



CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

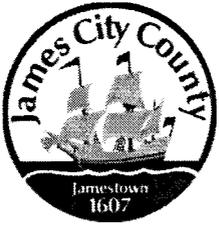
BMP NUMBER: PC148

DATE VERIFIED: May 30, 2012

QUALITY ASSURANCE TECHNICIAN: Leah Hardenbergh

Leah Hardenbergh

LOCATION: WILLIAMSBURG, VIRGINIA



Stormwater Division

MEMORANDUM

DATE: March 13, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC148

PIN: 4620100041

Subdivision, Tract, Business or Owner

Name (if known):

PT at Jamestown

Property Description:

15.02 AC Saint George and The Main Reserve

Site Address:

4669 Sir Gilbert Loop

(For internal use only)

Box 4

Drawer: 2

copy in file w/o

Agreements: (in file as of scan date) **Y**

Book or Doc#:

doc number

Page:

970018520

040020605

050000637

990020587

Comments

Parcel is owned by James City County - easement to PT @ Jamestown to maintain stormwater facility was granted on 9/8/2009. Copy of BOS resolution in file.

COPY

DECLARATION OF COVENANTS

INSPECTION/MAINTENANCE OF DRAINAGE SYSTEM IMPROVEMENTS

THIS DECLARATION, made this 9th day of September, 1999, between Westover Meadows, L.C. and all successors in interest, hereinafter referred to as the "COVENANTOR(S)," owner(s) of the following property: Property of Westover Meadows, L.C.; 16.23 acres +/- Mainland Farms

Deed Book 72, Page No. 79 or Instrument No. 5-65-99 (16.5 ac), and James City County, Virginia, hereinafter referred to as the "COUNTY."

WITNESSETH:

We, the COVENANTOR(S), with full authority to execute deeds, mortgages, other covenants, and all rights, titles and interests in the property described above, do hereby covenant with the COUNTY as follows:

1. The COVENANTOR(S) shall provide for routine maintenance of the storm drainage system improvements completed by the County through agreement with the COVENANTOR(S) and herein described as the "SYSTEM" and located on and serving the above-described property, to ensure that the system is and remains in proper working condition.

The SYSTEM shall not include any elements located within any Virginia Department of Transportation rights-of-way.

Routine maintenance required on the SYSTEM shall include, but is not limited to the following: Removal of leaves, tree limbs, trees, organic debris, trash, and any other undesirable material that may cause obstruction of, or damage to the SYSTEM. Nonroutine maintenance which would include structural repairs and replacement of the SYSTEM or any of its components, shall not be the responsibility of the COVENANTOR(S).

2. The COVENANTOR(S) shall provide and maintain perpetual access from public right-of-ways to the SYSTEM for the COUNTY, its agent and its contractor.

3. The COVENANTOR(S) shall grant the COUNTY, its agent and its contractor a right of entry to the SYSTEM for the purpose of inspecting, operating, installing, constructing, reconstructing, maintaining or repairing the SYSTEM.

4. If, after reasonable notice by the COUNTY, the COVENANTOR(S) shall fail to maintain the SYSTEM in accordance with the approved design standards and with the law and applicable executive regulations, the COUNTY may perform all necessary repair or maintenance work, and the COUNTY may assess the COVENANTOR(S) and/or all property served by the SYSTEM for the cost of the work and any applicable penalties.

5. The COVENANTOR(S) shall indemnify and save the COUNTY harmless from any and all claims for damages to persons or property arising from the installation, construction, maintenance, repair, operation or use of the SYSTEM.

6. The COVENANTOR(s) shall promptly notify the COUNTY when the COVENANTOR(S) legally transfers any of the COVENANTOR(S)' responsibilities for the SYSTEM. The COVENANTOR(S)' shall supply the COUNTY with a copy of any document of transfer, executed by both parties.

7. The covenants contained herein shall run with the land and shall bind the COVENANTOR(S) and the COVENANTOR(S)' heirs, executors, administrators, successors and assignees, and shall bind all present and subsequent owners of property served by the SYSTEM.

8. This COVENANT shall be recorded in the County Land Records.

document # 990020587
Recorded on Sept. 29, 1999

IN WITNESS WHEREOF, the COVENANTOR(S) have executed this DECLARATION OF COVENANTS as of this 9th day of September, 1999.

Westover Meadows, LLC
COVENANTOR(S) BY: Associated
Developers, Inc., Manager
Christopher K. Phillips
Signature

Christopher K. Phillips
Printed

ATTEST:

Gennifer R Adams

Westover Meadows LLC
COVENANTOR(S) BY: Associated
Developers, Inc., Manager
Henry H. Stephens
Signature

Henry H. Stephens
Printed

ATTEST:

Gennifer R Adams

COMMONWEALTH OF VIRGINIA
CITY/COUNTY OF Newport News

I hereby certify that on this 9th day of September, 1999, before the subscribed, a Notary Public of the State of Virginia, and for the City/County of Newport News, aforesaid personally appeared Christopher K. Phillips & Henry H. Stephens and did acknowledge the foregoing instrument to be their Act.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal this 9th day of September, 1999.

Carol Lynn Andrews
Notary Public

My Commission expires: May 31, 2000

Approved as to form:

[Signature]
County Attorney

This Declaration of Covenants prepared by:

CAROL LYNN ANDREWS
(Print Name)

OFFICE MANAGER
(Title)

5300 MERCURY BLVD
(Address)

NEWPORT NEWS VA 23605
(City) (State) (Zip)

Document #?

JCC TAX ID: 4620100041

**EXEMPT FROM RECORDATION TAX PURSUANT TO SECTIONS 58.1-811 (C)(4)
CODE OF VIRGINIA, AS AMENDED.**

**DEED OF
BEST MANAGEMENT PRACTICES FACILITY
AND DRAINAGE EASEMENT**

THIS DEED OF BEST MANAGEMENT PRACTICES FACILITY AND DRAINAGE EASEMENT ("Deed") is made this 10th day of February, 2010, by and between the **THE COUNTY OF JAMES CITY, VIRGINIA**, a political subdivision of the Commonwealth of Virginia (the "Grantor" or the "County"); and **THE POINTE HOMES ASSOCIATION, INC.**, a Virginia Corporation (the "Grantee"), whose address is 103 Bulifants Boulevard, Suite A, Williamsburg, Virginia, 23188.

WITNESSETH: That for and in consideration of the sum of One Dollar (\$1.00) cash in hand paid and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Grantor does hereby grant and convey unto the Grantee, its successors and assigns, a perpetual, non-exclusive easement (the "Easement") for ingress, egress, regress, and general access to and travel over; and for the installation, operation and/or maintenance of a best management practice facility (the "BMP") and related drainage facilities, over, upon and across the following described property (the "Easement Area"), to-wit:

All that certain lot, piece, or parcel of land lying and situate in Berkeley District, James City County, Virginia, shown and designated as "DRAINAGE EASEMENT 49, 807 S.F. ± 1.14 AC. ±" on that certain plat entitled "PLAT OF DRAINAGE EASEMENT FOR CONVEYANCE TO: THE POINTE HOMES ASSOCIATION, INC. FROM JAMES CITY COUNTY" dated October 21, 2009, prepared by AES Consulting Engineers, which plat is attached hereto and made a part hereof as Exhibit A.

The Easement is conveyed subject to the follows terms, covenants, restrictions, and conditions:

1. The Easement, rights and privileges herein conveyed to Grantee are made expressly subject to such easements, covenants, restrictions, conditions, reservations, and limitations, if any, of record, and to matters visible upon inspection or that would be disclosed by accurate physical survey of the premises.

2. Grantor may, in its reasonable discretion, upon ninety (90) days notice to Grantee relocate any Easement Area as may be practicable to a new site designated by Grantor and acceptable to Grantee. In the event that any Easement Area is so relocated, Grantor shall reimburse Grantee for the actual costs for the relocation of Grantee's improvements located within the Easement Area and convey to Grantee an equivalent easement at the new site.

3. Grantor may use the Easement Area for any reasonable purpose not inconsistent with the rights hereby granted, provided such use does not materially interfere with Grantee's exercise of any of its rights hereunder.

4. Except as provided herein, Grantee shall not use the Easement Area in any way that materially interferes with Grantor's use and enjoyment of the Easement Area or Grantor's other property; provided, however, that Grantee shall have the right to keep the Easement Area clear of trees, shrubs, undergrowth or other obstructions which pose a material threat to the safe and proper operation of the BMP.

5. Grantor shall have no responsibility for the proper functioning of the BMP, drainage facilities, or other improvements within the Easement Area.

6. All installation and other work to be performed by Grantee hereunder shall be done in a workman-like manner, in accordance with all applicable laws, ordinances, and regulations, and in such manner as to minimize disruption of Grantor's use of the Easement Area and other property and not to block access to or in any way obstruct, interfere with, or hinder the use of the Grantor's property or any entrance ways thereto, or interfere materially with, delay, or impose any additional expense upon Grantor in maintaining the Grantor's property. If such conditions shall occur, Grantee shall take prompt corrective action.

7. Grantee shall not file any mechanic's, laborer's or materialman's lien, or suffer or permit any such lien to be filed against the Grantor's property, or any improvements thereon, or any part thereof by reason of work, labor, services, or materials requested and/or supplies claimed to have been requested by or on behalf of Grantee; and if such lien shall at any time be so filed, within ten (10) days after notice of the filing thereof, Grantee shall cause it to be canceled and discharged of record.

8. Grantee shall, or cause its subcontractors to, at all times during the exercise of its rights hereunder maintain with respect to all work or other activity on Grantor's property pursuant to this Agreement: (a) insurance which complies with all applicable workers' compensation and employers' liability laws, and (b) liability insurance providing coverage in an amount not less than \$1,000,000.00 combined single limit, naming Grantor as additional insured. Grantee shall provide Grantor with evidence of such insurance coverage in a form reasonably satisfactory to Grantor. All contractors, subcontractors, mechanics or laborers and other persons providing labor or material to Grantor's property shall be properly licensed and insured to include but not be limited to worker's compensation insurance, as applicable. Grantee shall indemnify and hold the County harmless from and against any and all costs, expenses, liabilities, losses, damages, injunctions, suits, fines, penalties, claims and demands, including attorney's fees, or injury to person or property resulting from or arising out of the use of the Easement Area and the BMP by Grantee, its servants or agents, excepting claims or damages as may be due or caused by the acts of the County, its servants or agents.

9. The easement rights and privileges established, created and granted by this Agreement, are not intended, nor shall they be construed as creating any rights in or for the benefit of the general public, or in any person or business entity other than those expressly provided for herein, whether as a third party beneficiary or otherwise.

10. Grantee shall maintain any and all of Grantee's improvements in the Easement Area in good order and repair, and in accordance with all applicable laws, ordinances, and regulations.

WITNESS the following signature and seal:

COUNTY OF JAMES CITY, VIRGINIA

By: Sanford B. Wanner
Sanford B. Wanner
County Administrator

COMMONWEALTH OF VIRGINIA
COUNTY OF JAMES CITY, to-wit:

The foregoing was acknowledged before me this 10th day of February, 2010, by Sanford B. Wanner, County Administrator of the County of James City, Virginia.

Beth Klapper
NOTARY PUBLIC

My commission expires: December 31, 2012
Notary Registration No.: 7182762

Beth Klapper
Notary Public No.: 7182762
Commonwealth of Virginia
My Commission Expires:
December 31, 2010

RESOLUTION

EASEMENT AGREEMENT – THE POINTE HOMEOWNERS ASSOCIATION –

4669 SIR GILBERT LOOP

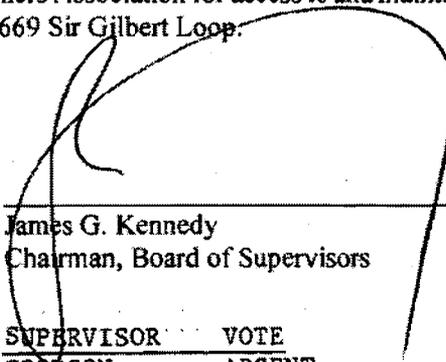
WHEREAS, James City County (County) owns 15.02 acres located at 4669 Sir Gilbert Loop, designated as Parcel No. 0100041 on James City County Real Estate Tax Map No. (46-2) (the "Property"); and

WHEREAS, there is a stormwater management facility located on the Property that was constructed for and controls stormwater runoff from The Pointe at Jamestown subdivision; and

WHEREAS, The Pointe Homeowners Association requires an easement to access and maintain the stormwater facility in its proper working condition; and

WHEREAS, the Board of Supervisors, following a public hearing, is of the opinion that it is in the public interest to convey an easement to The Pointe Homeowners Association.

NOW, THEREFORE, BE IT RESOLVED that the Board of Supervisors of James City County, Virginia, hereby authorizes the County Administrator to execute any and all documents necessary to convey an easement to The Pointe Homeowners Association for access to and maintenance of the stormwater management facility at 4669 Sir Gilbert Loop.


James G. Kennedy
Chairman, Board of Supervisors

ATTEST:


Sanford B. Vanner
Clerk to the Board

<u>SUPERVISOR</u>	<u>VOTE</u>
GOODSON	ABSENT
JONES	AYE
MCGLENNON	AYE
ICENHOUR	AYE
KENNEDY	AYE

Adopted by the Board of Supervisors of James City County, Virginia, this 8th day of September, 2009.

PointeEsmnt_res

040020605

GPIN #4640600094; 4640600095; 4640600096; 4640600097; 4640600098;
#4640600099; 4640600100

THIS DEED OF EASEMENT, made as of August 5, 2004, by and between HAMPTON ROADS DEVELOPMENT, L.L.C., a Virginia limited liability company ("HRD") [index as grantor]; and THE POINTE AT JAMESTOWN HOMEOWNERS ASSOCIATION, a Virginia corporation ("PJHA") [index as grantee].

WITNESSETH: That for and in consideration of the sum of Five Dollars (\$5.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, HRD does hereby grant and convey unto PJHA, its successors and assigns, in common with others, the perpetual right, privilege and easement for the purpose of ingress, egress and the installation, maintenance, repair, replacement, use of and access to underground drainage pipes, lines, drains, facilities, systems, equipment and other necessary appurtenances, under, through and across certain property of HRD more particularly described as follows:

All those certain strips of land located in James City County, Virginia, designated and described as "(P) 10' DRAINAGE EASEMENT", "(P) 10' DRAINAGE EASEMENT (TYP.)" and "(P) 20'", as shown cross-hatched on that certain plat entitled, "DEDICATION PLAT FOR 10' DRAINAGE EASEMENT AND 20' DRAINAGE EASEMENT, LOTS 94 - 100, THE POINTE AT JAMESTOWN, SECTION 2-A, FOR HAMPTON ROADS DEVELOPMENT, L.L.C., BERKLEY DISTRICT, JAMES CITY COUNTY, VIRGINIA", dated July 29, 2004, made by DJG, Inc., a copy of which said plat is attached hereto and hereby made a part of this description.

This easement shall inure to the benefit of, shall be binding upon and shall be enforceable by the parties hereto as well as their respective successors and assigns; including all subsequent

Prepared by Kaufman & Canoles, 2236 Cunningham Drive, Hampton, Virginia

050 000637

GPIN #(46-4) (06-0-0120); (46-4) (06-0-0121); (46-4) (06-0-0122)

THIS DEED OF EASEMENT, made as of January 10, 2005, by and between HAMPTON ROADS DEVELOPMENT, L.L.C., a Virginia limited liability company ("HRD") [index as grantor]; and THE POINTE AT JAMESTOWN HOMEOWNERS ASSOCIATION, a Virginia corporation ("PJHA") [index as grantee].

WITNESSETH: That for and in consideration of the sum of Five Dollars (\$5.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, HRD does hereby grant and convey unto PJHA, its successors and assigns, in common with others, the perpetual right, privilege and easement for the purpose of ingress, egress and the installation, maintenance, repair, replacement, use of and access to drainage pipes, lines, ditches, drains, facilities, systems, equipment and other necessary appurtenances, under, over, through and across certain property of HRD more particularly described as follows:

All those certain strips of land located in James City County, Virginia, designated and described as "PROPOSED 10' DRAINAGE EASEMENT" and "PROPOSED VARIABLE WIDTH DRAINAGE EASEMENT", as shown cross-hatched on that certain plat entitled, "DEDICATION PLAT FOR 10' DRAINAGE EASEMENT AND VARIABLE WIDTH DRAINAGE EASEMENT, LOTS 120-122, THE POINTE AT JAMESTOWN, SECTION 2-A, FOR HAMPTON ROADS DEVELOPMENT, L.L.C., BERKLEY DISTRICT, JAMES CITY COUNTY, VIRGINIA", dated January 7, 2005, made by DJG, Inc., a copy of which said plat is attached hereto and hereby made a part of this description.

This easement shall inure to the benefit of, shall be binding upon and shall be enforceable by the parties hereto as well as their respective successors and assigns; including all subsequent owners of the properties or portions of the properties which are served by or subject to the easement.

Prepared by Kaufman & Canoles, 2236 Cunningham Drive, Hampton, Virginia

3

WITNESS the following signature and seal:

HAMPTON ROADS DEVELOPMENT, L.L.C.,
a Virginia limited liability company
By: Virginia Enterprises, Inc., a Virginia corporation
Its Manager

By: [Signature]
Title: Pres

COMMONWEALTH OF VIRGINIA
AT LARGE, to-wit:

The foregoing instrument was acknowledged before me in Newport News, Virginia, this 10th day of January, 2005, by George E. Fiscella, the President of Virginia Enterprises, Inc., a Virginia corporation and the Manager of Hampton Roads Development, L.L.C., a Virginia limited liability company, for and on behalf of the company; and the aforementioned individual is personally known to me or has produced _____ as identification.

My commission expires: March 31, 2007

[Signature]
Notary Public

#959692 v1 - HRD-PT 1-C EASEMENT

FLAT ATTACHED

VIRGINIA: CITY OF WILLIAMSBURG & COUNTY OF JAMES CITY
This document was admitted to record on 12 Jan 05
at 9:40 AM/PM. The taxes imposed by Virginia Code
Section 58.1-801, 58.1-802 & 58.1-814 have been paid.

STATE TAX	LOCAL TAX	ADDITIONAL TAX
\$ _____	\$ _____	\$ _____

TESTE: BETSY B. WOOLRIDGE, CLERK

BY: [Signature] Clerk

Henry Stephens
Assoc. Dev Inc.
5300 Mercury BLVD

James City County, Virginia
Environmental Division

Stormwater Management/BMP Facilities
Record Drawing/Construction Certification
Review Tracking Form

County Plan No.: Pointe at Jamestown Phase I-C
 Project Name: S-65-99
 Stormwater Management Facility: WETPOND, SIR GILBERT LOOP (BEHIND LOT 88 GRU-C, 4671 SIR GILBERT LOOP)
 Phase: I II III

Information Received. Date: 7-1-02 DJG/INC.
 Administrative Check.
 Record Drawing Date: 6-26-02 DJG/INC.
 Construction Certification Date: _____
 RD/CC Standard Forms (Required after Feb 1st 2001 Only)
 Insp/Maint Agreement Info: Required. I/m # 990020587 sept 29 1999.
 BMP Maintenance Plan Location: NO.
 Other: _____

Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review file. 2
 Yes No Location: NOTE 19 Sheet C-7 RD & CC. NOTE SHEET C-4 CC.

Assign County BMP ID Code Code: PC148
 Log into Division's "As-Built" Tracking Log
 Add Location to GIS Database Map. Obtain GIS site information (GPIN, Owner, Site Area, Address, etc.)
 Preliminary Log into BMP Database (BMP ID #, Site Plan #, GPIN, Project Name)
 Active Project File Review (correspondence, H&H, etc.)
 Initial As-Built File setup (label, copy hydraulics, BMP information, etc.)
 Inspector Check of RD/CC. JOE BUCHITE
 Pre-Inspection Drawing Review - Approved Plan (Quick look prior to field inspection).
 Final Inspection (FI) Performed Date: 7/17/02
 Record Drawing (RD) Review Date: 7/17/02; Rev 2/3/03 Approved.
 Construction Certification (CC) Review Date: _____

Actions:
 No comments.
 Comments. Letter Forwarded. Date: 7/17/02
 Record Drawing (RD)
 Construction Certification (CC)
 Construction-Related (CR)
 Site Issues (SI)
 Other: _____

Second Submission: RD 8-8-02 OK; CC 10/2/02 OK
 Third Submission: RD 2/3/03 OK; CR Reinspect 2-24-03 OK.
 Acceptable for stormwater management facility purposes (RD/CC/CR/Other). Proceed with bond release.
 Notify Darryl/Joan/Pat of acceptability using email (preferred), form or verbal.
 Check/Clean active file of any remaining material and finish "As-Built" file.
 Add to County BMP Inventory/Inspection schedule (Phase I, II or III).
 Copy Final Inspection Report into County BMP Inspection Program file.
 Digital Photographs obtained.
 Add to JCC Hydrology & Hydraulic database (optional).

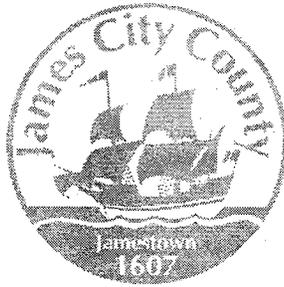
Drainage complaint
50 Pipe Lot 88 &
89 Sir Gilbert
appears resolved.

BMP Certification Information Acceptable

Plan Reviewer: [Signature]

Date: 2-27-03

PC148_POINTE_AT_JAMESTOWN_PHASE_IC-013
 REV EAT 757-838-6337
 757-253-2319
 CONT CLPINS WALTER (DANNY) JILKINSON 253-0700



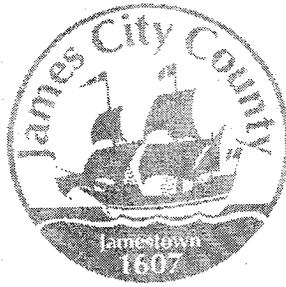
**James City County, Virginia
Environmental Division**

**Stormwater Management / BMP Facilities
Record Drawing and Construction Certification**

Standard Forms & Instructions

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*Issue Date
February 1, 2001*



James City County, Virginia
Environmental Division

Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 - Site Information:

Project Name: THE POINTE AT JAMESTOWN - PHASE 1C
Structure/BMP Name: STORMWATER DETENTION POND - PHASE 1C
Project Location: JAMES CITY COUNTY
BMP Location: PHASE 1-C
County Plan No.: 5 - 65 - 99

Project Type: Residential Business Commercial Office Institutional Industrial Public Roadway Other
Tax Map/Parcel No.: (46-02)(01-41)
BMP ID Code (if known): PC 148
Zoning District: _____
Land Use: SF
Site Area (sf or acres): 16.5 AC.

Brief Description of Stormwater Management/BMP Facility: WET POND FACILITY, EMERGENCY SPILLWAY, 5' LEVEL SHELF, COMMON OPEN SPACE

Nearest Visible Landmark to SWM/BMP Facility: SEE RECORD DRAWING

Nearest Vertical Ground Control (if known):
 JCC Geodetic Ground Control USGS Temporary Arbitrary Other
Station Number or Name: 317
Datum or Reference Elevation: 31.01
Control Description: CONCRETE MONUMENT WITH BRASS DISC
Control Location from Subject Facility: 2400 FEET

Section 2 - Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: Yes No Unknown
Approx. Construction Start Date for SWM/BMP Facility: 2000
Facility Monitored by County Representative during Construction: Yes No Unknown
Name of Site Work Contractor Who Constructed Facility: C.L. WALTRIP, INC.
Name of Professional Firm Who Routinely Monitored Construction: MA
Date of Completion for SWM/BMP Facility: 2000
Date of Record Drawing/Construction Certification Submittal: 8-8-02

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 - Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: ADI
Mailing Address: P.O. DRAWER #18
539 W. MERCURY BLVD., NEWPORT NEWS, VA 23605
Business Phone: 838-2739 Fax: 838-6337
Contact Person: HENRY SPAINENS Title: _____

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

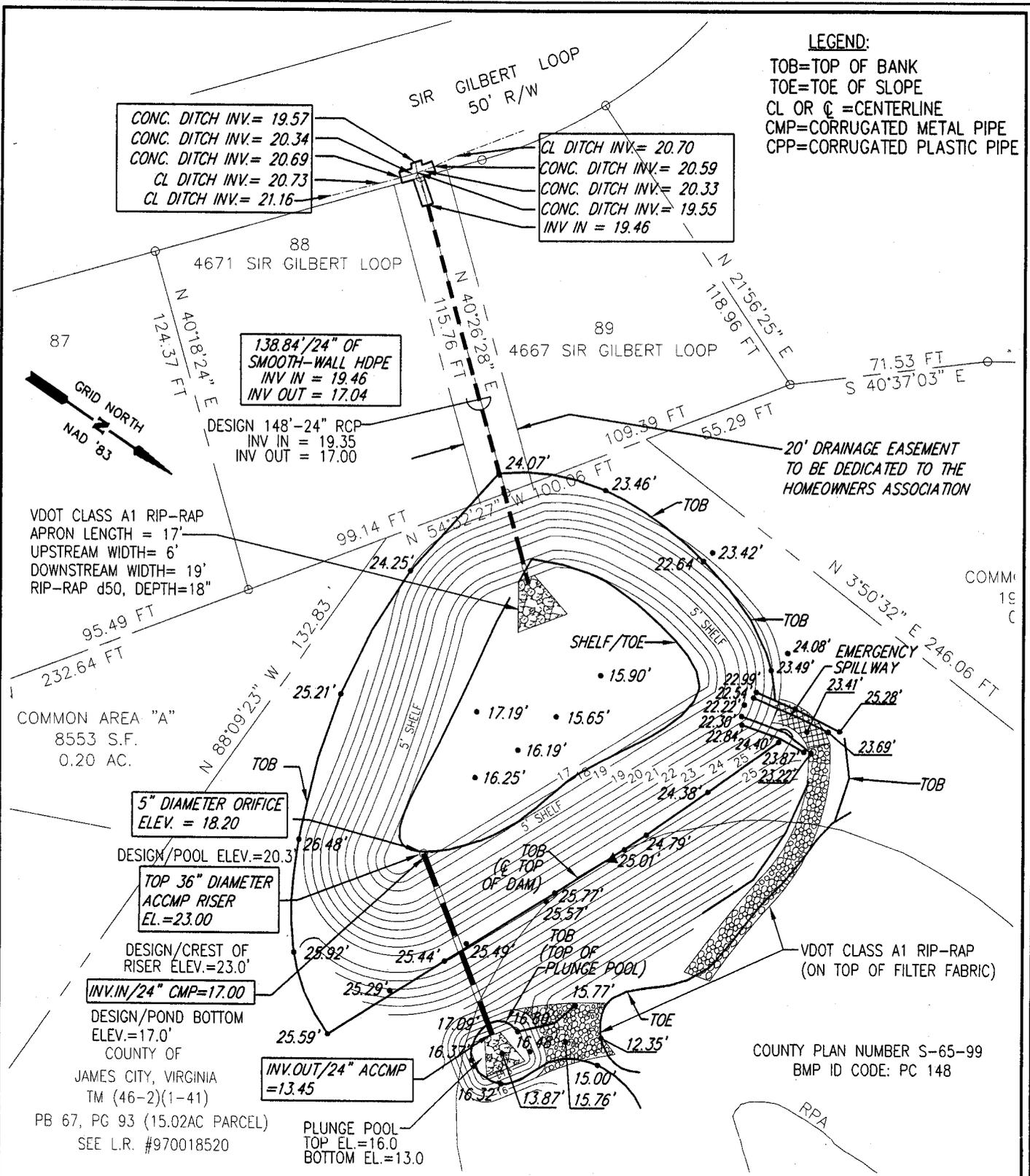
Firm Name: DJG, INC.
Mailing Address: 449 MCLAWS CIRCLE
WILLIAMSBURG, VA 23185
Business Phone: (757)253-0673
Fax: (757) 253-2319
Responsible Plan Preparer: PHILLIP GOERING
Title: _____
Plan Name: _____
Firm's Project No. 1980103
Plan Date: _____
Sheet No.'s Applicable to SWM/BMP Facility: C2 / C4 / C7 / / _____

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: C.L. WALTRIP, INC.
Mailing Address: P.O. BOX 3522
WILLIAMSBURG, VA 23187
Business Phone: (757)253-1883
Fax: (757) 253-0706
Contact Person: DANNY JOHNSON
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): _____

LEGEND:

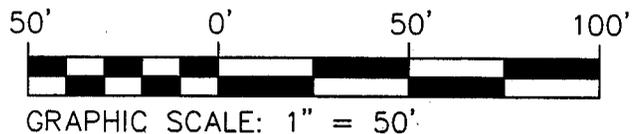
TOB=TOP OF BANK
 TOE=TOE OF SLOPE
 CL OR C =CENTERLINE
 CMP=CORRUGATED METAL PIPE
 CPP=CORRUGATED PLASTIC PIPE



AS-BUILT PLAN CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY JUDGEMENT, KNOWLEDGE, AND BELIEF THAT THIS AS-BUILT PLAN WAS PREPARED UNDER MY SUPERVISION AND REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP STRUCTURE(S) AND CONTAINS INFORMATION AS REQUIRED FOR CERTIFICATION. THE STORMWATER MANAGEMENT/BMP FACILITY, AS CURRENTLY VISIBLE, SUBSTANTIALLY COMPLIES WITH THE APPROVED DESIGN PLAN, JAMES CITY COUNTY GUIDELINES FOR DESIGN AND CONSTRUCTION OF BMP'S AND/OR SPECIFICATIONS ON THE APPROVED STORMWATER MANAGEMENT PLAN, EXCEPT AS SHOWN AND/OR NOTED BELOW.

1. SLIGHTLY LOW SPOT GRADE ON DAM CREST=24.38 (25.00=DESIGN).
2. BARREL-OUTLET-END SECTION PARTIALLY DAMAGED/COLLAPSED. REPAIRED.

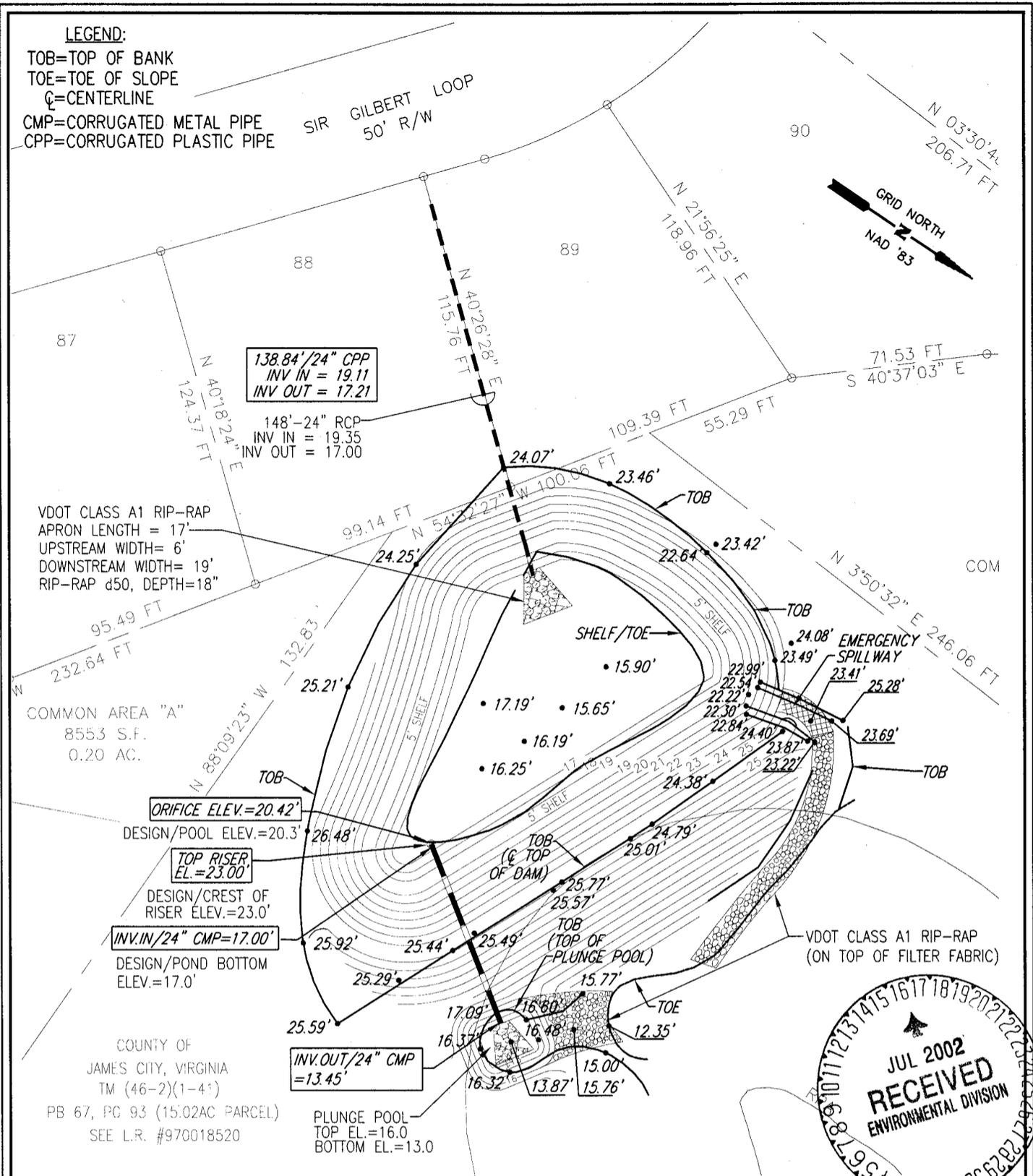


H.L.PHILLIP GOERING
 P.E.#033584

DATE

	REVISIONS: REVISIONS PER COMMENTS DATED 7/17/02 REVISIONS PER AS-BUILT UPDATE INSPECTION 1/31/03	RECORD DRAWINGS THE POINTE AT JAMESTOWN, PHASE 1-C STORMWATER DETENTION POND		
		BERKELEY DISTRICT	JAMES CITY COUNTY	VIRGINIA
		DATE: AUGUST 8, 2002	SCALE: 1" = 50'	
	DRAWN: DNW/EMM CHECKED: NLHT	 Committed to Excellence ENGINEERS • ARCHITECTS • SURVEYORS 449 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187 (757)253-0673 FAX: (757)253-2319 E-MAIL: williamsburg@djginc.com NORFOLK - VIRGINIA BEACH AREA (757)874-5015		JOB NO. 1980103

LEGEND:
 TOB=TOP OF BANK
 TOE=TOE OF SLOPE
 C=CENTERLINE
 CMP=CORRUGATED METAL PIPE
 CPP=CORRUGATED PLASTIC PIPE



VDOT CLASS A1 RIP-RAP
 APRON LENGTH = 17'
 UPSTREAM WIDTH= 6'
 DOWNSTREAM WIDTH= 19'
 RIP-RAP d50, DEPTH=18"

COMMON AREA "A"
 8553 S.F.
 0.20 AC.

ORIFICE ELEV.=20.42'
 DESIGN/POOL ELEV.=20.3'
 TOP RISER EL.=23.00'
 DESIGN/CREST OF RISER ELEV.=23.0'
 INV.IN/24" CMP=17.00'
 DESIGN/POND BOTTOM ELEV.=17.0'

COUNTY OF JAMES CITY, VIRGINIA
 TM (46-2)(1-4)
 PB 67, PG 93 (15.02AC PARCEL)
 SEE L.R. #97G018520

PLUNGE POOL
 TOP EL.=16.0
 BOTTOM EL.=13.0



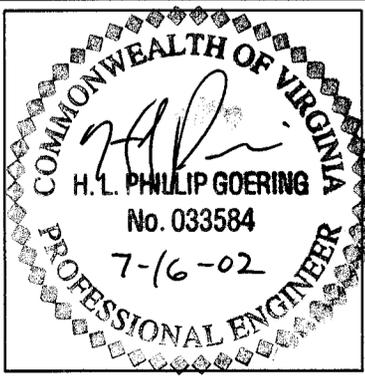
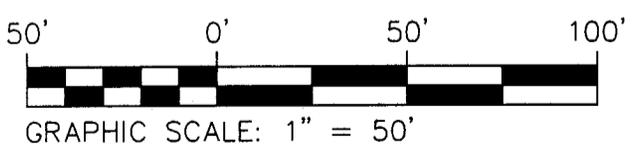
AS-BUILT PLAN CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY JUDGEMENT, KNOWLEDGE, AND BELIEF THAT THIS AS-BUILT PLAN WAS PREPARED UNDER MY SUPERVISION AND REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP STRUCTURE(S) AND CONTAINS INFORMATION AS REQUIRED FOR CERTIFICATION. THE STORMWATER MANAGEMENT/BMP FACILITY, AS CURRENTLY VISIBLE, SUBSTANTIALLY COMPLIES WITH THE APPROVED DESIGN PLAN, JAMES CITY COUNTY GUIDELINES FOR DESIGN AND CONSTRUCTION OF BMP'S AND/OR SPECIFICATIONS ON THE APPROVED STORMWATER MANAGEMENT PLAN, EXCEPT AS SHOWN AND/OR NOTED BELOW.

1. SLIGHTLY LOW SPOT GRADE ON DAM CREST=24.38 (25.00=DESIGN).
2. BARREL OUTLET END SECTION PARTIALLY DAMAGED/COLLAPSED.

H.L. Phillip Goering
 H.L. PHILLIP GOERING
 P.E.#033584

7-16-02
 DATE



REVISIONS:

DRAWN:	DNW
CHECKED:	NLHT

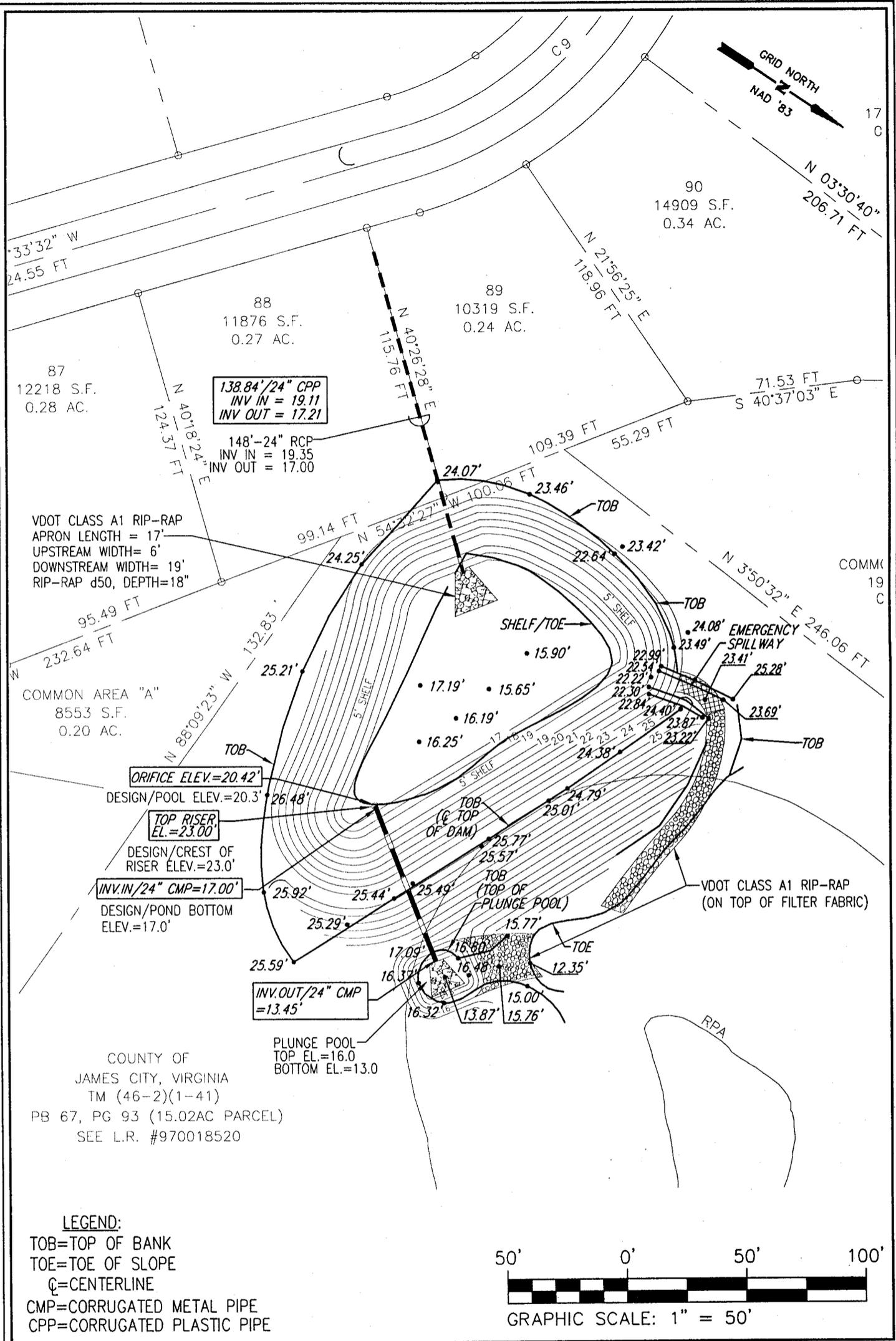
RECORD DRAWINGS
THE POINTE AT JAMESTOWN, PHASE 1-C
STORMWATER DETENTION POND

BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

DATE : JUNE 26, 2002 SCALE: 1" = 50'

DJG *Committed to Excellence*
 ENGINEERS • ARCHITECTS • SURVEYORS
 449 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187
 (757)253-0673 FAX: (757)253-2319 E-MAIL: williamsburg@djginc.com
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015

JOB NO.
1980103



VDOT CLASS A1 RIP-RAP
 APRON LENGTH = 17'
 UPSTREAM WIDTH = 6'
 DOWNSTREAM WIDTH = 19'
 RIP-RAP d50, DEPTH = 18"

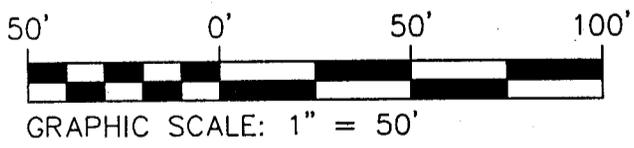
COMMON AREA "A"
 8553 S.F.
 0.20 AC.

