Powhatan Shores subdivision. Therefore, it is technically within the Powhatan Creek watershed.

Currently there are 2 sheets of plan/detail drawings related to design and construction of Pond A in our records file. These plans were prepared by CK Tudor Engineers, Inc. (Project No. 22-799) in February of 1992 and our in County records under S-98-89 (Williamsburg Glade) and S-15-93 (Pelegs Point Section 1). These drawings are available for sign out and reproduction by your group if desired; however, it does appear the principal control structure for the facility was modified from a perforated, horizontal PVC drain to a standard riser/barrel configuration, similar to many other detention pond designs in the County.

A general maintenance plan was prepared and provided for the facility as a courtesy. The plan was prepared based on our general knowledge of maintenance required for these types of facilities and subsequent to our site specific inspection. It is provided for information and guidance purposes when no other specifically approved maintenance plans are available for use. The plans are not meant to replace or supersede any specific recommendations offered by a qualified professional.

The maintenance plan only addresses normal structural, stormwater runoff control and aesthetic activities related to safe function of the facility. Landscaping, cosmetic or ornamental features associated with the facility are usually left to the discretion of the Owner, or its designated representative, unless these features deter from the structural integrity or the performance of water quality/quantity controls as designed and constructed for the facility.

Specific Comments about Pond A (PC 109):

Based on field observations, the facility appears to be in satisfactory condition for its age. Adequate maintenance mowing is being performed routinely on the west and south sides of the facility. The northern part of the facility is still in a natural wooded condition. However, the facility is in need of regular (routine) maintenance typical of most dry detention pond facilities.

From our perspective, main concerns were the need to clean and remove sediment and debris from the primary storm inflow on the south (Williamsburg Glade) side of the facility and the presence of trees, brush and woody vegetation around the riser, along the emergency spillway, at the outfall end of the pond barrel and along the outfall discharge channel to Neck-O-Land road.

There was a considerable amount of sediment, trash, debris (leaves, dead tree branches, etc.) and vegetation at the end of and along the paved channel, which empties into the south side of the pond near Williamsburg Glade. This channel accepts drainage from roadside drainage channels and a 24-inch culvert which crosses the road approximately 200 feet east of the intersection at the site entrance. Sediment accumulations at the end of the paved channel has encouraged the growth of vegetation, which in turn has caused additional trapping of sediment and the obstruction of flow in the upstream channel and road cross-culvert. Clean and remove all sediment, trash, debris and vegetation in the immediate vicinity of the channel outfall, where flow enters the pond, and within the paved channel itself to restore positive drainage and prevent upstream flow obstructions. An adequately sized riprap outlet protection pad should be established at the end of the paved channel to prevent erosion at the end of the channel. *(Note: In addition to outlet protection, it is highly suggested that a pretreatment sediment forebay be created at this location to force sediment to deposit at a easily accessible location for future cleanout purposes. If pursued, review and approval may be necessary through the Environmental Division).*

Trees, brush and woody vegetation were present around the concrete riser structure, along the concrete emergency spillway (overflow), at the end of the corrugated metal outlet barrel and within the trapezoidal-shaped outfall channel which conveys flow from the pond to the 24-inch concrete pipe across Neck-O-Land Road. All trees, brush and woody vegetation should be removed within 15 feet of the riser pipe and the entrance to the emergency spillway. The outlet end of the pond barrel was difficult to find because of the thick brush; however, it was located approximately 30 feet west of the riser within the defined outlet channel. All trees, brush and woody vegetation needs cleaned and removed from the barrel outfall location, within/along the concrete emergency spillway and within/along the trapezoidal-shaped outfall channel from the pond to VDOT right-of-way. Adequate cleaning of trees, brush and woody vegetation will promote positive drainage and minimize sediment deposition and the obstruction of flow.

Lastly, there was some concern about the east (back) side of the facility where there appeared to be a breach in the graded side slope. Based upon a review of the grading and drainage plans and drainage area maps for the development and the site inspection, it appears that drainage is directed into the pond at this location from the wetland area. Drainage generally comes in an west direction from a paved channel situated between Lots 6 and 7 (4733 and 4737 Williamsburg Glade, respectively) and around the back of Lots 2 through 7 into the pond. Therefore, there is not a breach in the pond, but some minor slope/bank erosion which is present at this location. This area can be graded smooth and stabilized with seed and mulch.