ORIFICE ELEV. = 20.42'
 DESIGN/POOL ELEV. = 20.3'
 TOP RISER, EL. = 23.00'
 DESIGN/CREST OF RISER ELEV. = 23.0'
 INV. IN / 24" CMP = 17.00'
 DESIGN/POND BOTTOM ELEV. = 17.0'

INV. OUT / 24" CMP = 13.45'
 PLUNGE POOL
 TOP EL. = 16.0
 BOTTOM EL. = 13.0

COUNTY OF
 JAMES CITY, VIRGINIA
 TM (46-2)(1-41)
 PB 67, PG 93 (15.02AC PARCEL)
 SEE L.R. #970018520

LEGEND:
 TOB = TOP OF BANK
 TOE = TOE OF SLOPE
 C = CENTERLINE
 CMP = CORRUGATED METAL PIPE
 CPP = CORRUGATED PLASTIC PIPE

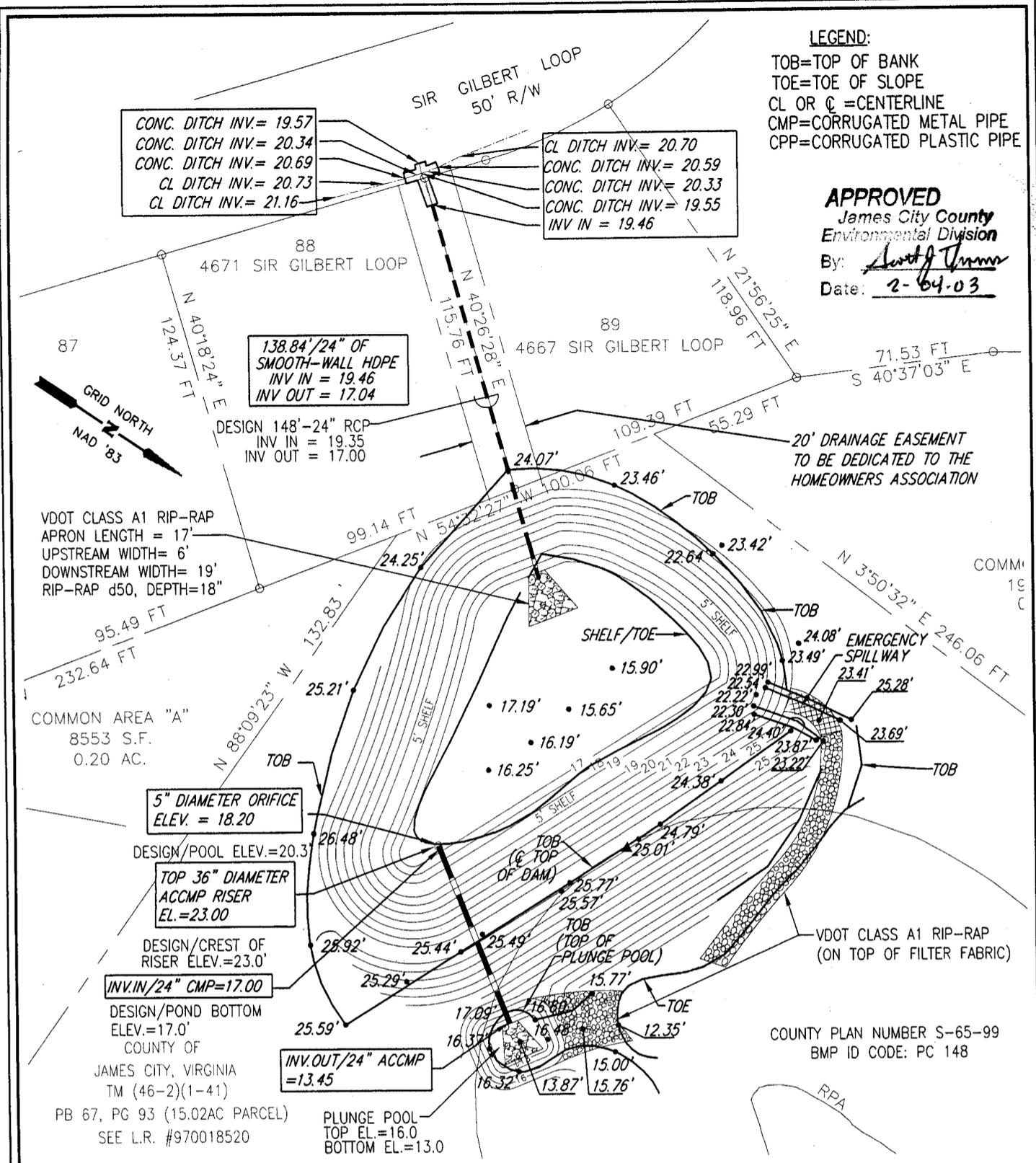


	REVISIONS:	RECORD DRAWINGS		
		THE POINTE AT JAMESTOWN, PHASE 1-C STORMWATER DETENTION POND		
		BERKELEY DISTRICT	JAMES CITY COUNTY	VIRGINIA
		DATE : JUNE 26, 2002		SCALE: 1" = 50'
	DRAWN: DNW	Committed to Excellence ENGINEERS • ARCHITECTS • SURVEYORS 449 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187 (757)253-0673 FAX: (757)253-2319 E-MAIL: williamsburg@djginc.com NORFOLK - VIRGINIA BEACH AREA (757)874-5015		
	CHECKED: NLHT			JOB NO. 1980103

LEGEND:

TOB=TOP OF BANK
 TOE=TOE OF SLOPE
 CL OR C = CENTERLINE
 CMP=CORRUGATED METAL PIPE
 CPP=CORRUGATED PLASTIC PIPE

APPROVED
 James City County
 Environmental Division
 By: *[Signature]*
 Date: 2-04-03



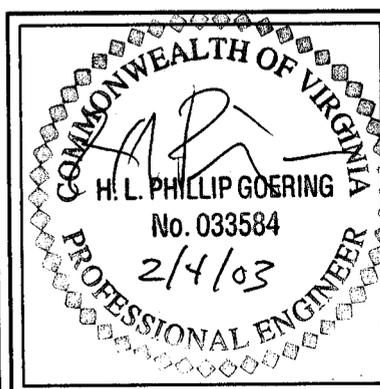
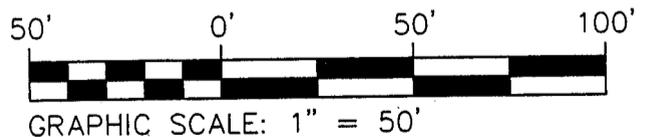
AS-BUILT PLAN CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY JUDGEMENT, KNOWLEDGE, AND BELIEF THAT THIS AS-BUILT PLAN WAS PREPARED UNDER MY SUPERVISION AND REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP STRUCTURE(S) AND CONTAINS INFORMATION AS REQUIRED FOR CERTIFICATION. THE STORMWATER MANAGEMENT/BMP FACILITY, AS CURRENTLY VISIBLE, SUBSTANTIALLY COMPLIES WITH THE APPROVED DESIGN PLAN, JAMES CITY COUNTY GUIDELINES FOR DESIGN AND CONSTRUCTION OF BMP'S AND/OR SPECIFICATIONS ON THE APPROVED STORMWATER MANAGEMENT PLAN, EXCEPT AS SHOWN AND/OR NOTED BELOW.

1. SLIGHTLY LOW SPOT GRADE ON DAM CREST=24.38 (25.00=DESIGN).
2. ~~BARREL OUTLET END SECTION PARTIALLY DAMAGED/COLLAPSED.~~ REPAIRED.

[Signature]
 H.L. PHILLIP GOERING
 P.E. #033584

2/4/03
 DATE



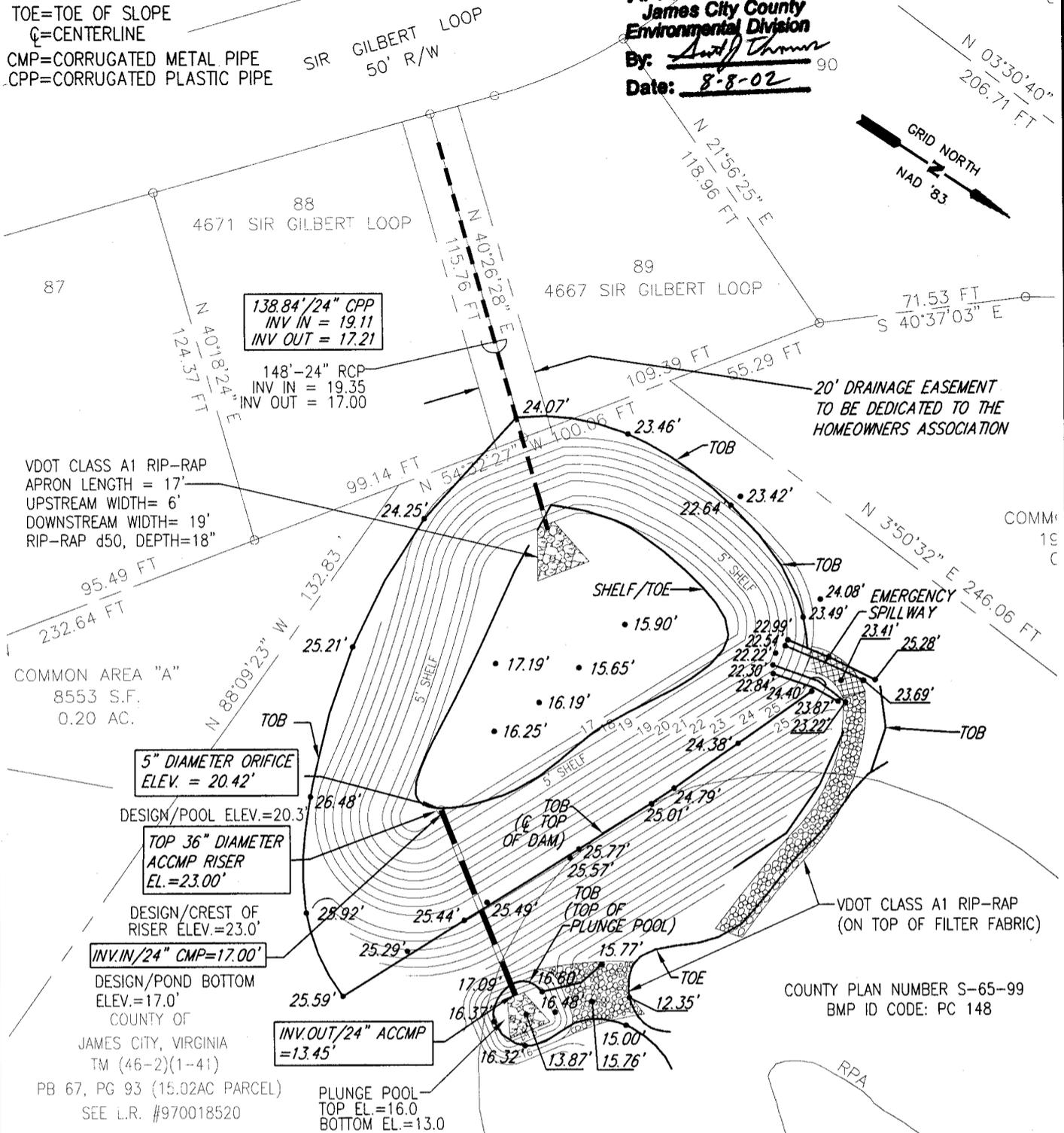
REVISIONS:
 REVISIONS PER COMMENTS DATED 7/17/02
 REVISIONS PER AS-BUILT UPDATE INSPECTION 1/31/03
 DRAWN: DNW/EMM
 CHECKED: NLHT

RECORD DRAWINGS		
THE POINTE AT JAMESTOWN, PHASE 1-C STORMWATER DETENTION POND		
BERKELEY DISTRICT	JAMES CITY COUNTY	VIRGINIA
DATE: AUGUST 8, 2002	SCALE: 1" = 50'	
 Committed to Excellence ENGINEERS • ARCHITECTS • SURVEYORS		JOB NO. 1980103
449 MCLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187 (757)253-0673 FAX: (757)253-2319 E-MAIL: williamsburg@djginc.com NORFOLK - VIRGINIA BEACH AREA (757)874-5015		

LEGEND:
 TOB=TOP OF BANK
 TOE=TOE OF SLOPE
 C=CENTERLINE
 CMP=CORRUGATED METAL PIPE
 CPP=CORRUGATED PLASTIC PIPE

APPROVED
 James City County
 Environmental Division

By: *Andy Thomas*
 Date: 8-8-02



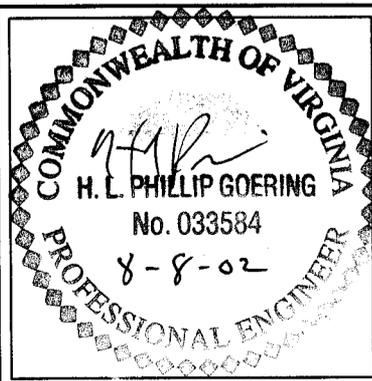
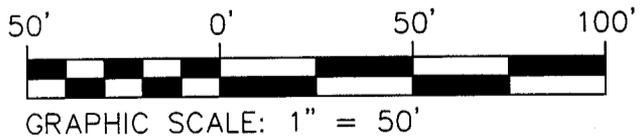
AS-BUILT PLAN CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY JUDGEMENT, KNOWLEDGE, AND BELIEF THAT THIS AS-BUILT PLAN WAS PREPARED UNDER MY SUPERVISION AND REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT/BMP STRUCTURE(S) AND CONTAINS INFORMATION AS REQUIRED FOR CERTIFICATION. THE STORMWATER MANAGEMENT/BMP FACILITY, AS CURRENTLY VISIBLE, SUBSTANTIALLY COMPLIES WITH THE APPROVED DESIGN PLAN, JAMES CITY COUNTY GUIDELINES FOR DESIGN AND CONSTRUCTION OF BMP'S AND/OR SPECIFICATIONS ON THE APPROVED STORMWATER MANAGEMENT PLAN, EXCEPT AS SHOWN AND/OR NOTED BELOW.

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H.L. Phillip Goering
 H.L. PHILLIP GOERING
 P.E. #033584

8-8-02
 DATE



REVISIONS:
 REVISIONS PER
 COMMENTS DATED
 7/17/02

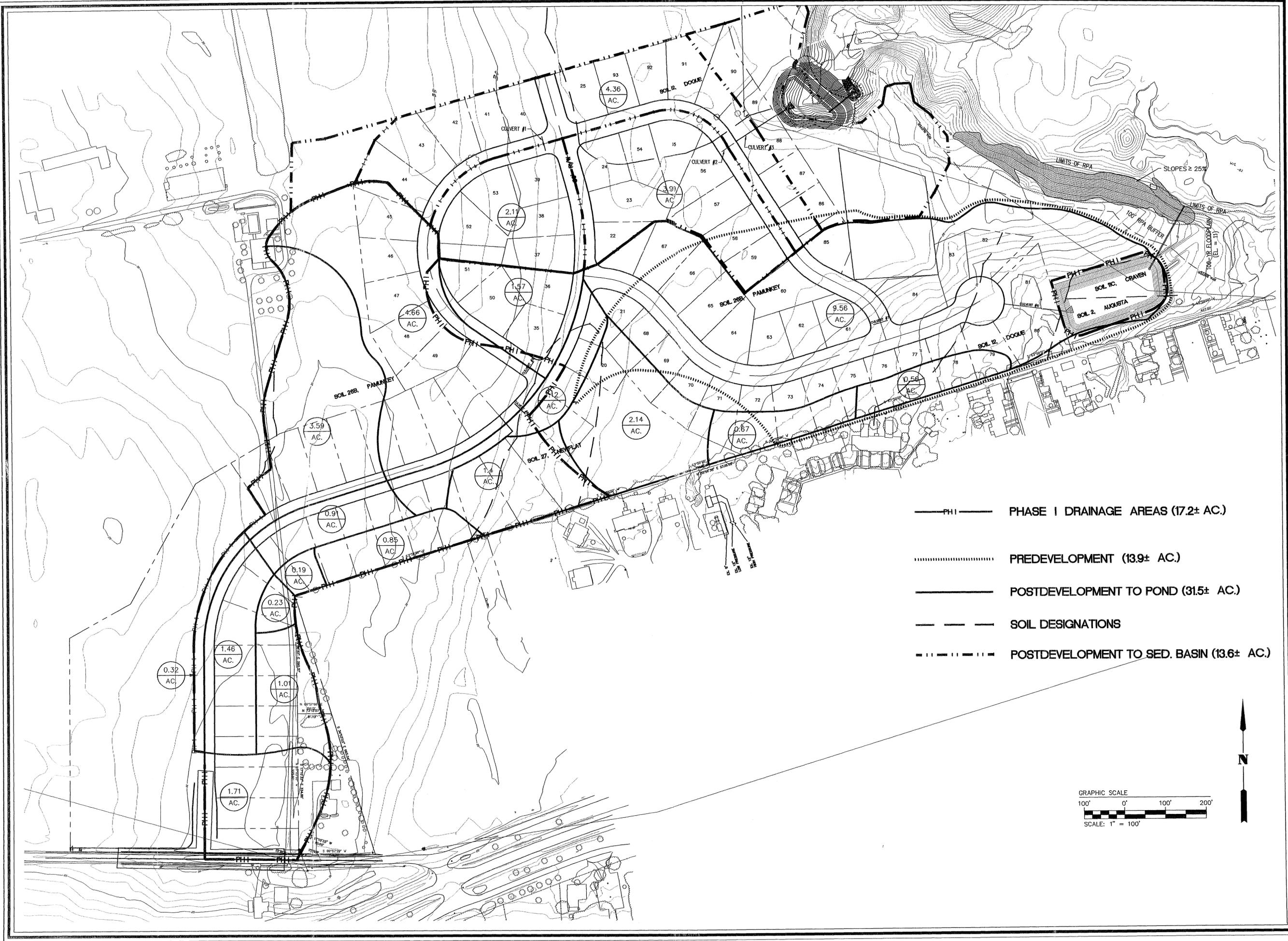
DRAWN: DNW
 CHECKED: NLHT

RECORD DRAWINGS
 THE POINTE AT JAMESTOWN, PHASE 1-C
 STORMWATER DETENTION POND

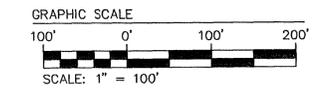
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA
 DATE: AUGUST 8, 2002 SCALE: 1" = 50'

DJG *Committed to Excellence*
 ENGINEERS • ARCHITECTS • SURVEYORS
 449 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187
 (757)253-0673 FAX: (757)253-2319 E-MAIL: williamsburg@djginc.com
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015

JOB NO.
 1980103



- PH I — PHASE I DRAINAGE AREAS (17.2± AC.)
- PREDEVELOPMENT (13.9± AC.)
- POSTDEVELOPMENT TO POND (31.5± AC.)
- SOIL DESIGNATIONS
- - - - - POSTDEVELOPMENT TO SED. BASIN (13.6± AC.)



6/11/99

NO.	DATE	DESCRIPTION

DRAINAGE AREA MAP
 ASSOCIATED DEVELOPERS, INC.
THE POINTE AT JAMESTOWN - PHASE 1C
 JAMES CITY COUNTY

SCALE: 1" = 100'
 DESIGNED: _____
 DRAWN: _____
 CHECKED: _____
 DATE: 6-4-99

COMMISSION NUMBER
1980102

SHEET NUMBER
C11

12 OF 12

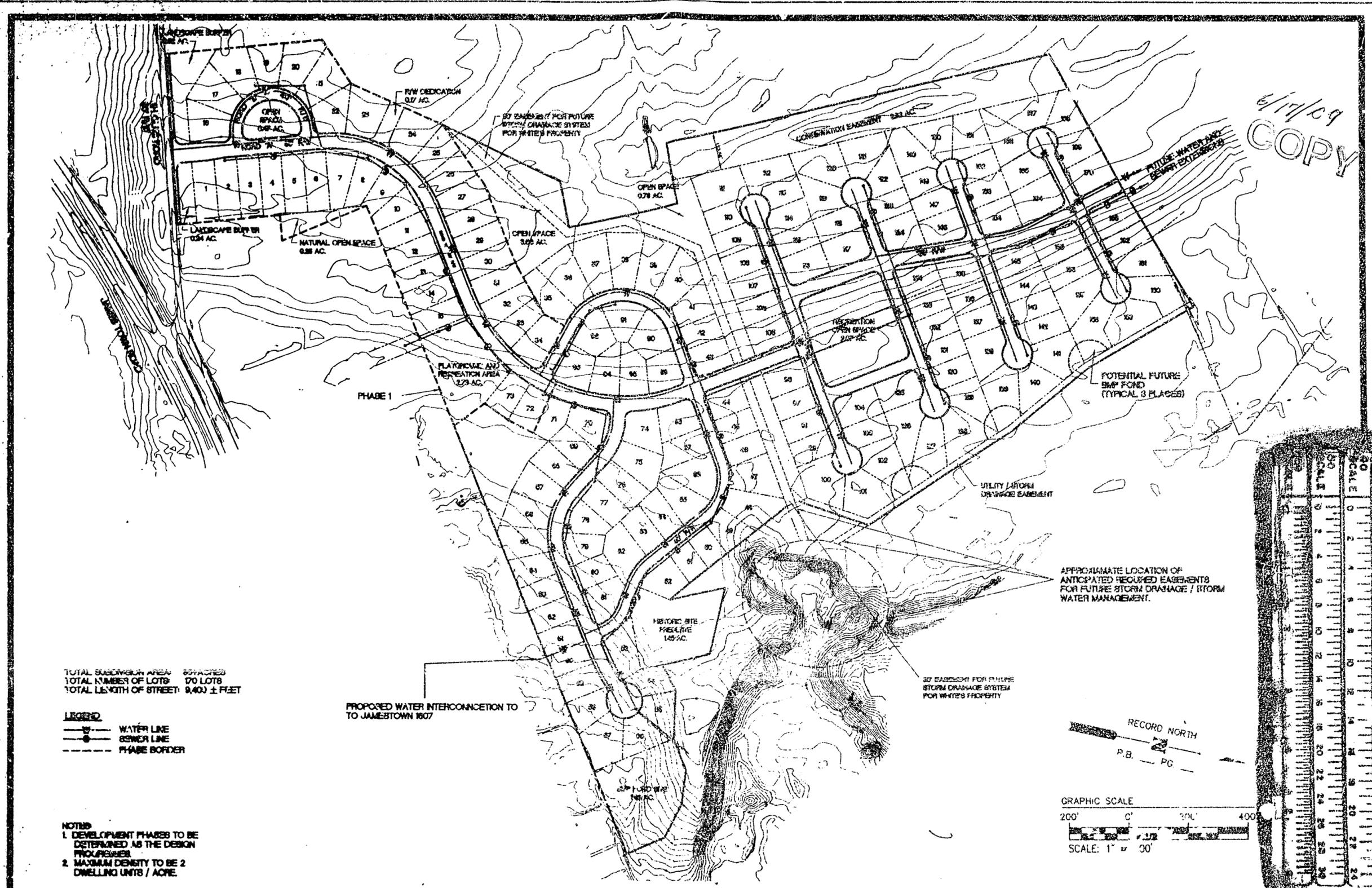
DAI INC.

Committed to Excellence

ENGINEERS • ARCHITECTS • SURVEYORS

1006 RICHMOND ROAD, P.O. BOX 3905, WILLIAMSBURG, VIRGINIA 23187
 (757)253-0873 FAX: (757)253-2319 E-MAIL: drc@dainc.com
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015

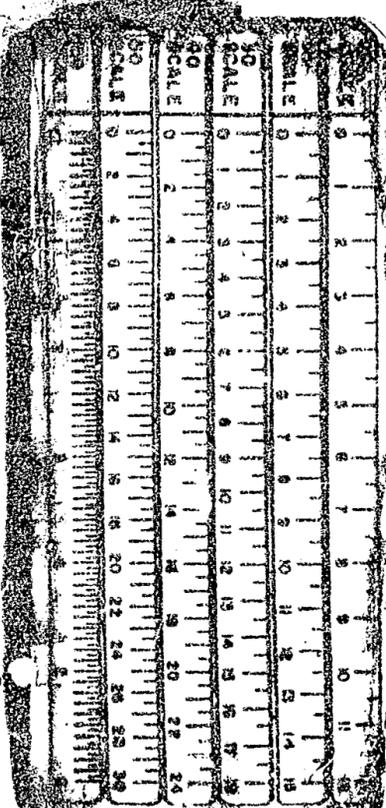
6/17/09
COPY



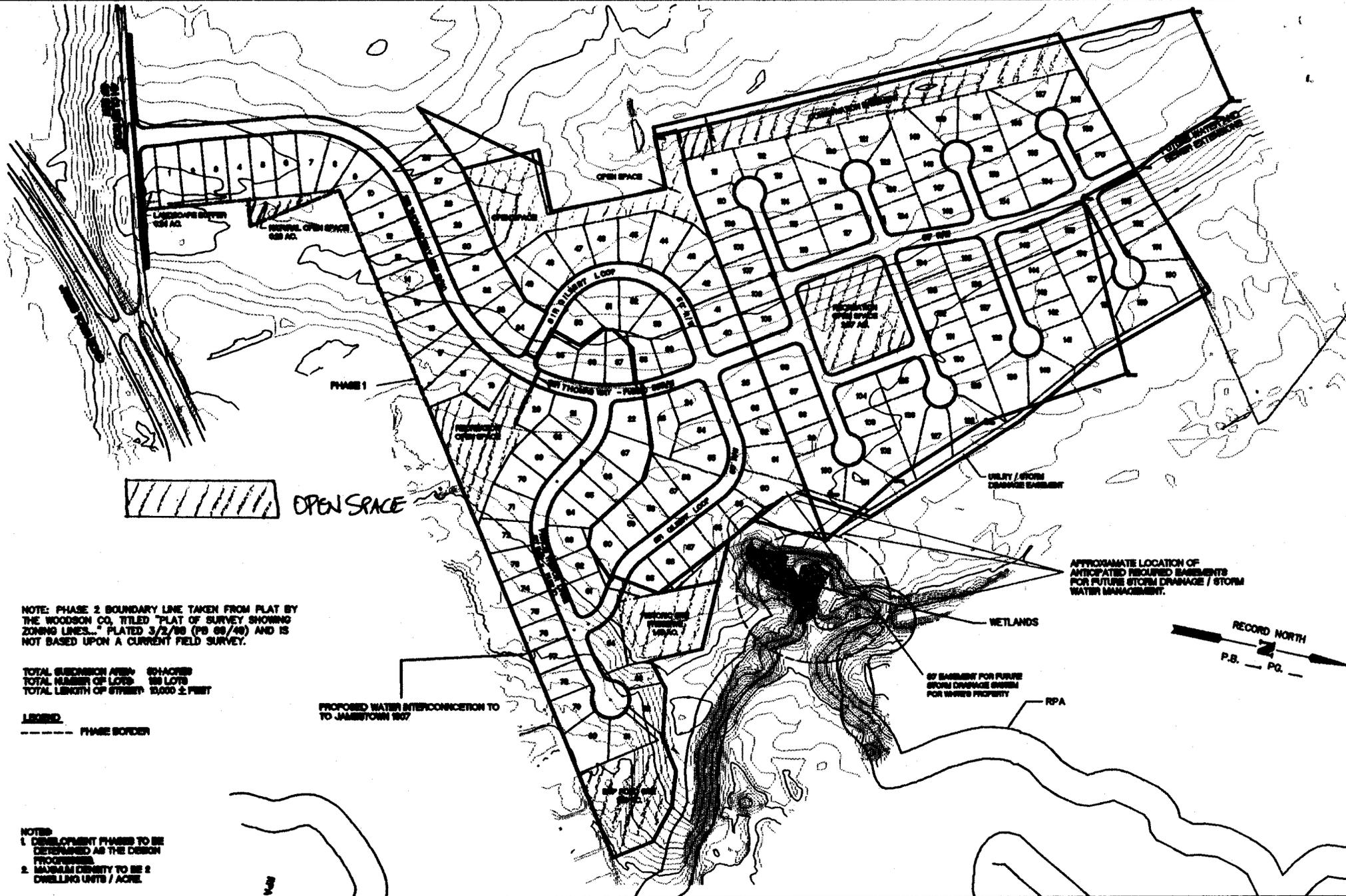
TOTAL SUBDIVISION AREA: 657 ACRES
 TOTAL NUMBER OF LOTS: 170 LOTS
 TOTAL LENGTH OF STREET: 9,400 ± FEET

LEGEND
 — WATER LINE
 — GSEWER LINE
 - - - PHASE BORDER

NOTES
 1. DEVELOPMENT PHASES TO BE DETERMINED AS THE DESIGN PROGRESSES
 2. MAXIMUM DENSITY TO BE 2 DWELLING UNITS / ACRE



1 OF 1	COMMISSION NO. 1951220	 ENGINEERS · ARCHITECTS · SURVEYORS INTERIOR DESIGNERS PLANNERS P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187 (757)253-0673 (757)874-5015	S-65-99 (44-1)(01-0-0003-) The Pointe at Jamestown Phase 1-C pg. 1 of 15	MASTER PLAN MAINLAND FARM OWNER/DEVELOPER: ASSOCIATED DEVELOPEFS, INC.		JAMES CITY COUNTY VIRGINIA
				DATE 3-10-97	DESIGNED MRK	



NOTE: PHASE 2 BOUNDARY LINE TAKEN FROM PLAT BY THE WOODSON CO, TITLED "PLAT OF SURVEY SHOWING ZONING LINES..." PLATED 3/2/89 (PG 66/66) AND IS NOT BASED UPON A CURRENT FIELD SURVEY.

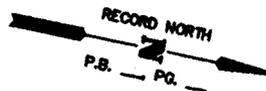
TOTAL SUBDIVISION AREA: 80+ ACRES
 TOTAL NUMBER OF LOTS: 88 LOTS
 TOTAL LENGTH OF STREET: 10,000 ± FEET

LEGEND:
 --- PHASE BORDER

NOTES:
 1. DEVELOPMENT PHASES TO BE DETERMINED AS THE DESIGN PROGRESS.
 2. MAXIMUM DENSITY TO BE 2 DWELLING UNITS / ACRE.

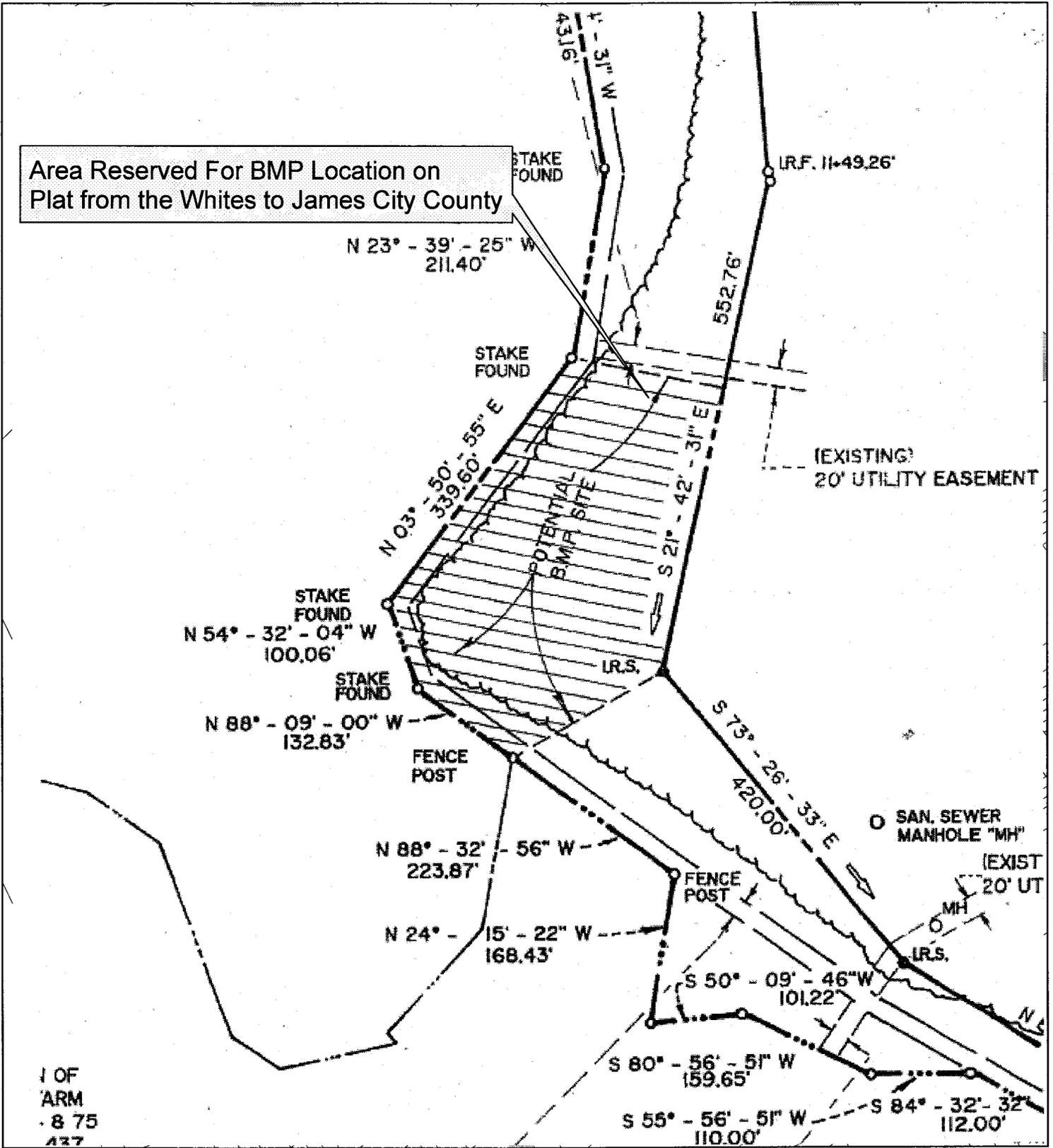
PROPOSED WATER INTERCONNECTION TO TO JAMESTOWN 1007

APPROXIMATE LOCATION OF ANTICIPATED REQUIRED EASEMENTS FOR FUTURE STORM DRAINAGE / STORM WATER MANAGEMENT.



1951220 <small>COMMONWEALTH VA.</small>		ENGINEERS · ARCHITECTS · SURVEYORS INTERIOR DESIGNERS PLANNERS P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187 (737)253-0673 (737)874-5015			REVISED MASTER PLAN MAINLAND FARM OWNER/DEVELOPER: ASSOCIATED DEVELOPERS, INC.	JAMES CITY COUNTY VIRG
	DATE 9-10-99	DESIGNED DNW	DRAWN RAM	SCALE 		

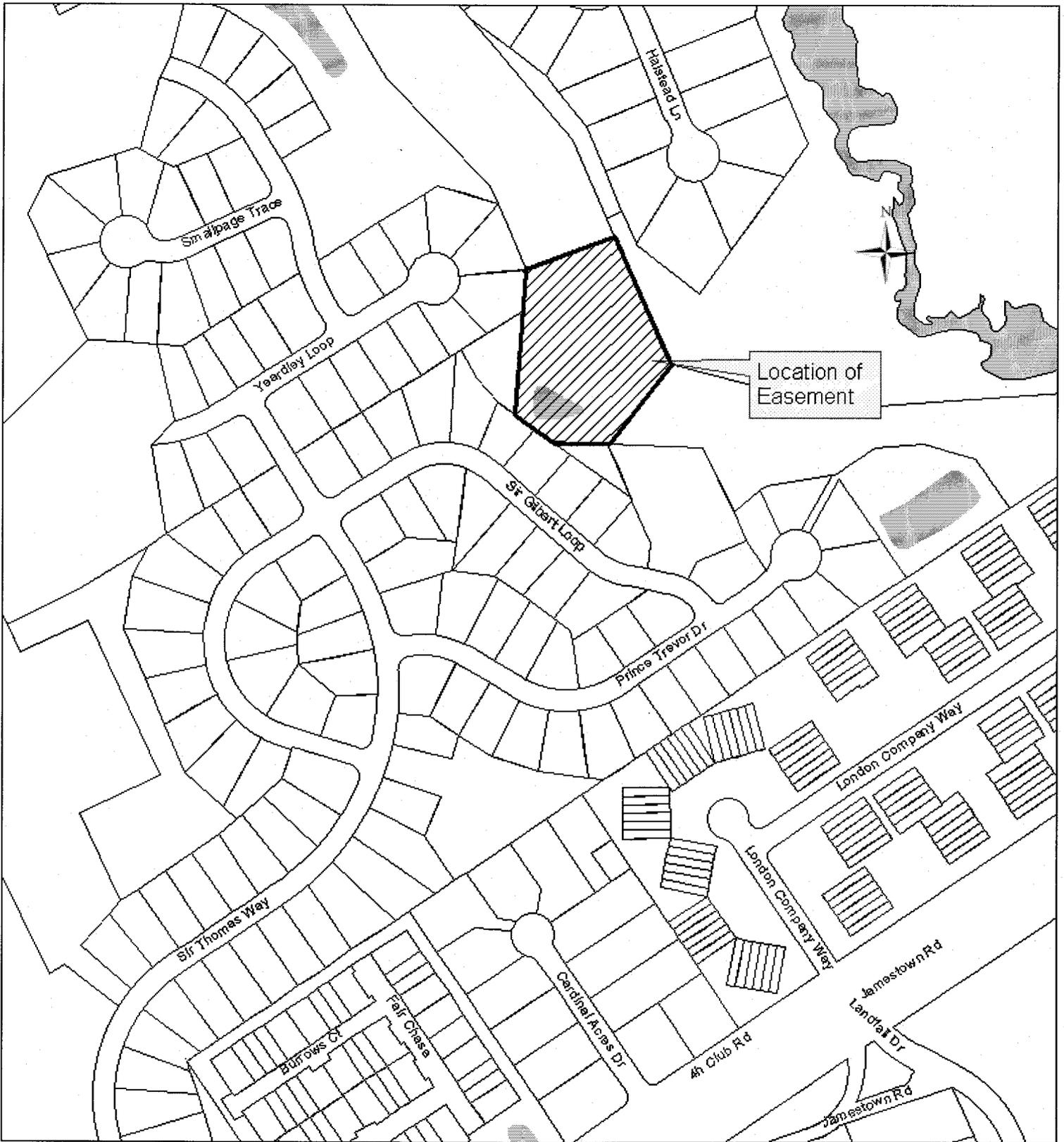
Area Reserved For BMP Location on
Plat from the Whites to James City County



CONVEYANCE OF DRAINAGE EASEMENT TO THE POINTE AT JAMESTOWN HOMEOWNERS ASSOCIATION

1 inch = 150 feet

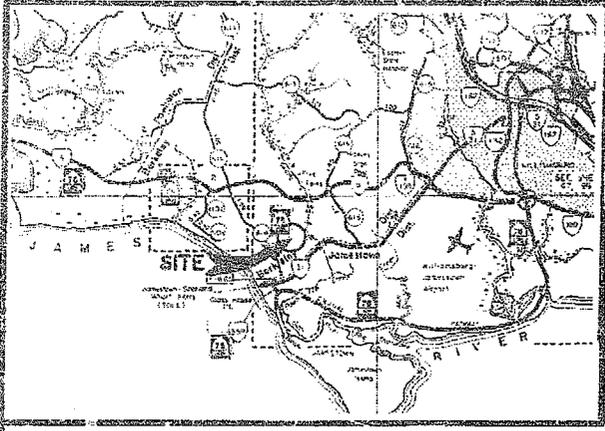




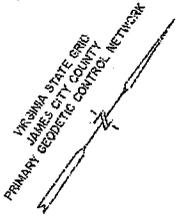
**CONVEYANCE OF DRAINAGE EASEMENT TO THE
POINTE AT JAMESTOWN HOMEOWNERS ASSOCIATION**

1 inch = 300 feet





PLAT OF SUBDIVISION OF PROPERTY STANDING IN THE NAME OF FRANCES M. WHITE & ALBERT L. WHITE, III KNOWN AS "ST. GEORGE AND THE MAIN RESERVE" CONTAINING 15.02 ACRES LOCATED: JAMES CITY COUNTY, VIRGINIA DATE: MAY 16, 1997 SCALE: 1" = 200'



OWNER'S CERTIFICATE:

THE SUBDIVISION OF LAND SHOWN ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDESIGNED OWNERS, PROPRIETORS AND OR TRUSTEES.

Handwritten signatures of Frances M. White and Albert L. White, III with dates.

CERTIFICATE OF NOTARIZATION:

STATE OF VIRGINIA, COUNTY OF James City, I, Debra J. Newberry, a Notary Public in and for the City and State aforesaid, do hereby certify that the persons whose names are signed to the foregoing writing have acknowledged the same before me in the City and State aforesaid, given under my name this 13 day of October, 1997, my commission expires Sept 30, 2000.

CERTIFICATE OF SOURCE OF TITLE:

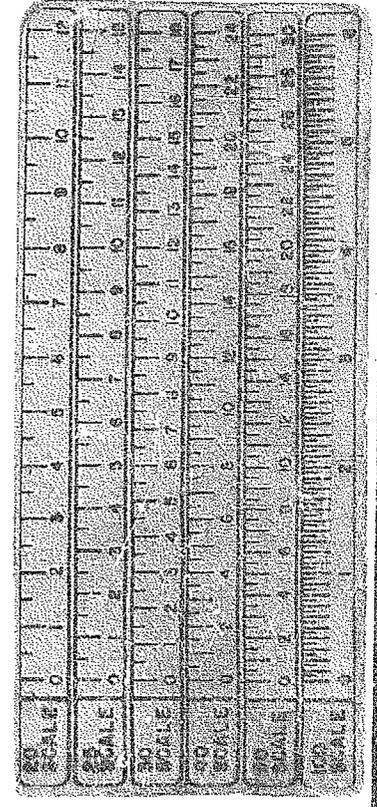
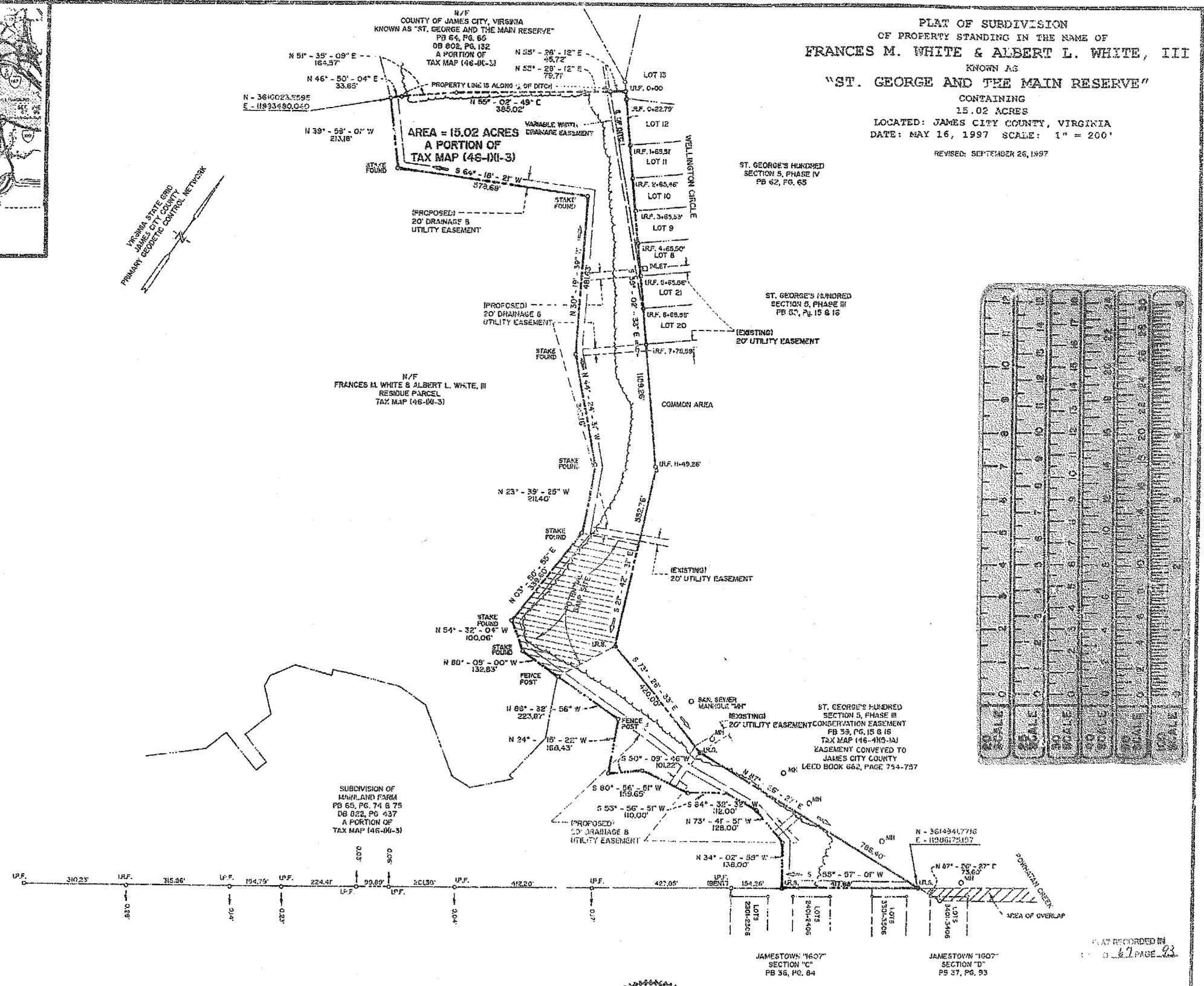
THE PROPERTY SHOWN ON THIS PLAT WAS CONVEYED BY DAVID M. MURRAY AND ANNE F. MURRAY, TO FRANCES M. WHITE AND ALBERT L. WHITE, III BY DEED OF EXCHANGE DATED OCTOBER 25, 1987 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY IN DEED BOOK 227 PAGE 593.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE OR BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISION WITHIN THE COUNTY.

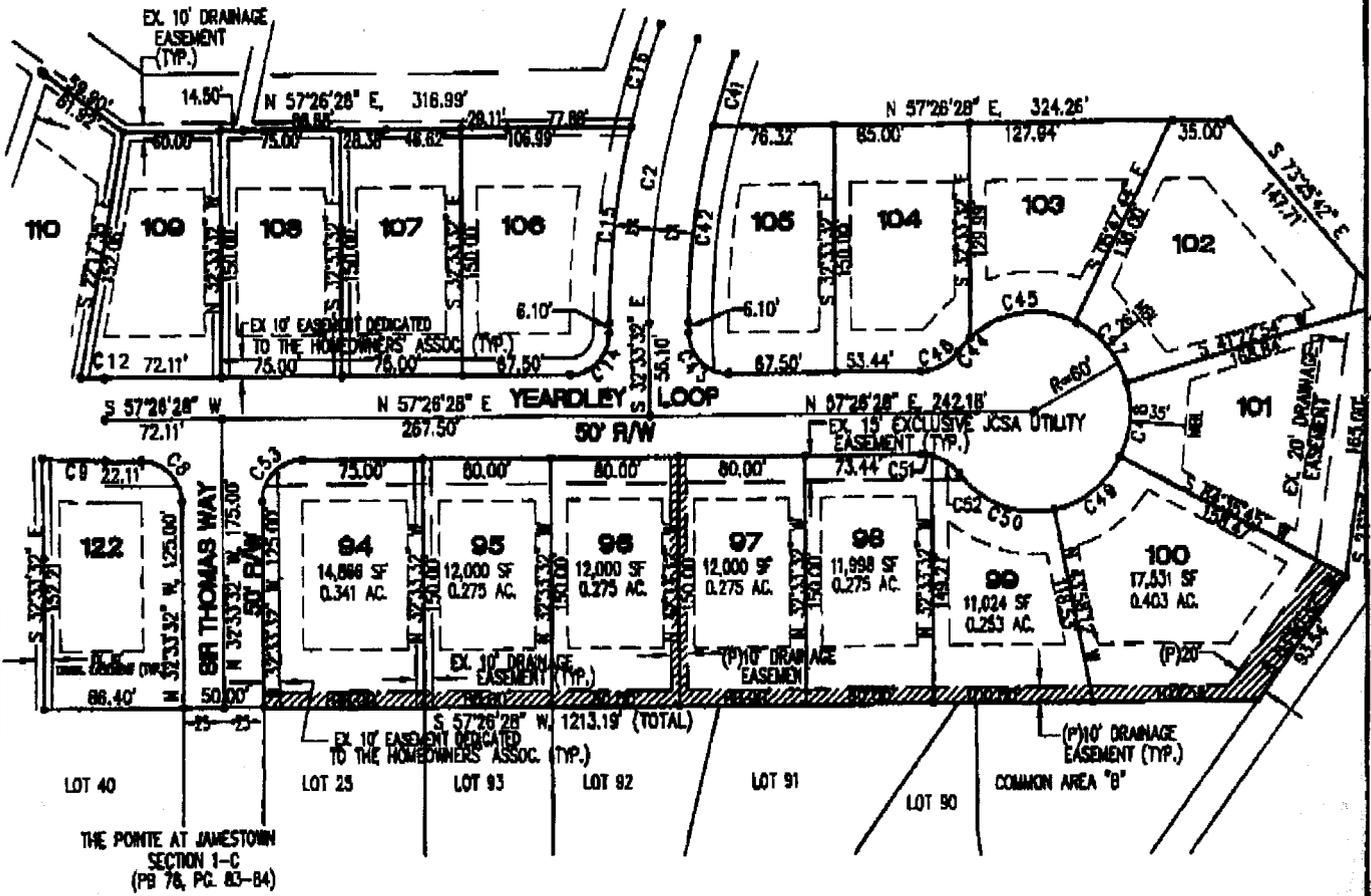
CERTIFICATE OF APPROVAL:

THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.



Handwritten notes and dates: 11/5/97, 12/1/97, 1/16/98.

PREPARED BY: MITCHELL-WILSON ASSOCIATES, P.C. CIVIL ENGINEERS & LAND SURVEYORS 720 MAIN STREET, SUITE 112, 2ND FLOOR P.O. BOX 1269 WEST POINT, VIRGINIA 23180



NOTES:

1. THIS DRAWING IS COMPILED FROM PLATS OF RECORD AND DOES NOT REPRESENT A CURRENT FIELD SURVEY.
2. A CURRENT TITLE REPORT HAS NOT BEEN FURNISHED TO THIS OFFICE FOR LOTS 94 THRU 100.
3. TAX PARCEL#:

- 4640600094
- 4640600095
- 4640600096
- 4640600097
- 4640600098
- 4640600099
- 4640600100

LEGEND:

- IRF = IRON REBAR FOUND
- EX = EXISTING
- (P) = PROPOSED



GRAPHIC SCALE: 1" = 100'



REF:
 INST.#030033966
 OFFICE OF THE
 CLERK OF THE
 CIRCUIT COURT OF
 JAMES CITY COUNTY,
 VIRGINIA.

DEDICATION PLAT FOR 10' DRAINAGE EASEMENT AND
 20' DRAINAGE EASEMENT
 LOTS 94 - 100, THE POINTE AT JAMESTOWN, SECTION 2-A
 FOR
HAMPTON ROADS DEVELOPMENT, L.L.C.
 BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

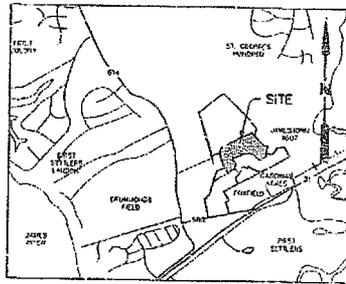
DATE : JULY 29, 2004

SCALE: 1" = 100'

DRAWN: RER
 CHECKED: NLHT

HD *Committed to Excellence*
 ENGINEERS • ARCHITECTS • SURVEYORS
 449 McLANE CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187
 (757)253-0873 FAX: (757)253-2319 E-MAIL: williamsburg@hjdjnc.com
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015

JOB NO.
2020220



VICINITY MAP
SCALE: 1" = 2000'

OWNER'S CERTIFICATE

THE SUBMISSION OF LAND SHOWN ON THIS PLAT AND KNOWN AS THE POINTE AT JAMESTOWN SECTION 1-C IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND OR TRUSTEES.

DATE: 10/31/00
 A & W, L.L.C. BY ASSOCIATED DEVELOPERS, INC.,
 BY HENRY S. STEVENS AS PRESIDENT.

CERTIFICATE OF NOTARIZATION

STATE OF VIRGINIA
 COUNTY/CITY OFFICER: James City County
 I, Carol Lynn Anderson, a NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE OF VIRGINIA, DO HEREBY CERTIFY THAT THE PERSON WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAS ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY OF JAMESTOWN, GIVEN UNDER MY HAND THIS 31 DAY OF OCTOBER, 2000.
 MY COMMISSION EXPIRES May 31, 2001
Carol Lynn Anderson
 NOTARY PUBLIC

SECTION 1-C:

- * LOT AREA (35 LOTS) : 479,116 S.F. / 11.00 AC.
- * R/W DEDICATION: 104,998 S.F. / 2.40 AC.
- * COMMON AREA A: 8,954 S.F. / 0.20 AC.
- * COMMON AREA B: 19,144 S.F. / 0.44 AC.
- * COMMON AREA C: 107,420 S.F. / 2.46 AC.
- * TOTAL AREA : 718,832 S.F. / 16.50 AC.
- * TAX MAP : MAP (46-4) (01-24)
- * ZONING DISTRICT : R2 WITH PROFFERS (SEE CASE# Z-9-94, Z-19-95, & Z-20-95).
- * BUILDING SETBACK :
 FRONT = 25'
 REAR = 30'
 SIDE = 10'
- * CORNER LOTS : THE FRONT OF THE LOT SHALL BE THE SHORTER OF THE TWO SIDES FRONTING ON STREETS. TWO STRUCTURES SHALL BE LOCATED CLOSER THAN 25' TO THE SIDE STREET. CORNER LOTS SHALL HAVE A MINIMUM WIDTH AT THE SETBACK LINE OF 100'.
- * ALL LOTS SERVED BY PUBLIC WATER & PUBLIC SEWER.

CERTIFICATE OF SOURCE OF TITLE

THE PROPERTY SHOWN ON THIS PLAT WAS CONVEYED BY ALBERT C. WHITE, JR AND FRANCES M. WHITE TO WESTOVER MEADOWS, L.C. BY DEED DATED 12/15/98 AND RECORDED IN DEED BOOK 822, PAGE 437; AND BY WESTOVER MEADOWS, L.C. TO A & W, L.L.C. BY DEED DATED 12/27/99 AND RECORDED AS INSTRUMENT # P.L.R. 990029732, BOTH DEEDS BEING RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY.

ENGINEERS OR SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE OR BELIEF THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND COMMISSIONERS OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATING OF SUBDIVISIONS WITHIN THE COUNTY.

DATE: 9/29/00
Nancy L. Newman-Thompson
 NANCY L. NEWMAN-THOMPSON L.S.#02254

CERTIFICATE OF APPROVAL

THIS SUBMISSION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

DATE: 10/31/00 VIRGINIA DEPARTMENT OF TRANSPORTATION
 DATE: 10/31/00 VIRGINIA DEPARTMENT OF HEALTH
 DATE: 10/31/00 SUBDIVISION AGENT OF JAMES CITY COUNTY

STAFF OF VIRGINIA, JAMES CITY COUNTY

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT FOR THE COUNTY OF JAMES CITY THE 5 DAY OF OCTOBER, 2000.
 THIS MAP WAS PRESENTED AND ADMITTED TO RECORD AS THE LAW DIRECTS IN PLAT BOOK 79, PAGE 834
 TESTE: Henry S. Stevens CLERK

CURVE TABLE

NUMBER	BELLA ANGLE	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING	CHORD LENGTH
C1	33°39'55"	175.000	64.680	48.579	S 65°05'35" E	81.325
C2	72°35'35"	155.000	107.480	74.691	N 06°01'35" W	101.352
C3	133°14'05"	255.000	194.256	92.273	N 27°16'23" W	104.102
C4	189°46'49"	238.000	201.740	192.640	S 07°31'50" E	161.811
C5	27°18'17"	200.000	72.894	48.579	S 65°05'26" E	91.413
C6	02°41'38"	200.000	72.894	48.579	S 89°30'30" E	17.891
C7	18°05'26"	134.000	41.046	30.835	S 39°30'30" E	40.876
C8	51°54'28"	110.000	34.560	26.000	S 04°51'42" W	35.376
C9	20°00'00"	75.000	26.170	26.000	S 17°26'30" W	35.376
C10	01°56'51"	390.000	20.590	10.285	N 31°33'17" E	20.587
C11	07°19'49"	590.000	75.483	51.793	N 28°53'47" W	75.435
C12	10°05'00"	540.000	84.739	47.487	S 29°30'15" E	82.616
C13	02°51'23"	540.000	17.887	8.932	S 51°30'41" E	17.861
C14	25°00'00"	25.000	39.770	25.000	S 27°33'32" E	35.355
C15	30°35'50"	205.000	110.469	50.534	N 42°08'26" E	108.193
C16	35°45'03"	205.000	112.258	51.110	N 09°57'52" E	131.390
C17	44°11'10"	205.000	128.694	63.313	N 35°00'45" E	154.296
C18	15°24'34"	205.000	36.131	27.733	N 84°40'06" W	35.558
C19	10°38'43"	255.000	47.378	23.257	S 67°39'50" E	47.300
C20	16°07'51"	255.000	71.739	38.135	S 53°47'42" E	71.545
C21	18°42'59"	255.000	74.197	37.465	S 57°22'17" E	74.137
C22	16°24'40"	255.000	72.048	36.771	S 70°49'20" E	72.700
C23	16°15'39"	255.000	72.350	36.430	S 04°28'16" E	72.127
C24	16°05'55"	255.000	72.350	36.440	S 11°47'28" E	71.147
C25	15°46'42"	255.000	70.222	35.335	S 27°46'40" W	70.000
C26	15°33'59"	255.000	69.332	34.779	S 42°28'07" W	69.320
C27	16°12'12"	255.000	72.621	37.185	S 34°20'17" W	72.607
C28	16°00'00"	25.000	38.270	25.000	S 12°28'28" W	35.355
C29	16°00'00"	25.000	38.270	25.000	N 77°31'32" E	35.355
C30	13°50'00"	180.000	43.450	21.830	S 64°21'38" E	43.223
C31	22°14'00"	180.000	49.856	25.373	S 02°23'33" E	53.419
C32	21°22'20"	180.000	64.703	34.046	N 78°46'41" W	64.531
C33	15°50'22"	180.000	48.714	24.507	N 57°18'43" W	48.555
C34	20°59'55"	150.000	51.814	41.357	N 09°01'32" W	61.167

NOTES:

1. IN ACCORDANCE WITH SECTION 19-33 OF THE SUBDIVISION ORDINANCE, ALL UTILITIES SHALL BE PLACED UNDERGROUND.
2. MONUMENTS SHALL BE SET IN ACCORDANCE WITH SECTIONS 19-34 THROUGH 19-36 OF THE JAMES CITY COUNTY SUBDIVISION ORDINANCE.
3. UNLESS OTHERWISE NOTED ALL DRAINAGE EASEMENTS DESIGNATED ON THIS PLAT SHALL BE PRIVATE.
4. ALL EXTERIOR SIGNS SHALL COMPLY WITH THE REGULATIONS IN ARTICLE II, DIVISION 3 OF THE JAMES CITY COUNTY ZONING ORDINANCE.
5. ALL STREETS HEREBY DEDICATED FOR PUBLIC USE.
6. RECORDED REFERENCIS:
 PLAT BOOK 65, PAGE 74-75 (WESTOVER MEADOWS)
 PLAT BOOK 72, PAGE 79 (MAINLAND FARM - PARCEL E)
 OFFICE OF THE CLERK OF CIRCUIT COURT OF THE COUNTY OF JAMES CITY, VIRGINIA.
7. COMMON AREAS TO BE DEDICATED TO THE POINTE AT JAMESTOWN HOMEOWNER'S ASSOCIATION.
8. ANY OLD WELLS THAT MAY BE ON THE PROPERTY THAT WILL NOT BE USED MUST BE PROPERLY ABANDONED ACCORDING TO STATE PRIVATE WELL REGULATIONS.
9. WOOD DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE DETENTION/RETENTION POND OR ITS STRUCTURES, AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE CAUSED BY FAILURE OF THE DAM AND ITS OUTFLOW STRUCTURE.
10. W/FP FLOOD ZONE X, SEE ORDINANCES 0001-0045-B, EFFECTIVE DATE 2/8/91. FLOOD ZONES SUBJECT TO CHANGE BY FEMA.
11. A NON-EXCLUSIVE EASEMENT IS RESERVED FOR USE BY PUBLIC AND PRIVATE UTILITY COMPANIES FOR INSTALLATION AND MAINTENANCE OF UTILITIES, OVER, AND ACROSS EACH LOT, 15' IN WIDTH CONTIGUOUS WITH STREET FRONTS.
12. A NON-EXCLUSIVE EASEMENT IS RESERVED FOR USE BY THE POINTE AT JAMESTOWN HOMEOWNER'S ASSOCIATION FOR INSTALLATION AND MAINTENANCE OF SIDEWALKS AND UTILITIES, OVER, UNDER, AND ACROSS EACH LOT, 10' IN WIDTH CONTIGUOUS WITH STREET FRONTS.
13. DELIMITED
14. THIS PLAT IS A TECHNICAL REVISION OF THE PLAT ENTITLED "SUBDIVISION PLAT, THE POINTE AT JAMESTOWN, SECTION 1-C" AS RECORDED IN PLAT BOOK 77, PAGE 1-2. THERE ARE NO REVISIONS TO THE TOTAL NUMBER OF LOTS, THE INDIVIDUAL LOT NUMBERS, OR LOT AREAS. THIS PLAT REVISES NOTATIONS ON THE CURVE TABLE FOR C1, C5, C6, C10, C11, & C34, AND REVISES BEARING AND DISTANCE ON COMMON AREA A, LOTS 58, 60, 85, & 86, AND ON THE RIGHTS-OF-WAY BEAR LOTS 49 & 50.

3/15/01
 James City County
 1155 W. WASHINGTON ST.
 JAMES CITY, VA 23162-1100

1 of 2

196703

PLAT OF CORRECTION
 SUBDIVISION PLAT
THE POINTE AT JAMESTOWN, SECTION 1-C
 OWNER/DEVELOPER
A & W, L.L.C.
 BERKELEY DISTRICT
 JAMES CITY COUNTY
 VIRGINIA

PLAT 14 PER COUNTY COMMENTS

NO.	DATE	DESCRIPTION
1	2/16/00	ZONING DISTRICT
2	9/6/00	CURVE TABLE, NOTE 14
3	9/29/00	NOTE 14 PER COUNTY COMMENTS

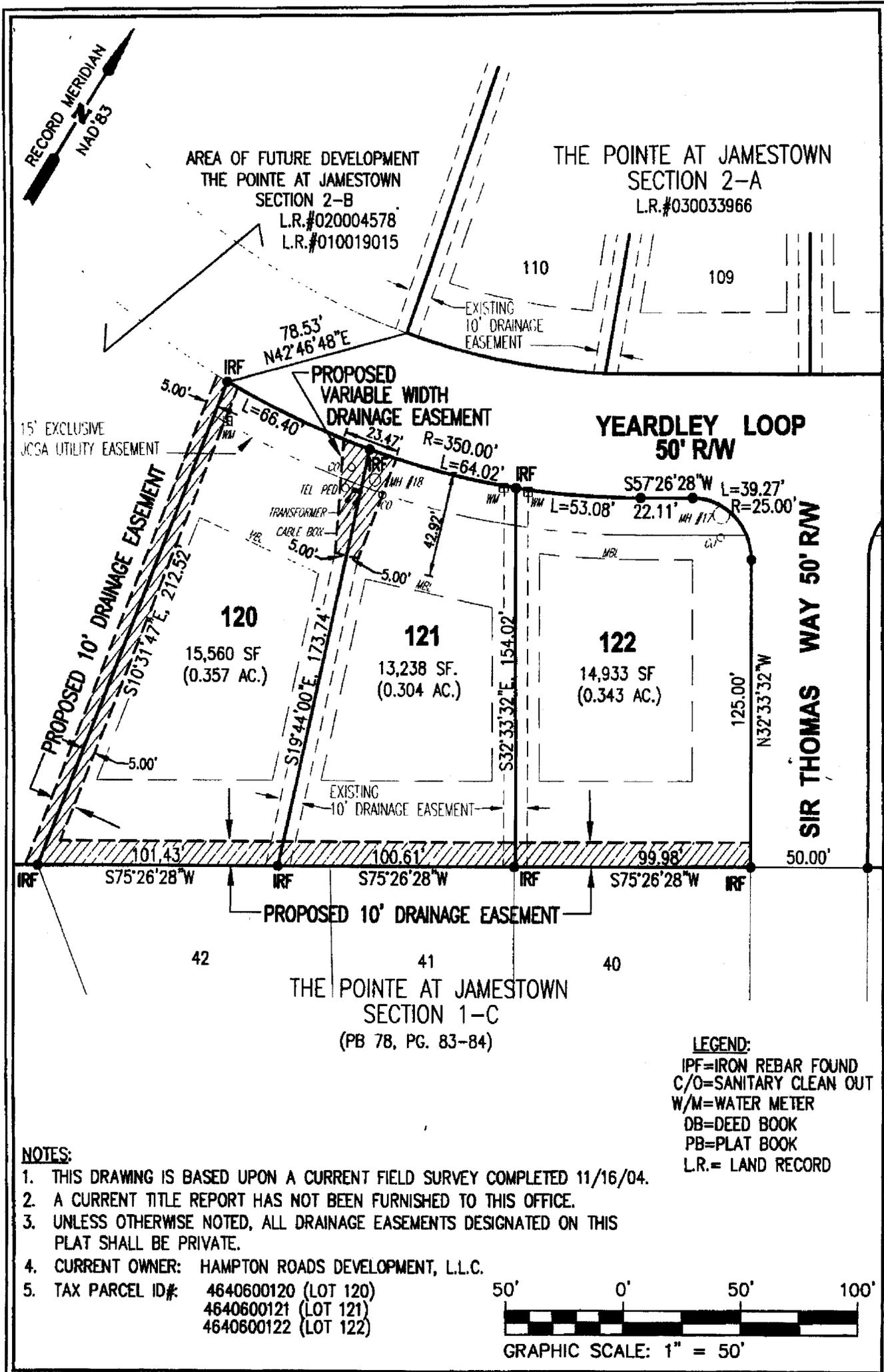
3/15/01

DJO
 AC

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443 HIGHLAND CIRCLE, P.O. BOX 3075 HILLSBOROUGH, VIRGINIA 22181
 (571) 262-1000 FAX (571) 262-2119 E-MAIL: djoc@djoc.com
 1155 W. WASHINGTON ST. JAMES CITY, VA 23162-1100



COMMONWEALTH OF VIRGINIA
NANCY L. HERMAN-THOMPSON
No. 002254
117105
LAND SURVEYOR

RECORD REF:
L.R. #030033966
L.R. # 020004578
L.R. # 010019015
OFFICE OF THE CLERK
OF THE CIRCUIT COURT
OF THE CITY OF
WILLIAMSBURG AND
THE COUNTY OF JAMES
CITY, VIRGINIA.

DRAWN: BMB/NLHT
CHECKED: NLHT

DEDICATION PLAT FOR 10' DRAINAGE EASEMENT AND
VARIABLE WIDTH DRAINAGE EASEMENT
LOTS 120 - 122, THE POINTE AT JAMESTOWN, SECTION 2-A
FOR
HAMPTON ROADS DEVELOPMENT, L.L.C.
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

DATE: JANUARY 7, 2005 SCALE: 1" = 50'

ENGINEERS - ARCHITECTS - SURVEYORS
419 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23187
(757)253-0673 FAX: (757)253-2319 E-MAIL: djginc@vsn.net
NORFOLK - VIRGINIA BEACH AREA (757)874-5015

JOB NO.
2050330

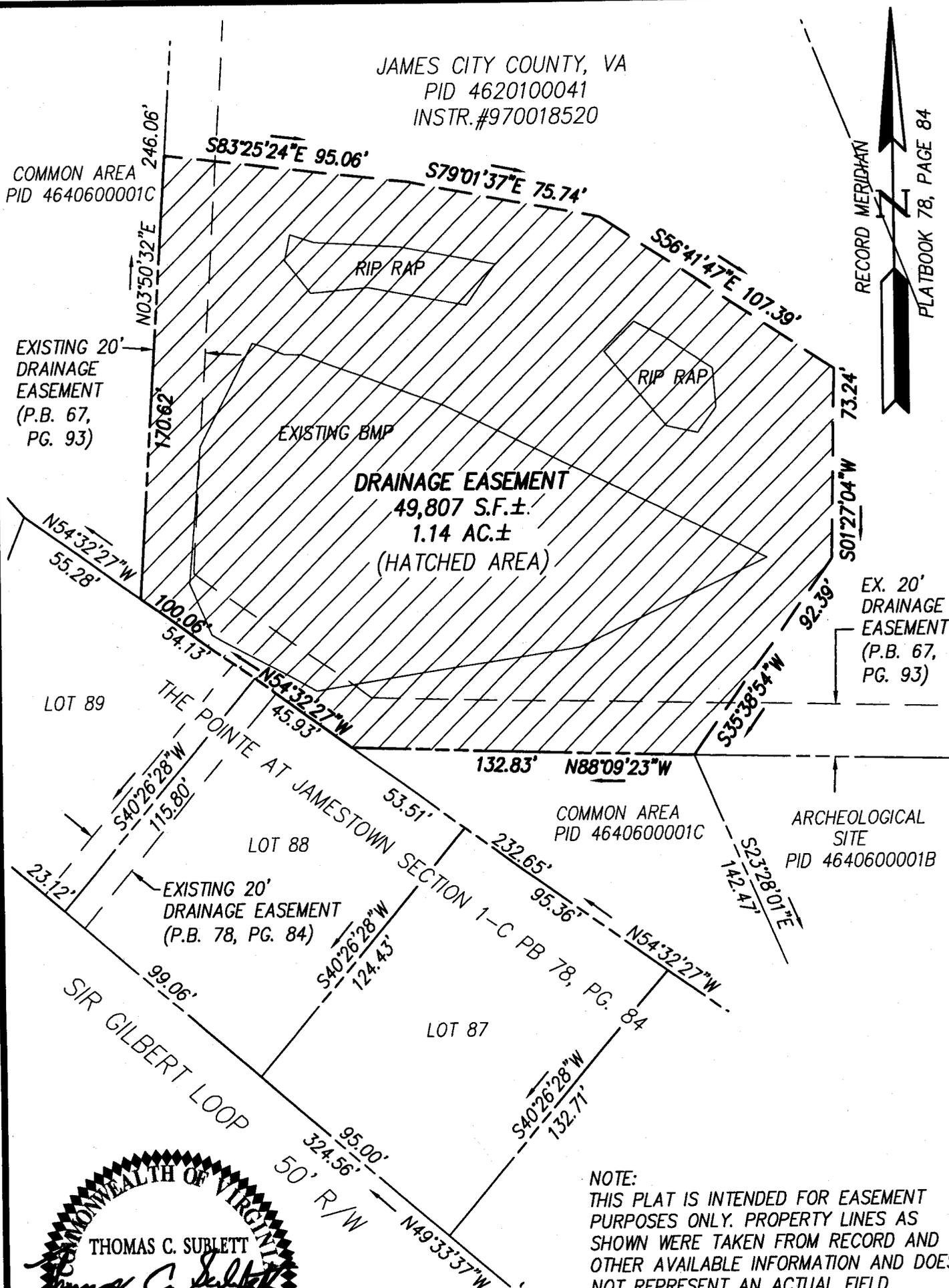
EXHIBIT A

JAMES CITY COUNTY, VA
 PID 4620100041
 INSTR. #970018520

RECORD MERIDIAN
 PLATBOOK 78, PAGE 84

COMMON AREA
 PID 4640600001C

EXISTING 20'
 DRAINAGE
 EASEMENT
 (P.B. 67,
 PG. 93)



EX. 20'
 DRAINAGE
 EASEMENT
 (P.B. 67,
 PG. 93)

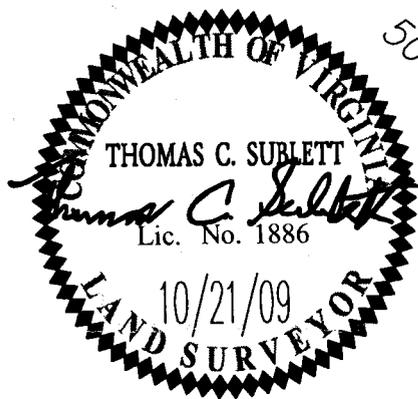
ARCHEOLOGICAL
 SITE
 PID 4640600001B

COMMON AREA
 PID 4640600001C

THE POINTE AT JAMESTOWN SECTION 1-C PB 78, PG. 84

EXISTING 20'
 DRAINAGE EASEMENT
 (P.B. 78, PG. 84)

NOTE:
 THIS PLAT IS INTENDED FOR EASEMENT
 PURPOSES ONLY. PROPERTY LINES AS
 SHOWN WERE TAKEN FROM RECORD AND
 OTHER AVAILABLE INFORMATION AND DOES
 NOT REPRESENT AN ACTUAL FIELD
 BOUNDARY SURVEY. THERE MAY BE
 EASEMENTS AND OTHER COVENANTS OF
 RECORD OTHER THAN SHOWN WHICH MAY
 AFFECT THIS PROPERTY. THIS PLAT WAS
 PREPARED WITHOUT THE BENEFIT OF A
 CURRENT TITLE REPORT.



CONSULTING ENGINEERS
 WILLIAMSBURG • RICHMOND • GLOUCESTER • FREDERICKSBURG

5248 Olde Towne Road, Suite 1
 Williamsburg, Virginia 23188
 (757) 253-0040 Fax (757) 220-8994

PLAT OF DRAINAGE EASEMENT
 FOR CONVEYANCE TO: THE POINTE HOMES ASSOCIATION, INC.
 FROM JAMES CITY COUNTY
 JAMES CITY COUNTY

BERKELEY DISTRICT

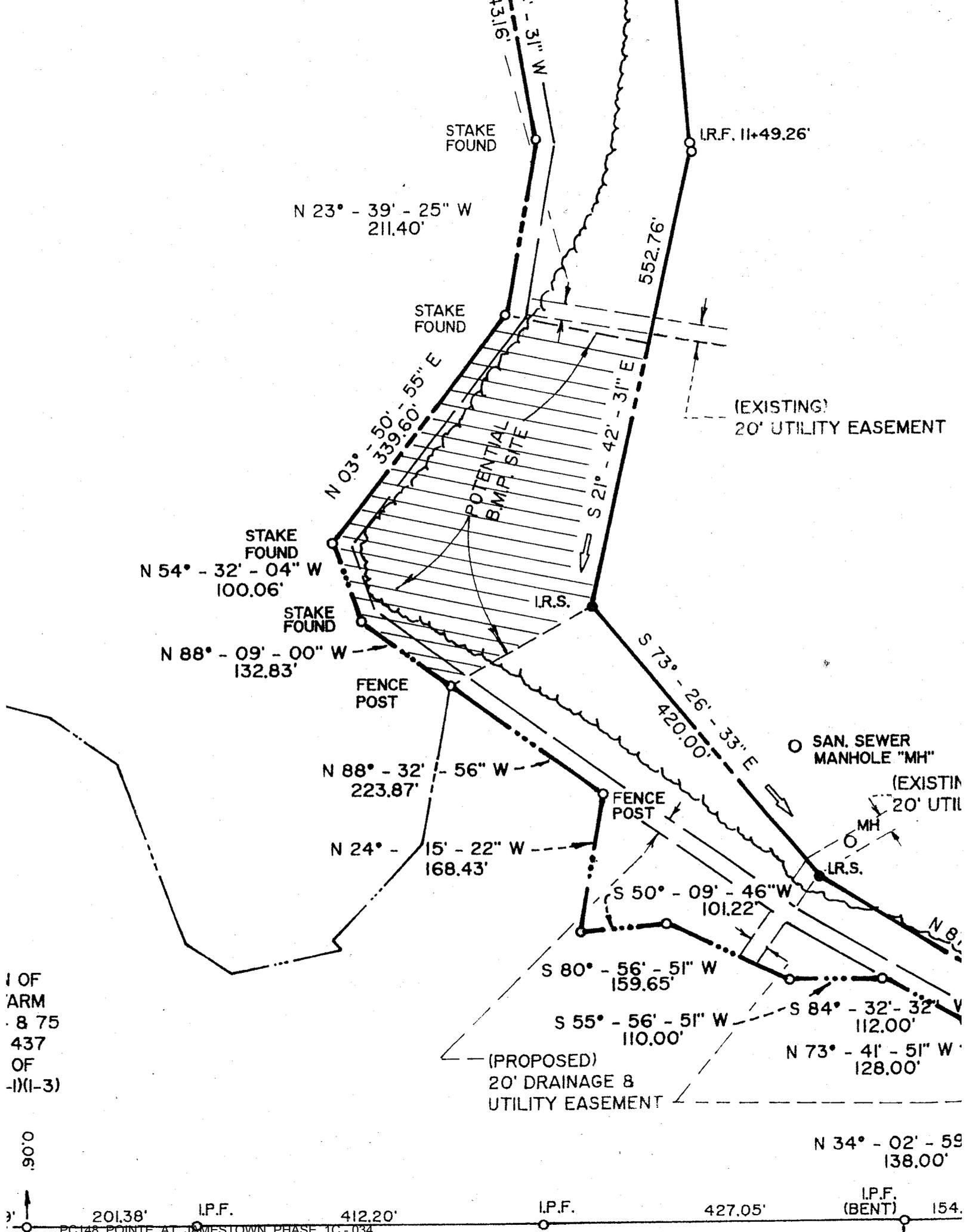
VIRGINIA

Scale: 1"=50'

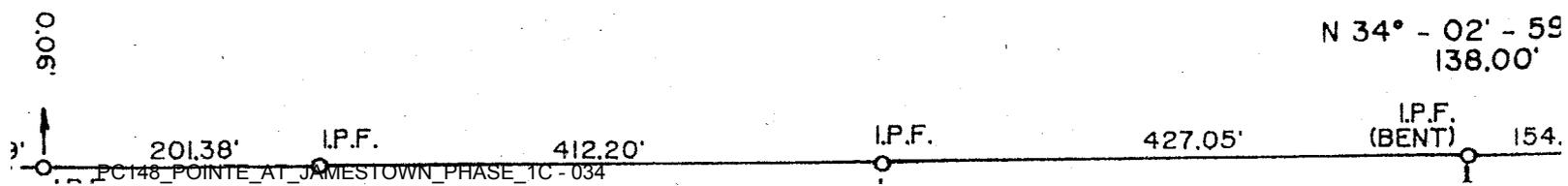
Ref: PB 67, PG. 93

Date: 10/21/09

Job No: 9801-S-18



1 OF
 ARM
 8 75
 437
 OF
 -1)(1-3)



OF PROPERTY STANDING
FRANCES M. WHITE & AL
 KNOWN AS
"ST. GEORGE AND THE
 CONTAINING
 15.02 ACF
 LOCATED: JAMES CITY C
 DATE: MAY 16, 1997 SC
 REVISED: SEPTEMBER

COUNTY OF JAMES CITY, VIRGINIA
 KNOWN AS "ST. GEORGE AND THE MAIN RESERVE"
 PB 64, PG. 85
 DB 802, PG. 132
 A PORTION OF
 TAX MAP (46-1)(1-3)

N 35° - 09' - 09" E
 164.57'
 N 46° - 50' - 04" E
 33.65'
 N 39° - 59' - 01" W
 213.18'

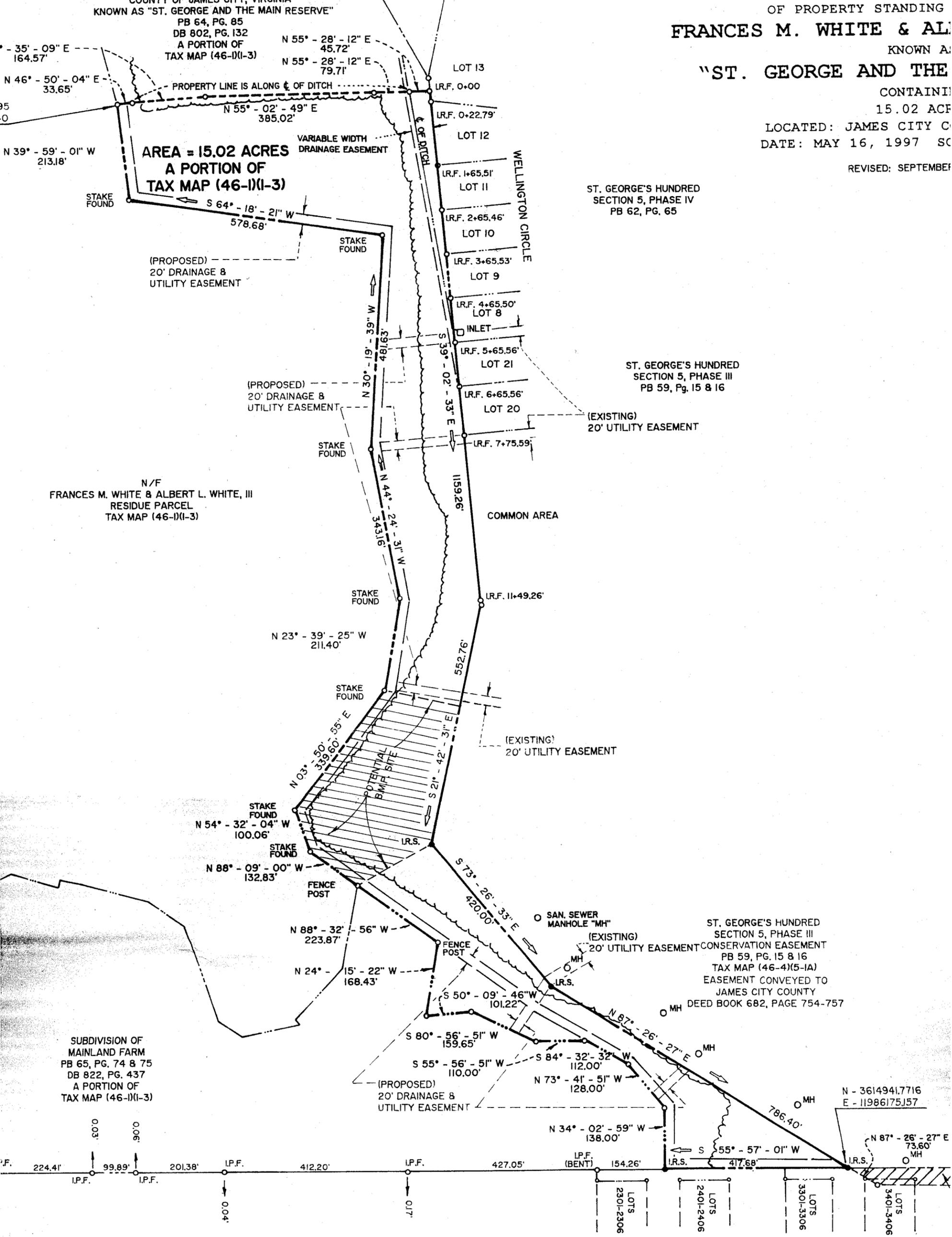
AREA = 15.02 ACRES
A PORTION OF
TAX MAP (46-1)(1-3)

ST. GEORGE'S HUNDRED
 SECTION 5, PHASE IV
 PB 62, PG. 65

ST. GEORGE'S HUNDRED
 SECTION 5, PHASE III
 PB 59, PG. 15 & 16

N/F
 FRANCES M. WHITE & ALBERT L. WHITE, III
 RESIDUE PARCEL
 TAX MAP (46-1)(1-3)

SUBDIVISION OF
 MAINLAND FARM
 PB 65, PG. 74 & 75
 DB 822, PG. 437
 A PORTION OF
 TAX MAP (46-1)(1-3)



JAMESTOWN "1607"
 SECTION "C"
 PB 36, PG. 84

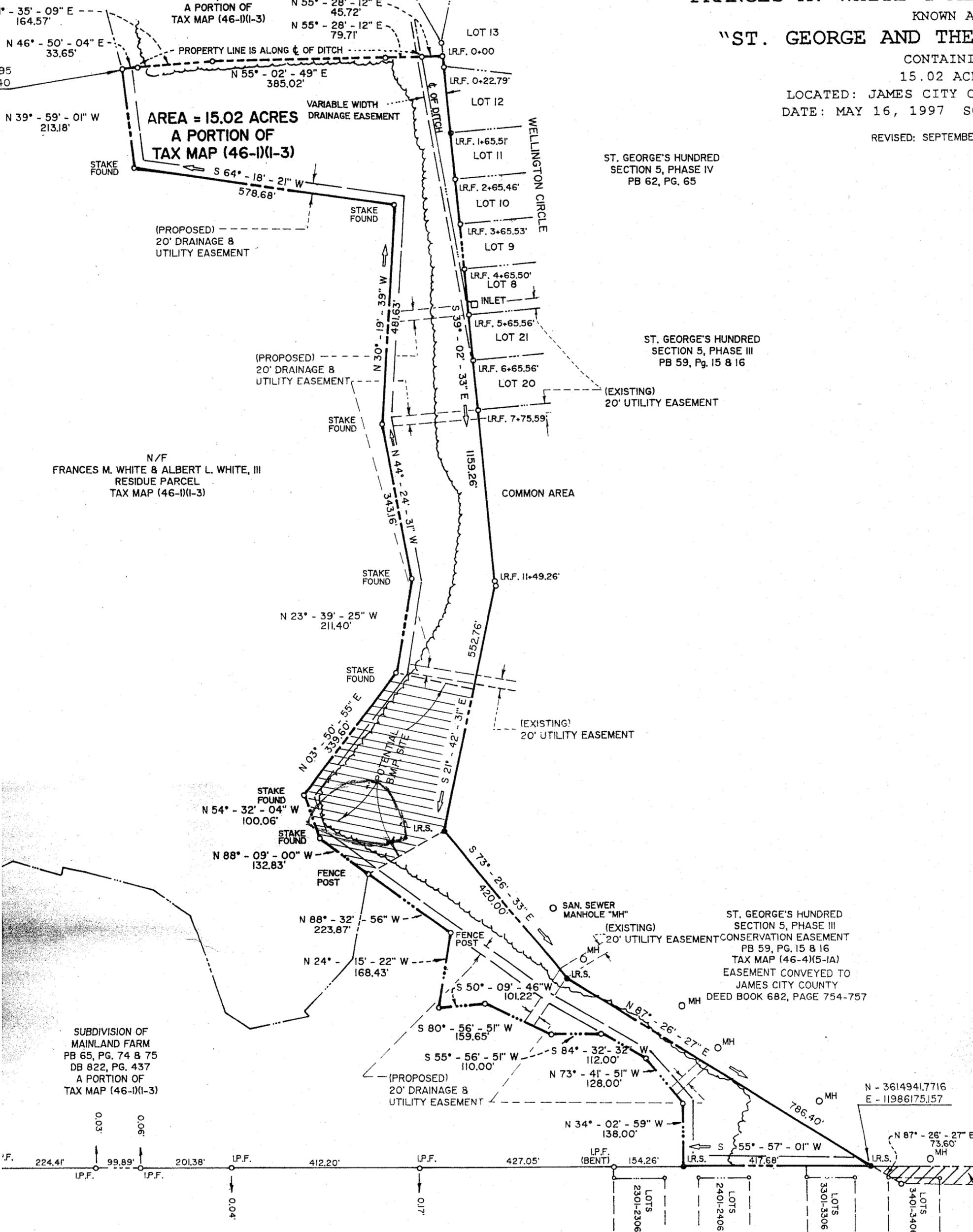
JAMESTOWN "1607"
 SECTION "D"
 PB 37, PG. 93



MITCH
CIVIL E
 720

COUNTY OF JAMES CITY, VIRGINIA
 KNOWN AS "ST. GEORGE AND THE MAIN RESERVE"
 PB 64, PG. 85
 DB 802, PG. 132
 A PORTION OF
 TAX MAP (46-1)(1-3)

OF PROPERTY STANDING
FRANCES M. WHITE & AL
 KNOWN AS
"ST. GEORGE AND THE
 CONTAINING
 15.02 ACF
 LOCATED: JAMES CITY C
 DATE: MAY 16, 1997 SC
 REVISED: SEPTEMBER