In closing, it is not feasible at this time to perform an assessment similar to this for Pond C. There are outstanding comments relative to this facility and probable modifications as a result of development plans pending for Pelegs Point Section 5 (County Plan S-86-99). As of the date of this letter, Section 5 has not obtained land-disturbance or final site plan approval from the Environmental Division.

Hopefully, this material is helpful to your group to understand maintenance associated with Pond A. Please review the attached information and contact us at 757-253-6639 or 757-253-6673, if you have any further questions or comments.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

SJT/sjt
Enclosures

Shared\SWMPProg\Education\Subdivisions\Pelegs.let2

Pat Menichino

From: VolzDL@aol.com
Sent: Friday, October 22, 2010 5:25 PM
To: Pat Menichino
Subject: Re: Peleg's Point Stormwater Management Facilities

Pat,

Monday at 1000 works. Please call me at 259-0542 (Home) and 784-1800 (cell). I live at the following address:

4724 Williamsburg Glade
Williamsburg VA

Third house on the right as you enter Peleg's Point.

Dave

In a message dated 10/22/2010 8:22:26 A.M. Eastern Daylight Time, pmenichi@james-city.va.us writes:

Monday at 10:00 amok?

From: VolzDL@aol.com [mailto:VolzDL@aol.com]
Sent: Thursday, October 21, 2010 5:18 PM
To: Pat Menichino
Cc: Frances Geissler; Darryl Cook
Subject: Re: Peleg's Point Stormwater Management Facilities

Pat,

Great and thanks for your time. If you can make Monday that would be very helpful. I am going to be home Monday as I am getting my HAVC systems replaced at my home and both my wife and I will be at the house.

Let me know approximately what time, mid-morning or mid afternoon would work swell. Thanks again for your time.

Very Respectfully,

DAVID L. VOLZ
President, Peleg's Point Owners Association Inc

In a message dated 10/20/2010 8:34:23 A.M. Eastern Daylight Time, pmenichi@james-city.va.us writes:

Mr. Volz:

If you would like to meet onsite to review the stormwater management facilities in your community, I am available most days next week. Please provide me with dates and times that you would be available to meet.

Thanks,

Pat

Patrick T. Menichino

Stormwater Specialist



General Services Department

5320 Palmer Lane, Suite 2A

Williamsburg, VA 23188

P: 757-259-1443

F: 757-259-5833

jccEgov.com

Pat Menichino

From: VolzDL@aol.com
Sent: Friday, September 24, 2010 8:32 AM
To: Pat Menichino
Cc: joann@vei.hrcocmail.com; VolzDL@aol.com
Subject: Stormwater Managment Facilities (SWMF) - Inspection Reports Peleg's Point
Attachments: JCCBMPReport27Aug10.pdf

Pat,

I've received the two SWMF Inspection Reports, one dated 27 August and the other dated 30 September. I've attached the 27 Aug 2010 report to this mail. I am assuming that both of these reports are regarding the same BMP since the ID numbers and PIN are the same. I may have made a terrible assumption since these reports were sent to me, but addressed to the owner, Hampton Roads Development (HRD) LLC. My assumption is that you sent these inspection reports to HRD and to me as a courtesy. I am unaware if HRD is in receipt of these reports.

All BMPs in the Peleg's Point Owners Association Development still belong to HRD and have not transferred to the association as common areas. However, I am very interested in the maintenance, roles and responsibilities of the association and the methods of transfer to the associaiton. Please understand that these BMPs in the development are close to 20 years old and some of the operations of the BMPs have been questionable, specifically BMP Pond C. I've witnessed on several occasions that the Pond C riser and drain does not work properly and drains beside the outlet pipe rather than through it and I also have JCC Reports as far back as 1999 indicating problems with this pond.

My concerns are two fold, I know eventually these BMPs will transfer to the association; however, I am unaware of the method and liability that the association takes on and condition the BMP must meet prior to transfer. I am also concerned of future costs required to maintain these BMPs as we get closer to this transfer. I have no intention stepping out of my lane of responsibility or liability without the cooperation of HRD and in concert with the county I am just unclear of the next steps necessary to move forward and I want to keep these BMPs operating properly for our environment.