COMMONWEALTH OF VIRGINIA
(Signature)
JAMES E. MITCHELL
 No. 001452B
 5-16-97
 9-26-97
LAND SURVEYOR

MITCH CIVILE
 720 N

PLAT OF SUBDIVISION
 OF PROPERTY STANDING IN THE NAME OF
FRANCES M. WHITE & ALBERT L. WHITE, III

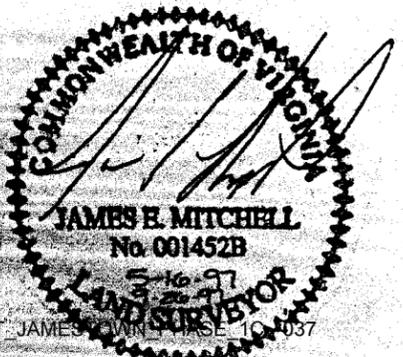
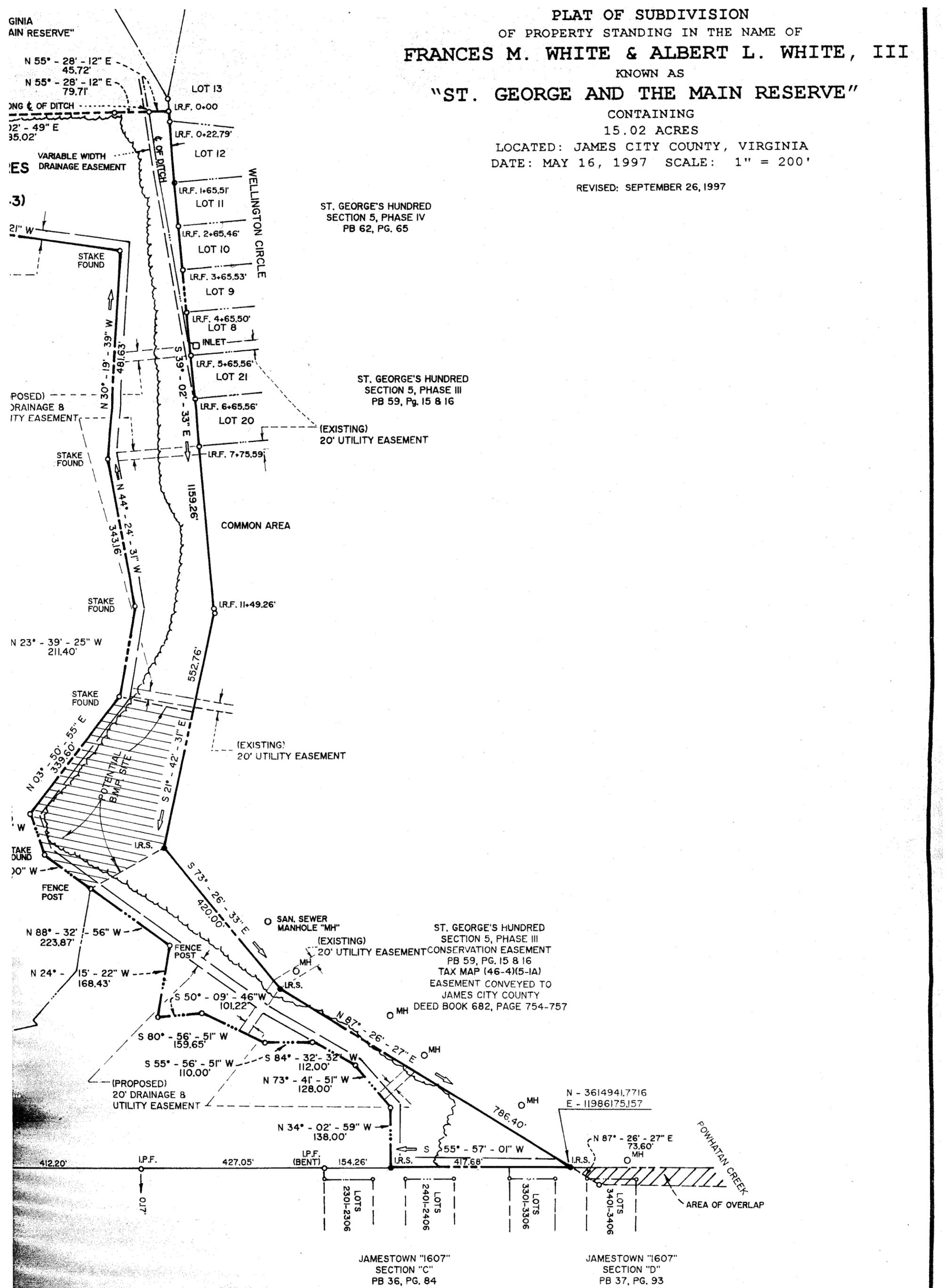
KNOWN AS

"ST. GEORGE AND THE MAIN RESERVE"

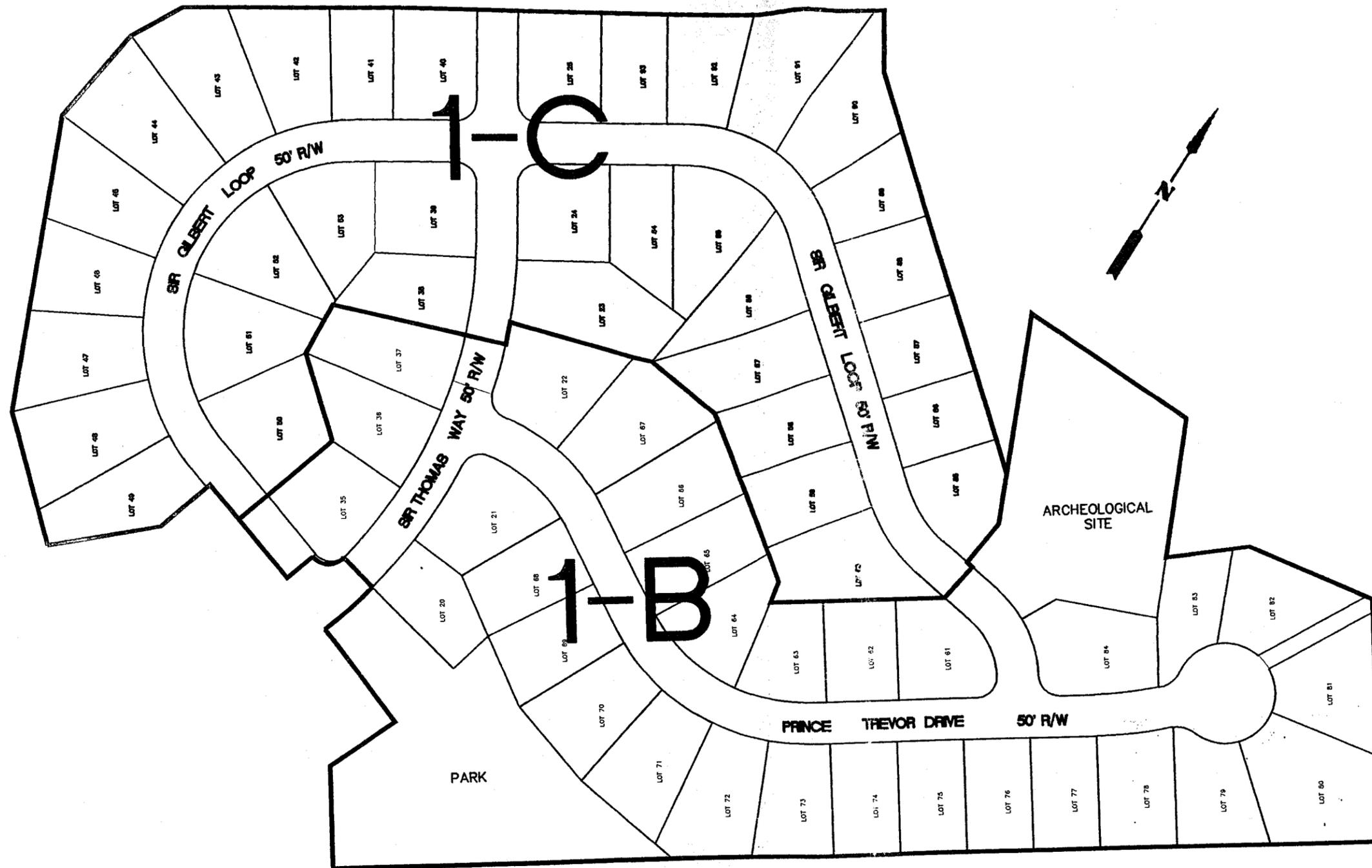
CONTAINING
 15.02 ACRES

LOCATED: JAMES CITY COUNTY, VIRGINIA
 DATE: MAY 16, 1997 SCALE: 1" = 200'

REVISED: SEPTEMBER 26, 1997



PREPARED BY:
MITCHELL-WILSON ASSOCIATES, P.C.
 CIVIL ENGINEERS & LAND SURVEYORS
 720 MAIN STREET, SUITE 112, 2ND FLOOR
 P.O. BOX 1269
 WEST POINT, VIRGINIA 23181
 (804) 843-9744



PLAN

SCALE: NOT TO SCALE

1. CURRENT AND FUTURE DEVELOPMENT PROPOSED BY DJG ASSOCIATES (THE "MASTER PLAN") SHALL BE REVIEWED BY THE DEVELOPMENT REVIEW COMMITTEE OF THE ASSOCIATION AS SHOWN ON THE MASTER PLAN. THE MASTER PLAN IS INCORPORATED BY REFERENCE HEREIN.
2. ALL COMMON AREAS, INCLUDING OPEN SPACE AND RECREATION DEVELOPMENT. THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN SUFFICIENT OPEN SPACE AND RECREATION DEVELOPMENT AS REQUIRED BY THE PLAN AND ASSOCIATION. RECREATIONAL IMPROVEMENTS IN THE COMMON AREAS SHALL BE COMPLETED AND FUNDED AS FOLLOWS:
 - a) GENERAL PURPOSE PARK LAND SHALL BE PROVIDED AT A COST OF \$69.60 PER UNIT.
 - b) A PLAYGROUND TO INCLUDE SWINGS, SLIDES, AND OTHER EQUIPMENT EQUIVALENT OF \$43.50 IN THE COMMON AREAS.
 - c) MULTI-PURPOSE PLAY FIELD INCLUDING SOFTBALL OR VOLLEYBALL COURT SHALL BE PROVIDED.
 - d) RECREATION IMPROVEMENTS SHALL BE COMPLETED AND FUNDED FROM THE PER UNIT COSTS OF THE COMMON AREAS TO BE BELOW THAT ESTABLISHED FOR RECREATION IMPROVEMENTS WITHIN THE COMMON AREAS AS CALCULATED BY THE ASSOCIATION AND APPROVE THE APPROPRIATENESS OF SUCH IMPROVEMENTS.
3. THE EXISTING CHRISTMAS TREE FARM SHALL BE MAINTAINED AND DEVELOPED AS A COMMON AREA.
4. ARCHEOLOGICAL SITES ON THE PROPERTY SHALL BE IDENTIFIED AND DEDICATED TO AN ESTABLISHED RECREATION DEVELOPMENT.

**PLAN
S-65-99
POINTE AT
JAMESTOWN 1-C**

TOWN - PHASE 1C

VIRGINIA

TOWN - PHASE 1C

AREA TABULATION

TOTAL ACREAGE:	■	718,780 S.F.	16.50 AC.
AREA OF RESIDENTIAL LOTS (35 LOTS):	■	477,902 S.F.	10.97 AC.
R/W:	■	105,747 S.F.	2.43 AC.
LANDSCAPE BUFFERS/ OPEN SPACE:	■	135,132 S.F.	3.10 AC.
35 LOTS			
AVERAGE LOT SIZE:	■	13,654 S.F.	0.31 AC.
LARGEST LOT (#44):	■	18,188 S.F.	0.42 AC.
SMALLEST LOT (#41):	■	10,145 S.F.	0.23 AC.
NUMBER OF LOTS PER GROSS ACREAGE:	■	2 LOTS / ACRE	

TAX MAP 46-1 PORTION OF PARCEL (1-3)

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT VIRGINIA SOIL AND WATER CONSERVATION COMMISSION AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT VDOT CONSTRUCTION STANDARDS AND SPECIFICATIONS

ANY ABANDONED WELLS ON SITE SHALL BE PROPERLY ABANDONED ACCORDING TO STATE PRIVATE WELL REGULATIONS.

BUILDING RESTRICTIONS

COUNTY OF JAMES CITY
FINAL SUBDIVISION

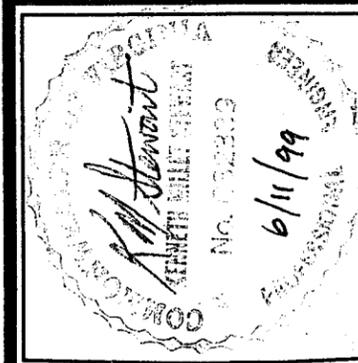
APPROVALS	DATE
Fire Dept.....	_____
Health Dept.....	_____
VDOT.....	_____
Planning.....	_____
Environ.....	_____
JCSA.....	_____
County Eng.....	_____
REA.....	_____
Other.....	_____



S-65-99



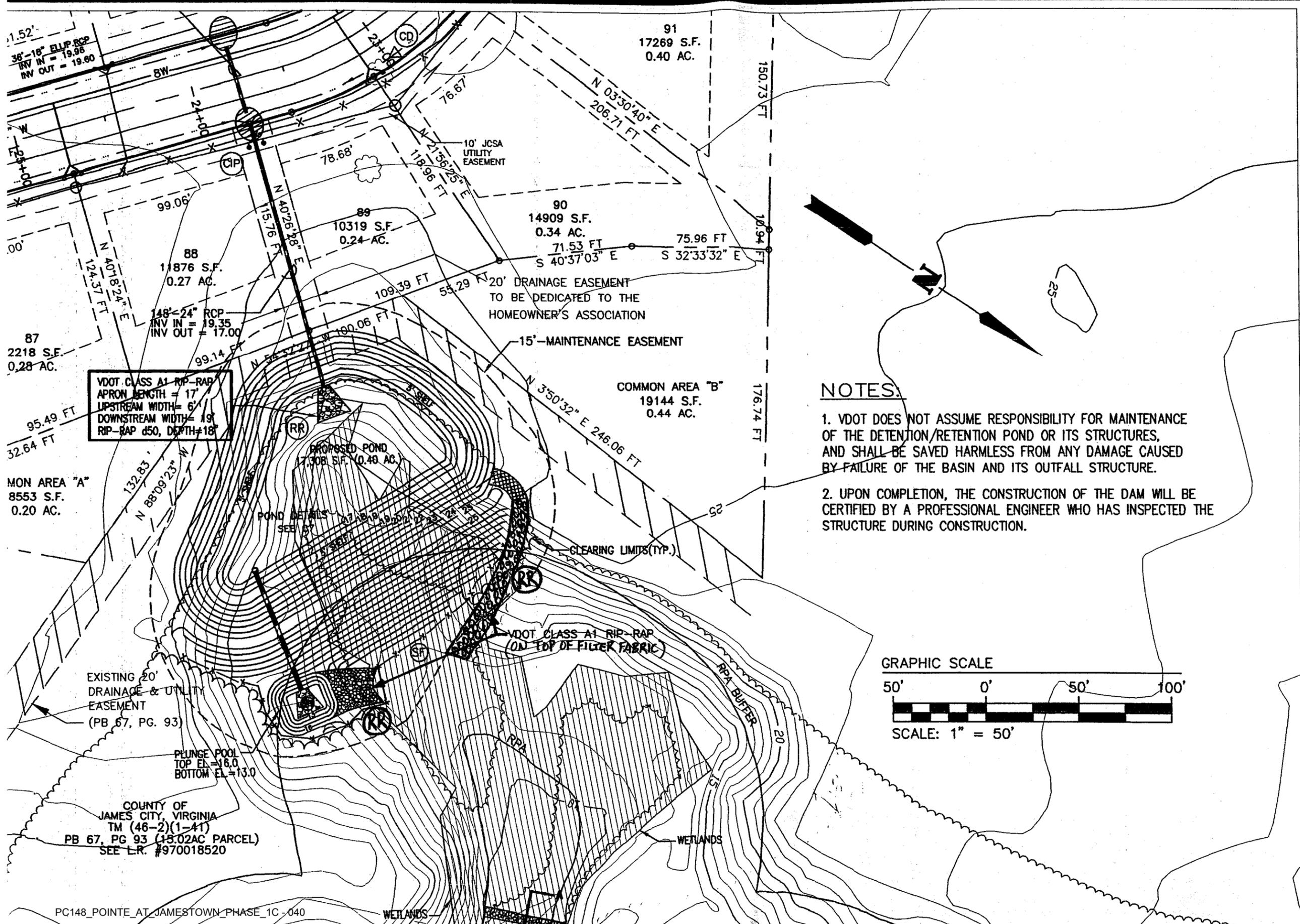
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 (757)253-0673 FAX: (757)253-2319 E-MAIL: djinc@visi.net
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015



REVISIONS	

D NOTES
 AND NOTES
 AND NOTES
 AND NOTES





- NOTES:**
1. VDOT DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE DETENTION/RETENTION POND OR ITS STRUCTURES, AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE CAUSED BY FAILURE OF THE BASIN AND ITS OUTFALL STRUCTURE.
 2. UPON COMPLETION, THE CONSTRUCTION OF THE DAM WILL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHO HAS INSPECTED THE STRUCTURE DURING CONSTRUCTION.

VDOT CLASS A1 RIP-RAP
 APRON LENGTH = 17'
 UPSTREAM WIDTH = 6'
 DOWNSTREAM WIDTH = 19'
 RIP-RAP d50, DEPTH = 18'

EXISTING 20'
 DRAINAGE & UTILITY
 EASEMENT
 (PB 67, PG. 93)

PLUNGE POOL
 TOP EL = 16.0
 BOTTOM EL = 13.0

COUNTY OF
 JAMES CITY, VIRGINIA
 TM (46-2)(1-41)
 PB 67, PG 93 (15.02AC PARCEL)
 SEE L.R. #970018520

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 (757)253-0673 FAX: (757)253-2319 E-MAIL: djginc@isi.net
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015



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	(99)	PERMIT

INSTALLING MECHANICAL DEVICES TO SAFELY LOWER WATER DOWNSLOPE WITHOUT CAUSING EROSION. A TEMPORARY FILL DIVERSION (STD. & SPEC. 3.10) SHALL BE INSTALLED PRIOR TO THE END OF EACH WORKING DAY.

6. SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FILED ADJUSTMENTS AT TIME OF CONSTRUCTION TO INSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED. ENVIRONMENTAL DIVISION APPROVAL WILL BE REQUIRED FOR OTHER DEVIATIONS FROM THE APPROVED PLANS.

7. THE CONTRACTOR SHALL PLACE SOIL STOCKPILES AT THE LOCATIONS SHOWN ON THIS PLAN OR AS DIRECTED BY THE ENGINEER. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE ENVIRONMENTAL DIVISION PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.

8. THE CONTRACTOR SHALL COMPLETE DRAINAGE FACILITIES WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT. THE INSTALLATION OF DRAINAGE FACILITIES SHALL TAKE PRECEDENCE OVER ALL UNDERGROUND UTILITIES. OUTFALL DITCHES FROM DRAINAGE STRUCTURES SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION OF SAME. THIS INCLUDES INSTALLATION OF EROSION CONTROL SONE OR PAVED DITCHES WHERE REQUIRED. ANY DRAINAGE OUTFALLS REQUIRED FOR STREET MUST BE COMPLETED BEFORE STREET GRADING OR UTILITY INSTALLATION BEGINS.

9. PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO ALL DENUDED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE A FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.

10. NO MORE THAN 300 FEET OF SANITARY SEWER, STORM SEWER, WATERLINES, OR UNDERGROUND UTILITY LINES ARE TO BE OPEN AT ONE TIME. FOLLOWING INSTALLATION OF ANY PORTION OF THESE ITEMS, ALL DISTURBED AREAS ARE TO BE IMMEDIATELY STABILIZED (I.E., THE SAME DAY).

11. IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY, OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING IN ACCORDANCE WITH SPECIFICATION 3.35. SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.

12. THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION, ON THIS PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF SEED, LIME, AND FERTILIZER IN ACCORDANCE WITH SPECIFICATION 3.32, PERMANENT SEEDING. IRRIGATION SHALL BE REQUIRED AS NECESSARY TO ENSURE ESTABLISHMENT OF GRASS COVER.

13. ALL SLOPES STEEPER THAN 3:1 SHALL REQUIRE THE USE OF EROSION CONTROL BLANKETS SUCH AS EXCELSIOR BLANKETS TO AID IN THE ESTABLISHMENT OF A VEGETATIVE COVER. INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATION 3.35, MULCHING AND MANUFACTURER'S INSTRUCTIONS. NO SLOPES SHALL BE CREATED STEEPER THAN 2:1.

14. INLET PROTECTION IN ACCORDANCE WITH SPECIFICATION 3.07 SHALL BE PROVIDED FOR ALL STORM DRAIN INLETS AS SOON AS PRACTICAL FOLLOWING CONSTRUCTION OF SAME.

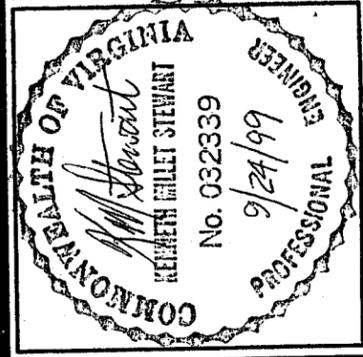
15. TEMPORARY LINERS, SUCH AS POLYETHYLENE SHEETS, SHALL BE PROVIDED FOR ALL PAVED DITCHES UNTIL THE PERMANENT CONCRETE LINER IS INSTALLED.

16. PAVED DITCHES SHALL BE REQUIRED WHEREVER EROSION IS EVIDENT. PARTICULAR ATTENTION SHALL BE PAID TO THOSE AREAS WHERE GRADES EXCEED 3 PERCENT.

17. TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDDED.

18. ALL SEDIMENT TRAPS AND BASINS SHALL REMAIN IN PLACE UNTIL THE MAJORITY OF THE SINGLE-FAMILY HOUSES HAVE BEEN CONSTRUCTED AND SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION.

19. AS-BUILT DRAWNGS MUST BE PROVIDED FOR ALL DETENTION/BMP FACILITIES. ALSO UPON COMPLETION, THE CONSTRUCTION OF ALL DETENTION/BMP FACILITIES SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHO INSPECTED THE STRUCTURE DURING CONSTRUCTION. THE CERTIFICATION SHALL STATE THAT TO THE BEST OF HIS/HER JUDGMENT, KNOWLEDGE, AND BELIEF, THE STRUCTURE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVAL PLANS AND SPECIFICATIONS.



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REVISIONS	
NO	DESCRIPTION
1	REVISIONS PER COUNTY COMMENTS (DATED 7/27/99)
2	REVISIONS PER ENV. DIVISION COMMENTS FOR L.D. PERMIT
3	REVISIONS PER USACE COMMENTS.

E AND S CONTROL DETAILS AND NOTES

ASSOCIATED DEVELOPERS, INC.

THE POINTE AT JAMESTOWN - PHASE 1C

JAMES CITY COUNTY

SCALE AS NOTED	DESIGNED	DRAWN	CHECKED	DATE
	---	DFL	HPLG	6-4-99

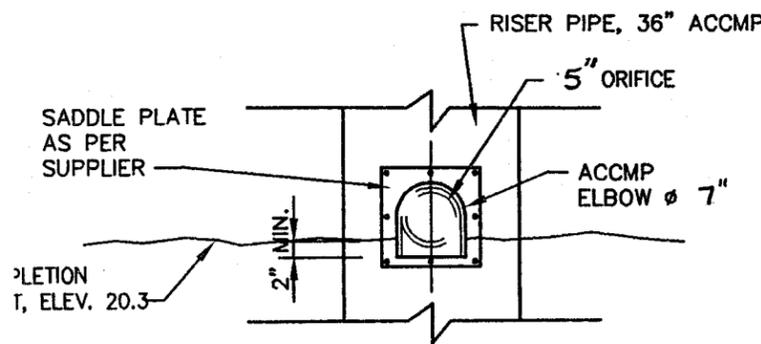
COMMISSION NUMBER
1980102
SHEET NUMBER
C7
8 OF 12

EMERGENCY SPILLWAY ELEVATION, H	CREST OF DAM ELEVATION, I	ANTI-SEEP COLLAR DIMENSION, J	CORE TRENCH			1ST COLLAR DISTANCE FROM RISER, O	RISER DIAMETER, P	FINAL CREST OF RISER ELEVATION, Q	TEMPORARY CREST OF RISER ELEVATION, Q
			TOP WIDTH, K	BOTTOM WIDTH, L	DEPTH, M				
24.0'	25.0'	4.25'x4.25'(2)	12'	4'	4'	14'	36"	23.0'	N/A

TEMPORARY 100-YEAR ELEVATION, Y	TEMPORARY 50-YEAR ELEVATION, Z	TEMPORARY 25-YEAR ELEVATION, AA	TEMPORARY POOL ELEVATION, AB	ANTI-VORTEX DEVICE					DISTANCE BETWEEN ANTI-SEEP COLLARS "N"	MINIMUM DAM TOP WIDTH, AI
				CYLINDER GAGE, AC	TOP GAGE, AD	SUPPORT BAR, AE	SPACER BAR, AF	HEIGHT, AG		
24.2'	N/A	23.6'	20.3'	14	12	#8 REBAR	#8 REBAR	17"	14'	6'

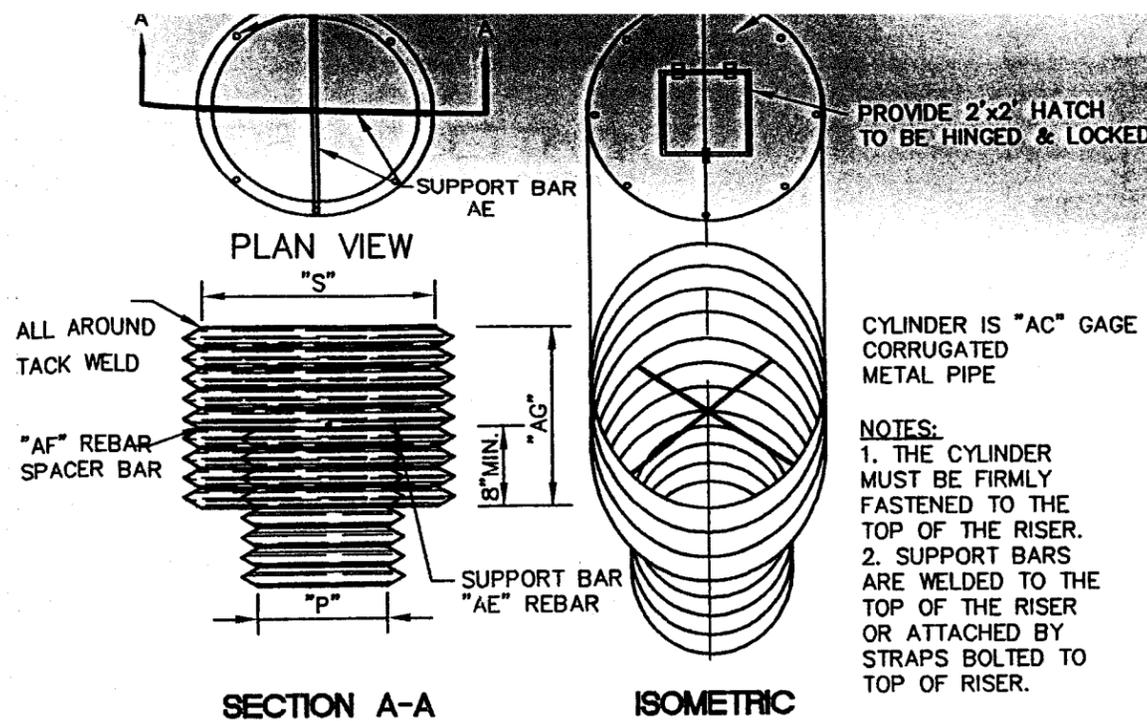
AGE
1
RUCTION
DISTURBING INTENANCE

NOT TO SCALE



ORIFICE PROTECTION ELBOW

NOT TO SCALE



ANTI - VORTEX DEVICE

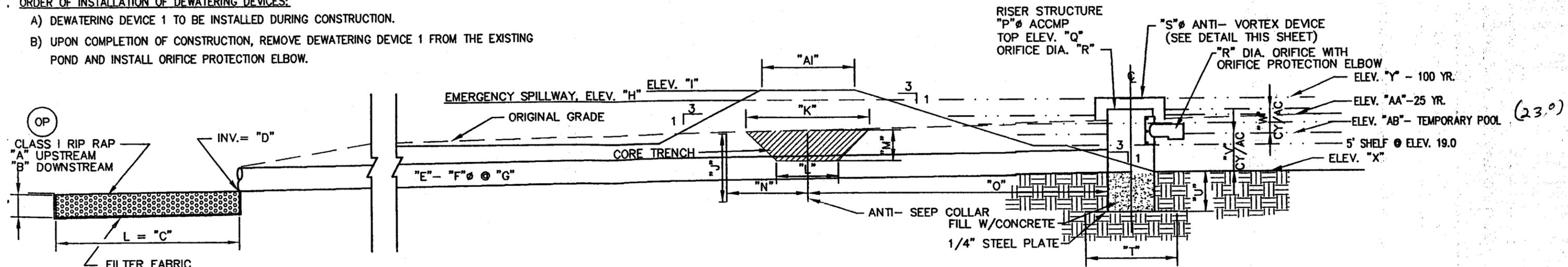
NOT TO SCALE

*ALUMINIZED PIPE
TO REPLACE ACCMP
11-13-99*

NOTES:

ORDER OF INSTALLATION OF DEWATERING DEVICES:

- A) DEWATERING DEVICE 1 TO BE INSTALLED DURING CONSTRUCTION.
- B) UPON COMPLETION OF CONSTRUCTION, REMOVE DEWATERING DEVICE 1 FROM THE EXISTING POND AND INSTALL ORIFICE PROTECTION ELBOW.



PRINCIPAL SPILLWAY

NOT TO SCALE

NOTE: WITH CONCRETE RISER USE PVC SCHEDULE 40 STUB FOR DEWATERING ORIFICE.
DRAINAGE TUBING SHALL COMPLY WITH ASTM F667 AND AASHTO M294

TEMPORARY DEWATERING SYSTEM DEVICE 1

NOT TO SCALE

THE SPECIFIED AMOUNTS OF SEED, LIME, AND FERTILIZER IN ACCORDANCE WITH SPECIFICATION 3.32, PERMANENT SEEDING. IRRIGATION SHALL BE REQUIRED AS NECESSARY TO ENSURE ESTABLISHMENT OF GRASS COVER.

13. ALL SLOPES STEEPER THAN 3:1 SHALL REQUIRE THE USE OF EROSION CONTROL BLANKETS SUCH AS EXCELSIOR BLANKETS TO AID IN THE ESTABLISHMENT OF A VEGETATIVE COVER. INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATION 3.35, MULCHING AND MANUFACTURER'S INSTRUCTIONS. NO SLOPES SHALL BE CREATED STEEPER THAN 2:1.

14. INLET PROTECTION IN ACCORDANCE WITH SPECIFICATION 3.07 SHALL BE PROVIDED FOR ALL STORM DRAIN INLETS AS SOON AS PRACTICAL FOLLOWING CONSTRUCTION OF SAME.

15. TEMPORARY LINERS, SUCH AS POLYETHYLENE SHEETS, SHALL BE PROVIDED FOR ALL PAVED DITCHES UNTIL THE PERMANENT CONCRETE LINER IS INSTALLED.

16. PAVED DITCHES SHALL BE REQUIRED WHEREVER EROSION IS EVIDENT. PARTICULAR ATTENTION SHALL BE PAID TO THOSE AREAS WHERE GRADES EXCEED 3 PERCENT.

17. TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDDED.

18. ALL SEDIMENT TRAPS AND BASINS SHALL REMAIN IN PLACE UNTIL THE MAJORITY OF THE SINGLE-FAMILY HOUSES HAVE BEEN CONSTRUCTED AND SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION.

19. AS-BUILT DRAWINGS MUST BE PROVIDED FOR ALL DETENTION/BMP FACILITIES. ALSO UPON COMPLETION, THE CONSTRUCTION OF ALL DETENTION/BMP FACILITIES SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHO INSPECTED THE STRUCTURE DURING CONSTRUCTION. THE CERTIFICATION SHALL STATE THAT TO THE BEST OF HIS/HER JUDGMENT, KNOWLEDGE, AND BELIEF, THE STRUCTURE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVAL PLANS AND SPECIFICATIONS.

MANAGEMENT STRATEGIES AND SEQUENCE OF CONSTRUCTION

FOLLOWING ARE THE PROPOSED MANAGEMENT STRATEGIES AND DETAILED SEQUENCE OF CONSTRUCTION FOR THE POINTE AT JAMESTOWN SUBDIVISION:

- INSTALLATION OF TEMPORARY STONE CONSTRUCTION ENTRANCES
- INSTALLATION OF SILT FENCE
- CLEARING AND GRUBBING FOR AND INSTALLATION OF TEMPORARY SEDIMENT BASIN
- TEMPORARY SEEDING SHALL FOLLOW IMMEDIATELY AFTER INITIAL GRADING OPERATIONS. PERMANENT SEEDING SHALL IMMEDIATELY FOLLOW FINISH GRADING
- INSTALLATION OF DRAINAGE STRUCTURES AND RIPRAP
- PAVING OPERATIONS

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THESE MEASURES.

POND SCHEDULES	OUTLET RIPRAP			INV. OUT OF BARREL, D	BARREL LENGTH, E	BARREL DIAMETER, F	BARREL SLOPE, G	EMERGENCY SPILLWAY ELEVATION, H	CREST OF DAM ELEVATION, I	ANTI-SEEP COLLAR DIMENSION, J	CORE TRENCH			1ST COLLAR DISTANCE FROM RISER, O	RISER DIAMETER, P	FINAL CREST OF RISER ELEVATION, Q	TEMPORARY CREST OF RISER ELEVATION, Q
	UPSTREAM WIDTH, A	DOWNSTREAM WIDTH B	APRON LENGTH, C								TOP WIDTH, K	BOTTOM WIDTH, L	DEPTH, M				
TEMP. POND	6'	15'	13'	13.0'	68'	24" CMP	5.8%	24.0'	25.0'	4.25'x4.25'(2)	12'	4'	4'	14'	36"	23.0'	N/A

POND SCHEDULES	ORIFICE DIAM., R	ANTI-VORTEX DIAM., S	STEEL PLATE DIMENSION, T	DEPTH TO STEEL PLATE, U	TEMPORARY STORAGE AT NORMAL SURFACE, V	TEMPORARY STORAGE AT CREST OF RISER, W	POND BOTTOM ELEVATION, X	TEMPORARY 100-YEAR ELEVATION, Y	TEMPORARY 50-YEAR ELEVATION, Z	TEMPORARY 25-YEAR ELEVATION, AA	TEMPORARY POOL ELEVATION, AB	ANTI-VORTEX DEVICE					DISTANCE BETWEEN ANTI-SEEP COLLARS "N"	MINIMUM DAM TOP WIDTH, AI
												CYLINDER GAGE, AC	TOP GAGE, AD	SUPPORT BAR, AE	SPACER BAR, AF	HEIGHT, AG		
TEMP. POND	5"	54"	72"	30"	86.0	99.0	17.0'	24.2'	N/A	23.6'	20.3'	14	12	#8 REBAR	#8 REBAR	17"	14'	6'

THIS DOCUMENT REPRODUCTION, NOT TO BE MADE	NO.	DATE
	1	8/9/99
	2	9/24/99
	3	10/11/99

E AND S CONTROL DETAILS AND NOTES

ASSOCIATED DEVELOPERS, INC.

THE POINTE AT JAMESTOWN - PHASE 1C

JAMES CITY COUNTY

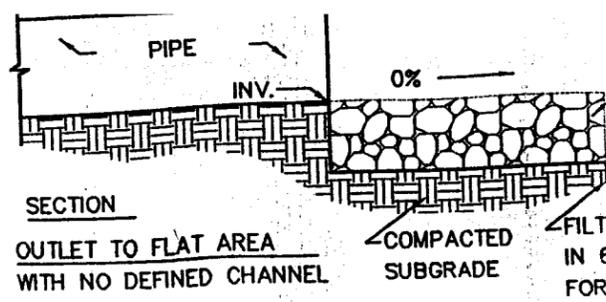
SCALE AS NOTED	DESIGNED	DRAWN DFL	CHECKED HILPG	DATE 6-4-99
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COMMISSION NUMBER
1980102

SHEET NUMBER
C7
8 OF 12

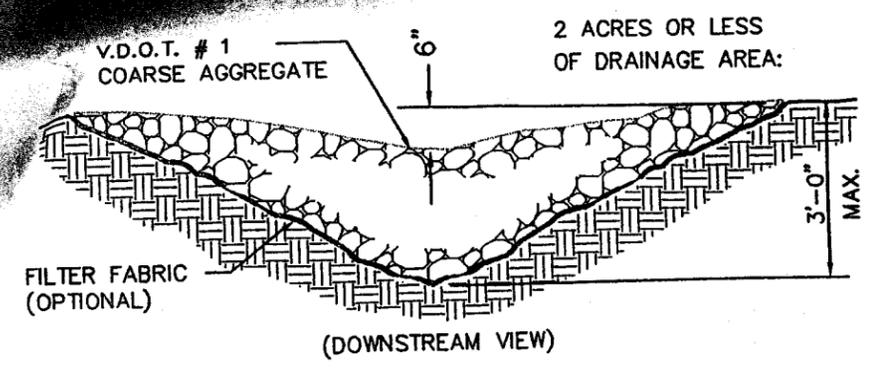
COLLARS SHALL BE IN ACCORDANCE WITH CONSTRUCTION AND CONSTRUCTION MATERIAL SPECIFICATIONS.

MASTIC AT TIME OF INSTALLATION. EACH COLLAR SHALL BE FURNISHED WITH TWO 1/2" DIAMETER RODS WITH STANDARD TANK LUGS FOR CONNECTING COLLARS TO PIPE.



ANTI - SEEP COLLAR

NOT TO SCALE

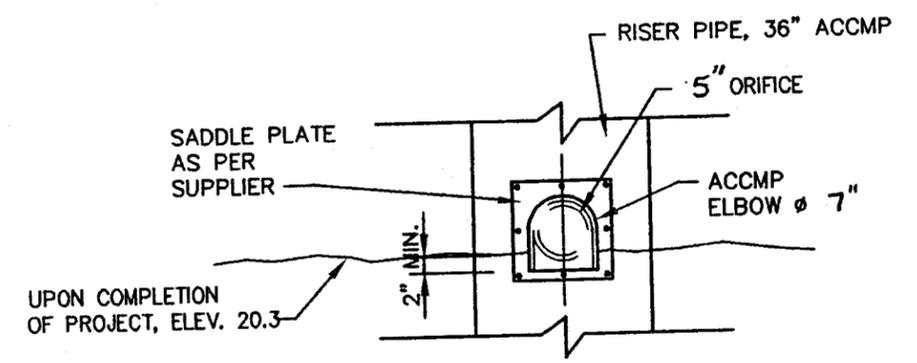


ROCK CHECK DAMS VESCH 3.20

CD NOT TO SCALE

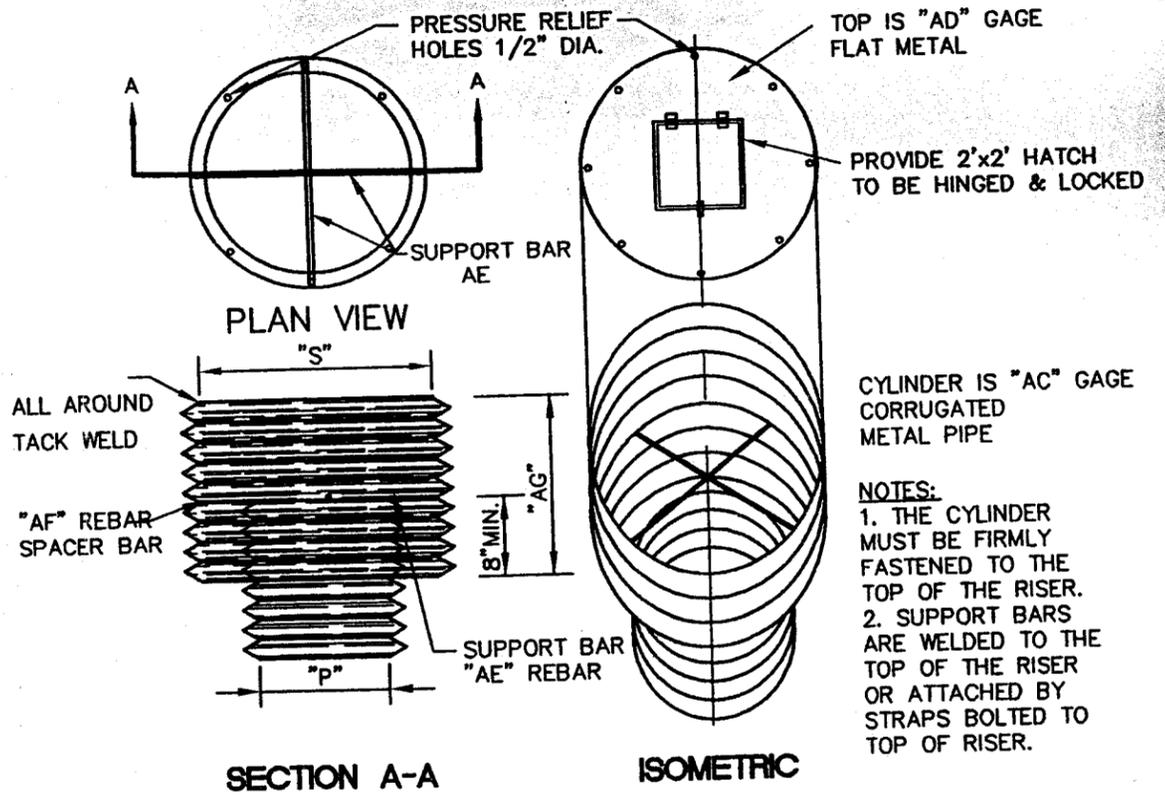
RIPRAP VESCH 3

RR NOT TO SCALE



ORIFICE PROTECTION ELBOW

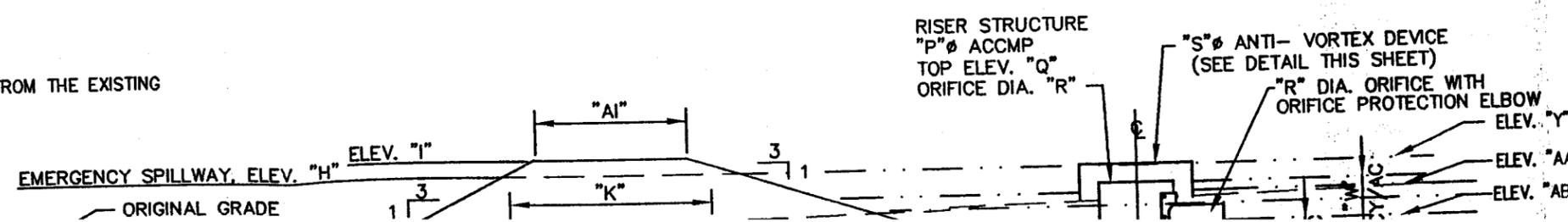
NOT TO SCALE



ANTI - VORTEX DEVICE

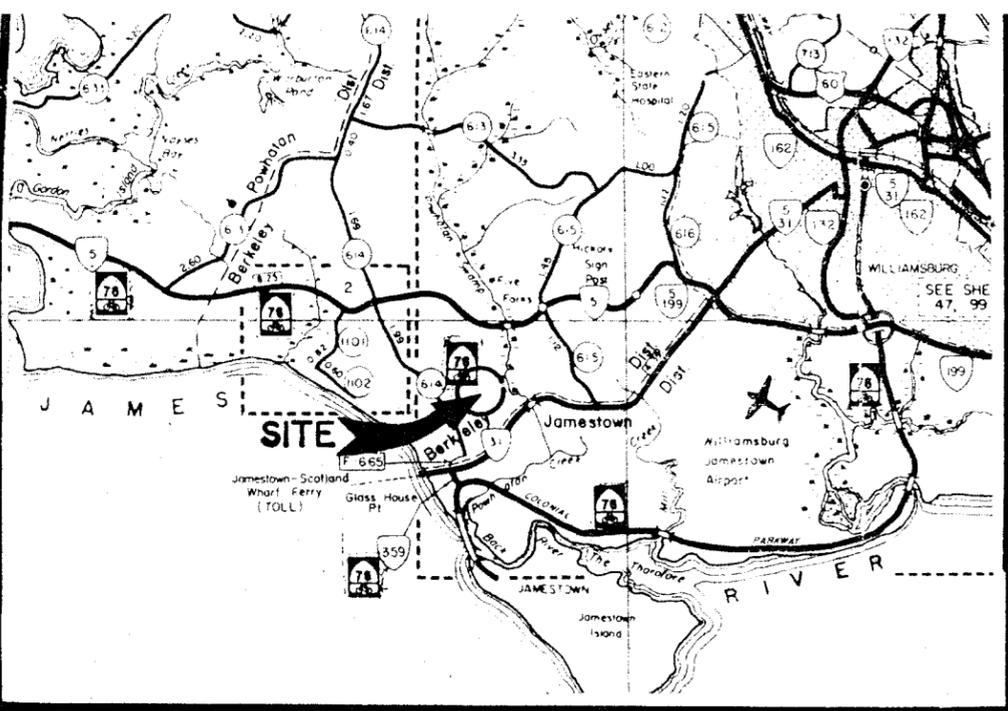
NOT TO SCALE

- NOTES:
- ORDER OF INSTALLATION OF DEWATERING DEVICES:
 - DEWATERING DEVICE 1 TO BE INSTALLED DURING CONSTRUCTION.
 - UPON COMPLETION OF CONSTRUCTION, REMOVE DEWATERING DEVICE 1 FROM THE EXISTING POND AND INSTALL ORIFICE PROTECTION ELBOW.

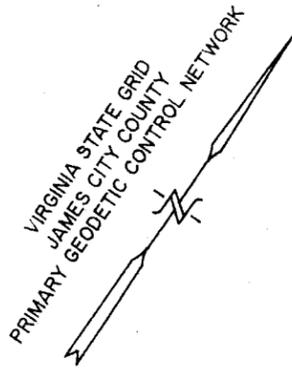


ALUMINIZED PIPE TO REPLACE ACCMP 11-13-99

7:08g Fri Sep 24 09:17:45 1999



N 51° - 35' - 09" E ---
164.57'
N 46° - 50' - 04"
33.65'
N - 3616023.2595
E - 11983480.040
N 39° - 59' - 01" W
213.18'



OWNER'S CERTIFICATE:

THE SUBDIVISION OF LAND SHOWN ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDESIGNED OWNERS, PROPRIETORS AND OR TRUSTEES.

(DATE) FRANCES M. WHITE

FRANCES

(DATE) ALBERT L. WHITE, III

CERTIFICATE OF NOTARIZATION:

STATE OF VIRGINIA
CITY-COUNTY OF _____

I, _____
A NOTARY PUBLIC IN AND FOR THE CITY-COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SIGNED TO THE FOREGOING WRITING HAVE ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY-COUNTY AFORESAID. GIVEN UNDER MY NAME THIS _____ DAY OF _____, 19____. MY COMMISSION EXPIRES _____.

NOTARY PUBLIC

CERTIFICATE OF SOURCE OF TITLE:

THE PROPERTY SHOWN ON THIS PLAT WAS CONVEYED BY DAVID M. MURRAY AND ANNE F. MURRAY TO FRANCES M. WHITE AND ALBERT L. WHITE, III BY DEED OF EXCHANGE DATED OCTOBER 25, 1982 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY IN DEED BOOK 227 PAGE 590.

SURVEYOR'S CERTIFICATE:

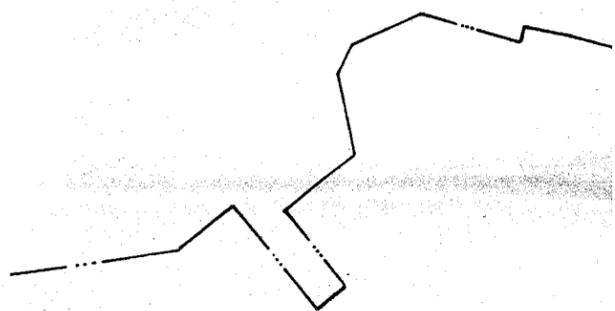
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE OR BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISION WITHIN THE COUNTY.

5-16-97
(DATE) JAMES E. MITCHELL, LAND SURVEYOR

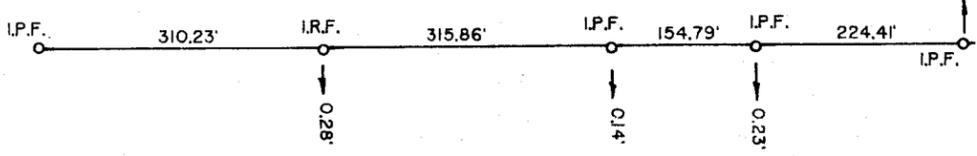
CERTIFICATE OF APPROVAL:

THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

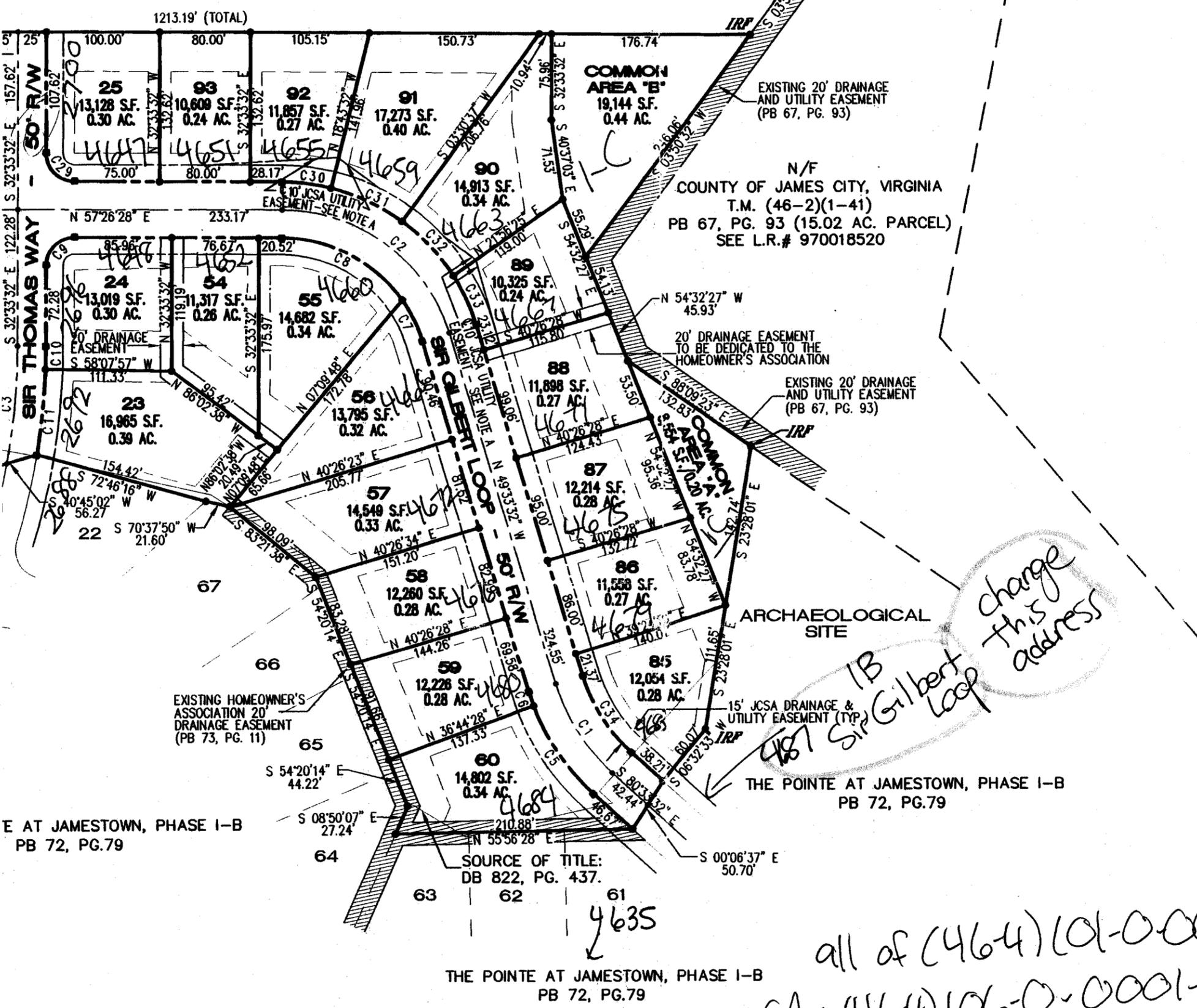
(DATE) _____ SUBDIVISION AGENT OF JAMES CITY COUNTY



SUBDIV
MAINLA
PB 65, P
DB 82
A POF
TAX MAP



REMAINING PROPERTY OF
 ES. M. WHITE & ALBERT L. WHITE, III
 T.M. (46-1)(1-3)
 DB 227, PG. 590



charge this address
 467 Sir Gilbert Loop

all of (464) (01-0-00
 CA = (464) (06-0-0001-
 (46-4) (06-0-00XX-)

- LEGEND**
- IRS = IRON ROD SET
 - IRF = IRON ROD FOUND
 - S.F. = SQUARE FEET
 - AC. = ACRE(S)
 - PB = PLAT BOOK
 - DB = DEED BOOK
 - JCSA = JAMES CITY SERVICE AUTHORITY
 - CL = CENTERLINE

FINAL ADDRESS
 RECEIVED 4/10/02
 CODED m. Gilbert
 (S-65-99)

IC. OF WILLIAMSBURG, VIRGINIA. THE
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 NSENT OF DJG, INC., COPYRIGHT 2000.

CTION	
MENT/NOTE A	
REVISIONS	

NANCY L. ROBMAN-THOMPSON
 No. 02234
 2/16/00



Committed to Excellence

ENGINEERS • ARCHITECTS • SURVEYOR

449 McLAWS CIRCLE, P.O. BOX 3505 WILLIAMSBURG, VIRGINIA 23
 (757)253-0673 FAX: (757)253-2319 E-MAIL: djginc@visi.n
 NORFOLK - VIRGINIA BEACH AREA (757)874-5015



N/F
ASSOCIATED DEVELOPERS
SUBDIVISION

LOT 90

LOT 89

LOT 88

LOT 87

S 03°50'32" W
246.06'

S 88°09'23" E
132.76'

S 23°27'57" E
142.47'

N 22°28'20" W
552.76'

N/F
ST. GEORGES HUNDRED
SUBDIVISION

TOTAL WETLAND
AREA IMPACTED
4188.43 S.F.
0.10 ACRES

LIMITS OF
WETLANDS

LIMITS OF
WETLANDS

Pointe @ Jamestown

24" HDPE

MANHOLE

MANHOLE

MANHOLE

RIP-RAP

RIP-RAP

36" RISER

TEMPORARY
SEDIMENT BASIN

48" ACCMP
RISER

36" ACCMP
BARREL

24" ACCMP
BARREL

EMERGENCY SPILLWAY

EMERGENCY
SPILLWAY

RIP-RAP

EXISTING SPILLWAY

4" DAM

20

20

20

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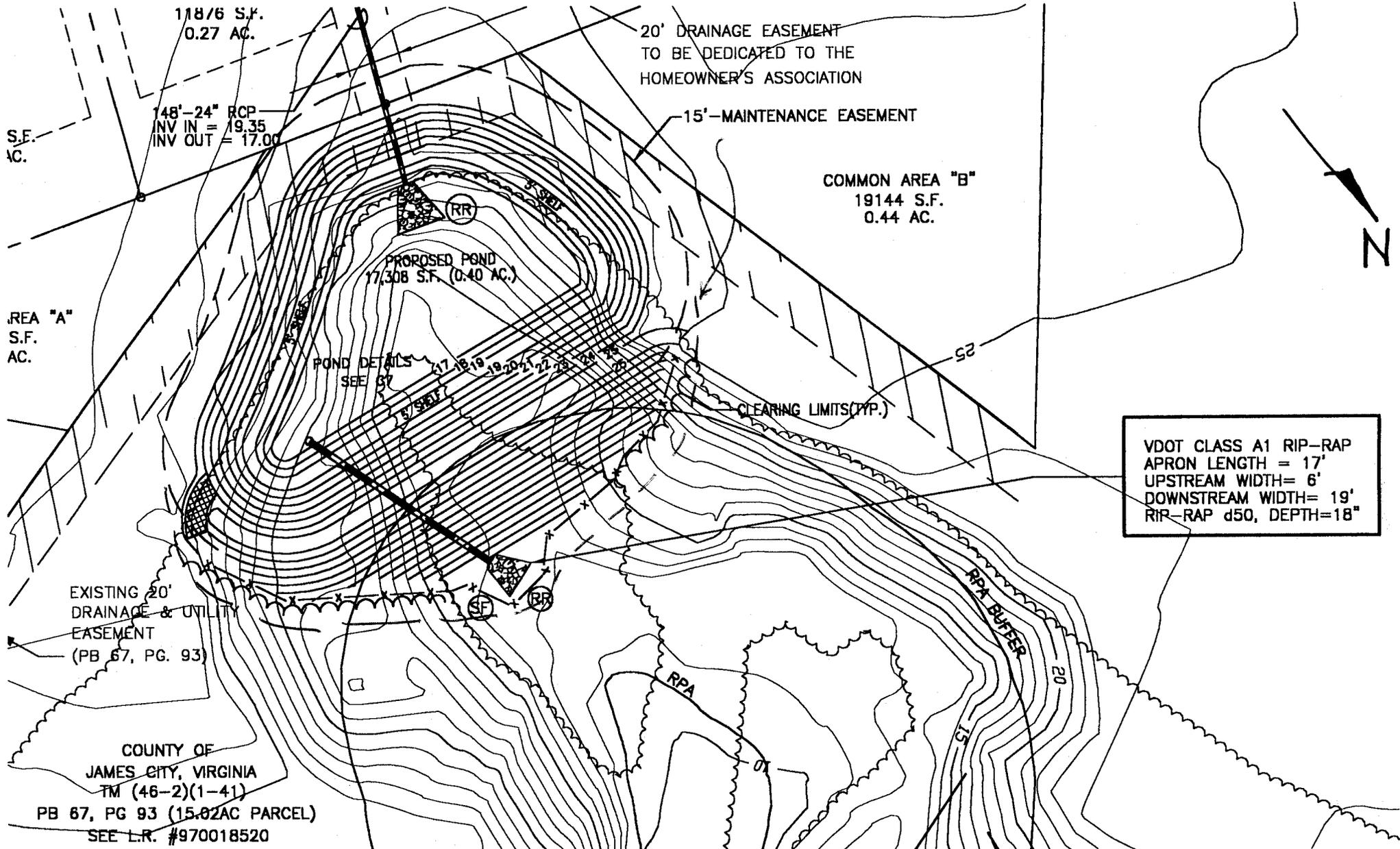
20

20

N 74°12'22" W
420.00'

THE ROUTE @ JAMESTOWN 1-C
 REVISED POND (WITH 5' SHALF @
 EL. 19) PER D. COOK'S COMMENTS

SCALE: 1" = 50' (9/13/99 OFL)



AREA "A"
 S.F.
 AC.

COUNTY OF
 JAMES CITY, VIRGINIA
 TM (46-2)(1-41)

PB 67, PG 93 (15.02AC PARCEL)
 SEE L.R. #970018520

THE POINTE AT JAMESTOWN
PHASE 1-C

***REVISED STORMWATER
MANAGEMENT CALCULATIONS***

S-65-99
PC148

BY

DJG, INC.
1006 RICHMOND ROAD
WILLIAMSBURG, VIRGINIA 23185
PHONE: (757)253-0673
FAX: (757)253-2319

SEPTEMBER 13, 1999
DJG COMMISSION NO: 1980102

RECORD HYH



P.O. Box 3505
Williamsburg, Virginia 23187
(757) 253-0673
Fax (757) 253-2319

PROJECT THE POINTE e JAMESTOWN 1-C
DATE 9/13/99 COMM NO. 1980102
CAL DFL CKD _____ PAGE # _____
TITLE REVS PER D. COOK COMMENTS

BMP 10-PT. CALCULATION:

- OPEN SPACE PER MASTER PLAN (= 121 AC ±)
$$\frac{121 \text{ AC.}}{384 \text{ AC}} \times 10 = \underline{3.15 \text{ PTS}}$$
- EXISTING POND (33 AC DRAINAGE) - 9 PT. BMP
$$\frac{33 \text{ AC}}{81 \text{ AC}} \times 9 = \underline{3.67 \text{ PTS}}$$
- OPEN SPACE (= 12.1 AC)
$$\frac{12.1 \text{ AC}}{81 \text{ AC}} \times 10 = \underline{1.49 \text{ PTS}}$$
- PROPOSED POND (13.6 AC DRAINAGE) - 9 PT. BMP
$$\frac{13.6 \text{ AC}}{81 \text{ AC}} \times 9 = \underline{1.51 \text{ PTS}}$$
- CONSERVATION EASEMENT (= 2.87 AC +)
$$\frac{2.87 \text{ AC}}{81 \text{ AC}} \times 10 = \underline{0.35 \text{ PTS}}$$

TOTALS: $3.15 + 3.67 + 1.49 + 1.51 + 0.35 = \boxed{10.17 \text{ pts}}$ ←

Calculated By: DFL Date: Rev. 9/13/99
 Checked By: HLPD Date:

DJG, INC
 P.O. BOX 3505
 WILLIAMSBURG, VIRGINIA 23187
 STORMWATER MANAGEMENT POND DESIGN

PROJECT NO. 1980102
 PROJECT DESC. THE POINTE - 1C
 SED. BASIN DESIGN
 SHEET 1 OF 1 SHEETS

BASIN STORAGE VOLUME:					PRINCIPAL SPILLWAY:				STAGE-DISCHARGE-STORAGE:								
ELEV.	AREA (FT)	SUM (A1+A)/2	VOL. (CU.FT)	SUM VOL. (CU.FT)	RISER	ORIFICE (2) DIA. (IN)	BARREL DIA. (IN)	BARREL LEN. (FT)	ELEV.	STAGE (FT)	Hp (FT)	Qp (CFS)	Ho (FT)	Qo (CFS)	SUM Q (CFS)	STORAGE (CU.FT)	
17	6277	-	-	-	36	5	24	84	17	-	-	-	-	-	-	-	
18	7333	6805	6805	6805	ORIFICE AREA, A (SQ.FT) = 0.13628				18	1	-	-	-	-	-	6805	
19	10424	8878.5	8879	15683.5	n = 0.013				19	2	-	-	-	-	-	16568	
20	11688	11056	11056	26740	C = 0.6				20	3	-	-	-	-	-	27882	
21	13008	12348	12348	39088	Q = CA(64.4*Ho)^0.5				OR.(5") 20.3	3.3	-	-	-	-	-	31511	
22	14384	13696	13696	52784	BARREL INV.OUT = 13				21	4	-	-	0.49167	0.46013	0.46013	40338	
23	15818	15101	15101	67885	CORRECTION FACTOR = 0.95 (FROM VESCH, TABLE 3.14-A)				22	5	-	-	1.49167	0.80145	0.80145	53718	
STORAGE ALGORITHM:									C.R.	23	6	-	-	2.49167	1.03582	1.03582	67885
Z1 =	1	S1 =	6805	S2/S1 =	9.9757	E.S.		24	7	10	39.9	3.49167	1.22619	41.1262	82739		
Z2 =	6	S2 =	67885	Z2/Z1 =	6.0	T.O.B.		25	8	11	42.66	4.49167	1.39074	44.0507	98211		
b = (ln(S2/S1))/(ln(Z2/Z1))		Ks = S2/(Z2^b)		S(CU.FT)=Ks(Z^b)		<p><i>elov NP stor = 31,511 = 0.72 ac ft</i> <i>4 VR = 9 PE BMP</i> <i>= 0.65 ac ft</i> <i>2.5 VR = 0.9107 ac ft</i></p>											
b =	1.284	Ks =	6805.00														

REV. 9/13/99 DR

THE POINTE 1-C - REVISED POND

THE POINTE 1-C - REVISED POND

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 2 YEAR
DRAINAGE AREA (ACRES) = 13.6
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = 30
HYDRAULIC LENGTH MODIFIED (%) = 40
COMPOSITE CURVE NUMBER = 81
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS
(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .228 HOURS
TIME OF CONCENTRATION ADJUSTED IS .38 HOURS
THE PEAK DISCHARGE FROM THIS WATERSHED IS 19 C.F.S.

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	
.091	.235
.182	.952
.273	2.548
.364	5.617
.456	10.396
.547	16.125
.638	19.355
.729	18.618
.82	14.25
.911	9.434
1.002	5.146
1.093	1.967
1.185	.276
1.276	0

STAGE (FT)	DISCHARGE (CFS)	STORAGE (CF)
20.3	0	0
21	.46	40338
22	.8	53718
23	1.04	67885

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
OUTFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0.000	0.000
0.091	0.003
0.182	0.009
0.273	0.024
0.364	0.054
0.456	0.103
0.547	0.169
0.638	0.240
0.729	0.300
0.820	0.343
0.911	0.369
1.002	0.381
1.093	0.384
1.185	0.383
1.276	0.381
1.367	0.380
1.458	0.379
1.549	0.377
1.640	0.376
1.731	0.374
1.822	0.373
1.913	0.372
2.005	0.370
2.096	0.369
2.187	0.367
2.278	0.366
2.369	0.365
2.460	0.363
2.551	0.362
2.642	0.361
2.734	0.359
2.825	0.358
2.916	0.357
3.007	0.355
3.098	0.354
3.189	0.353
3.280	0.351
3.371	0.350
3.463	0.349

MAXIMUM OUTFLOW IS (.384) C.F.S.
MAXIMUM STAGE IS 20.88435 FT.
MAXIMUM STORAGE IS 33673 CUBIC FEET

THE POINTE 1-C - REVISED POND

THE POINTE 1-C - REVISED POND

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 10 YEAR
DRAINAGE AREA (ACRES) = 13.6
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = 30
HYDRAULIC LENGTH MODIFIED (%) = 40
COMPOSITE CURVE NUMBER = 81
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS
(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .228 HOURS
TIME OF CONCENTRATION ADJUSTED IS .38 HOURS
THE PEAK DISCHARGE FROM THIS WATERSHED IS 38 C.F.S.

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	
.091	.571
.182	2.256
.273	5.856
.364	12.303
.456	21.706
.547	32.368
.638	37.842
.729	35.735
.82	27.055
.911	17.715
1.002	9.524
1.093	3.589
1.185	.498
1.276	0

STAGE (FT)	DISCHARGE (CFS)	STORAGE (CF)
20.3	0	0
21	.46	40338
22	.8	53718
23	1.04	67885
24	41.13	82739

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
OUTFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0.000	0.001
0.091	0.006
0.182	0.021
0.273	0.055
0.364	0.119
0.456	0.219
0.547	0.349
0.638	0.516
0.729	0.773
0.820	0.902
0.911	0.972
1.002	1.003
1.093	1.009
1.185	1.005
1.276	0.999
1.367	0.993
1.458	0.988
1.549	0.982
1.640	0.977
1.731	0.972
1.822	0.966
1.913	0.961
2.005	0.956
2.096	0.950
2.187	0.945
2.278	0.940
2.369	0.935
2.460	0.929
2.551	0.924
2.642	0.919
2.734	0.914
2.825	0.909
2.916	0.904
3.007	0.899
3.098	0.894
3.189	0.889
3.280	0.884
3.371	0.879
3.463	0.874

MAXIMUM OUTFLOW IS 1 C.F.S.
MAXIMUM STAGE IS 22.83334 FT.
MAXIMUM STORAGE IS 65523 CUBIC FEET

THE POINTE 1-C - REVISED POND

THE POINTE 1-C - REVISED POND

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 25 YEAR
DRAINAGE AREA (ACRES) = 13.6
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = 30
HYDRAULIC LENGTH MODIFIED (%) = 40
COMPOSITE CURVE NUMBER = 81
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS
(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .228 HOURS
TIME OF CONCENTRATION ADJUSTED IS .38 HOURS
THE PEAK DISCHARGE FROM THIS WATERSHED IS 55 C.F.S.

STAGE (FT)	DISCHARGE (CFS)	STORAGE (CF)
20.3	0	0
21	.46	40338
22	.8	53718
23	1.04	67885
24	41.13	82739
25	44.05	98211

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
OUTFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0.000	0.002
0.091	0.010
0.182	0.033
0.273	0.085
0.364	0.180
0.456	0.329
0.547	0.590
0.638	0.951
0.729	18.198
0.820	26.639
0.911	22.157
1.002	14.237
1.093	7.260
1.185	3.018
1.276	1.166
1.367	1.035
1.458	1.029
1.549	1.023
1.640	1.018
1.731	1.012
1.822	1.006
1.913	1.001
2.005	0.995
2.096	0.990
2.187	0.984
2.278	0.979
2.369	0.973
2.460	0.968
2.551	0.963
2.642	0.957
2.734	0.952
2.825	0.947
2.916	0.941
3.007	0.936
3.098	0.931
3.189	0.926
3.280	0.921
3.371	0.916
3.463	0.911

MAXIMUM OUTFLOW IS 26.64 C.F.S.
MAXIMUM STAGE IS 23.63856 FT.
MAXIMUM STORAGE IS 77370 CUBIC FEET

THE POINTE 1-C - REVISED POND

THE POINTE 1-C - REVISED POND

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 100 YEAR
DRAINAGE AREA (ACRES) = 13.6
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = 30
HYDRAULIC LENGTH MODIFIED (%) = 40
COMPOSITE CURVE NUMBER = 81
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS
(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .228 HOURS
TIME OF CONCENTRATION ADJUSTED IS .38 HOURS
THE PEAK DISCHARGE FROM THIS WATERSHED IS 72 C.F.S.

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	
.091	1.252
.182	4.875
.273	12.42
.364	25.308
.456	43.26
.547	62.78
.638	72.033
.729	67.112
.82	50.395
.911	32.722
1.002	17.402
1.093	6.49
1.185	.892
1.276	0

STAGE (FT)	DISCHARGE (CFS)	STORAGE (CF)
20.3	0	0
21	.46	40338
22	.8	53718
23	1.04	67885
24	41.13	82739
25	44.05	98211

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
OUTFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0.000	0.002
0.091	0.014
0.182	0.046
0.273	0.116
0.364	0.244
0.456	0.441
0.547	0.916
0.638	29.414
0.729	41.745
0.820	41.734
0.911	37.073
1.002	21.653
1.093	10.630
1.185	4.380
1.276	1.692
1.367	1.037
1.458	1.031
1.549	1.025
1.640	1.019
1.731	1.014
1.822	1.008
1.913	1.003
2.005	0.997
2.096	0.991
2.187	0.986
2.278	0.980
2.369	0.975
2.460	0.970
2.551	0.964
2.642	0.959
2.734	0.954
2.825	0.948
2.916	0.943
3.007	0.938
3.098	0.933
3.189	0.927
3.280	0.922
3.371	0.917
3.463	0.912

MAXIMUM OUTFLOW IS 41.73 C.F.S.
MAXIMUM STAGE IS 24.20548 FT.
MAXIMUM STORAGE IS 85918 CUBIC FEET

THE POINTE @ JAMESTOWN 1-C
 REVISED POND DETAIL (SHEET C7)
 PER D. COOK'S COMMENTS:
 (9/13/99 DFL)

POND SCHEDULES	OUTLET RIPRAP			INV. OUT OF BARREL, D	BARREL LENGTH, E	BARREL DIAMETER, F	BARREL SLOPE, G	EMERGENCY SPILLWAY ELEVATION, H	CREST OF DAM ELEVATION, I	ANTI-SEEP COLLAR DIMENSION, J	CORE TRENCH			1ST COLLAR DISTANCE FROM RISER, O	RISER DIAMETER, P	FINAL CREST OF RISER ELEVATION, Q	TEMPORARY CREST OF RISER ELEVATION, R
	UPSTREAM WIDTH, A	DOWNSTREAM WIDTH, B	ARRON LENGTH, C								TOP WIDTH, K	BOTTOM WIDTH, L	DEPTH, M				
TEMP. POND	6'	15'	13'	13.0'	84'	24" CMP	4.8%	24.0'	25.0'	4.25'x4.25'(2)	12'	4'	4'	14'	36"	23.0'	N/A

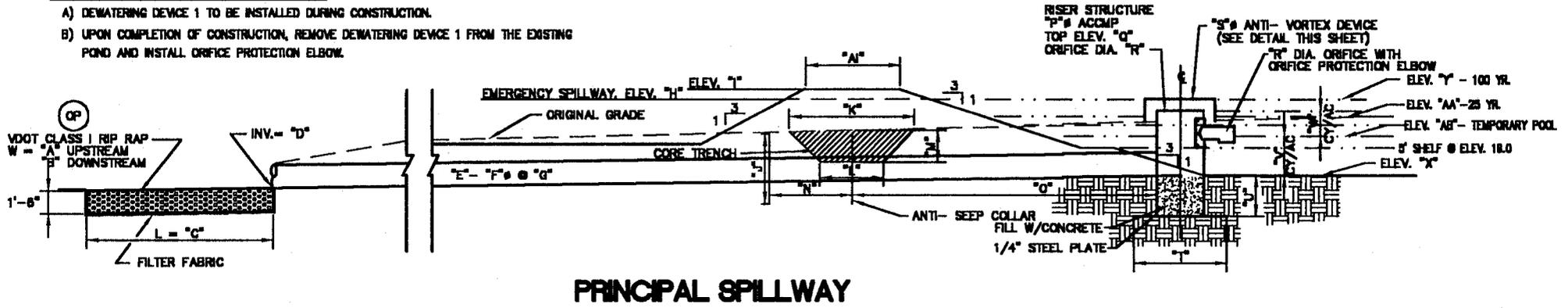
POND SCHEDULES	ORIFICE DIAM., R	ANTI-VORTEX DIAM., S	STEEL PLATE DIMENSION, T	DEPTH TO STEEL PLATE, U	TEMPORARY STORAGE AT NORMAL SURFACE, V	TEMPORARY STORAGE AT CREST OF RISER, W	POND BOTTOM ELEVATION, X	TEMPORARY 100-YEAR ELEVATION, Y	TEMPORARY 50-YEAR ELEVATION, Z	TEMPORARY 25-YEAR ELEVATION, AA	TEMPORARY POOL ELEVATION, AB	ANTI-VORTEX DEVICE				DISTANCE BETWEEN ANTI-SEEP COLLARS, AC	MINIMUM DAM TOP WIDTH, AD	
												CYLINDER GAGE, AG	TOP GAGE, AD	SUPPORT BAR, AE	SPACER BAR, AF			HEIGHT, AG
TEMP. POND	5"	54"	72"	30"	88.0	99.0	17.0'	24.2'	N/A	23.6'	20.3'	14	12	#8 REBAR	#8 REBAR	17"	14'	8'

DHL

NOTES:

3. ORDER OF INSTALLATION OF DEWATERING DEVICES:

- A) DEWATERING DEVICE 1 TO BE INSTALLED DURING CONSTRUCTION.
- B) UPON COMPLETION OF CONSTRUCTION, REMOVE DEWATERING DEVICE 1 FROM THE EXISTING POND AND INSTALL ORIFICE PROTECTION ELBOW.



PRINCIPAL SPILLWAY

NOT TO SCALE



P.O. Box 3505
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(804) 253-0673
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PROJECT WESTOVER / B / THE POINTE AT JAMESTOWN
DATE 6-24-98 COMM NO. 1980100
CAL H-26 CKD _____ PAGE # 10 of 1
TITLE TEMPORARY SEDIMENT BASIN COMPONENTS

• ANTI-VORTEX DESIGN: (FROM VESCH TABLE 3.14-D)

RISER DIAMETER = 36"

⇒ CYLINDER ϕ = 54" , THICKNESS = 14 ga.

HEIGHT = 17"

SUPPORT BAR = #8 REBAR

TOP = 14 ga. CORRUGATED OR 12 ga. FLAT

• ANTI-SEEP COLLARS:

GIVEN: DEPTH OF WATER AT CREST OF RISER, $y = 17 - 11 = 6'$

SLOPE OF BARREL = 1.1%

UPSTREAM EMBANKMENT SLOPE = 3:1

BARREL D.I.A. = 24"

⇒ $L_s = 43'$ (VESCH plate 3.14-11)

USING 2 COLLARS:

⇒ COLLAR SIZE = 4.25' x 4.25' (VESCH plate 3.14-12)

TEMPORARY SEDIMENT BASIN DESIGN DATA SHEET

(with or without an emergency spillway)

Project THE POINTE AT JAMESTOWN / WESTOVER 1-B

Basin # TEMPORARY SEDIMENT BASIN Location JAMES CITY COUNTY

Total area draining to basin: 13.6 acres.

Basin Volume Design

Wet Storage:

1. Minimum required volume = 67 cu. yds. x Total Drainage Area (acres).

67 cu. yds. x 13.6 acres = 911.2 cu. yds.

2. Available basin volume = 72.5 cu. yds. at elevation 14.3. (From storage - elevation curve) 72.0 20.3

3. Excavate 622 cu. yds. to obtain required volume*.

* Elevation corresponding to required volume = invert of the dewatering orifice.

4. Available volume before cleanout required.

33 cu. yds. x 13.6 acres = 448.8 cu. yds.

5. Elevation corresponding to cleanout level = 12.64. 18.64

(From Storage - Elevation Curve)

6. Distance from invert of the dewatering orifice to cleanout level = 1.66 ft. (Min. = 1.0 ft.)

Dry Storage:

7. Minimum required volume = 67 cu. yds. x Total Drainage Area (acres).

67 cu. yds. x 13.6 acres = 911.2 cu. yds.

1992

$$\frac{52217 \text{ ft}^3}{27 \text{ ft}^3/\text{yd}^3 \times 13.6 \text{ ac.}} = 142.2 \text{ yd}^3 \quad 3.14$$

8. Total available basin volume at crest of riser* = 142.2 cu. yds. at elevation 17.0. (From Storage - Elevation Curve) 158.6
23.0

* Minimum = 134 cu. yds./acre of total drainage area.

9. Diameter of dewatering orifice = 18" in. *too large need 6-12" down down*
10. Diameter of flexible tubing = 20" in. (diameter of dewatering orifice plus 2 inches).

Preliminary Design Elevations

11. Crest of Riser = 17.0 23.0
- Top of Dam = 19.0 25.0 (AFTER 10% COMPACTION)
- Design High Water = 18.3 24.0 100-YR
- Upstream Toe of Dam = 14.0 17.0

Basin Shape

12. $\frac{\text{Length of Flow}}{\text{Effective Width}} = \frac{L}{We} = \frac{70'}{130} \approx \frac{1}{2}$
- If > 2, baffles are not required X
- If < 2, baffles are required ✓

Runoff

13. $Q_2 = \underline{21}$ cfs (From Chapter 5) From TR-55 MODEL, POST-DEV.
14. $Q_{25} = \underline{55}$ cfs (From Chapter 5) From TR-55 MODEL, POST-DEV.

Principal Spillway Design

15. With emergency spillway, required spillway capacity $Q_p = Q_2 = \underline{21}$ cfs. (riser and barrel)
- Without emergency spillway, required spillway capacity $Q_p = Q_{25} = \underline{55}$ cfs. (riser and barrel)

16. With emergency spillway:

$$\text{Assumed available head (h)} = \underline{2} \text{ ft. (Using } Q_2) = 18.0 - 17.0$$

$$h = \text{Crest of Emergency Spillway Elevation} - \text{Crest of Riser Elevation}$$

Without emergency spillway:

$$\text{Assumed available head (h)} = \underline{N/A} \text{ ft. (Using } Q_{25})$$

$$h = \text{Design High Water Elevation} - \text{Crest of Riser Elevation}$$

17. Riser diameter (
- D_r
-) =
- 36
- in. Actual head (h) =
- 0.8
- ft. using
- $Q_p = 21 \text{ cfs}$
-
- (From Plate 3.14-8.)

Note: Avoid orifice flow conditions.

18. Barrel length (l) =
- 88 (98)
- ft.

$$\text{Head (H) on barrel through embankment} = \underline{7.10} \text{ ft.} = 18.0 - (10.0 + \frac{24}{24})$$

(From Plate 3.14-7).

19. Barrel diameter =
- 24
- in.

(From Plate 3.14-B [concrete pipe] or Plate 3.14-A [corrugated pipe]).

20. Trash rack and anti-vortex device

$$\text{Diameter} = \underline{54} \text{ inches.}$$

$$\text{Height} = \underline{17} \text{ inches.}$$

(From Table 3.14-D).

Emergency Spillway Design

21. Required spillway capacity
- $Q_e = Q_{25} - Q_p = \underline{34}$
- cfs.
- ^{55 cfs - 21 cfs}

22. Bottom width (b) =
- 8
- ft.; the slope of the exit channel (s) =
- 3.9
- ft./foot; and the minimum length of the exit channel (x) =
- 32
- ft.

(From Table 3.14-C).

SINCE IT IS NOT UNTIL GREATER THAN THE FIFTY YEAR STORM BEFORE THE EMERGENCY SPILLWAY WOULD BE USED, WE HAVE PROVIDED IT WITH THE ABOVE DIMENSIONS AS A SAFETY-GUARD, THOUGH IT TECHNICALLY IS NOT REQUIRED.

Anti-Seep Collar Design

23. Depth of water at principal spillway crest (Y) = 6 ft. 17.0-11.0
 Slope of upstream face of embankment (Z) = 3 :1.
 Slope of principal spillway barrel (S_b) = 1.14 % $\frac{11-10}{88'} \times 100$
 Length of barrel in saturated zone (L_s) = 43 ft.
24. Number of collars required = 2 dimensions = 4.25' x 4.25'
 (from Plate 3.14-12).

Final Design Elevations

25. Top of Dam = 19.25
 Design High Water = 18.3 (24) (100-YR)
 Emergency Spillway Crest = 18.0 (24)
 Principal Spillway Crest = 17.0 (23)
 Dewatering Orifice Invert = 14.3 (20.3)
 Cleanout Elevation = 12.64 (18.64)
- Elevation of Upstream Toe of Dam
 or Excavated Bottom of "Wet Storage
 Area" (if excavation was performed) = 11.0 (17.0)

PREDEVELOPMENT

WESTOVER 1B - PREDEV. TO CHANNEL

WESTOVER 1B - PREDEV. TO CHANNEL

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 2 YEAR
DRAINAGE AREA (ACRES) = 17.28
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = .1
HYDRAULIC LENGTH MODIFIED (%) = .5
COMPOSITE CURVE NUMBER = 75
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS
(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .425 HOURS
TIME OF CONCENTRATION ADJUSTED IS .709 HOURS ← T_c
THE PEAK DISCHARGE FROM THIS WATERSHED IS 13 C.F.S. ← Q

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	
.17	.054
.34	.187
.51	.562
.68	1.843
.851	5.582
1.021	9.984999
1.191	13.232
1.361	12.344
1.531	9.807999
1.701	6.626
1.871	3.59
2.041	1.149
2.212	.26
2.382	0

WESTOVER 1B - PREDEV. TO CHANNEL

WESTOVER 1B - PREDEV. TO CHANNEL

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 10 YEAR
DRAINAGE AREA (ACRES) = 17.28
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = .1
HYDRAULIC LENGTH MODIFIED (%) = .5
COMPOSITE CURVE NUMBER = 75
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS

(SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .425 HOURS
TIME OF CONCENTRATION ADJUSTED IS .709 HOURS ← T_c
THE PEAK DISCHARGE FROM THIS WATERSHED IS 26 C.F.S. ← Q

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	-
.17	.184
.34	.607
.51	1.669
.68	4.629
.851	12.132
1.021	20.488
1.191	26.094
1.361	23.823
1.531	18.661
1.701	12.425
1.871	6.573
2.041	2.038
2.212	.456
2.382	0

WESTOVER 1B - PREDEV. TO CHANNEL

WESTOVER 1B - PREDEV. TO CHANNEL

INPUT DESIGN DATA

DESIGN STORM FOR ANALYSIS = 25 YEAR
DRAINAGE AREA (ACRES) = 17.28
AVERAGE SLOPE OF DRAINAGE AREA (%) = 1
HYDRAULIC LENGTH (FT) = 1200
IMPERVIOUS SURFACE (%) = .1
HYDRAULIC LENGTH MODIFIED (%) = .5
COMPOSITE CURVE NUMBER = 75
SLOPE ADJUSTMENT FACTOR = 1
PONDING ADJUSTMENT FACTOR = 1

RESULTS OF HYDRAULIC CALCULATIONS (SCS TR-55 & TP-149 PROCEDURES)

WATERSHED LAG ADJUSTED (IMPER. AREAS & CHAN. IMPROV.) IS .425 HOURS
TIME OF CONCENTRATION ADJUSTED IS .709 HOURS
THE PEAK DISCHARGE FROM THIS WATERSHED IS 40 C.F.S.

THE FOLLOWING ARE TIME INCREMENTS AND ORDINATES OF THE
INFLOW HYDROGRAPH

(HOURS)	(C.F.S.)
0,0	
.17	.344
.34	1.117
.51	2.998
.68	7.875
.851	19.486

1.021	32.06
1.191	40.058
1.361	36.18
1.531	28.135
1.701	18.591
1.871	9.71
2.041	2.958
2.212	.659
2.382	0



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PROJECT WESTOVER 1B / THE POINTE AT JAMESTOWN
DATE 6-24-98 COMM NO. 1980100
CAL HLPg CKD _____ PAGE # 1 OF 1
TITLE RIPRAP APRON DESIGN

• DISCHARGE INTO TEMPORARY SEDIMENT BASIN:

PIPE SIZE = 24" = ϕ

$Q_{10} = 26.7$ cfs

ASSUME MIN. TAILWATER CONDITION

USING VESCH PLATE 3.18-3:

APRON LENGTH, $L_a = 17'$

WIDTH UPSTREAM = $3 \times \phi = 6'$

DOWNSTREAM = $\phi + L_a = 19'$

RIPRAP $d_{50} = 0.6' \approx$ CLASS AI

DEPTH = 18"

• DISCHARGE FROM TEMPORARY SEDIMENT BASIN:

PIPE SIZE, $\phi = 24"$

$Q_{10} = 12$ cfs

ASSUME MIN. TAILWATER CONDITION

USING VESCH PLATE 3.18-3:

APRON LENGTH, $L_a = 13'$

WIDTH UPSTREAM = $3 \times \phi = 6'$

DOWNSTREAM = $\phi + L_a = 15'$

RIPRAP $d_{50} = 0.5' \approx$ CLASS AI

DEPTH = 18"

• DISCHARGE INTO EXISTING DETENTION POND:

PIPE SIZE, $\phi = 15"$

$Q_{10} = 14.9$ cfs

ASSUME MIN. TAILWATER CONDITION:

APRON LENGTH, $L_a = 16'$

WIDTH UPSTREAM = $3 \times \phi = 3.75' \approx 4'$

DOWNSTREAM = $\phi + L_a = 17.25' \Rightarrow 17.5'$

RIPRAP $d_{50} = 0.6' \approx$ CLASS AI

DEPTH = 18"

- NOTE: RIPRAP APRON FOR THE DISCHARGE FROM THE EXISTING DETENTION POND WAS PREVIOUSLY DESIGNED AND SUBMITTED WITH WESTOVER 1A DEVELOPMENT PLANS AND STORMWATER MANAGEMENT CALCULATIONS.