I am a Air Force contractor transitioning contracts next week and soon to transfer to a government employee, but have some time next week to meet. I am available Monday afternoon, Wednesday and Thursday and would like to stop by the Environmental Division if only to meet and greet and get a better understanding of roles and responsibilities. I want to apologize for not being able to attend the Workshop on 28 Jul, but I had a late afternoon task that held me up at Langley.

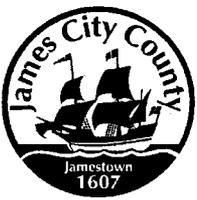
Thanks for your consideration in this matter.

DAVID "Dave" VOLZ
President, Peleg's Point Owners Association Inc

JO ANN

I checked and parcel # 4732 000001
belongs to HRD LLC. BMP - PC-109
CAN we send the reports to HRD LLC.

Thanks
Pat 



**James City County Environmental Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities**

S-15-93

Database Inventory No. (if known): PC 109 (form MC 026)
 Name of Facility: Pelegs Point Sec 1 Pond A BMP No.: 1 of 2 Date: 11/28/00
 Location: INTERSECTION NECK-O-LAND RD. + WILLIAMSBURG GLADE
 Name of Owner: _____
 Inspector: SJ Thomas
 Type of Facility: Shallow MARSH DRY DETENTION
 Weather Conditions: Sunny, WARM 55°

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

*form Williamsburg Glade
RISER ↑ N*

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory.
- Routine - The item checked requires attention, but does not present an immediate threat to the function of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes: <i>POND MAINLY IN CUT EXCAV.; shallow Depth.</i>				
Grass Height	X			<i>Cut Grass, NORTH + WEST / BRUSH EAST.</i>
Vegetated Condition	X			<i>OK.</i>
Weed Growth	X			<i>OK.</i>
Erosion	X			<i>OK.</i>
Trash & Debris	X			<i>NONE</i>
Seepage	X			<i>None observed.</i>
Fencing or Benches				<i>N/A</i>
Constructed Wetlands (Interior Landscaped & Planted) Areas: <i>NATURAL GRASS + SEDGES.</i>				
Vegetated Conditions	X			<i>Interior MARSH 40% Pond</i>
Trash & Debris	X			<i>AREA. WET POOLS 2-12" deep</i>
Floatables	X			<i>in 60%</i>
Erosion	X			
Sediment				
Dead Plant				
Aesthetics				
Other				

GPIN 4732.000001

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools <input type="checkbox"/> Permanent Pool (Retention Basin) <input checked="" type="checkbox"/> Shallow Marsh (Detention Basin)				
Shoreline Erosion	X			GOOD STAND.
Algae	X			NONE.
Trash & Debris	X			NONE
Sediment		X	X	24" DEEP AT RISER, 4" AVG.
Aesthetics	X			
Other		X	X	CATTAILS, SED @ INFLOW
Inflow Structures (Describe Locations): 1 PRIMARY, OPEN CHANNEL PAVED WEST SIDE (4' TW)				
Condition of Structure	X			
Erosion	X			
Trash and Debris		X	X	2" deep in channel.
Sediment	X	X	X	Clean + Remove sed, veg (cattails)
Aesthetics		X	X	Restore unobstructed flow to pond.
Other				
Principal Flow Control Structure - Intake, Riser, etc. (Describe Location): 2 18" RCP RISER W/ CMP CAP 31" Ø x 15" H				
Condition of Structure	X			OK. MINOR RUST ON EXTERIOR CAP.
Corrosion		X		Clean + Paint Cap.
Trash and Debris	X			
Sediment		X	X	Clean + REMOVE SED @ RISER, 24"
Aesthetics	X			Remove Veg 15' from Riser
Other	X			CMP CAP TOO HEAVY TO LIFT BY ONE.
Principal Outlet Structure - Barrel, Conduit, etc. : 15 OR 18" COATED CMP; 30' NORTH OF RISER EXTERIOR INSPECT.				
Condition of Structure				
Settlement	X			
Trash & Debris	X			
Sediment		X	X	SED 6" DEEP. CLEAN
Erosion				
Other				BARREL OUTFALL IN ES Channel.
Emergency Spillway (Overflow): 5' W x 2' DEEP, REC CONC. SPILLWAY				
Vegetation		X	X	Trees, Debris, Leaves IN
Lining		X	X	AND ALONG ES NEEDS
Erosion	X			REMOVED.
Trash & Debris		X	X	
Other	X			outfall Channel 15' TW x 6' BW x 2.5' DEEP.
BARREL HARD TO FIND IN BRUSH. APPROX 30' NORTH OF				
Riser in ES outlet channel.				