Calculated By: DFL
 Checked By: HLPG
 N= 0.013
 Storm Frequency: 10-YEAR

Date: Rev. 8/2/1999

DJG, INC

P. O. BOX 3505
 WILLIAMSBURG, VIRGINIA 23187
 CULVERT DRAINAGE COMPUTATION SHEET

PROJECT NO. 1980102
 PROJECT DESC. WESTOVER 1C - CULVERT DESIGN
 (TO SED. BASIN)
 SHEET 1 OF 1 SHEETS

LOCATION			RUN-OFF										PIPE-CHANNEL DESIGN					HYDRAULIC GRADE LINE						
LINE	RUN	CULVERT ID	AREA-ACRES		RUN-OFF COEFF.	INCREMENTAL CA	TIME OF FLOW (MIN.)			INTENSITY	DISCHARGE/CFS	PIPE SIZE	CHANNEL SECTION	SLOPE FT/FT	CAPACITY FULL/C.F.S.	VELOCITY FULL/C.F.S.	DESIGN VELOCITY/F.P.S.	CONVEYANCE LENGTH/FT.	INVERT - UPSTREAM	INVERT - DOWNSTREAM	FRICTION SLOPE/FT.	VELOCITY FACTOR	V2/2G/FT.	
			INCREMENTAL	TOTAL			ACCUMULATED CA	TO INLET/UPPER RCH.	WITHIN REACH CONVEYANCE															TIME OF CONCENTRATION
1	1	#1	2.11	2.11	0.53	1.12	1.12	12	4.00	16.00	5.00	5.6	15		0.0081	5.60	4.72	5.39	36	24.15	23.66	0.00751	0.98	0.450
		#2	3.90	3.90	0.53	2.07	2.07	13	4.00	17.00	4.85	10.0	18		0.0100	10.50	5.94	6.72	36	19.98	19.60	0.00911	1.11	0.701
		#3	4.36	10.37	0.57	2.49	5.67	15	4.00	19.00	4.60	26.1	24		0.0159	28.51	9.07	9.44	148	19.35	17.00	0.01329	1.05	1.383



P.O. Box 3505
Williamsburg, Virginia 23187
(757) 253-0673
Fax (757) 253-2319

PROJECT THE POINTE @ JAMESTOWN
DATE 8/9/99 COMM NO. 198010Z
CAL DFL CKD _____ PAGE # _____
TITLE DITCH ADEQUACY

WORST CASES FOR CAPACITY AND VELOCITY FOR
PROPOSED DRAINAGE DITCHES:

- MAX. VELOCITY ADEQUACY: (AT STEEPEST SLOPE LOCATION)

$$V = \frac{1.49}{n} R_h^{2/3} S_o^{1/2}$$

WHERE: $n = 0.04$
 $R_h = \frac{A}{P} = \frac{2.0}{4.47} = 0.45$
 $S_o = 1.5\% (0.015 \frac{FT}{FT})$

$$V = \frac{1.49}{0.04} (0.45)^{2/3} (0.015)^{1/2}$$

$$V = 2.7 \text{ FPS} < 3 \text{ FPS} \therefore \underline{\text{ADEQUATE}} \checkmark$$

- MAX. CAPACITY ADEQUACY: (AT MOST GENTLE SLOPE LOCATION)

$$Q_{CAP} = 13 \text{ CFS} \quad \text{WHERE: } n = 0.04$$
$$S_o = 1\% (0.01 \text{ FT/FT})$$

$$\text{ALL FLOWS} < 13 \text{ CFS (SEE CALCS)} \therefore \underline{\text{ADEQUATE}} \checkmark$$



Committed to Excellence

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(757) 253-0673 • Fax (757) 253-2319 • E-Mail: djginc@visi.net
Norfolk - Virginia Beach Area (757) 874-5015

PROJECT WESTVIEW MEADOWS I-B

DATE 6/16/98 COMM NO. _____

CAL DFL CKD _____ PAGE # _____

TITLE MS-19/CHANNEL ADEQ. CALC.

- PRE-DEVELOPMENT DRAINAGE AREA TO CHANNEL = 17.28 AC.
- POST-DEVELOPMENT DRAINAGE AREA TO CHANNEL = 13.6 AC.
- PEAK RUNOFF AT ENTRANCE TO CHANNEL (2 YR): $Q = CiA$

PRE-DEVELOPMENT:

$C = 0.2$

$i = 2.76 \text{ in/hr}$

$A = 17.28 \text{ AC}$

$Q = CiA = 9.6 \text{ cfs}$

$T_c = 28.64$

$i = 2.76 \text{ in/hr}$

POST-DEVELOPMENT:

$C = 0.4$

$i = 3.83 \text{ in/hr}$

$A = 13.6 \text{ AC}$

$Q = CiA = 21.0 \text{ cfs}$

$C(\text{ASPHALT}) = .85 \times 20\% = .17$

$C(\text{GRASS}) = .40 \times 50\% = .20$

$C(\text{WOODS}) = .15 \times 30\% = .045$

0.4

$T_c = 15.48 \text{ min.}$

$i = 3.83 \text{ in/hr.}$

- CHANNEL LENGTH = 500'
- CHANNEL SLOPE = 2%

• ROUGHNESS COEFFICIENT "n":

$n_1 (\text{EARTH CHANNEL}) = 0.02$

$n_2 (\text{MOD. IRREGULARITY}) = 0.01$

$n_3 (\text{OCC. SHIFTING}) = 0.005$

$n_4 (\text{MINOR OBSTRUCTIONS}) = 0.01$

$n_5 (\text{MED. VEGETATION}) = 0.015$

SUM = 0.06

$n_6 (\text{MINOR MEANDERING}) = 0.00$

$n = \text{sum} \times n_6 + \text{sum} = \underline{\underline{0.06}}$

- TOP WIDTH = 40'
- DEPTH = 8" = .67'
- CROSS SECTIONAL AREA = $\frac{2}{3} Td = \frac{2}{3} (40') (.67') = 17.87 \text{ ft}^2$
- HYDRAULIC RADIUS = $\frac{A}{P} = \frac{Td}{1.5T^2 + 4d} = \frac{(40)^2 (.67)}{1.5(40)^2 + 4(.67)^2} = 0.45 \text{ ft}$
- PERMISSIBLE VELOCITY = $0.95 (2.5 \text{ ft/sec}) [\text{SNOW LOSS}] = 2.4 \text{ ft/sec}$
- POST. DEV. VELOCITY = $V = \frac{1.49}{n} R_h^{2/3} S_o^{1/2} = 2.06 \text{ ft/sec}$
- EXISTING CHANNEL CAPACITY = $Q = 70 \text{ cfs (from calc.)} \therefore \text{ADEQUATE}$

**JAMES CITY COUNTY
STORMWATER DETENTION BASIN DESIGN CHECKLIST**

I. STORMWATER MANAGEMENT COMPUTATIONS

A. HYDROLOGY - An SCS-based methodology is required for stormwater detention structures with watersheds exceeding 20 acres. Under 20 acres, other generally accepted methodologies such as the modified rational, critical storm are allowable. See Chapter 5, VESCH for more information.

- SEE CALCS. RCN determinations: predeveloped and ultimate development land use scenarios.
- SEE CALCS. Time of concentration: predeveloped and ultimate development indicating overland, shallow concentrated, and channel flow components.
- SEE CALCS. Hydrograph generation: predevelopment and ultimate development peak flows for 2-, 10-, and 100-year design storms.

B. RESERVOIR ROUTING

- SEE CALCS. Storage indication routing of ultimate development hydrographs for 2-, 10-, and 100-year design storms. Structure must discharge up to 10-year storm through principal spillway and pass the 100-year storm with 1 foot of freeboard through a combination of the principal and emergency spillways.
- ✓ Downstream hydrographs at established study points (if required).

C. HYDRAULIC COMPUTATIONS

- ✓ Elevation-Storage (curve)
- ✓ Weir/Orifice control - extended detention control.
- ✓ Weir/Orifice control - riser 2 year control.
- ✓ Weir/Orifice control - riser 10 year control.
- ✓ Inlet/Outlet (barrel) control - (all storms).
- ✓ Check for barrel control prior to riser orifice flow to prevent slug flow-water hammer conditions.
- ✓ Emergency spillway capacity.
- ✓ Elevation-Discharge (provide supporting calculations and/or design assumptions).

D. MISCELLANEOUS COMPUTATIONS

- N/A Water quality volume for permanent pool.
- N/A Water quality volume for extended detention with drawdown computations.

- SEE
CMCS. Anti-seep collar design.
- Filter diaphragm design (or alternative method of controlling seepage).
- Riser structure flotation analysis (factor of safety = 1.2 min.).
- Danger reach study (if required).
- 100 year floodplain impacts (if required).

II. SOILS INVESTIGATION

- Geotechnical report.
- Minimum boring locations: borrow area; pool area; principal spillway; top of dam near one abutment or emergency spillway if provided.
- Boring logs with Unified Soil Classification, and soil description, with depth to bedrock, seasonal water table.

III. STORMWATER MANAGEMENT PLAN

A. PLAN VIEW 1"=50' or less (40', 30', etc.)

1. GENERAL TERMS

- ✓ North arrow.
- ✓ Sealed by P.E.
- ✓ Existing and proposed contours (1' or 2' interval).
- ✓ Existing and proposed improvements.
- ✓ SEE C7, Delineation of permanent/extended detention, 2, 10, and 100-year pools.
- Locations of test borings.
- ✓ SEE C3, C4, SC7 Outflow pipe, outlet protection (detail required), and outfall channel.
- ✓ SEE C7 Emergency spillway level section and outlet channel.
- ✓ SEE C1 & C2 Existing and proposed utility location/protection.

B. MAINTENANCE ITEMS

- ✓ Person or organization responsible for maintenance.
- CLIENT Inspection and maintenance agreement.
- ✓ Maintenance access from public right-of-way or publicly traveled road.
- N/A Maintenance easement, minimum 15 feet around 100-year pool elevation.
- N/A Forebay (if proposed).
- ✓ Temporary erosion and sediment control measures for pond construction.
- T.B.D. Fence, or minimum 6' wide safety shelf for public safety.
- ✓ Provisions for use as a temporary sediment basin with cleanout schedule and instructions for conversion to permanent facility.

C. PRINCIPAL SPILLWAY PROFILE AND ASSOCIATED DETAILS

1. EXISTING GROUND AND PROPOSED GRADE

- SEE C7 Dam side slopes labeled.
- SEE C7 Top width labeled (per VESCH).
- Removal of unsuitable material under proposed dam (per geotechnical report).

2. CORE TRENCH

- Materials (per construction specifications)
- Bottom width (4' minimum or greater as dictated by geotechnical report)
- Side slopes (1:1 maximum steepness)
- Depth (4' minimum or greater as dictated by the geotechnical report)

3. RISER OR SIMILAR STRUCTURE (DETAIL REQUIRED)

- Materials (as required)
- All structure dimensions
- Control orifice dimensions
- Trash rack - removable - for each release (detail as required for construction)
- Anti-vortex device (detail as required for construction)
- Proper structure footing
- Maintenance access

4. BARREL

- Materials (ASTM C-361 or as required)
- Support for concrete barrels-concrete cradles, etc. (detail required)
- Gauge and corrugation size for metal barrels

5. SEEPAGE CONTROL

- Phreatic line (4:1 slope measured from the intersection of the dam and the principal spillway design high water.

a. ANTI-SEEP COLLAR

- Anti-seep collar (detail required)
- Size - 15% increase in length of saturation using outside pipe diameter

Spacing and location on barrel (located at least 2' from a pipe joint)

b. FILTER DIAPHRAGM

Design based on latest SCS methods and certified by a professional geotechnical engineer

6. OUTFALL PROTECTION

- Size for maximum barrel release (but not greater than 10 year storm)
- Cross-section at end of barrel in accordance with receiving channel section
- Endsection with footer
- Outfall dimensions
- Slope - 0%
- Rip-rap size, VDOT Classification
- Thickness (1.5 Times Maximum Stone Diameter)
- Approved filter fabric (nonwoven)

7. ELEVATIONS

- C7 Top of dam - construction height and settled height (10% settlement)
- C7 Crest of emergency spillway
- C7 Crest of riser structure
- C7 Inverts of control release orifice/weirs
- POOLS: permanent; extended detention; 2-year; 10-year; 100-year; and appropriate safety storms
- Appropriate freeboard per SCS National Engineering Handbook, provide minimum one foot of free board above the 100-year design highwater.
- SEE C3+C4, C7, C5, Inlet and outlet inverts of pipes (with slopes in %)

D. CROSS SECTION THROUGH DAM ALONG CENTERLINE

- Existing ground
- Proposed grade
- Top of dam - constructed and settled
- Location of emergency spillway with side slopes labeled (emergency spillway in cut)
- Bottom of core trench (4' minimum)
- Location of each soil boring
- Barrel location
- Existing and proposed utility location/protection



ENGINEERING CONSULTING SERVICES, LTD.
 Geotechnical • Construction Materials • Environmental

October 2, 2002

Mr. Henry Stephens
 Associated Developers, Inc.
 P.O. Drawer 18, Parkview Station
 Newport News, Virginia 23605



ECS Project No. 07:5884

Reference: BMP Dam Evaluation
 Jamestown at the Pointe – Phase I
 James City County, Virginia

Dear Mr. Stephens,

Engineering Consulting Services (ECS), Ltd. was requested to observe and evaluate the condition of the existing stormwater management pond dam constructed as a BMP facility for Phase I of the Jamestown at the Pointe subdivision. Our records indicate the dam was constructed around November 1999. Personnel with ECS, Ltd. provided limited earthwork observation and testing during the construction of the dam embankment.

Our site visits and the compaction testing of the embankment fill were provided on an on-call basis during construction. Please note that we were not requested to provide full-time construction monitoring services for this project. Our density tests indicated compaction of the fill material to at least 95 percent of the Standard Proctor maximum dry density per ASTM D698 at the elevations tested.

We understand the county is requiring a construction certification of the dam. Considering the limited testing that was performed on the dam during construction, we recommended soil test borings be performed through the dam to evaluate the general consistency of the embankment soils.

Field Exploration Procedures:

The soil test borings were performed with an ATV-mounted auger drill rig utilizing continuous flight, hollow stem augers to advance the borehole. Drilling fluid was not used in this process. The two test borings were performed near the ends of the dam embankment.

Representative soil samples were obtained by means of the split-barrel sampling procedure in accordance with ASTM Specification D-1586. In this procedure, a 2-inch outside diameter split-barrel sampler is driven into the soil a distance of 24 inches by a 140-pound hammer falling 30

108 Ingram Road, Unit 1, Williamsburg, Virginia 23188 • (757) 229-6677 • Fax (757) 229-9978

Offices: Richmond, VA • Chesapeake, VA • Washington, D.C. • Williamsburg, VA • Roanoke, VA • Fredericksburg, VA • Danville, VA • Winchester, VA
 Aberdeen, MD • Baltimore, MD • Frederick, MD • Research Triangle Park, NC • Wilmington, NC • Charlotte, NC • Greensboro, NC • Greenville, SC • Atlanta, GA

*BMP Dam Evaluation
Jamestown at the Pointe - Phase I
James City County, Virginia
ECS Project No. 07:5884
Page 2*

inches. After a 6-inch seating interval, the number of blows required to drive the sampler through the next 12-inch interval is termed the Standard Penetration Test (SPT) value and is indicated for each sample on the boring log. This value can be used as a qualitative indication of the in-place relative density and relative consistency of cohesionless soils and cohesive soils, respectively. This indication is qualitative, since many factors can significantly affect the standard penetration resistance value and prevent a direct correlation between drill crews, drill rigs, drilling procedures, and hammer-rod-sampler assemblies.

Field logs of the soils encountered in the borings were maintained by the drill crew. After recovery, each sample was removed from the sampler and visually classified. Representative portions of each sample were sealed in glass jars and delivered to our laboratory in Williamsburg, Virginia, for further visual examination and laboratory testing.

Subsurface Conditions:

Experienced personnel from our office classified each splitspoon soil sample on the basis of texture and plasticity in accordance with the Unified Soil Classification System (USCS). The group symbols for each soil type are indicated in parentheses following the soil descriptions on the boring logs. A soil sample was subjected to classification testing consisting of natural moisture content, gradation (#200 wash procedure), and Atterberg Limits analysis to ascertain relevant engineering properties for use in our embankment evaluation. The geotechnical engineer grouped the various soil types into the major zones noted on the boring logs. The stratification lines designating the interfaces between earth materials on the boring logs are approximate; in situ, the transitions may be gradual. A brief explanation of the USCS and Reference Notes for Boring Logs are provided in Enclosure 3 of this report.

Engineering personnel from our office visited the site on September 24, 2002 to observe the present condition of the dam embankment. The general condition of the dam appeared to be good, as the side slopes were smoothly graded and we observed good vegetative growth on both the upstream and downstream side slopes. No significant erosion channels or other signs of surficial slope instability were noted. We also observed shallow water in the bottom of the pond area at the time of our observations.

Our subsurface exploration determined that the surface of the site is generally covered with about 2 inches of topsoil. Underlying the surficial topsoil, we encountered medium stiff consistency Sandy Clay FILL (CL/FILL) that extended to the depths explored at 25 feet below the crest of the embankment. The Standard Penetration Test (SPT) N-values recorded within the embankment fill ranged from 6 to 12 blows-per-foot (BPF). A gradation analysis of a sample of the embankment soil indicated the sample had 67.5 percent fines passing the No. 200 sieve.

*BMP Dam Evaluation
Jamestown at the Pointe – Phase I
James City County, Virginia
ECS Project No. 07:5884
Page 3*

Underlying the fill soils, we encountered medium stiff consistency Sandy CLAY (CL) that extended to the depths explored at 25 feet below site grades (boring termination). The Standard Penetration Test (SPT) result or N-values recorded within this fine-grained stratum were 10 to 13 BPF. We did not encounter the groundwater during the drilling of the borings.

Conclusions and Recommendations

Construction of the BMP facility was completed around November 1999. ECS, Ltd. performed limited observation and testing during the construction of the dam embankment for this facility. We understand that little or no maintenance and repairs have been required since its completion and that the BMP facility has been acting as a wet pond since its completion.

Based on our initial (but limited) test data, our recent subsurface exploration and site observations, and also considering that the dam has remained in generally good condition since its construction, it is our professional opinion that the BMP embankment appears to have been constructed in accordance with acceptable construction practices.

*BMP Dam Evaluation
Jamestown at the Pointe – Phase I
James City County, Virginia
ECS Project No. 07:5884
Page 4*

General Comments

This report has been prepared in order to aid in the evaluation of this stormwater management facility. The report scope is limited to the specific project and location described, and the project description represents our understanding of the significant aspects relevant to the embankment characteristics.

We appreciate being of continued service to you on this project. If you should have any questions regarding the information and recommendations contained in this report or if we can be of any further assistance, please contact our office.

Respectfully,

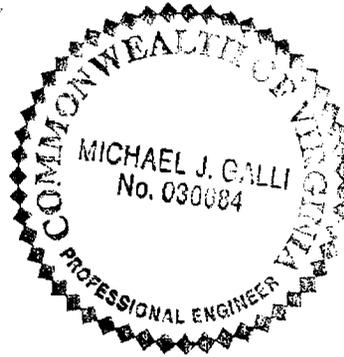
ENGINEERING CONSULTING SERVICES, LTD.

Michael J. Galli

Michael J. Galli, P.E.
Geotechnical Engineer

Maurice E. Mallory, Jr.

Gary R. Witsman, P.E.
Principal Engineer



- Enclosures:
- Soil Test Boring Logs
 - Section 4 – Construction Certification
 - Unified Soil Classification System and Reference Notes For Boring Logs

Copies: (2) Associated Developers, Inc. (Mr. Henry Stephens)

MJG/let/5884ltr.doc

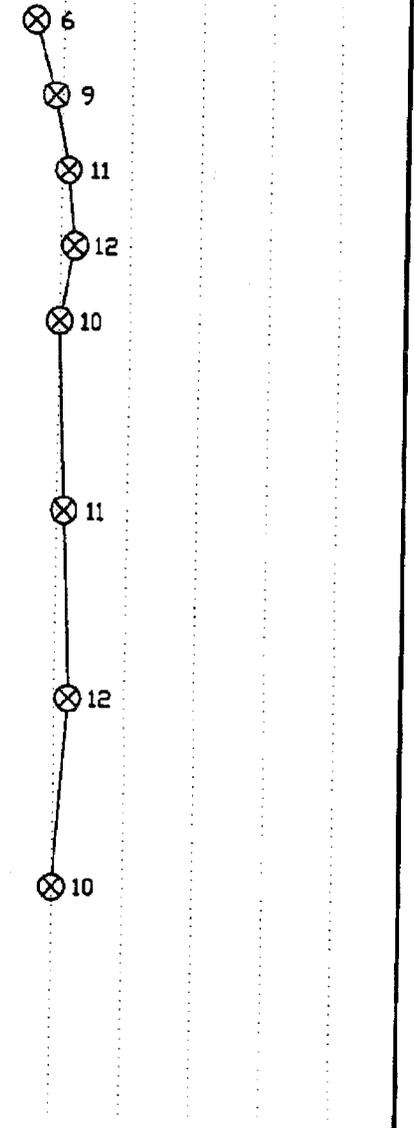


CLIENT ASSOCIATED DEVELOPERS, INC.	JOB # 07:5884	BORING # B-1	SHEET 1 OF 1
PROJECT NAME JAMESTOWN AT THE POINT - DAM EVALUATION	ARCHITECT-ENGINEER		

SITE LOCATION
SIR GILBERT LOOP, JAMES CITY COUNTY, VIRGINIA

DEPTH (FT)	SAMPLE NO.	SAMPLE TYPE	SAMPLE DISTANCE (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	
					ENGLISH UNITS	SURFACE ELEVATION
0					TOPSOIL DEPTH 2"	
1	1	SS	24	24	Fine Sandy CLAY, Trace Fine Gravel, Reddish Brown, Moist, Medium Stiff, (CL) FILL	
2	2	SS	24	24		
3	3	SS	24	24		
4	4	SS	24	24		
5	5	SS	24	24		
6	6	SS	24	24	Fine Sandy CLAY, Reddish Brown, Moist, Medium Stiff, (CL)	
7	7	SS	24	24		
8	8	SS	24	24		
END OF BORING @ 25.0'						

CALIBRATED PENETROMETER TONS/FT.²				
1	2	3	4	5+
PLASTIC LIMIT % X	WATER CONTENT %			LIQUID LIMIT % Δ
10	20	30	40	50+
STANDARD PENETRATION BLOWS/FT.				
10	20	30	40	50+



THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES IN-SITU THE TRANSITION MAY BE GRADUAL

∇WL DRY	WS OR (U)	BORING STARTED	9-24-02	
∇WL(AB)	∇WL(AC)	BORING COMPLETED	9-24-02	CAVE IN DEPTH @ 20.5'
∇WL		RIG ATV	FOREMAN JUSTIN	DRILLING METHOD HSA



CLIENT

ASSOCIATED DEVELOPERS, INC.

JOB #

07:5884

BORING #

B-2

SHEET

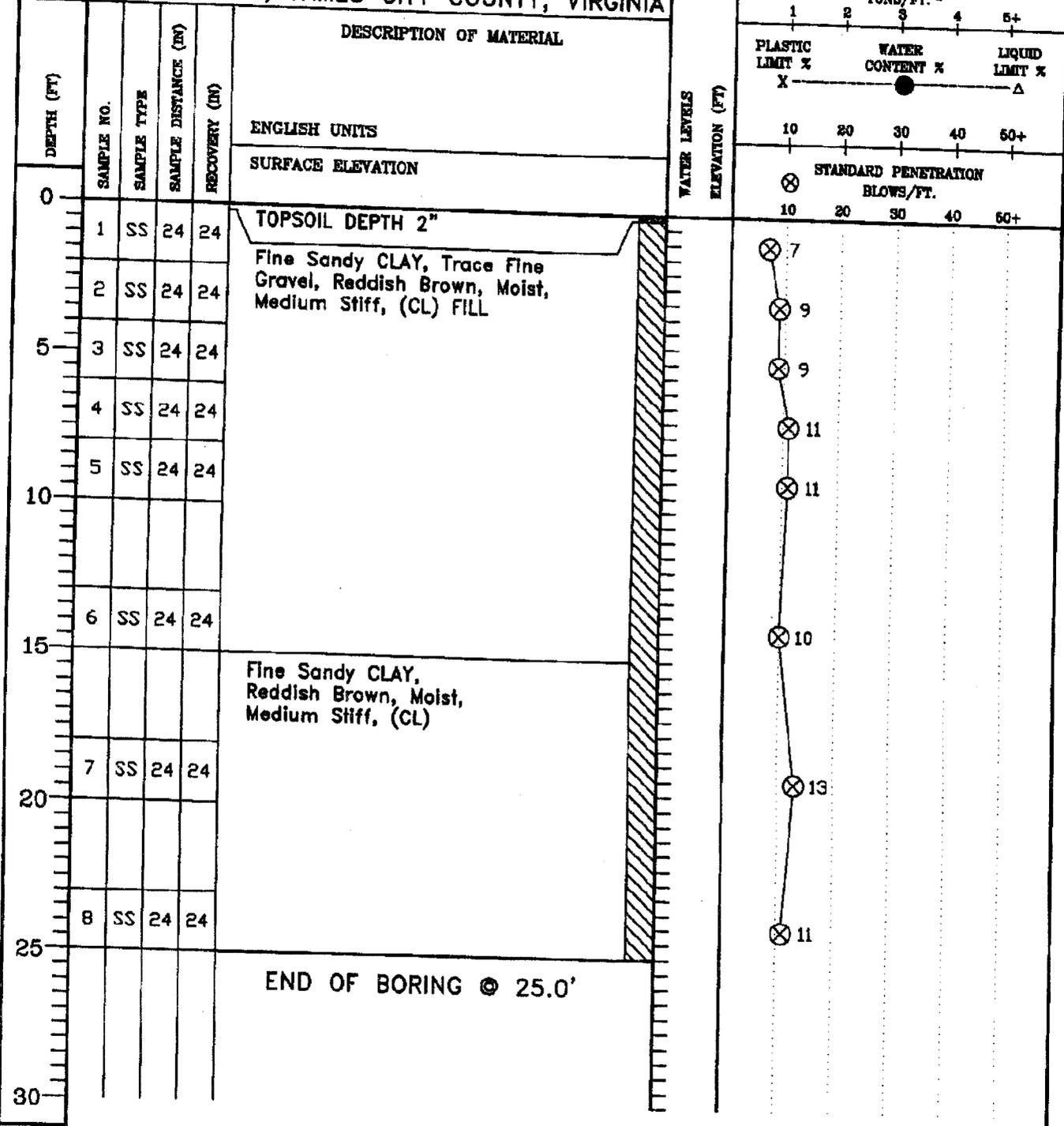
1 OF 1

PROJECT NAME JAMESTOWN AT THE POINT- DAM EVALUATION

ARCHITECT-ENGINEER

SITE LOCATION

SIR GILBERT LOOP, JAMES CITY COUNTY, VIRGINIA



THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES IN-SITU THE TRANSITION MAY BE GRADUAL

∇WL DRY	WS OR (D)	BORING STARTED	9-24-02	
∇WL(AB)	∇WL(AC)	BORING COMPLETED	9-24-02	CAVE IN DEPTH @ 19.5'
∇WL		RIG ATV	FOREMAN JUSTIN	DRILLING METHOD HSA

Section 4 - Professional Certifications:

Certifying Professionals: (Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

Record Drawing Certification

Firm Name: _____
Mailing Address: _____
Business Phone: _____
Fax: _____
Name: _____
Title: _____
Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

Construction Certification

Firm Name: ECS, Ltd
Mailing Address: 108 Ingram Rd, Unit 1
Williamsburg, VA 23188
Business Phone: 229-6677
Fax: 229-9978
Name: Michael J. Galli, P.E.
Title: Branch Manager
Signature: Michael J. Galli
Date: 10/2/02

I hereby certify to the best of my knowledge and belief that this Stormwater Management/BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

*Please referena letter dated
October 2, 2002 for BMP Dam
evaluation.*



(Seal)
Virginia Registered Professional Engineer
or Certified Land Surveyor

(Seal)
Virginia Registered
Professional Engineer



associated developers incorporated
land development, management, planning, & investment

FAX

Date: 10/7/02

To: Scott Thomas
Company: James City County
Environmental Division
Fax #: 757-259-4032

From: Henry Stephens
Company: Associated Developers, Inc.
Fax #: 757-838-6337
Office #: 757-838-2739



PC 176
S-34-00
CONST CERT.

Message re The Pointe at Jamestown Phase 1C:

Please find following the dam certification for Phase 1C at The Pointe at Jamestown.

This fax should be 8 pages including this cover sheet. If you did not receive this entire transmission please call Lynn at 757-838-2739.

Thanks.

APPROVED
James City County
Environmental Division
By: *[Signature]*
Date: 10-8-02

5300 Mercury Blvd., Drawer 18, Parkview Station, Newport News, Virginia 23605
Phone (757) 838-2739 Fax (757) 838-6337



ENGINEERING
CONSULTING
SERVICES, LTD.
108 Ingram Road, Unit 1
Williamsburg, Virginia 23188
(757) 229-6677
FAX (757) 229-9978

FIELD REPORT

Project No. R4089

Permit No. _____

Project James town at the Point Day/Date 24 NOV

Location Dam Weather/Temp 60° cloudy

Contractor _____ Client _____

Soils _____ Arrive Job 2:30 Depart Job 3:00

Concrete _____ Total Hours on Job .50

Reinf. Steel _____ Laboratory Time .50

Special Services _____ Travel Time .25

TOTAL CHARGEABLE HOURS 1.25

Mileage 6 Expenses \$ _____

Summary of Services Performed. Field Test Data, Locations, Elevations and Depths are Estimated.

The undersigned arrived on site as requested to observe the placement and compaction of the engineered fill for dam.

The Nuclear Method (ASTM D-2922) was used to test the compaction of the soils on this date. Test results indicated that the compacted material at the areas tested met or exceeded project specifications of 95% of the maximum dry density as obtained in our laboratory by using the Standard Proctor Method (ASTM D-658).

Soils observed on this date appeared to be placed in accordance with project specifications with regard to lift thickness.

Deficiency Needing Correction Deficiency Corrected (INDICATE NORTH ON ALL SKETCHES)

Copy Received By: Ezral Bagby Jr
Site Representative

By [Signature]
ENGINEERING CONSULTING SERVICES, LTD.

Title/Company _____

FIELD DENSITY TEST - NUCLEAR METHOD ASTM D - 2922

PROJECT: James town at the Point

JOB NO.: R4089

SUBJECT: NUCLEAR FIELD DENSITY TESTS

DATE: 24 Nov

STANDARD COUNTY DENSITY _____

STANDARD COUNT MOISTURE _____

CONTRACTOR: _____

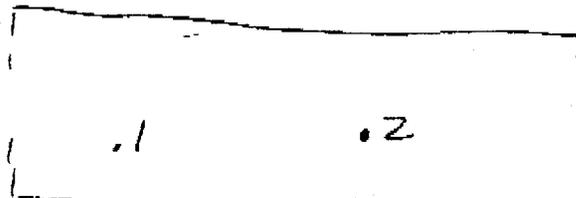
CLIENT: _____

TECH: Joe

TEST NO.	1	2					
MOISTURE CONTENT (PCF)	21.9	21.8					
WET DENSITY (PCF)	132.8	129.1					
DRY DENSITY (PCF)	116.8	107.8					
MOISTURE CONTENT (%)	19.7	20.3					
STANDARD PROCTOR MODIFIED PROCTOR	113.0	113.0					
OPT. WATER CONTENT	14.6	14.6					
LIFT, ELEVATION OR SOIL MARK	1 elev.	20					
PROBE DEPTH (INCH)	8"	8"					
PERCENT COMPACTION	98.0	95.0					
REQUIRED COMPACTION	95%	95%					
* AR (TEST NO.)							

* AR = Area Rerolled-Retest

Location Diagram/Remarks:



↑
N

Section 4 - Professional Certifications:

Certifying Professionals: (Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

Record Drawing Certification

Firm Name: _____
Mailing Address: _____
Business Phone: _____
Fax: _____
Name: _____
Title: _____
Signature: _____
Date: _____

Construction Certification

Firm Name: ECS, Ltd
Mailing Address: 108 Ingram Rd, Unit 1
Williamsburg, VA 23188
Business Phone: 229-6677
Fax: 229-9978
Name: Michael J. Galli, P.E.
Title: Branch Manager
Signature: Michael J. Galli
Date: 10/2/02

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

I hereby certify to the best of my knowledge and belief that this Stormwater Management/BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

Please referena letter dated October 2, 2002 for BMP Dam evaluation.



(Seal)
Virginia Registered Professional Engineer
or Certified Land Surveyor

(Seal)
Virginia Registered
Professional Engineer

DJG, INC.
P.O. Box 3505
449 McLaws Circle
WILLIAMSBURG, VIRGINIA 23187

LETTER OF TRANSMITTAL

(757) 253-0673 or 874-5015
FAX (757) 253-2319

DATE 8-8-02	JOB NO. 1980103
ATTENTION JOE BUCHITE	
RE: THE POINTE AT JAMESTOWN, PHASE 1-C POND	

TO _____
HAND DELIVERED



WE ARE SENDING YOU Attached Under separate cover via _____ the following:

Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order RECORD DRAWING

COPIES	DATE	NO.	DESCRIPTION
1	8-8-02	3	STORMWATER MANAGEMENT/BMP FACILITIES STANDARD FORMS, SEC. 1-3
1	8-8-02	1	RESPONSES TO COMMENTS
1	7-24-02	1	FIELD REPORT
1	7-24-02	1	FIELD DENSITY TEST - NUCLEAR METHOD
1	8-8-02	1	RECORD DRAWING - POINTE @ JAMESTOWN, PHASE 1-C / POND

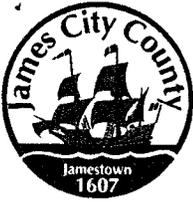
THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____
IF YOU HAVE ANY QUESTIONS OR COMMENTS, PLEASE
GIVE US A CALL. THANK YOU.

LAUREN N.

COPY TO _____
SIGNED:
PC148_POINTE_AT_JAMESTOWN_PHASE1-C-002s are not as noted, kindly notify us at once.



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

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(757) 253-6626
codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 253-2620

July 17, 2002

Mr. Henry H. Stephens, President
Associated Developers Incorporated
5300 Mercury Boulevard, Drawer 18
Newport News, Va. 23605

Re: The Pointe at Jamestown, Phase 1-C
County Plan No. S-65-99
Stormwater Management Facility
County BMP ID Code: PC 148

Dear Mr. Stephens:

The Environmental Division has reviewed a record drawing as submitted to our office on July 3rd 2002 for the above referenced project. The record drawing provides as-built information for a wet pond stormwater management facility situated in the northeast corner of the site behind Lots 88 and 89 along Sir Gilbert Loop.

Based on our review of the project and a concurrent field inspection as performed on July 17th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site:

Construction Certification:

1. Note # 19 on Sheet C-7 and Note # 2 on Sheet C-4 of the approved plan required construction certification for the stormwater management/BMP facility. None was provided. This is especially important since the facility has an engineered and compacted earthen embankment. The certification can be in letter format or by use of the certification statements in Section 4 of the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions*.

Record Drawing:

2. Along with the record drawing set, submit completed record drawing and construction certification forms, Sections 1 through 3, from the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions* (packet). The Environmental Division began use of the forms and checklists in this packet effective February 1st 2001.
3. Show the following additional information on the record drawing: label Sir Gilbert Loop roadway; show the 20 ft. easement to the BMP between Lots 88 and 89; label the size of the low flow orifice at El. 20.42; and label the principal spillway riser pipe size and material type.
4. If possible show the address for Lot 88 and Lot 89 as 4671 and 4667 Sir Gilbert Loop, respectively and add the following County identifiers to the lower right hand corner of the record drawing or the title block: County Plan Number S-65-99 and BMP ID Code: PC 148.

Construction - Related Items:

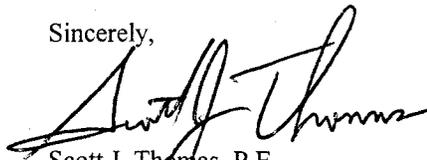
5. Most of the entire top of dam and the upstream embankment face consists of bare soil conditions. Stabilize with seed and mulch to obtain a healthy stand of grass. Due to the sandy nature of the soils, topsoiling may be necessary to achieve adequate stabilization.
6. An approximate 25 ft. long portion of the emergency spillway crest section was in a bare and disturbed condition. Stabilize with seed and mulch or matting.
7. Clean and remove all construction trash, litter and debris from the northeast corner of the pond. This is the corner of the pond closest to where the riser is situated.
8. The outlet end of the 24-inch corrugated metal pipe barrel through the dam and its associated end section was crushed to a point where less than six inches of opening area was present. As considerable structural damage has occurred to the end of the pipe and a restricted outfall opening size as such could result in restricted flow through the dam, clogging and higher water surface elevations, the end section and the last pipe segment of the 24-inch barrel requires replacement.
9. Clear and remove all vegetation, brush and trees from within 10 feet of the outlet end of the pipe barrel through the dam and within the entire riprap outlet protection (stilling basin). Flow from the pipe barrel through the dam to the downstream natural channel shall not be obstructed by vegetation.
10. To prevent unauthorized access, a padlock should be added to the hatch which provides access to the principal riser structure. Should a lock be added, provide an extra set of keys or combination for the lock to the Environmental Division office.

As a note, during our field inspection a large beehive was present within the interior portion of the principal spillway (riser) structure. It is advised to use caution when performing work in or around the riser structure and take action as appropriate to remove this nuisance condition, which could affect future maintenance and inspection activities for the BMP.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed.

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Joe Buchite, at 757-253-6643 if you have any further comments or questions.

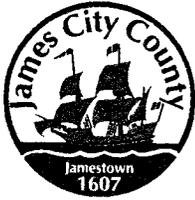
Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: DJG, Inc. (Phillip Goering) - via fax
C. Lewis Waltrip (Danny Johnson) - via fax
Environmental Division Inspector

G:\SWMProg\AsBUILTS\S6599.pc148



DEVELOPMENT MANAGEMENT

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(757) 253-2620

July 17, 2002

Mr. Henry H. Stephens, President
Associated Developers Incorporated
5300 Mercury Boulevard, Drawer 18
Newport News, Va. 23605

Re: The Pointe at Jamestown, Phase 1-C
County Plan No. S-65-99
Stormwater Management Facility
County BMP ID Code: PC 148

Dear Mr. Stephens:

The Environmental Division has reviewed a record drawing as submitted to our office on July 3rd 2002 for the above referenced project. The record drawing provides as-built information for a wet pond stormwater management facility situated in the northeast corner of the site behind Lots 88 and 89 along Sir Gilbert Loop.

Based on our review of the project and a concurrent field inspection as performed on July 17th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site:

Construction Certification:

- Note # 19 on Sheet C-7 and Note # 2 on Sheet C-4 of the approved plan required construction certification for the stormwater management/BMP facility. None was provided. This is especially important since the facility has an engineered and compacted earthen embankment. The certification can be in letter format or by use of the certification statements in Section 4 of the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions*.

8.8-02 ONE FIELD LOG NOV-24 & COMPACTION TEST REPORT SUBMITTED. DOESN'T SERVE AS CC.

Record Drawing:

- OK 8-7-02 ✓ 2. Along with the record drawing set, submit completed record drawing and construction certification forms, Sections 1 through 3, from the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions* (packet). The Environmental Division began use of the forms and checklists in this packet effective February 1st 2001.
- OK 8-7-02 ✓ 3. Show the following additional information on the record drawing: label Sir Gilbert Loop roadway; show the 20 ft. easement to the BMP between Lots 88 and 89; label the size of the low flow orifice at El. 20.42; and label the principal spillway riser pipe size and material type.
- OK 8-7-02 ✓ 4. If possible show the address for Lot 88 and Lot 89 as 4671 and 4667 Sir Gilbert Loop, respectively and add the following County identifiers to the lower right hand corner of the record drawing or the title block: County Plan Number S-65-99 and BMP ID Code: PC 148.

NEW DRAINAGE COMPLAINT ISSUE. STANDING WATER @ 24" CPP INLET (INV 19.11) BETWEEN LOT 88 (4671 SIR GILBERT) + LOT 89 (4667 SIR GILBERT).

Construction - Related Items:

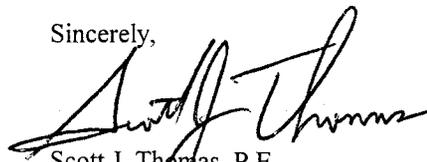
5. Most of the entire top of dam and the upstream embankment face consists of bare soil conditions. Stabilize with seed and mulch to obtain a healthy stand of grass. Due to the sandy nature of the soils, topsoiling may be necessary to achieve adequate stabilization.
6. An approximate 25 ft. long portion of the emergency spillway crest section was in a bare and disturbed condition. Stabilize with seed and mulch or matting.
7. Clean and remove all construction trash, litter and debris from the northeast corner of the pond. This is the corner of the pond closest to where the riser is situated.
8. The outlet end of the 24-inch corrugated metal pipe barrel through the dam and its associated end section was crushed to a point where less than six inches of opening area was present. As considerable structural damage has occurred to the end of the pipe and a restricted outfall opening size as such could result in restricted flow through the dam, clogging and higher water surface elevations, the end section and the last pipe segment of the 24-inch barrel requires replacement.
9. Clear and remove all vegetation, brush and trees from within 10 feet of the outlet end of the pipe barrel through the dam and within the entire riprap outlet protection (stilling basin). Flow from the pipe barrel through the dam to the downstream natural channel shall not be obstructed by vegetation.
10. To prevent unauthorized access, a padlock should be added to the hatch which provides access to the principal riser structure. Should a lock be added, provide an extra set of keys or combination for the lock to the Environmental Division office.

As a note, during our field inspection a large beehive was present within the interior portion of the principal spillway (riser) structure. It is advised to use caution when performing work in or around the riser structure and take action as appropriate to remove this nuisance condition, which could affect future maintenance and inspection activities for the BMP.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed.

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Joe Buchite, at 757-253-6643 if you have any further comments or questions.

Sincerely,

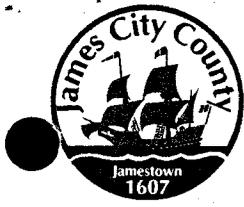


Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: DJG, Inc. (Phillip Goering) - via fax
C. Lewis Waltrip (Danny Johnson) - via fax
Environmental Division Inspector

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SJT FILE



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
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planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 253-2620

July 11, 2002

Mr. Brad Coutu
Environmental Manager
Greystone of Virginia, Inc.
7992 Richmond Road
Toano, Va. 23168

Re: Greystone of Virginia, Inc.
County Plan No. SP-18-92
Stormwater Management Facility
County BMP ID Code: WC 029

Dear Mr. Coutu:

In response to a recent request concerning release of surety and closing out the above referenced project, the Environmental Division has reviewed active and record file information for the stormwater management facility for the above referenced project.

Based on our review of the project and a concurrent field inspection as performed on May 14th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site:

Record Drawings:

1. Environmental Division comment # 3 dated March 20th 1992 for review of the plan under County case No. SP-18-92 required as-built drawings to be provided for the detention basin upon completion. None were received.
2. Along with the record drawing set, submit completed record drawing and construction certification forms, Sections 1 through 5, and applicable record drawing checklists from the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions* (packet). The Environmental Division began use of the forms and checklists in this packet effective February 1st 2001. A copy of this form packet is attached.