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type Conditions:				
Mosquito Breeding	X			
Animal Burrows	X			Minor @ Riser.
Graffiti	X			None.
Other				
Surrounding Perimeter Conditions:				
Land Uses	X			N- NECK O LAND RD; EAST VACANT BRUSH & PINE, EAST GRASS; S- WETLAND.
Vegetation	X			Good Perimeter Stand.
Trash & Debris	X			
Aesthetics	X			NATURAL LOOK.
Access /Maintenance Roads or Paths	X			EASY ACCESS OFF WMBG GLADE
Other				
Remarks: <ul style="list-style-type: none"> Δ CLEAN PRIMARY INLET CHANNEL OF SEDT VEG. RESTORE FLOW TO POND Δ 10' WX 1' DEEP, TRAPEZ. SHAPED BREACH BACK (SOUTH) PART OF EXCAV. AREA. HIGH USEL MAY BACKFLOW TO MILL CREEK. REPAIR? Δ RISER STRUCTURE AT NORTH END NEAR E.S. CMP CAP ON RCP. Clean & Remove SED @ Riser (24"). Remove CAP & inspect RCP + ORIFICES. CLEAN & PAINT CMP CAP AND RISER. Δ Clean & Remove all trees, woody veg 15' from riser. Δ Clean & Remove all trees, debris from ES. Clean outlet channel between ES & cross culv @ NECK-O-LAND. Δ Clean 15/18" OUTLET BARREL. CLEAN OUTFALL OF ALL BRUSH, TREES. Δ VDOT CULV ACROSS NECK-O-LAND, 24"Ø RCP with 8' L X 6" THICK CONCL. HEADWALL. Flow Depth at entrance 12". culvert either clogged or sed. buildup is restricting flow. Needs cleaned. 				
Overall Environmental Division Internal Rating: <u>2</u>				
<ul style="list-style-type: none"> Δ Veg, sed + Debris at inflow channel may be backing up flow in channel + O.C. ROADSIDE DRAINAGE SYSTEM. 				
Signature: <u>Audrey Thomas, P.E.</u>		Date: <u>11/28/00 1:45pm</u>		
Title: <u>Civil Engineer Environmental Div.</u>				

SWMPProg\BMP\CoInspProg\DetRet.wpd

Date Record Created: WS BMPNO: **PC109**

Created By:

WATERSHED: **PC**

BMP ID NO: **109**

PLAN NO: **S-15-93**

TAX PARCEL: **(47-3)20-1**

PIN NO: **473200001**

CONSTRUCTION DATE: **8/1/1992**

PROJECT NAME: **Pelegs Point Sec 1 (Pond A)**

FACILITY LOCATION: **4709 Williamsburg Glade Road**

CITY-STATE: **Williamsburg, Va. 23185**

CURRENT OWNER: **Mill Creek Landing LTD**

OWNER ADDRESS: **734 Thimble Shoals Blvd.**

OWNER ADDRESS 2:

CITY-STATE-ZIP CODE: **Newport News, Va. 23606**

OWNER PHONE:

MAINT AGREEMENT: **Yes**

EMERG ACTION PLAN: **No**

MAINTENANCE PLAN: **No**

SITE AREA acre: **31**

LAND USE: **SF Residential**

old BMP TYP: **Dry Pond**

JCC BMP CODE: **F2 Dry ED with forebay**

POINT VALUE: **9**

SVC DRAIN AREA acres: **23.06**

SERVICE AREA DESCRIP: **SF Lots and C&G Roadways**

IMPERV AREA acres: **0.00**

RECV STREAM: **UT of Powhatan Creek**

EXT DET-WQ-CTRL: **Yes**

WTR QUAL VOL acre-ft:

CHAN PROT CTRL: **No**

CHAN PROT VOL acre-ft:

SW/FLOOD CONTROL: **Yes**

GEOTECH REPORT: **No**

CTRL STRUC DESC: **CMP Riser**

CTRL STRUC SIZE inches: **24**

OTLT BARRL DESC: **RCP**

OTLT BARRL SIZE inch: **18**

EMERG SPILLWAY: **Yes**

DESIGN HW ELEV: **7.2**

PERM POOL ELEV: **6.10**

2-YR OUTFLOW cfs: **0.00**

10-YR OUTFLOW cfs: **19.45**

REC DRAWING: **No**

CONSTR CERTIF: **No**

LAST INSP DATE: **1/17/2001** Inspected by:

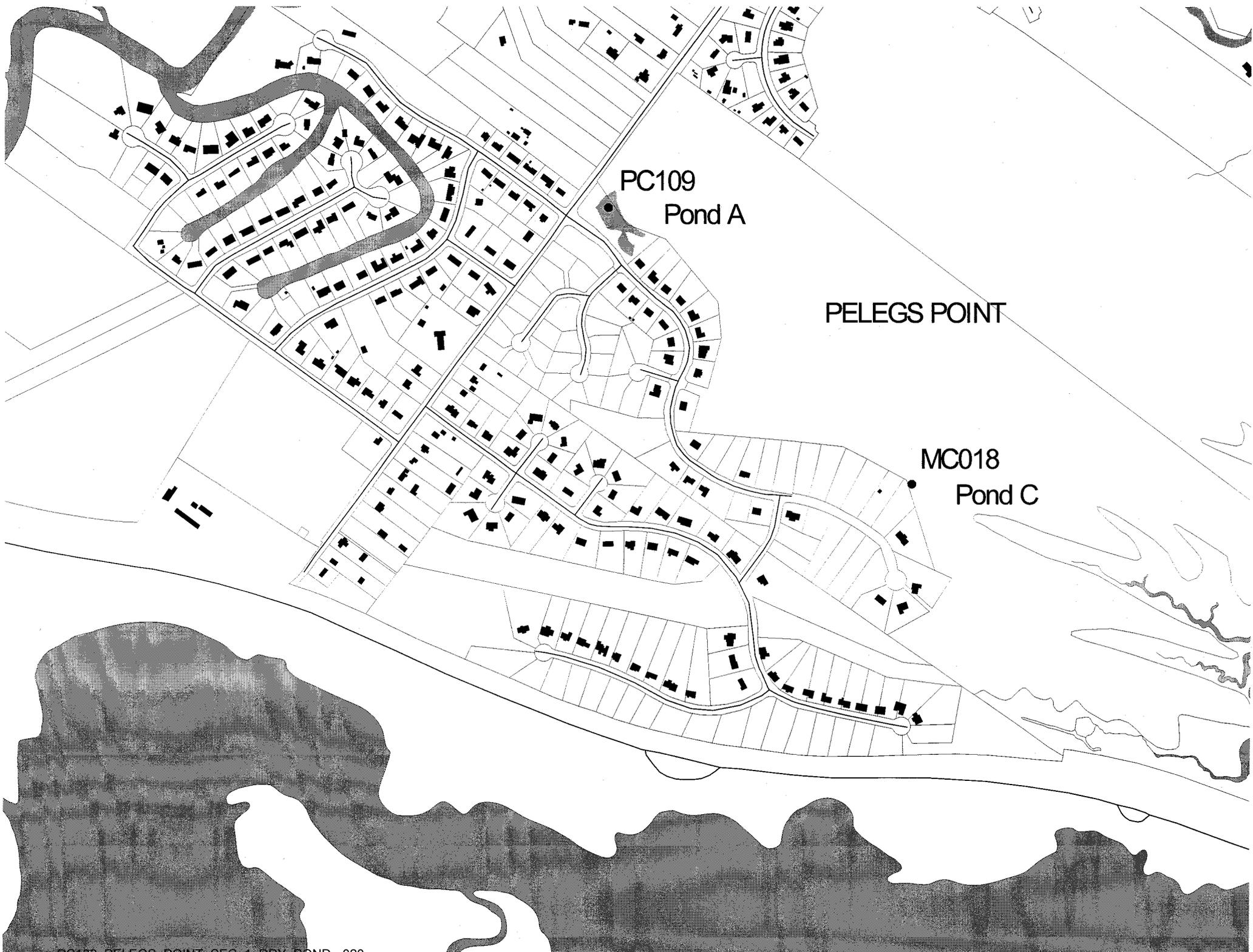
INTERNAL RATING: **3**

MISC/COMMENTS: **S-98-89 Wmbg Glade. Modified per Sec 6 S-59-05 plan.**

Additional Comments:

2/19/03 Met with Sonny Scott
Virginia Enterprises. Went
over work associated with
Pond A PC109 per County
letter dated 3/7/01. Appears they
are going to perform work.