Construction - Related Items:

3. Clear remaining trees and woody vegetation from along the remaining portion of the dam embankment. Usually trees, shrubs and woody vegetation are not permitted to grow on any part of pond embankments constructed using engineered (compacted) fills. Saturated roots mats combined with high wind can cause trees to overtop and accelerate soil erosion and embankment failure. For older facilities which may have established tree growth, we recommend that trees be cut flush to or below ground level and be maintained in that fashion as to not disturb root systems that may already be extensive. Efforts should then be made to reduce trees from establishing again and to replace tree growth with an acceptable low-maintenance grass covering.

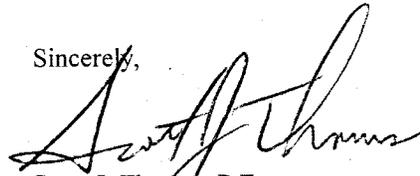
4. Clear and remove sediment within 10 feet of the principal flow control (riser) structure and clean all weirs and orifices. The riser for the BMP is a 24-inch vertical corrugated metal standpipe situated in along the south end of the dam. Flow into the riser shall not be obstructed by vegetation.
5. Clean rust from the interior and exterior surface of the riser structure and it's anti-vortex/trash rack cap. Reapply paint or coating to provide long-term protection from corrosion.
6. Clean and remove vegetation and sediment accumulations within 10 feet of the outfall end of the two primary inflows into the basin. The inflows are a paved/riprap flume at the southwest corner and a 15-inch storm drain pipe along the north side of the basin. Sediment accumulations were 1-2 ft. deep at the outfall ends of the flume and pipe and thick vegetation was starting to grow. Flow into the facility shall not be obstructed by sediment and vegetation.
7. Open and exercise the sluice gate at the end of the pipe barrel through the dam. Clean all accumulated trash and debris at the outfall end of the 12-inch pipe (at the sluice gate) and lubricate the sluice gate mechanism in accordance with manufacturer's recommendations.
8. Add rock or riprap at the outfall end of the 12-inch pipe barrel through the dam (at the sluice gate) to provide for erosion protection at the pond outfall where flow is discharged into the natural channel.
9. Stabilize bare soil areas on interior pond slopes with seed and mulch or matting.
10. Clear and remove all dead wood debris (logs) and brush piles from the surface of the dam embankment.

Also, in my phone conversation with you on July 8th, we discussed the topic of storm water sample monitoring and reporting requirements to the County. I previously interpreted that the purpose of monitoring was to fulfill the requirements of a Virginia Discharge Pollutant Elimination System (VPDES) stormwater permit for the site and the County was being forwarded results of the analyses as a courtesy. However in reviewing active file information, it appears that the County required copies of the water sample analyses to be forwarded to us to meet the requirements of your "Draft Groundwater Monitoring Plan" as prepared under Special Use Permit No. SUP-43-91. Therefore, please continue to forward copies of these sampling reports to our office as you have done in the past. You can forward copies of the reports to the above address in care of either Darryl Cook, Environmental Director or myself.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed.

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Jim Rudnicki, at 757-259-4026 if you have any further comments or questions.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: Jim Rudnicki, JCC Environmental Division Inspector

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The Pointe at Jamestown, Phase 1-C
DJG Responses to the Environmental Division of James City County's Comments
Record Drawing

Comment 1: Note #19 on Sheet C-7 and Note #2 on Sheet C-4 of the approved plan required construction certification for the stormwater management/BMP facility. None was provided. This is especially important since the facility has an engineered and compacted earthen embankment. The certification can be in letter format or by use of the certification statements in Section 4 of the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions*.

Please see the following sheets: Field Density Test- Nuclear Method and the Field report.

Comment 2: Along with the record drawing set, submit completed record drawing and construction certification forms, Sections 1 through 3, from the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions* (packet). The Environmental Division began use of the forms and checklists in this packet effective February 1st, 2001.

Please see the attached sheets.

Comment 3: Show the following additional information on the record drawing: label Sir Gilbert Loop roadway; show the 20 ft. easement to the BMP between Lots 88 and 89; label the size of the low flow orifice at El.20.42; and label the principal spillway riser pipe size and material type.

The previous information has been labeled on the drawing.

Comment 4: If possible show the address for Lot 88 and 89 as 4671 and 4667 Sir Gilbert Loop, respectively and add the following county identifiers to the lower right hand corner of the record drawing or the title block: County Plan Number S-65-99 and BMP ID Code: PC 148.

The previous information has been added to the drawing.

Scott Thomas

From: Scott Thomas
Sent: Wednesday, November 27, 2002 9:50 AM
To: 'pgoering@djginc.com'
Cc: Pat Menichino; Joe Buchite
Subject: RE: Pointe 1C Pond

The Pointe at Jamestown, Phase 1-C
County Plan No. S-65-99
Wet Pond BMP
County BMP ID Code: PC 148

Your idea would be acceptable as an attempt to resolve the situation and is consistent with our discussions. The following are conditions to approval of the modifications to the riser.

1. Any modifications to the orifice, riser and normal pool must be reflected on the previously approved record drawing.
2. Coordinate any work activities with the assigned Environmental Division inspector, Mr. Joe Buchite, 253-6643.
3. Construction-related (field) items # 5 through # 10 from Environmental Division letter dated July 17, 2002 are still outstanding. Contact our office as appropriate for reinspection when completed.
4. Following adjustments to the orifice/normal pool on wet pond PC 148, the standing water situation at the invert of the 24-inch pipe between Lots 88 (4671 Sir Gilbert Loop) and 89 (4667 Sir Gilbert Loop) will need to be monitored for a reasonable amount of time and rainfall events to ensure the situation is resolved appropriately. More evasive solutions, including redesign of the 24-inch storm pipe segment may still be necessary if not resolved appropriately.

(Note: As there will only be about 0.10 ft. difference between new normal pool and the asbuilt invert of the subject upstream culvert invert, any rise in normal pool above design elevation will result in standing water being present again at the orifice. Therefore, routine maintenance, especially removing trash or debris from the orifice which holds normal pool will be an important component to ensure resolve of the situation.)

Please relay this information on to Mr. Henry Stephens, as I understand he was anxious to hear from us so he could schedule the work.

Scott J. Thomas, P.E.
James City County
Environmental Division

Visit www.protectedwithpride.org

-----Original Message-----

From: Phillip Goering, PE [mailto:pgoering@djginc.com]
Sent: Tuesday, November 26, 2002 12:02 PM
To: Scott J. Thomas
Cc: hstephens@yahoo.com
Subject: Pointe 1C Pond

Scott,

Henry Stephens of Associated Developers has requested that I forward the following information concerning DJG's calculated adjustments to the referenced pond for the purpose of improving drainage from the adjacent right-of-way.

Given that the pond was designed to serve as a 9-point BMP, the required water quality volume is 14,810 ft³. Using the record drawing information, a storage volume of roughly 15,000 ft³ can be achieved with the normal surface of the pond set at elevation 18.5. However, this is below the shelf elevation of 19. Therefore, DJG recommends that the normal surface (i.e. the riser orifice) be lowered to elevation 19.0 to achieve greater than the required water quality storage volume and keep the shelf saturated for vegetative establishment. Plus, elevation 19.0 is 0.11' below the invert into the pipe draining the right-of-way, thereby eliminating standing water problems at the inlet to the pipe draining the right-of-way.

I believe this information address your concerns. However, should you have additional comments or questions, please do not hesitate to contact me at your convenience. Meanwhile, have a great Thanksgiving.

H.L. Phillip Goering, P.E.
DJG, Inc.
Voice (757) 253-0673
Fax (757) 253-2319

Scott Thomas

From: Scott Thomas
Sent: Monday, August 19, 2002 4:48 PM
To: 'pgoering@djginc.com'
Subject: RE: Pointe at Jamestown 1-C

Thanks Phil.

-----Original Message-----

From: Phillip Goering, PE [mailto:pgoering@djginc.com]
Sent: Thursday, August 15, 2002 5:21 PM
To: scottt@james-city.va.us
Cc: Dawn F. Lemon; pmenichi@james-city.va.us; jbuchite@james-city.va.us
Subject: RE: Pointe at Jamestown 1-C

Scott,

Thank you for this information. Mr. Henry Stephens of ADI has also made me aware of the situation. Dawn Lemon and I are looking into it and we anticipate have some suggestions for its resolution in the very near future. We will be discussing them with you and Mr. Stephens, soon.

Of additional note, Mr. Stephens and I have discussed the County's need for the geotechnical construction certification of the Phase 1-c pond. Mr. Stephens informed me that the contractor claims that they are finished addressing the County's comments which dealt with the (previously) 'existing' conditions. From exchanged messages with you, we understand that the County is satisfied with the record drawings and the engineer certification. Currently, Mr. Stephens is pursuing the geotechnical certification and will forward it as soon as possible.

I will keep you updated as more information concerning these topics becomes available. Meanwhile, please feel free to call me with any questions.

Thank you for your assistance with these matters.

Sincerely,

H. L. Phillip Goering, P.E.
Manager, Civil Engineering

-----Original Message-----

From: scottt@james-city.va.us [mailto:scottt@james-city.va.us]
Sent: Wednesday, August 07, 2002 4:44 PM
To: pgoering@djginc.com
Cc: jbuchite@james-city.va.us; pmenichi@james-city.va.us
Subject: Pointe at Jamestown 1-C

Phil

We had a drainage complaint here in our office about standing water at the upstream end of a storm drain along Sir Gilbert Loop which leads to the BMP at Pointe at Jamestown, Phase 1-C, County Plan No. S-65-99, BMP ID Code PC

Henry Stephens
drop pipe

148. This is the BMP which you just submitted the as-built for.

The storm drain is a 24-inch RCP situated between Lots 88 (4671 Sir Gilbert) and Lot 89 (4667 Sir Gilbert). The design plan shows the following information:

U/S invert El. 19.35
D/S invert El. 17.00
Fall 2.35 ft.
Length 148 ft.
(1.59 % slope)

The as-built shows the following information:

U/S invert El. 19.11
D/S invert El. 17.21
Fall 1.90 ft.
Length 138.8 ft.
(1.37 % slope)

It would appear the upstream end was constructed slightly lower than plan and the downstream end slightly higher than plan. When I performed my inspection of the BMP, I noticed the standing water about 6-inch deep at the upstream end of the pipe. A photo is attached.

It is clear in comparing the design/as-built elevation at the upstream end of this pipe (El. 19.35/19.11) to the normal pool of this facility (design El. 20.3/asbuilt orifice El. 20.42) that a constant 1 ft. of standing water could be present at the entrance to the storm drain due to backwater from normal pool elevation.

As we feel this is a design issue, with the only resolve coming from an engineering solution, could you please investigate the situation briefly and offer any suggestions to resolve it. One idea that comes to my mind is to lower the normal pool to an elevation where standing water would not pool at the entrance of the culvert but somewhere within the 24-inch drain (say Elevation 19.0). This would lower normal pool about 1.4 feet. I am not sure if this is an option though based on the hydraulics of the BMP, design water quality requirements in the permanent pool of the BMP, or for reasons that cannot be so easily anticipated such as aesthetics, mosquitoes, etc.

I see this as a persistent complaint to our division if not resolved now while bond is still being held for this section. Please think about it and get back to me or the assigned Environmental Division inspector, Joe Buchite at 757-253-6643.

Scott J. Thomas, P.E.
James City County
Environmental Division



**James City County Environmental Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities**

County BMP ID Code (if known): PC148
 Name of Facility: Pointe at Jamestown Phase 1-C BMP No.: 1 of 1 Date: 7/17/02
 Location: Behind (East of 4671 Sir Gilbert Loop)
 Name of Owner: Associated Developers Inc.
 Name of Inspector: SJ Thomas, WJ Woolson
 Type of Facility: Wet Pond
 Weather Conditions: Hot, Sunny, 95 Type: Final Inspection County BMP Inspection Program Owner Inspection

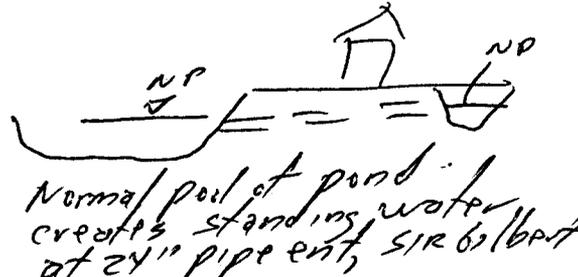
If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.
- Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and to prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes: <u>EARTHEN EMBANK; 10' WIDE TOP; 3H:1V SS; 8-10' HIGH</u>				
Grass Height	✓			<u>HEAVY GRASS COVER, WEEDS</u>
Vegetation Condition	✓			<u>Bunch 2" to 3' HIGH. Some Bare</u>
Tree Growth	✓ <u>None</u>			<u>SPOTS</u>
Erosion	✓	✓		<u>Some bare spots on embank.</u>
Trash & Debris	✓			<u>Top of dam is 80% bare. U/S</u>
Seepage	✓			<u>FRONT OF DAM 70% bare.</u>
Fencing or Benches	✓			<u>None observed</u>
Interior Landscaping/Planted Areas: <input checked="" type="checkbox"/> None <input type="checkbox"/> Constructed Wetland/Shallow Marsh <input type="checkbox"/> Naturally Established Vegetation				
Vegetated Conditions	✓			<u>T&B Made - wet pool</u>
Trash & Debris	✓	✓		<u>Trash at riser in corner pond.</u>
Floating Material	✓	✓		
Erosion	✓			
Sediment	✓			
Dead Plant	✓			<u>Bare, sparse Veg.</u>
Aesthetics				
Other				
Notes: <u>Serves SF Lots + ROADS</u>				

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools: <input checked="" type="checkbox"/> Permanent Pool (Retention Basin) <input type="checkbox"/> Shallow Marsh (Detention Basin) <input type="checkbox"/> None, Dry (Detention Basin)				
Shoreline Erosion	✓			OK, Pool 2-3' deep @ riser
Algae	✓			None.
Trash & Debris	✓	✓		See previous note (Trash)
Sediment				sed. 1' deep @ riser.
Aesthetics	✓			Dry conditions
Other				Depth 3' in back.
Inflows (Describe Types/Locations): 24" CMP South end; Submerged (can't find)				
Condition of Structure	✓			
Erosion	✓			
Trash and Debris	✓			
Sediment	✓			
Outlet Protection	✓			
Other				
Principal Flow Control Structure - Riser, Intake, etc. (Describe Type): 5 1/2' deep Riser - Aluminized 36" φ w/ CMP CAP				
Condition of Structure	✓			
Corrosion	✓			
Trash and Debris	✓			
Sediment	✓			
Vegetation	✓			
Other	✓			4" low flow orifice @ 3' depth.
Principal Outlet Structure - Barrel, Conduit, etc.: CMP 21 or 24" CMP w/ CMP CAP ES				
Condition of Structure		✓	✓	Crushed to 6" at outlet.
Settlement	✓			(Class) OP Sliding Basin
Trash & Debris	✓			
Erosion/Sediment	✓			
Outlet Protection	✓	✓		Clear veg 10' from barrel out + OP
Other				Hatch on Principal Riser.
Emergency Spillway (Overflow): 8' wide; Grassed crest; RIPRAP SLOPED				
Vegetation		✓		Crest section needs stem
Lining		✓		bottom + ss.
Erosion		✓		
Trash & Debris	✓			
Other				
Notes:	Bees nest in riser; OK natural channel (wetland) stable.			

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type Conditions:				
Mosquito Breeding	✓			Some Noticeable.
Animal Burrows	✓			
Graffiti	✓			
Other				Dragonflies, frog life
Surrounding Perimeter Conditions: North Woods; South Homes + YARDS				
Land Uses	✓			MAINLY SF
Vegetation	✓			Sparse but OK
Trash & Debris	✓			
Aesthetics	✓			
Access /Maintenance Roads or Paths	✓			20' EASEMENT OFF OF SIR GILBERT @ 467)
Other				
Remarks:				
<ul style="list-style-type: none"> ▷ Top of dam is bare. Needs seed + mulch ▷ U/S Face DAM is bare. S+M especially corner near riser ▷ remove trash + const debris on pond shore near riser ▷ outlet end of 24" barrel + end section, crushed to 6" (Replace last pipe section + END S&T) ▷ clear veg 10' from outlet end barrel + entire OP RPROP ▷ 25' piece of ES CRUST S&T is bare. Needs S+M or matting in bottom + SS. ▷ 5' wide bench con formed. ▷ Sediment depth does not appear to be a problem. 				
Overall Environmental Division Internal Rating: <u>3</u>				
Signature: <u>[Signature]</u> P.E.		Date: <u>7/17/02 11:30am</u>		
Title: <u>Civil Engineer ENV DIV</u>				

SWMProg\BMP\ColnspProg\DetRet.wpd

Darryl Cook

From: Melanie Davis
Sent: Monday, October 05, 2009 9:40 AM
To: Darryl Cook
Subject: RE: Pointe at Jamestown - Phase I-C

Hi Darryl,
There is no surety for Phase I-C – All surety was released and the project was closed out in Feb 2003.
Melanie

From: Darryl Cook
Sent: Monday, October 05, 2009 9:35 AM
To: Melanie Davis
Subject: Pointe at Jamestown - Phase I-C

Is there any surety left for this project or has it been closed out?

Darryl E. Cook
James City County - County Engineer
287 McLaws Circle, Suite 1
Williamsburg, VA 23185
Phone: 757-259-1442
Fax: 757-259-5833
email: decook@james-city.va.us

* * * Communication Result Report (Sep. 22. 2009 9:33AM) * * *

1)
2)

Date/Time: Sep. 22. 2009 9:33AM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
2519	Memory TX	2208994	P. 2	OK	

Reason for error

- E. 1) Hang up or line fail
- E. 3) No answer
- E. 5) Exceeded max. E-mail size

- E. 2) Busy
- E. 4) No facsimile connection



James City County Stormwater Division
 287 Mclaws Circle Suite 1
 Williamsburg, VA 23185-5649

FAX

To: *TOM SUBLETT*
AES

From: *DARREYL COOK*

Phone: _____
Fax: 220-8994

Phone: _____
Fax: (757)259-5833

970018520

DEED

THIS DEED, made this 30th day of October, in the year 1997, between
ALBERT L. WHITE, III and FRANCES M. WHITE, husband and wife,
parties of the first part, ("GRANTOR")
and
COUNTY OF JAMES CITY, VIRGINIA, a political subdivision of the Commonwealth of Virginia,
party of the second part, ("GRANTEE")

WITNESSETH: That the said parties of the first part do grant and convey by gift, with
GENERAL WARRANTY and ENGLISH COVENANTS OF TITLE unto the said party of the second
part, the following described property, to-wit:

All that certain lot, piece or parcel of land situate, lying and being in James City County,
Virginia, set forth and shown as "Area = 15.02 Acres +/- A portion of Tax Map (46-1)(1-
3)" on a certain plat entitled "PLAT OF SUBDIVISION OF PROPERTY STANDING IN
THE NAME OF FRANCES M. WHITE & ALBERT L. WHITE, III KNOWN AS "ST.
GEORGE AND THE MAIN RESERVE" CONTAINING 15.02 ACRES dated May 16,
1997, Revised September 26, 1997 made by Mitchell-Wilson Associates, P.C. Civil
Engineers & Land Surveyors, which plat is being recorded in the Office of the Clerk of
the Circuit Court for the County of James City, Virginia, simultaneously herewith.

Together with all and singular the buildings and improvements thereon, rights and
privileges, tenements, hereditaments, easements and appurtenances unto the said land
belonging or in anywise appertaining.

Being a portion of the same property conveyed to the Grantors by Deed dated October
25, 1982, of record in the aforesaid Clerk's Office in Deed Book 227, Page 590.

This conveyance is made subject to all easements, restrictions and limitations of record
or apparent on the ground, and specifically to unpaid or unassessed real estate taxes including rollback
taxes.

NOV 19 01 69

WITNESS the following signatures and seals:

Albert L. White III (SEAL)
ALBERT L. WHITE, III

Frances M. White (SEAL)
FRANCES M. WHITE

APPROVED:

Lee P. Rogers
COUNTY ATTORNEY

NOV 19 01 70

The form of this deed is approved and pursuant to Resolution of the Board of Supervisors of James City County, VA, duly adopted on the 17th day of May, 1993, this conveyance is hereby accepted on behalf of said County.

STATE OF VIRGINIA

COUNTY OF JAMES CITY, to-wit:

Frank H. Morton, III
County Attorney

The foregoing instrument was acknowledged before me this 30th day of October

1997 by Albert L. White, III and Frances M. White

Florence M. Yatchew
NOTARY PUBLIC



My Commission Expires: August 31, 2001

PLAT RECORDED IN
P.B. NO. 67 PAGE 93

THIS DEED IS EXEMPT FROM RECORDATION TAXES PURSUANT TO SECTION 58.1-811(A)(3) OF THE CODE OF VIRGINIA.

Attest: I, Hilena S. Ward, Clerk
Deputy Clerk
of Williamsburg and County of James City the
Circuit Court of the
County of James City the
19 day of October, 1997. This deed & plat
was presented with certificate annexed and
admitted to record at 12:55 o'clock
Teste: Hilena S. Ward, Clerk
by Hilena S. Ward
Deputy Clerk

Prepared by:
Gregory R. Davis, Esquire
Anderson, Franck & Davis, P.C.
P.O. Drawer Q
Williamsburg, VA 23187
(757) 229-7322

9700/82520 ↙ too many #'s

67/93 154/26

9 pt BMP

13.6 AC DA

5' shelf

Riser 36"

2" ϕ ORIF

24" Barrel

2-yr

DA = 13.6

CN = 81

TC = 0.38 HR

Q₂ = 0.384 CFS

EL 20.88 FT

10-yr

1 CFS

EL 22.83

25-yr

26.64 CFS

23.03 CFS

100-yr

41.73 CFS

EL 24.205

W_{Q₂} = 31,511 CF

26,740 CF

PERDEN

DA = 17.28

CN 75

TC = 0.209 HR

Q₂ = 13 CFS

Q₁₀ = 26 CFS

Q₂₅ = 40 CFS

June 4, 2001

Ms. Tracey McComas
739 Thimble Shoals Blvd.
Newport News, Va. 23606

Re: The Pointe at Jamestown HOA
Stormwater Management Facilities

Dear Ms. McComas:

As discussed per our recent phone conversation and per your request, I have attached some "*first contact*" information related to the above referenced community and its onsite stormwater management facilities.

Information as attached includes: a location map; landscaping tips for stormwater management BMP's (Best Management Practices), a sample maintenance plan for wet/dry type stormwater management pond facilities; three brochures related to liability and maintenance; a copy of our database information on the Phase 1-B pond; a copy of an inspection report performed for the Phase 1-B pond (PC 123); and a copy of an interim report outlining our ongoing County-wide BMP Inspection program.

Currently, the only facility logged into our database is a shallow marsh-dry type detention facility associated with Phase 1-B. This facility is PC 123 at the end of Prince Trevor Drive constructed as a part of approved County Plan No. S-83-96. However, our records indicate two additional wet pond type facilities that have or will be constructed as part of the Phase 1-C and Phase 2 development plans for the subdivision. As these facilities are constructed and certifications received, final inspections will be performed and information will be entered into our GIS and Microsoft Access databases similar to that shown for the Phase 1-B pond.

Our division is always readily available to assist owners with guidance related to stormwater management facilities and we look forward working with you in the future. In the meantime, if you have any additional questions or comments, please call me at 757-253-6639.

Sincerely,

Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

SWMPProg\Education\Subdivisions\PointeJames.let1

DJG, INC.
P.O. Box 3505
449 McLaws Circle
WILLIAMSBURG, VIRGINIA 23187

LETTER OF TRANSMITTAL

(757) 253-0673 or 874-5015
FAX (757) 253-2319

DATE	Jan 31, 03	JOB NO.	1980103
ATTENTION	Scott Thomas		
RE:	Pointe at Jamestown Pond, Phase I-C ASBuilt's, revised.		

TO Scott Thomas
JCC Environmental



WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	1/31/03	1	Record Drawing: Pointe at Jamestown, Phase I-C Stormwater Detention Pond

PC 148
5-65-99

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

Scott,
If you have any questions or comments,
please contact us at your convenience.

Thank you!
Elizabeth Marotta

COPY TO File.

SIGNED: [Signature]

DJG, INC.
P.O. Box 3505
449 McLaws Circle
WILLIAMSBURG, VIRGINIA 23187

LETTER OF TRANSMITTAL

(757) 253-0673 or 874-5015
FAX (757) 253-2319

DATE	Feb 4, 03	JOB NO.	1980103
ATTENTION	Scott Thomas		
RE:	Pointe e Jamestown I-C pond AS-built Revisions w/ stamp/seal		

TO Scott Thomas
JCC Environmental
Hand Delivered

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	1/30/03	1	Pointe e Jamestown, Phase I-C Stormwater Det. Pond Record drawings.

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

Scott,
attached is a stamped/sealed Pond AS-built
for Pointe e Jamestown ph. I-C.
If you have any questions, please call.

Thank you,

COPY TO File

SIGNED: Emmanuel

Scott Thomas

From: Scott Thomas
Sent: Monday, February 24, 2003 3:14 PM
To: Pat Menichino
Cc: Joe Buchite
Subject: Previous Drainage Complaint

Some time ago, we had a drainage complaint for stormwater backing up at the end of a pipe which led to the wet pond BMP at Pointe at Jamestown Phase 1-C. The approved site plan number is S-65-99 and the County BMP ID Code is PC 148. The drainage complaint location was along Sir Gilbert Loop between Lots 88 and Lots 89, Pointe at Jamestown Phase 1-C. See the file for actual road address along Sir Gilbert Loop.

Documentation on this complaint and my dealings back and forth with DJG and Henry Stephens can be found in the asbuilt file for this pond. During my review of asbuilts for this pond, it was quite evident that water was backing up at the entrance to the pipe due to the constructed elevations for the orifice on the pond which controlled normal pool and the invert in of this pipe segment. The asbuilt pipe entrance invert elevation was lower than the orifice elevation which controlled normal pool. Therefore, under nonrainfall conditions, water would be present at the pipe entrance.

To effectively solve this situation, it became more of an engineering/design issue than a field enforcement process. At my request (and email) DJG took a look at the pond hydraulics and proposed to lower the pond normal pool by about 1 ft. which would lower the water surface elevation below the upstream invert of the pipe. This solution appeared feasible based on the relative flat terrain of this section and a result in no loss of water quality volume in the pond normal pool. Also, lowering the WSEL of the pond normal pool was still within the elevation of the aquatic/safety bench provided in the pond. They also improved the entrance condition to the pipe culvert, in order to improve hydraulic efficiency.

The pond remediations per DJG's recommendation have been performed and Henry Stephens notified me to reinspect the facility as ADI also addressed all my previous construction-related comments relative to the BMP. In talking to Joe, he has been monitoring the drainage problem area on a frequent basis since the remediations were performed and observed no additional problems. I performed a reinspection of the BMP today and concur with his assessment. Although the pond will not back up to the pipe under normal pool conditions, it will back up under a storm flow condition until the extended detention portion of the pond volume draws down. Due to the relative flatness of the site, this condition will not be able to be solved unless a total redesign of the whole drainage plan for the subdivision is conducted, which at this point will not occur as most of the site work is done and many homes have been constructed.

Continued maintenance to keep the turn-down elbow on this pond unobstructed will be critical to not have normal pool back up to the pipe and street again.

Therefore, I feel comfortable enough to say that this drainage complaint has been properly resolved to the best of our abilities. Attached are "before" and "after" pictures of the entrance to the subject pipe as evidence to that fact. PC148-1s is the before picture and PC148-4s is the after picture.

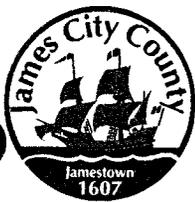
I have forwarded a "Surety Release Form" back to Joe Buchite with my sign-off on the BMP end of things. I have also left a message with Henry Stephens to forward a spare set of the keys to the riser hatch which has a lock on it. I told him to send me a spare key or the next time he sees Joe to give it to him. Joe, if he gives you the key give it to me to put with the other BMP keys.

If you have any questions, see me.

Scott

2/24/2003

PC148_POINTE_AT_JAMESTOWN_PHASE_1C - 116



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

CODE COMPLIANCE
(757) 253-6626
codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 253-2620

July 17, 2002

Mr. Henry H. Stephens, President
Associated Developers Incorporated
5300 Mercury Boulevard, Drawer 18
Newport News, Va. 23605

Re: The Pointe at Jamestown, Phase 1-C
County Plan No. S-65-99
Stormwater Management Facility
County BMP ID Code: PC 148

ADD DRAINAGE PROBLEM, LOTS 88-89 SIR GILBERT TO LIST. VIA EMAIL TO DJG.
Reinspect 2-24-03. Drainage complaint appears resolved.

Dear Mr. Stephens:

The Environmental Division has reviewed a record drawing as submitted to our office on July 3rd 2002 for the above referenced project. The record drawing provides as-built information for a wet pond stormwater management facility situated in the northeast corner of the site behind Lots 88 and 89 along Sir Gilbert Loop.

Based on our review of the project and a concurrent field inspection as performed on July 17th 2002, the following items must be addressed prior to release of the developer's surety instrument for the stormwater management/BMP facility at the site:

Construction Certification:

ECS ✓
10/17/02
OK

- Note # 19 on Sheet C-7 and Note # 2 on Sheet C-4 of the approved plan required construction certification for the stormwater management/BMP facility. None was provided. This is especially important since the facility has an engineered and compacted earthen embankment. The certification can be in letter format or by use of the certification statements in Section 4 of the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions*.

Record Drawing:

REVISED RD RECEIVED, SHOWS ON-THE-SPOT CHANGES TO ADDRESS DRAINAGE COMPLAINT.

DJG ✓
OK

- Along with the record drawing set, submit completed record drawing and construction certification forms, Sections 1 through 3, from the *James City County, Stormwater Management/BMP Facilities, Record Drawing and Construction Certification, Standard Forms & Instructions* (packet). The Environmental Division began use of the forms and checklists in this packet effective February 1st 2001.

DJG ✓
OK

- Show the following additional information on the record drawing: label Sir Gilbert Loop roadway; show the 20 ft. easement to the BMP between Lots 88 and 89; label the size of the low flow orifice at El. 20.42; and label the principal spillway riser pipe size and material type.

DJG ✓
OK

- If possible show the address for Lot 88 and Lot 89 as 4671 and 4667 Sir Gilbert Loop, respectively and add the following County identifiers to the lower right hand corner of the record drawing or the title block: County Plan Number S-65-99 and BMP ID Code: PC 148.

Construction - Related Items:

Note: Low Flow
from Pool structure
covered x 1"
and turn down
elbow

✓ 5.
OK
2-24-03
✓ 6.
OK
2-24-03
✓ 7.
OK
2-24-03
✓ 8.
OK
2-24-03
✓ 9.
OK
2-24-03

5. Most of the entire top of dam and the upstream embankment face consists of bare soil conditions. Stabilize with seed and mulch to obtain a healthy stand of grass. Due to the sandy nature of the soils, topsoiling may be necessary to achieve adequate stabilization.

6. An approximate 25 ft. long portion of the emergency spillway crest section was in a bare and disturbed condition. Stabilize with seed and mulch or matting.

7. Clean and remove all construction trash, litter and debris from the northeast corner of the pond. This is the corner of the pond closest to where the riser is situated.

8. The outlet end of the 24-inch corrugated metal pipe barrel through the dam and it's associated end section was crushed to a point where less than six inches of opening area was present. As considerable structural damage has occurred to the end of the pipe and a restricted outfall opening size as such could result in restricted flow through the dam, clogging and higher water surface elevations, the end section and the last pipe segment of the 24-inch barrel requires replacement.

9. Clear and remove all vegetation, brush and trees from within 10 feet of the outlet end of the pipe barrel through the dam and within the entire riprap outlet protection (stilling basin). Flow from the pipe barrel through the dam to the downstream natural channel shall not be obstructed by vegetation.

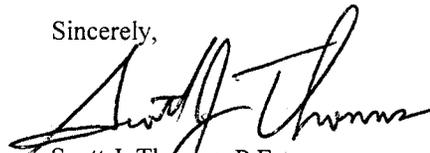
10. To prevent unauthorized access, a padlock should be added to the hatch which provides access to the principal riser structure. Should a lock be added, provide an extra set of keys or combination for the lock to the Environmental Division office. **NEED KEY FOR LOCK ON RISER!**

As a note, during our field inspection a large beehive was present within the interior portion of the principal spillway (riser) structure. It is advised to use caution when performing work in or around the riser structure and take action as appropriate to remove this nuisance condition, which could affect future maintenance and inspection activities for the BMP.

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. **DONE**

Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Joe Buchite, at 757-253-6643 if you have any further comments or questions.

Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: DJG, Inc. (Phillip Goering) - via fax
C. Lewis Waltrip (Danny Johnson) - via fax
Environmental Division Inspector

G:\SWMPProg\AsBuilts\S6599.pc148



associated developers incorporated
land development, management, planning, & investment



February 19, 2003

Mr. Scott Thomas, PE
Environmental Division
James City County
P. O. Box 8784
Williamsburg, VA 23187

Dear Scott:

It is my understanding that you have received from DJG Engineers a copy of the as-builts for the pond in Section 1-C of The Pointe at Jamestown showing all corrective work complete. By this letter I am requesting a final release of all letters of credit held by James City County for Section 1-C.

If you have any questions please call me at 757-838-2739 or 757-532-5227.

Thank you.

Sincerely,

Henry H. Stephens
President

*Reinspect 2-24-03
ALL COMMENTS ED
Letter dated 7/17/02
are addressed. OK
to release 100% of
BMP cost for Bond
on Phase 1-C 5-65-99.
CALLED HENRY STEPHENS
2/24/03*

2-24-03



JAMES CITY COUNTY - ENVIRONMENTAL DIVISION

Office Phone: 757-253-6670

Fax Number: 757-259-4032

DATE SENT: 7/17/02

Name: Henry Stephens
 Firm or Company: Associated Developers Inc.
 Facsimile Number: 757-838-6337
 Number of pages including this transmittal: 34
 From: Scott J. Thomas

James City County
 P O Box 8784
 Williamsburg VA 23187-8784

Comments: Certification / Final Inspection BMP at
Pointe at Jamestown Phase 1-C;
County BMP ID (CDP: PC 148)

If you do not receive all pages, call 757-253-6670 as soon as possible

cc:
 Phillip Goering DJG Inc. via fax 253-2319
 C. Lewis Waltrip (Penny Johnson) via fax 253-0706



SCOTT J. THOMAS, P.E.
CIVIL ENGINEER

ENVIRONMENTAL DIVISION

101 MOUNTS BAY ROAD, P.O. Box 8784 (757) 253-6639
 WILLIAMSBURG, VIRGINIA 23187-8784 FAX: (757) 259-4032
 E-MAIL: scottt@james-city.va.us

DJG, INC.
 P.O. Box 3505
 449 McLaws Circle
 WILLIAMSBURG, VIRGINIA 23187

LETTER OF TRANSMITTAL

(757) 253-0673 or 874-5015
 FAX (757) 253-2319

DATE	7/16/02	JOB NO.	1980103
ATTENTION	JOE BUCHTE		
RE:	Pt. @ JAMESTOWN PH 1-C POND / RECORD DWG.		

TO JAMES CITY COUNTY
< HAND DELIVERY >

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:
 Shop drawings Prints Plans Samples Specifications
 Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	6/26/02	1	RECORD DRAWING - Pt. @ JAMESTOWN, PH 1C / POND



THESE ARE TRANSMITTED as checked below:
 For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS
 → ADDED CERT. STATEMENT PER YOUR CONVERSATION
 W/ HENRY STEPHENS (OUR CLIENT)
 PLEASE ADDRESS ANY QUESTIONS, COMMENTS, PROBLEMS, ETC.
 TO: PHILLIP GOERING OR @ 757-253-0673
 DAVID WACKLEY
 THANK YOU
 -DAVE W. @ DJG

COPY TO FILE
 SIGNED: [Signature]
 PC148_POINTE_AT_JAMESTOWN_PHASE1 ENCLOSURES are not as noted, kindly notify us at once.

DJG, INC.
P.O. Box 3505
449 McLaws Circle
WILLIAMSBURG, VIRGINIA 23187

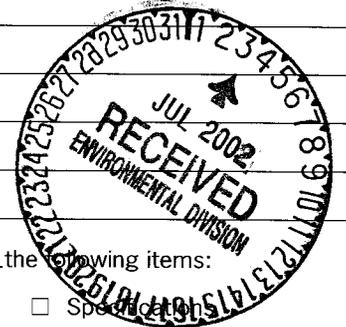
LETTER OF TRANSMITTAL

(757) 253-0673 or 874-5015
FAX (757) 253-2319

TO JAMES CITY COUNTY

Hand Delivery

DATE <u>7-1-02</u>	JOB NO. <u>2020220</u>
ATTENTION <u>JOE BUCHITE</u>	
RE: <u>POND 1-C (POINTE AT JAMESTOWN)</u>	



WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>	<u>6-26-02</u>	<u>1</u>	<u>RECORD DRAWINGS - POINTE AT JAMESTOWN, PH 1-C, POND</u>

THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval

For your use Approved as noted Submit _____ copies for distribution

As requested Returned for corrections Return _____ corrected prints

For review and comment _____

FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS JOE,

PLEASE REVIEW AT YOUR CONVENIENCE. ONCE WE HAVE YOUR COMMENTS WE WILL FINALIZE THIS DRAWINGS AND ADD THE CERTIFICATION STATEMENT AND SIGNATURE, ETC....

THANK YOU FOR YOUR ASSISTANCE.
- PHIL

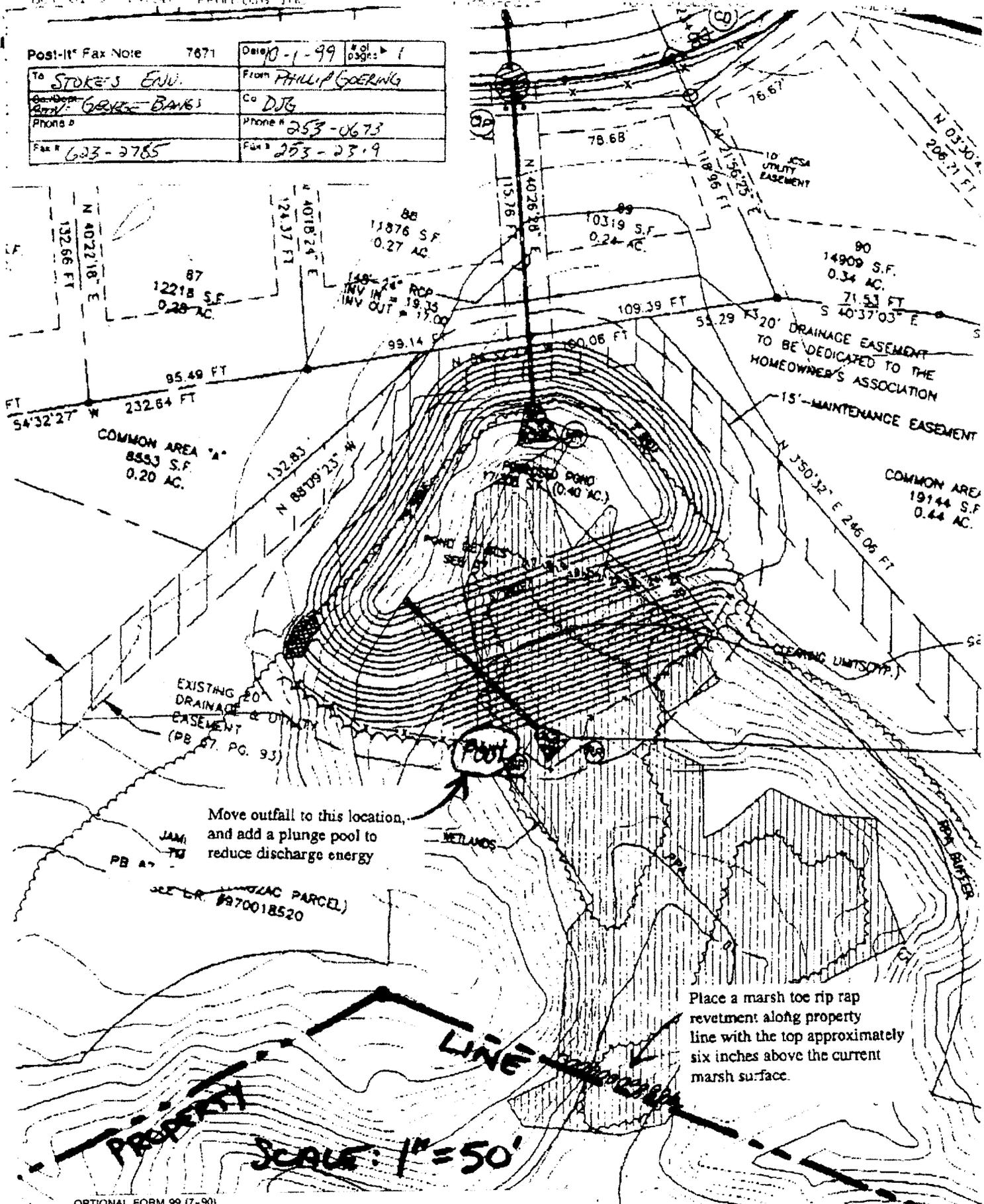
COPY TO FILE

H.L. PHILIP GOERING
SIGNED: [Signature]

▲Oct-01-99 15:23

P. 02

Post-It [®] Fax Note	7671	Date	10-1-99	# of pages	1
To	STOKES ENV.	From	PHILLIP GOERING		
Attn:	GEORGE BANKS	Co	DJG		
Phone #		Phone #	253-0673		
Fax #	603-2785	Fax #	253-2319		



OPTIONAL FORM 99 (7-90)

FAX TRANSMITTAL

of pages 02

To	DARRY COOK	From	SNIFFEN
Dept./Agency		Phone #	441-7792

Pat,

No changes that
I am aware of.

Joe

Record Drawing/Construction Certification Submittal for a BMP Facility

Date: 7/08/02

Inspector: Pat Menichino
 Gerry Lewis
 Beth Davis
 Mike Woolson
 Joe Buchite
 Other: _____

Project: Pointe of Jamestown Phase 1-C
BMP Facility: WET POND (SIR GILBERT LOOP, NEAR 4671 SIR GILBERT)
Plan No. 5-65-99
BMP ID Code: PC148

I have received a transmittal for a Record Drawing and Construction Certification for the above referenced facility on July 3 2002. Prior to full engineering review of these items and a field inspection, I am first forwarding the items to you to cursory review in case any major field changes were performed that I should be aware of and/or to ensure the record drawing accurately portrays what you saw in the field. Please review the drawing and return to me promptly so I can proceed with the review for certification purposes.

During my review, I will look at issues related to the BMP and its primary inflow and outflow conveyance systems, and will make comment in the following areas: Record Drawing (RD), Construction Certification (CC) and Construction-Related (CR) punch list items. If you have any other related non-BMP site issues such as erosion, stabilization, removal of erosion & sediment controls, etc. that are not related to the BMP, I can easily add these items to any comment letter that I may forward to the Owner/Engineer. Let me know if any outstanding site issues remain.

If I don't hear from you I will ask you if any other outstanding issues remain before I forward any letters to the Owner/Engineer.