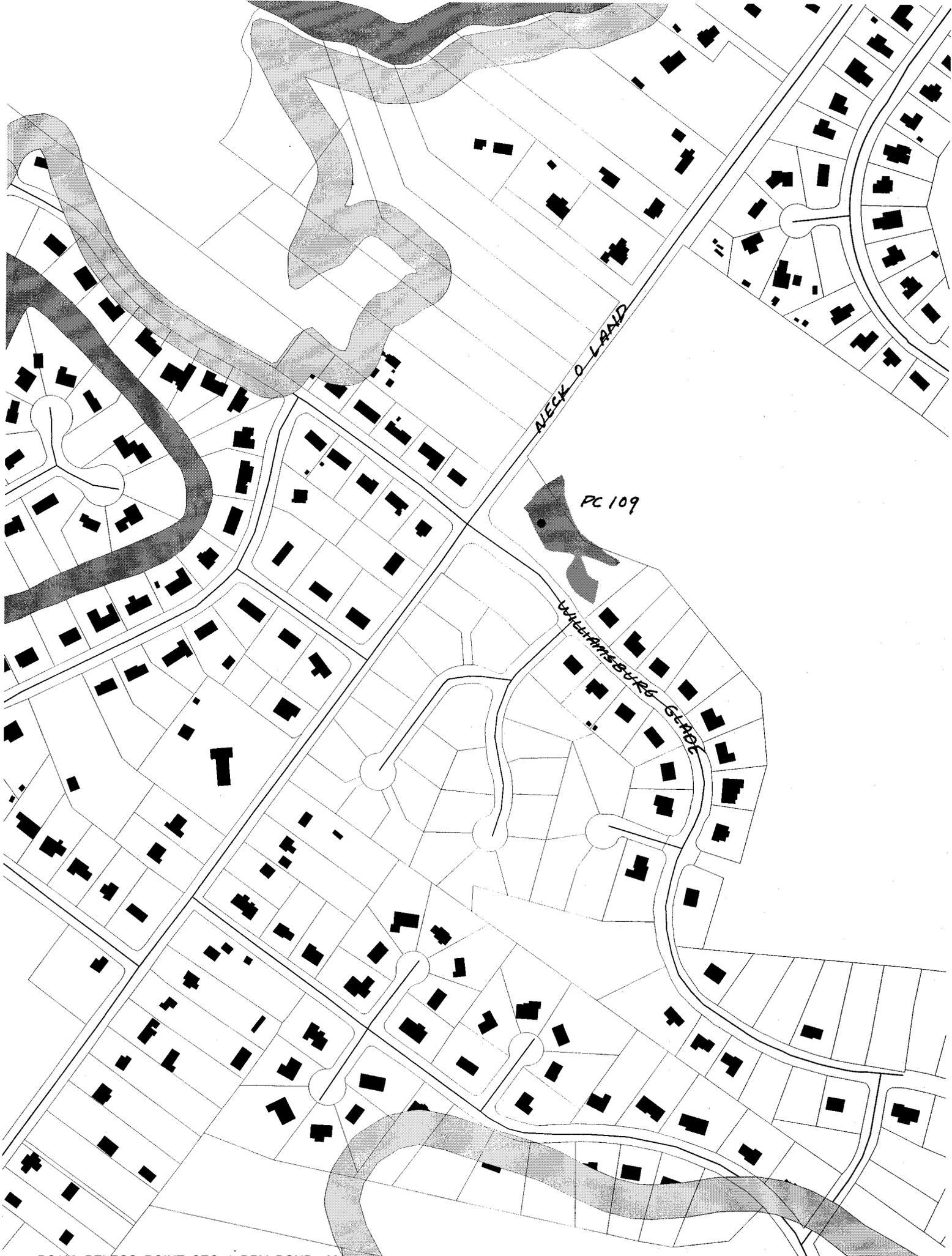
✓ HighMark™



PC109
Pond A

PELEGS POINT

MC018
Pond C



SWMP Stormwater Division Database - [TM_OwnerAndContact]

File Edit View Insert Format Records Tools Window Help Addge PDF

10

MENU EXIT Find Record Previous Record Next Record Add Record Delete Record PLEASE DATA ENTER USING ALL CAPS

Responsible Party Information:

Date Created: 9/3/2009

Subdivision ID: 31

Subdivision Business: HAMPTON ROADS DEVELOPMENT LLC

Area Name or Owner Name:

Contact Name of person with the Management Company:

Notes:

Information in the yellow boxes in where all BMP correspondence is mailed:

Name: DAVID VOLZ

Address: 4724 WILLIAMSBURG GLADE

City: WILLIAMSBURG St: VA Zip: 23185

Email:

Phone:

Phone Extension:

Secondary Contact Information:

Contact: DAVID VOLZ

Contact Mailing: 4724 WILLIAMSBURG GLADE

City: WILLIAMSBURG State: VA Zip: 23185

Email:

Phone:

Phone Extension:

Changes Supp Doc:

Changes Supp Doc:

Changes Supp Doc:

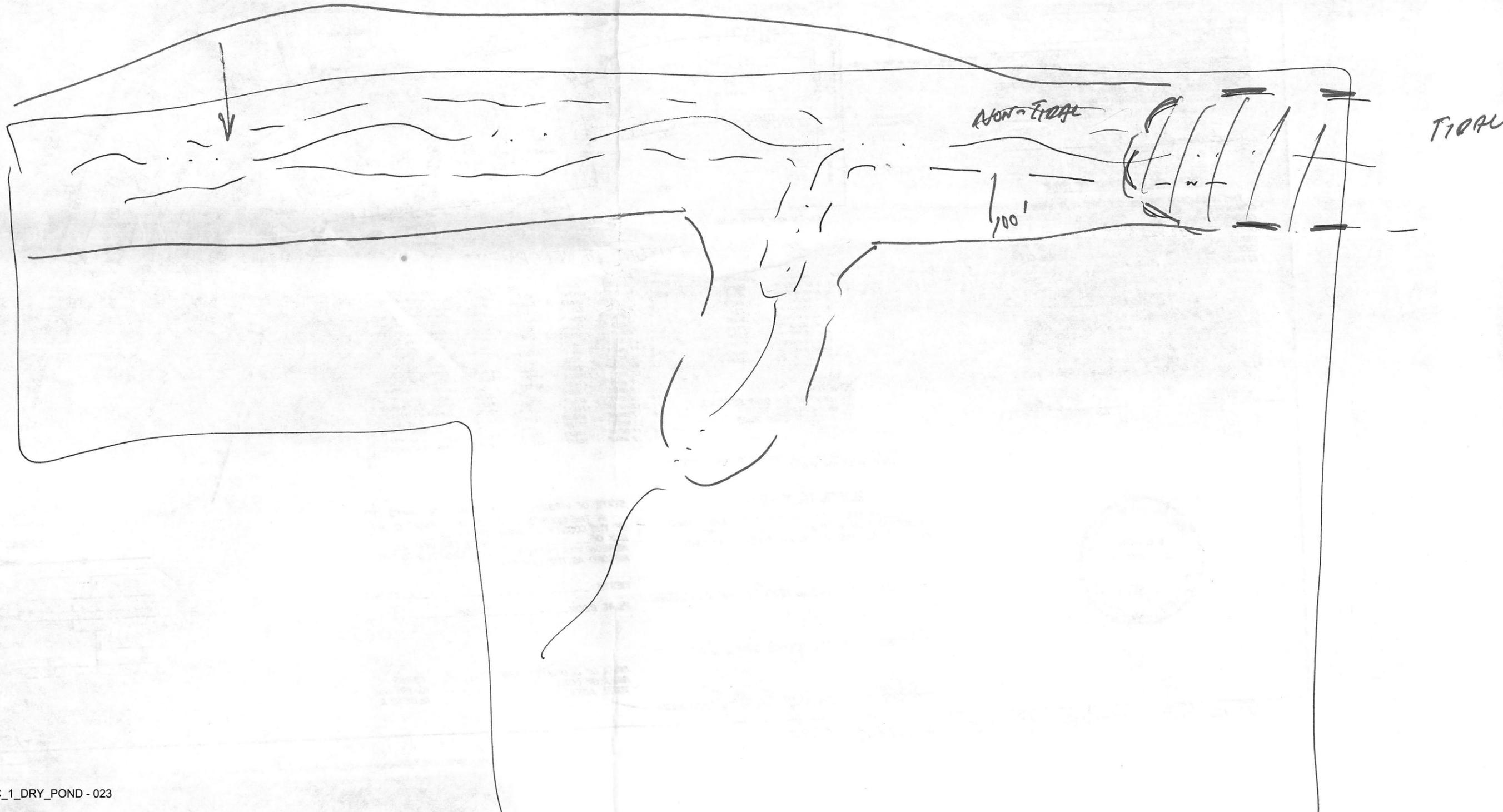
Listing of all the BMP's Maintained by the above

Subdiv ID	BMP ID	PIN	Site Address
▶ 61	MC018	4740100042	
61	PC109	4732000001	4709 WILLIAMSBURG GLADE
61	PC134	4610100011	3314 READE'S WAY
* 61			

Record 14 of 3

JAMES CITY COUNTY, VIRGINIA
JAMES TOWN DISTRICT

PC109



PELEGS
POINT
SEC 1
5-15-93

MC026

WILLIAMSBURG GLADE 5-98-89

BARBARA → 833-4141
ANOTHER 812.30
#75.00
Mr. King says

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 [Printer-Friendly](#)

 [View Property in Interactive Map](#)

Parcel ID ?
4732000001

Tax Account
529793

RPC #
939

[Summary](#) [Improvements](#) [Ownership History](#) [Assessment](#)

Owner's Name: HAMPTON ROADS DEVELOPMENT LLC **Property Address:** 4709 WILLIAMSBURG GLADE WMSBURG , VA 231853159

Mailing Address: 600 THIMBLE SHOALS BLVD STE 220 **Legal Acreage:** 1.67300
NEWPORT NEWS , VA 236062572 **Legal Description:** LOT 1 PEGLEG'S POINT

Zoning: R1 Limited Residential
Property Class: 502 Single Family - Suburban

Location		Schools		Utilities	
Subdivision:	Peleg's Point	Elementary School:	Rawls Byrd	Water:	Y
VA House District:	64	Middle School:	Berkeley	Sewer:	Y
Election District:	Jamestown	High School:	Lafayette		
Voting Precinct:	Jamestown A				
Polling Place:	Clara Byrd Baker Elementary School				
Primary Service Area:	Yes				
Census:	803.02				

Note: If there is no data, the parcel has been created during this tax year

Mill Creek Landing

Contractor: Lewis Waltrip

1. Ponds (Channels)
2. No Lighting SCL 4 (26 LITS)
9 not developed
→

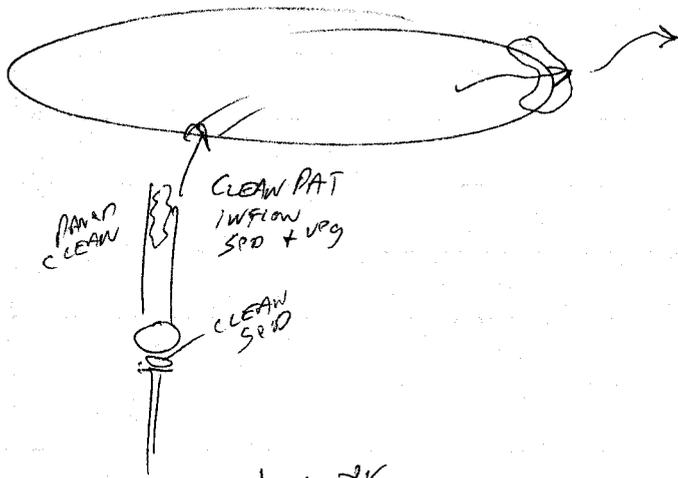
3. Next Monday ⇒ EARLY Morning

At entrance way. 4725 Williamsburg Glade, W06 23185
3rd House on right. H: 259-0542

4. Board of Directors 6:30pm () CELL: 570-9426
6:30pm Oct 10TH (small
Williamsburg Regional Library (college)

Vote, Association

- Shallow Marsh
1. Five Sec with Pond "A" Design
 2. Culvert at W06 GLADE
DUAL Culverts



Mill Creek Landing
WALTRIP ⇒ Dobson.

4 DOBSON NO SR
CONTROL SPD.

Houses outside 100-7r.