Scott

SWMPProg\BMP\ConInsp\Insp.trans

Date Record Created:
Created By:

WS_BMPNO:
PC148

WATERSHED PC
BMP ID NO 148
PLAN NO S-65-99
TAX PARCEL (46-2)(1-41)
PIN NO 4620100041
CONSTRUCTION DATE 1/1/2000
PROJECT NAME Pointe at Jamestown Phase 1-C
FACILITY LOCATION Behind (east) 4671 Sir Gilbert Loop
CITY-STATE Williamsburg, Va. 23185
CURRENT OWNER Westover Meadows LC
OWNER ADDRESS P.O. Drawer 18
OWNER ADDRESS 2 Parkview Station
CITY-STATE-ZIP CODE Newport News, Va. 23605
OWNER PHONE
MAINT AGREEMENT Yes
EMERG ACTION PLAN No

MAINTENANCE PLAN No
SITE AREA acre 16.5
LAND USE Gen Residential
old BMP TYP Wet Pond
JCC BMP CODE A3 Wet ED Pond
POINT VALUE 9
SVC DRAIN AREA acres 13.6
SERVICE AREA DESCRI SF Lots & Roads Sec 2
IMPERV AREA acres 4.08
RECV STREAM UT of Powhatan Creek
EXT DET-WQ-CTRL Yes
WTR QUAL VOL acre-ft 0.62
CHAN PROT CTRL No
CHAN PROT VOL acre-ft 0
SW/FLOOD CONTROL Yes
GEOTECH REPORT No

CTRL STRUC DESC Alum Riser
CTRL STRUC SIZE inches 36
OTLT BARRL DESC CMP Barrel
OTLT BARRL SIZE inch 24
EMERG SPILLWAY Yes
DESIGN HW ELEV 24.2
PERM POOL ELEV 20.3
2-YR OUTFLOW cfs 0.34
10-YR OUTFLOW cfs 1.00
REC DRAWING Yes
CONSTR CERTIF No
LAST INSP DATE 2/24/2003 Inspected by:
INTERNAL RATING 3
MISC/COMMENTS Situated in JCC Property. I/M # 990020587
10/29/99.

[Get Last BMP No](#)

[Return to Menu](#)

[Print Record](#)

Additional Comments:

WATERSHED	PC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Alum Riser
BMP ID NO	148	SITE AREA acre	16.5	CTRL STRUC SIZE inches	36
PLAN NO	S-65-99	LAND USE	Gen Residential	OTLT BARRL DESC	CMP Barrel
TAX PARCEL	(46-02)(01-41)	old BMP TYP	Wet Pond	OTLT BARRL SIZE inch	24
PIN NO	4620100041	JCC BMP CODE			
CONSTRUCTION DATE	1/1/2000	POINT VALUE	9	EMERG SPILLWAY	Yes
PROJECT NAME	Pointe at Jamestown Phase 1-C			DESIGN HW ELEV	24.2
FACILITY LOCATION	Behind (east) 4671 Sir Gilbert Loop			PERM POOL ELE	20.3
CITY-STATE	Williamsburg, Va. 23185	SVC DRAIN AREA acres	13.6	2-YR OUTFLOW cfs	0.34
CURRENT OWNER	Westover Meadows LC			10-YR OUTFLOW cfs	1.00
OWNER ADDRESS	P.O. Drawer 18			REC DRAWING	Yes
OWNER ADDRESS 2	Parkview Station	SERVICE AREA DESCRI	SF Lots & Roads Sec 2		
CITY-STATE-ZIP CODE	Newport News, Va. 23605	IMPERV AREA acres	4.08	CONSTR CERTI	No
OWNER PHONE		RECV STREAM	UT of Powhatan Creek		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	7/17/2002
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.62	INTERNAL RATING	3
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft	0	Situated in JCC Property. I/M # 990020587 10/29/99.	
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

[Get Last BMP No](#)

[Return to Menu](#)

WATERSHED	PC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Alum Riser
BMP ID NO	148	SITE AREA acre	16.5	CTRL STRUC SIZE inches	36
PLAN NO	S-65-99	LAND USE	Gen Residential	OTLT BARRL DESC	CMP Barrel
TAX PARCEL	(46-02)(01-41)	old BMP TYP	Wet Pond	OTLT BARRL SIZE inch	24
PIN NO	4620100041	JCC BMP CODE		EMERG SPILLWAY	Yes
CONSTRUCTION DATE	1/1/2000	POINT VALUE	9	DESIGN HW ELEV	24.2
PROJECT NAME	Pointe at Jamestown Phase 1-C	SVC DRAIN AREA acres	13.6	PERM POOL ELE	20.3
FACILITY LOCATION	Behind Lot 88 ^{CBT} Sir Gilbert Loop ⁴⁶⁷¹			2-YR OUTFLOW cfs	0.34
CITY-STATE	Williamsburg, Va. 23185			10-YR OUTFLOW cfs	1.00
CURRENT OWNER	Westover Meadows LC			REC DRAWING	No Yes
OWNER ADDRESS	P.O. Drawer 18	SERVICE AREA DESCR	SF Lots & Roads	CONSTR CERTI	No
OWNER ADDRESS 2	Parkview Station	IMPERV AREA acres	4.08	LAST INSP DATE	
CITY-STATE-ZIP CODE	Newport News, Va. 23605	RECV STREAM	UT of Powhatan Creek	INTERNAL RATING	
OWNER PHONE		EXT DET-WQ-CTRL	Yes	MISC/COMMENTS	
MAINT AGREEMENT	Yes	WTR QUAL VOL acre-ft	0.62	Situated in JCC Property. I/M #	990020587 10/29/99.
EMERG ACTION PLAN	No	CHAN PROT CTRL	No		
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

Get Last BMP No

Return to Menu

*Need As Builts K
Const Cert. 5-15-02*

File -
Pointe e Jamestown - Ph I-C



FAX TRANSMISSION

PLEASE DELIVER THE FOLLOWING 4 PAGES (INCLUDING THIS COVER SHEET)

TO Darrell Cook DATE 11/2/99

FAX NUMBER 259-4032

FROM Dawn Lemon FAX NUMBER 757 253-2319

SHOULD ANY PART OF THIS TRANSMITTAL BE ILLEGIBLE OR INCOMPLETE, PLEASE CONTACT Dawn PHONE NUMBER 757 253-0873

MESSAGE

RE: _____ JOB NO.: _____

DARRELL,
 HERE IS THE INFO. ON THE
 ALUMINIZED STEEL PIPE I TALKED
 WITH YOU ABOUT FOR THE POINTE
 PHASE I-C POND BARREL. PLEASE
 GIVE ME A CALL WHEN YOU
 HAVE HAD A CHANCE TO LOOK IT
 OVER! THANK YOU,

Dawn Lemon

Use of Aluminized Steel pipe is acceptable
 in place of asphalt coated pipe. DEC 11/3/99

CC: File.

HEL-COR ALUMINIZED STEEL Type 2 Pipe

Strength of steel, corrosion resistance of aluminum

Contech HEL-COR Pipe manufactured from Armco ALUMINIZED STEEL Type 2 offers the corrosion resistance and surface characteristics of aluminum with the strength, durability, and economy of Contech HEL-COR Steel Pipe. The product is fabricated from steel coils which have been hot-dip coated in a bath of commercially pure aluminum. The coating has uniform thickness on both sides of the sheet, with a strong metallurgical bond between the metals. The material meets AASHTO specification M-274-791.

The coils are then fabricated into HEL-COR pipe meeting the requirements of AASHTO specification M-36. Helically corrugated steel pipe has been a standard of the construction industry for decades. Pipe is fabricated with lock seams or welded seams depending on the job requirements, and each pipe end can be reformed to provide at least two annular corrugations. These annular end corrugations adapt to most standard couplings, including Armco's unique HUGGER Joint.

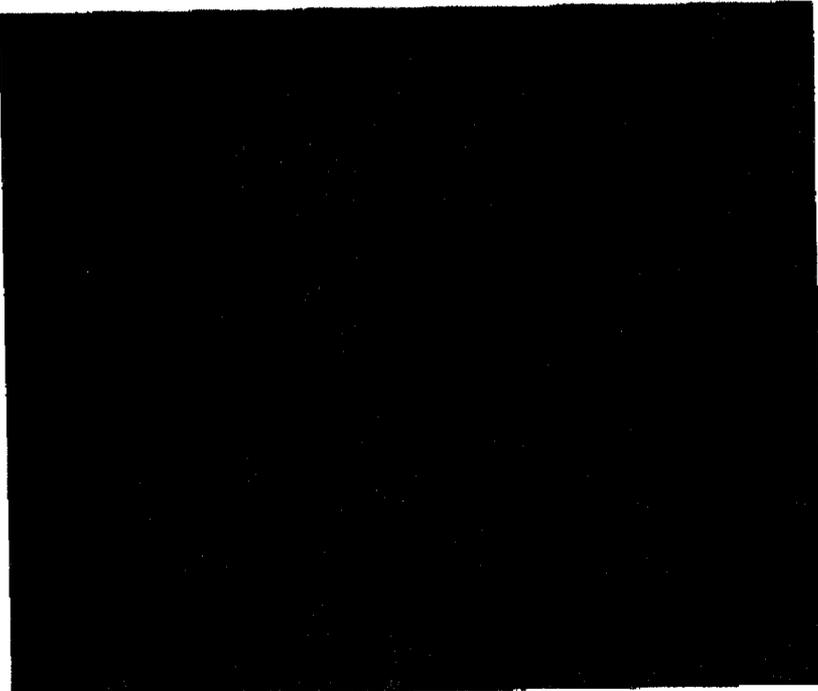
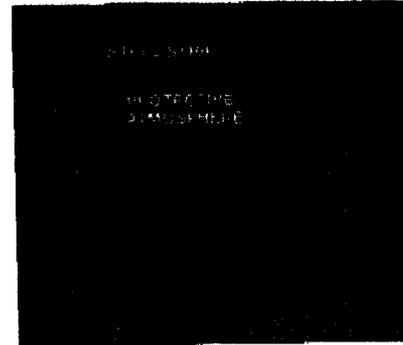
Good barrier protection

Aluminum forms a passive aluminum oxide reaction product film that adds to the service life by providing good barrier protection. This passive film forms rapidly and maintains better protection over a wider environmental range than zinc reaction product films. The passive film is effective in both hard and soft water.

The passive oxide film will endure as long as the free aluminum coating layer lasts. When this layer is eventually penetrated, there is an underlying hard aluminum-iron alloy layer that provides further corrosion protection plus some significant abrasion protection.

In the environmental range of pH 5-9 and resistivities as low as 1,500 ohm-cm, 30-year-old installations have shown that the multiple layer coating protection of ALUMINIZED STEEL Type 2 provides a service life at least two times longer than plain galvanized steel.

This photomicrograph shows how the alloy layer metallurgically bonds the aluminum coating to the steel base metal, as well as how the coating provides continuous protection to the base metal. The same coating protection is provided to both sides of the steel base metal.



Environments outside the recommended pH/resistivity ranges should be analyzed to determine if conditions conducive to accelerated corrosion of metallic materials exist. For example, low-resistivity soils and waters may contain excessive concentrations of corrosive chloride salt, and low pH soils may contain corrosion-accelerating water-soluble heavy metal salts. Environments that are far outside the recommended pH/resistivity ranges should be avoided, including acid mine water, seawater, estuary brackish water, and sanitary/industrial sewage.

Ideal for storm sewers

Corrugated steel pipe with the ALUMINIZED STEEL Type 2 coating is an ideal material for municipal storm sewers or any normal drainage project. It has outstanding durability properties plus the inherent structural advantages that steel has over concrete. Lightweight, long lengths with joints that have positive pull-apart resistance and the ability to adjust to yielding foundations.

Pipe and pipe-arch are available in three corrugations (2 1/4" x 1/2", 3" x 1", and 125mm x 25mm) and in all standard diameters and 16 gage through 10 gage.

Testing

Based on extensive data from actual field installations dating back 34 years, Armco ALUMINIZED STEEL Type 2 is a superior product for storm sewer and drainage projects. It has better corrosion resistance than galvanized structures and displays better abrasion resistance.

Prior to 1953, ALUMINIZED STEEL Type 2 and galvanized steel culverts were exposed in sites across the U.S. These sites represented a variety of service conditions including farm field drainage, fresh water swamps, alkali soils and erosive applications. Test installations were sampled after eight years and again after 24 years. Weight loss data gathered at the sites are summarized in the accompanying table.

In addition to the careful sampling and evaluation accomplished during this 24-year program, simple visual inspection revealed that:

- The appearance of ALUMINIZED STEEL Type 2 was clearly superior to that of conventional metallic coatings.
- The condition of ALUMINIZED STEEL Type 2 Pipe inverts—a critical point in durability design—was excellent.

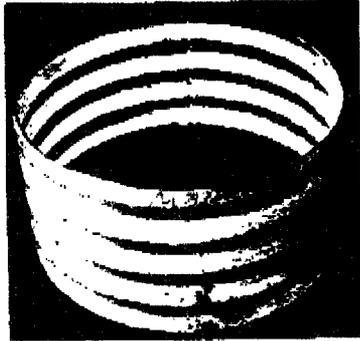
The results of these long-term experimental exposures have been supported by the inspection of additional installations put in service in 1952-53. A total of 135 ALUMINIZED STEEL Type 2 culverts were installed at that time in 20 states. A separate inspection program of a number of these sites has been underway since 1976, and the durability indicated in the 24-year tests has been confirmed.

Typical Corrosion Losses for ALUMINIZED STEEL Type 2 Coating and Galvanized Coating

Site	Dia.	PIPE-SECTION WEIGHT LOSS IN GRAMS			
		8-Year Data ALUMINIZED STEEL Type 2	Galvanized	24-Year Data * ALUMINIZED STEEL Type 2	Galvanized
Portsmouth, NH	15"	60	1152	178	> 1500
Lyle, MN	21"	8	314	31	788
Montrose, CO	15"	35	290	79	709
Belle Fourche, SD	21"	0	64	3	223
Brookville, OH	21"	18	297	21	578

*NOTE ALUMINIZED STEEL Type 2 installed in 1952. Galvanized specimens installed in 1948/1949. Total exposure up to 28 years.

The proof is in the performance

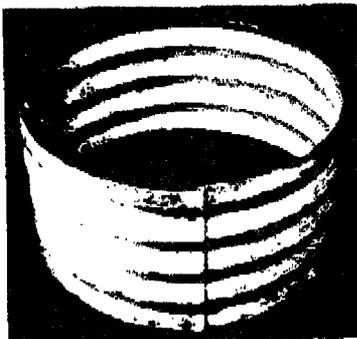


8 Year Test Period

Under erosive conditions in Kentucky*, the ALUMINIZED STEEL Type 2 culvert on the left had a weight loss of 10 grams, versus 104 grams for the galvanized at right.



Under farm field/highway drainage conditions in Mississippi*, the ALUMINIZED STEEL Type 2 culvert (left) had a weight loss of eight grams, versus 508 grams for the galvanized (right).



Under fresh water swamp conditions in Minnesota, the ALUMINIZED STEEL Type 2 culvert (left) had a weight loss of eight grams, versus 314 grams for the galvanized (right).



24 Year Test Period

After 24 years under farm field drainage conditions, this ALUMINIZED STEEL Type 2 culvert was in excellent condition and shows no sign of deterioration. Stain that normally develops on ALUMINIZED STEEL Type 2 has been wiped from the center three corrugations, showing the pipe still in excellent condition.

*These sites lost prior to 24-year inspection due to construction.

James City County - Stormwater Division

~~462010004~~

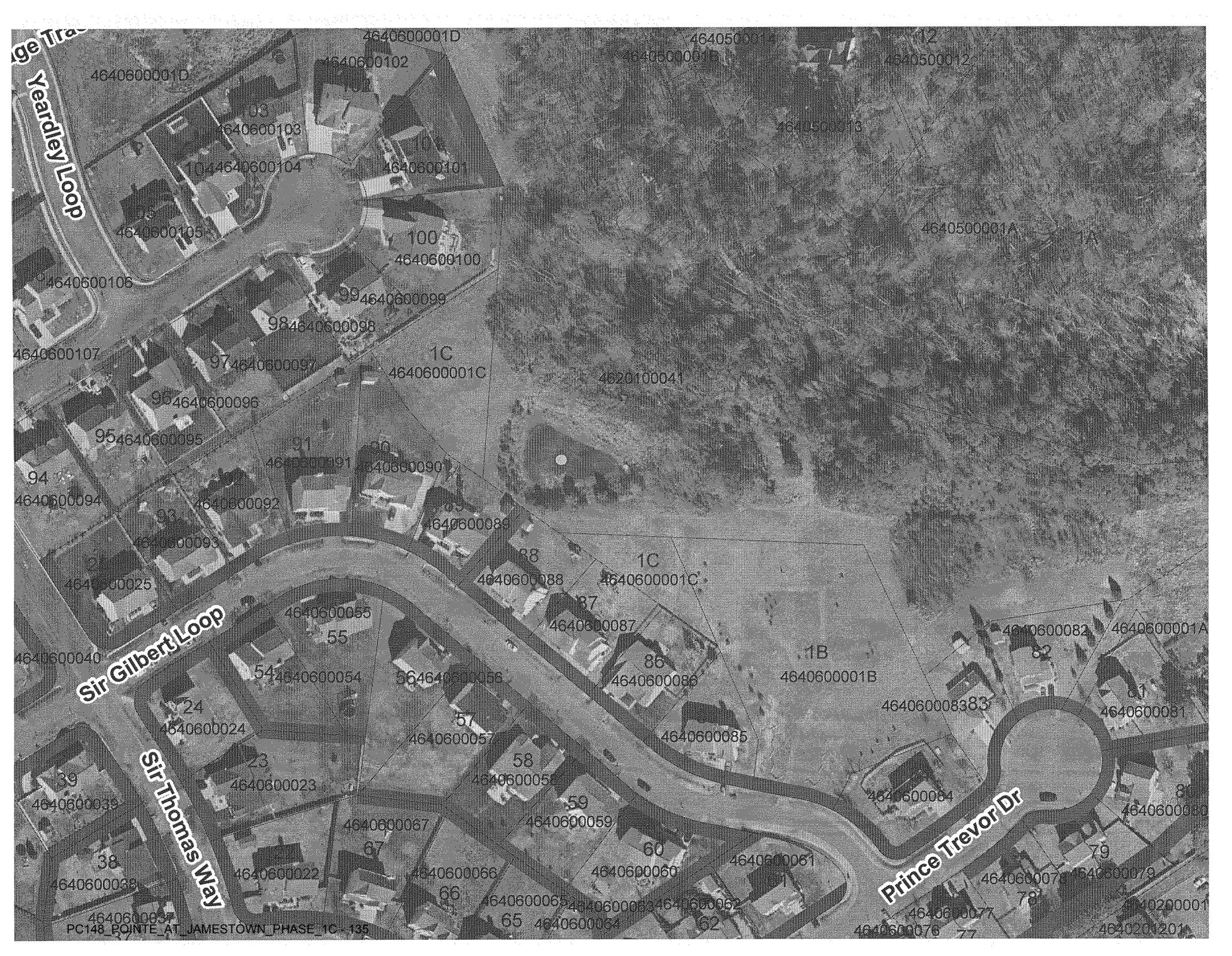


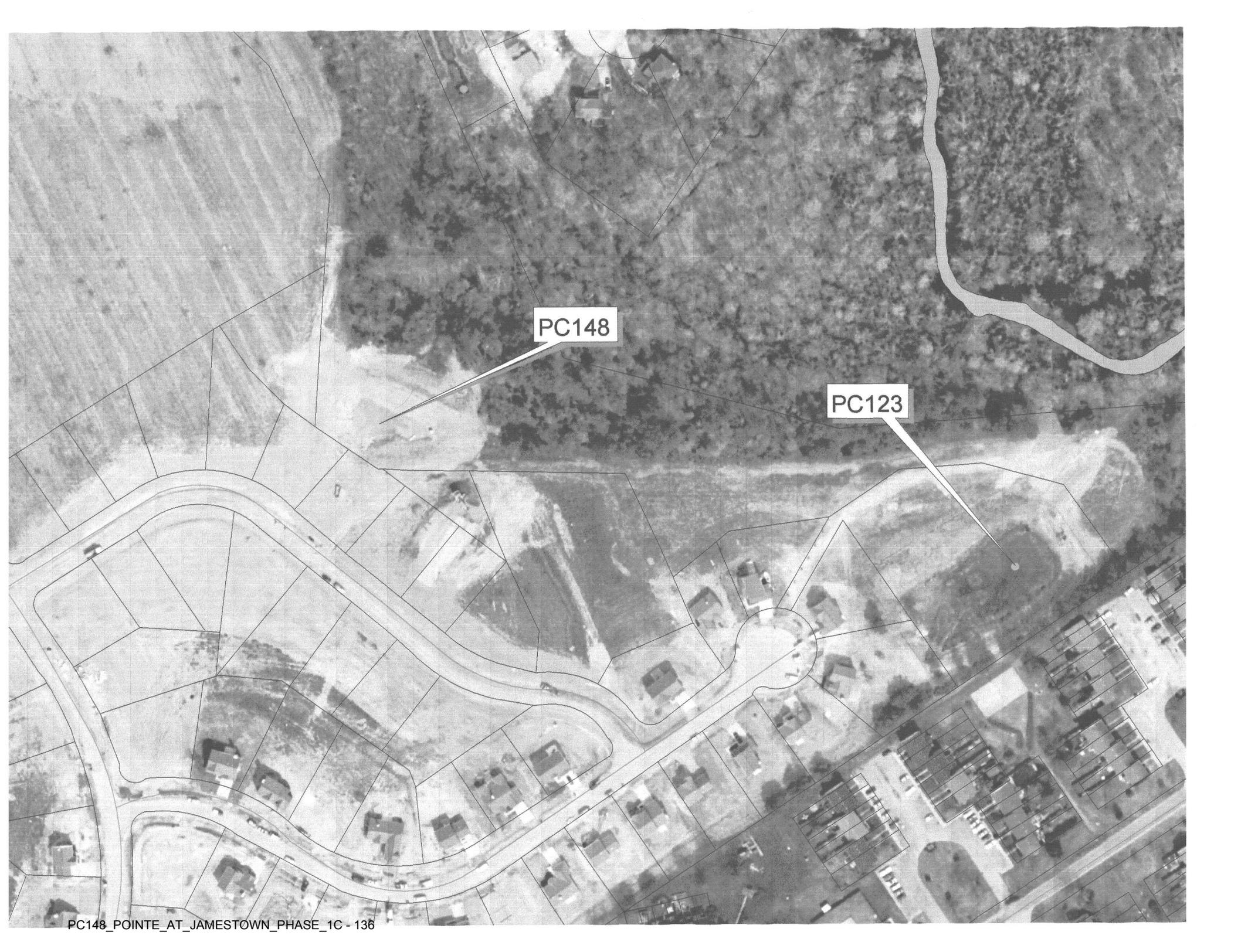
This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and James City County is not responsible for its accuracy or how current it may be. If discrepancies are found, please contact the Real Estate Assessment Division of James City County, Mapping/GIS Section.

1 inch = 59 feet









PC148

PC123

JAMES CITY COUNTY CODE COMPLIANCE CHECKLIST

I. EROSION AND SEDIMENT CONTROL PLAN

A. Site Plan

- Vicinity Map - A small map locating the site in relation to the surrounding area. Include any landmarks which might assist in locating the site.
- Indicate North - The direction of north in relation to the site.
- Limits of Clearing and Grading - Areas which are to be cleared and graded.
- Limits of Cut and Fill Slopes
- Areas and Amount of Disturbance (in acres or square feet).
- Existing Contours - The existing contours of the site at no more than 5-foot intervals.
- Final Contours - Changes to the existing contours, including final drainage patterns at no more than 2 foot intervals.
(POND LOCATED)
- Existing and Proposed Spot Elevations - To supplement existing contour information. Proposed spot elevations may replace final contours in some instances.
- Existing Vegetation - The existing tree lines, grassed areas, or unique vegetation.
- Soils - The boundaries of different soil types.
- Environmental Inventory - In accordance with Chesapeake Bay Ordinance, Sect. 19B-10B. For wetlands, include documentation from approving agency.
- Existing and Proposed Drainage Patterns - The dividing lines and the direction of flow for the different drainage areas. Include the size (acreage) of each drainage area.
- 100 Year Floodplain Limits.
- Professional Seal - Signed upon approval of plan.
- Critical Erosion Areas - Areas with potentially serious erosion problems. (See VESCH, Chapter 6 for criteria.)

Site Development - Show all improvements such as buildings, parking lots, access roads, utility construction, etc.

Location of Practices - The locations of erosion and sediment controls, tree protection, and stormwater management practices used on the site. Use the standard symbols and abbreviations in Chapter 3 of the 1992 edition of the Virginia Erosion and Sediment Control Handbook.

Temporary Stockpile Areas - Staging and equipment storage areas.

N/A Off-site Areas - Identify any off-site land-disturbing activities (e.g., borrow sites, waste areas, etc.). Show location of erosion controls. (Is there sufficient information to assure adequate protection and stabilization?)

Sediment Basin Design Data Sheet - Submitted along with cross-section through embankment for all basins.

Detail Drawings - Any structural practices used that are not referenced to the E&S handbook or local handbooks should be explained and illustrated with detailed drawings. Also include standard detail along with site specific details required to construct measures such as sediment traps, outlet protection, etc.

Maintenance - A schedule of regular inspections and repair of erosion and sediment control structures should be set forth.

Trench Dewatering - Details and specifications (per VESCH).

Standard County Erosion and Sediment Control Notes

N/A Phasing Plan - (if required)

Construction Sequence - (if required) Generally supplied by contractor prior to preconstruction conference.

B. Narrative Plan (if required) (N/A)

N/A Project Description - Briefly describes the nature and purpose of the land-disturbing activity, and the areas (acres) to be disturbed.

N/A Existing Site Conditions - A description of the existing topography, vegetation, and drainage.

- ✓ Calculations - Detailed calculations for design of temporary sediment basins and traps permanent diversion, channels, outfall protection, etc. Include calculations for pre- and post-development runoff.
- N/A Adjacent Areas - A description of neighboring areas such as streams, lakes, residential areas, roads, etc., which might be affected by the land disturbance.
- N/A Off-site Areas - Describe any off-site land-disturbing activities that will occur (including borrow sites, waste or surplus areas, etc.). Will any other areas be disturbed?
- N/A Soils - A brief description of the soils on the site giving such information as soil name, mapping unit, erodibility, permeability, depth, texture, and soil structure.
- N/A Critical Areas - A description of areas on the site which have potentially serious erosion problems (e.g., steep slopes, channels, wet weather/underground springs, etc.).
- N/A Erosion and Sediment Control Measures - A description of the methods which will be used to control erosion and sedimentation on the site. (Controls should meet the specifications in Chapter 3 of the VESCH.)
- N/A Permanent Stabilization - A brief description, including specifications, of how the site will be stabilized after construction is completed.
- N/A Stormwater Runoff Considerations - Describe the strategy to control stormwater runoff.

II. STORMWATER MANAGEMENT

A. STORMWATER TREATMENT SYSTEM

- ✓ Drainage Area Map at a maximum scale of 1"=200' showing drainage area boundaries for pre- and post-development conditions and pre- and post-development time of concentration flow paths. For multiphased projects, the map must include all future phases for the project.
- ✓ Soil Map with site and drainage area outlined.
- ✓ Receiving Channel and Pipe System Adequacy Determinations. All stormwater must be discharged to an adequate, well-defined receiving system.

N/A Worksheet for BMP Point System to determine need for and type of structural BMPs required as well as Natural Open Space BMP points.

✓ Stormwater Detention Basin Design Checklist completed for each structure.

N/A Conservation Easements required for all Natural Open Space Points claimed in BMP Worksheet.

N/A Infiltration Device Design, Detail and Specification. Must include results of a soil test to verify, a minimum infiltration rate of 0.27 inches per hour at the trench location to a depth of 5 feet below the bottom of the trench.

✓ Stormwater Management Facility Easements including a 20-foot wide access easement and a 15-foot wide maintenance easement from the 100-year storm elevation and include the dam and outlet structure.

B. STORMWATER CONVEYANCE SYSTEMS

✓ Drainage Area Map to support the design of all conveyance systems; culverts, roadside ditches, storm drain systems, etc.

✓ Culvert Calculations, inlet and outlet control, existing and proposed based on 10-year storm.

✓ Storm Sewer Calculations to include hydraulic grade line, inlet, and spread calculations for 10-year storm.

N/A Open Ditch Calculations, lining determined based on 2-year peak velocity and capacity based on 10-year peak discharge, existing, and proposed.

✓ Slope Requirements, minimum longitudinal street slope requirement is 0.75% for grass-lined ditch, 0.5% for paved ditch, and 0.3% for closed (curb and gutter) section.

✓ Outlet Protection required for all outfalls in accordance with Chapter 3, VESCH.

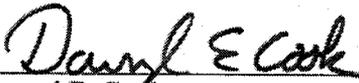
MEMORANDUM

DATE: September 8, 2009
TO: The Board of Supervisors
FROM: Darryl E. Cook, County Engineer
SUBJECT: Easement Agreement – The Pointe Homeowners Association – 4669 Sir Gilbert Loop

At the same time that Mainland Farm was being acquired by the Economic Development Authority, Albert and Frances White donated a significant amount of environmentally sensitive land to James City County. One of the donated parcels of land was a 15.02-acre parcel located between The Pointe at Jamestown and St. George's Hundred subdivisions. The plat that conveyed this parcel to the County reserved an area of the parcel for the location of a future stormwater management facility to serve The Pointe at Jamestown subdivision.

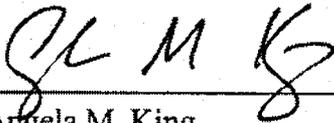
The stormwater management facility, which controls only stormwater runoff from the subdivision, has now been constructed within the area reserved for the facility. However, an easement needs to be created which allows The Pointe Homeowners Association to access and perform maintenance activities on the facility. There is a recorded maintenance agreement that was executed between the County and the developer, Westover Meadows, which assigned maintenance responsibilities for the facility to the developer and its successors.

Staff recommends approval of the attached resolution authorizing the County Administrator to execute any and all documents necessary to convey such an easement to The Pointe Homeowners Association.



Darryl E. Cook

CONCUR:



Angela M. King

DEC/nb
PointeEsmnt_mem

Attachment

A G E N D A

JAMES CITY COUNTY BOARD OF SUPERVISORS

County Government Center Board Room

September 8, 2009

7:00 P.M.

- A. ROLL CALL**
- B. MOMENT OF SILENCE**
- C. PLEDGE OF ALLEGIANCE** – Kaitlynn Adkins, a fifth-grade student at James River Elementary School
- D. PUBLIC COMMENT**
- E. CONSENT CALENDAR**
 - 1. Minutes – August 11, 2009, Regular Meeting
 - 2. Dedication of Opportunity Way into the State Secondary Highway System
 - 3. Award of Bid – Freedom Park Water Main – \$176,610
Supports County's Strategic Pathway 3.d - invest in the capital project needs of the community
- F. PUBLIC HEARINGS**
 - 1. Case No. SUP-0012-2009. 101 Birch Circle Accessory Apartment (Withdrawn by Applicant)
 - 2. Easement Agreement – The Pointe Homeowners Association – 4669 Sir Gilbert Loop
Supports County's Strategic Pathway 4.f - manage stormwater effectively and protect groundwater
 - 3. Cricket Communications, Inc. – Lease of Space on Virginia Peninsula Regional Jail Cellular Tower
- G. PUBLIC COMMENT**
- H. REPORTS OF THE COUNTY ADMINISTRATOR**
- I. BOARD REQUESTS AND DIRECTIVES**
- J. CLOSED SESSION**
 - 1. Consideration of the acquisition of a parcel (s) of property for public use, pursuant to Section 2.2-3711(A)(3) of the Code of Virginia
- K. ADJOURNMENT** to 4 p.m. on September 22, 2009

TIME LIMIT for PUBLIC COMMENT SPEAKERS **TIME LIMIT for PUBLIC HEARING SPEAKERS**

3 minutes at each comment period

Representative of a group -- 15 minutes
Individual -- 5 minutes

F. PUBLIC HEARINGS

1. Case No. SUP-0012-2009. 101 Birch Circle Accessory Apartment
Staff Recommendation: No Action – Withdrawn by Applicant
2. Easement Agreement – The Pointe Homeowners Association – 4669 Sir Gilbert Loop
Staff Recommendation: Approval
3. Cricket Communications, Inc. – Lease of Space on Virginia Peninsula Regional Jail Cellular Tower
Staff Recommendation: Approval

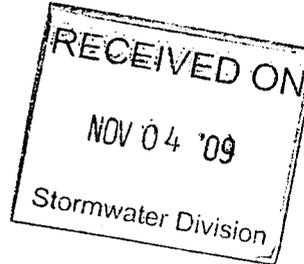


CONSULTING ENGINEERS

AES, a professional corporation
5248 Olde Towne Road, Suite 1
Williamsburg, VA 23188
757-253-0040

November 3, 2009
Project No: W09801-S-18
Invoice No: 37420

Darryl Cook
James City County
P.O. Box 8784
Williamsburg, VA 23187-8784



Project Manager Thomas Sublett

Project W09801-S-18 Pointe at Jamestown BMP

Professional Services for the Period: October 1, 2009 to October 31, 2009

Billing Group 201 Easement Plat

- Services Rendered per PO #100158, Dated 10/14/2009

Total Fee	720.00		
Percent Complete	100.00	Total Earned	720.00
		Previous Fee Billing	0.00
		Current Fee Billing	720.00
		Total Fee	720.00
		Phase Total	\$720.00
		Total Project Invoice Amount	\$720.00

Please remit payment to our Williamsburg address. Thank you.

All invoices are due upon receipt. A late charge of 1.5% will be added to any unpaid balance after 30 days.

Approved for payment
Darryl E Cook 11/4/09

46-1 1-12
990017279
74/10-11

~~46-4 1-25 + 1-26~~

Hampton Rd S Dew.
not active

464-06-

080019591

28/83-84

020010154

MEMORANDUM

DATE: September 8, 2009
TO: The Board of Supervisors
FROM: Darryl E. Cook, County Engineer
SUBJECT: Easement Agreement – The Pointe Homeowners Association

A+

On October 30, 1997, Albert and Frances White deeded 15.02 acres of land to James City County as part of the Mainland Farm preservation action. The parcel of land is located between The Pointe at Jamestown and St. George's Hundred subdivisions. The plat that conveyed the property to the County reserved an area of the parcel for the location of a future stormwater management facility to serve The Pointe at Jamestown subdivision.

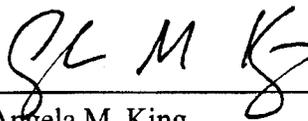
The stormwater management facility, which controls only stormwater runoff from the subdivision, has now been constructed within the area reserved for the facility. However, an easement needs to be created which allows the Pointe Homeowners Association to access and perform maintenance activities on the facility. There is a recorded maintenance agreement that was executed between the County and the developer, Westover Meadows, which assigned maintenance responsibilities for the facility to the developer and its successors.

Staff recommends approval of the attached resolution authorizing the County Administrator to execute any and all documents necessary to convey such an easement to the Pointe Homeowners Association.



Darryl E. Cook

CONCUR:



Angela M. King

DEC/nb
PointeEsmnt_mem

Attachment

RESOLUTION

EASEMENT AGREEMENT – THE POINTE HOMEOWNERS ASSOCIATION

WHEREAS, James City County (County) owns 15.02 acres located at 4669 Sir Gilbert Loop, designated as Parcel No. 0100041 on James City County Real Estate Tax Map No. (46-2) (the “Property”); and

WHEREAS, there is a stormwater management facility located on the Property that was constructed for and controls stormwater runoff from The Pointe at Jamestown subdivision; and

WHEREAS, the Pointe Homeowners Association requires an easement to access and maintain the stormwater facility in its proper working condition; and

WHEREAS, the Board of Supervisors, following a public hearing, is of the opinion that it is in the public interest to convey an easement to the Pointe Homeowners Association.

NOW, THEREFORE, BE IT RESOLVED that the Board of Supervisors of James City County, Virginia, hereby authorizes the County Administrator to execute any and all documents necessary to convey an easement to the Pointe Homeowners Association for access to and maintenance of the stormwater management facility at 4669 Sir Gilbert Loop.

James G. Kennedy
Chairman, Board of Supervisors

ATTEST:

Sanford B. Wanner
Clerk to the Board

Adopted by the Board of Supervisors of James City County, Virginia, this 8th day of
September, 2009.

PointeEsmnt_res

ENVIRONMENTAL DIVISION REVIEW COMMENTS
THE POINTE AT JAMESTOWN, PHASE 1-C
PLAN NO. S-65-99
July 15, 1999

MCE/DEC

1. A Land Disturbing Permit and Siltation Agreement, with surety, are required for this project.
2. A Subdivision Agreement, with surety, shall be executed with the County prior to recordation of lots.
3. Water and sewer inspection fees must be paid prior to the issuance of a Land Disturbing Permit.
4. An Inspection/Maintenance Agreement shall be executed with the county for the BMP facility for this project.
5. As-built drawings must be provided for the detention basin on completion. Also, a note shall be provided on the plan stating that upon completion, the construction of the dam will be certified by a professional engineer who has inspected the structure during construction.
6. A streetlight rental fee for 6 lights must be paid prior to the recordation of the subdivision plat.
7. Show any temporary soil stockpile areas, staging and equipment storage areas.
8. Identify any off-site land disturbing areas required with proper erosion control measures.
9. Replace the Erosion Control Notes on sheet C-7 with the revised James City County Erosion Control Notes dated 5/5/99.
10. Submit an adequacy analysis for all receiving channels to ensure that the channel is stable for the 2-year velocity.
11. Submit a BMP calculation worksheet that demonstrates that this project meets the county's criteria.
12. Provide conservation easements for all Natural Open Space areas claimed in the BMP worksheet.
13. Provide stormwater management facility easement to include a 20-foot wide access easement and a 15-foot wide maintenance easement measured from the 100-year storm elevation and including the dam and outlet structure.

14. Provide calculations to support the design of all drainage ditches addressing both capacity and velocity of flow.
15. Submit a request to the Director of the Environmental Division for an exception to disturb slopes in excess of 25%. State what special measures, sodding etc., will be undertaken to restabilize these slopes.
16. Provide evidence that any required wetlands permits have been obtained.
17. Provide a method of draining the following clusters of lots so as to prevent drainage problems for future homeowners: lots 23,24,54,55; and lots 50-53 and 35-39.
18. The following comments pertain to the basin design:
 - A. The basin must be redesigned to provide a 3:1 slope on both faces of the dam, to facilitate mowing.
 - B. The dam detail on sheet 7 calls for the riser structure to be ACCMP, while the dewatering device 1 detail on the same sheet calls for CMP pipe. CMP is not acceptable for use in a permanent BMP.
 - C. Provide either safety fencing or a safety bench in the basin.
 - D. Show limits of clearing for construction of the BMP. Also provide silt fence below the areas of construction of the dam and outfall pipe.
 - E. Raise the top of the dam to provide at least 1.0 feet of freeboard for the 100-year storm.
 - F. There are two methods of trash protection shown for the 18" orifice. Please clarify which is to be used.
 - G. Examine the 100-year floodplain elevations for Powhatan Creek to determine if backwater from the event impacts the discharge from the BMP.
19. Either revise the location of the BMP to keep it out of the 100-foot RPA buffer or submit evidence that the buffer line is incorrectly drawn.

MR CHAIRMAN – MEMBERS OF THE BOARD:

YOU HAVE BEFORE YOU FOR YOUR CONSIDERATION AN EASEMENT AGREEMENT TO GRANT THE POINTE HOMEOWNERS ASSOCIATION AN EASEMENT TO ACCESS AND MAINTAIN A STORMWATER MANAGEMENT FACILITY ON COUNTY PROPERTY. (PUT UP MAP)

JAMES CITY COUNTY OWNS A PARCEL OF LAND BETWEEN THE POINTE AT JAMESTOWN AND ST GEORGES HUNDRED SUBDIVISIONS. THIS PARCEL IS ONE OF THE PARCELS THAT WAS DONATED TO THE COUNTY AT THE SAME TIME THAT MAINLAND FARM WAS BEING ACQUIRED BY THE ECONOMIC DEVELOPMENT AUTHORITY. WHEN THE PROPERTY WAS TRANSFERRED TO THE COUNTY, AN AREA ON THE PARCEL WAS RESERVED FOR THE LOCATION OF A FUTURE STORMWATER MANAGEMENT FACILITY TO SERVE THE POINTE AT JAMESTOWN SUBDIVISION.

THE STORMWATER FACILITY, WHICH CONTROLS ONLY STORMWATER FROM THE SUBDIVISION, HAS NOW BEEN CONSTRUCTED WITHIN THE AREA RESERVED FOR THE FACILITY. HOWEVER, AN EASEMENT NEEDS TO BE CREATED ON THE PARCEL TO ALLOW THE POINTE HOMEOWNERS ASSOCIATION ~~TO~~ LEGAL ACCESS TO MAINTAIN THE FACILITY.

THE PROPERTY MANAGER FOR THE POINTE HOMEOWNERS ASSOCIATION DISCUSSED THE MATTER OF THE EASEMENT WITH THEM AT THEIR BOARD MEETING LAST MONTH . THEY UNDERSTAND THE NEED FOR THE EASEMENT AND THEIR RESPONSIBILITY TO MAINTAIN THE FACILITY. STAFF RECOMMENDS APPROVAL OF THE RESOLUTION AUTHORIZING THE COUNTY ADMINISTRATOR TO EXECUTE THE AGREEMENT WITH THE POINTE HOMEOWNERS ASSOCIATION. I'LL BE GLAD TO ANSWER ANY QUESTIONS YOU HAVE REGARDING THIS MATTER.

Prop Transferred 10/30/1997

MAINT AGMT Sept 9, 1999

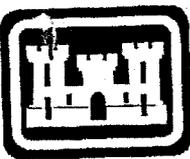
Record Dwg Oct, 2002

Sept ~~1999~~ or 1-C - Built

October 8, 1999

FILE -
PC @ Jamestown - Sect 1-C

U.S. Army Corps of Engineers
Norfolk District, Southern Virginia Regulatory Section
803 Front Street
Norfolk, Virginia 23510



Project Number: 99-R0918

Waterway: Powhatan Creek

1. Participant:
Henry Stevens
Associated Developers, Inc.
5300 Mercury Blvd.
Newport News, VA 23605

2. Authorized Agent:
Stokes Environmental Associates, Ltd.
550 E. Main Street, Suite 408
Norfolk, Virginia 23510
Attn: George Bangs

3. Address of Job Site:
About 1000' northwest of Va Hwy 31 and about 2000' NE of Greensprings Rd. in James City Co., VA.

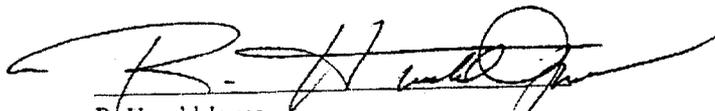
4. Project Description:
Request for **Jurisdictional determination** and NWP-26 of less than 1/3 acre to build a BMP.

5. Findings

This is regarding your request for verification of a jurisdictional wetlands delineation. The limits of the jurisdictional wetlands regulated under Section 404 of the Clean Water Act (33 C.F.R. 1344) on the Pointe at Jamestown BMP site in James City County, Virginia are shown on the attached drawing and submitted to the Corps by Stokes Environmental Associates. Nontidal, headwater wetlands were identified on the site. This jurisdictional determination is valid for a period of five years from the date of this letter.

Please be advised that work in the jurisdictional areas may require a Department of Army permit and possibly authorization by State and local authorities. Please note that this is simply a jurisdictional determination for the subject property. Verification and issuance of NWP-26 for less than 1/3 acre to build the BMP will require receipt and review of the engineering drawing for the BMP and associated structures. This letter does not authorize the placement of dredged or fill material or mechanized land clearing in wetlands or waters of the United States. Proposed work on the property, which would potentially result in the placement of dredged or fill material into wetlands or waters of the United States, would be subject to review by the Corps and any appropriate State and local agencies prior to the start of any fill activities. The term *discharge of dredged material* is defined as "any addition, including any redeposit, of dredged material, including excavated material, into waters of the United States which is incidental to any activity including mechanized landclearing, ditching, channelization, or other excavation (33 CFR Part 232.2(1)(iii)).

6. Corps Contact: Robert Sniffen at (757) 441-7792


R. Harold Jones
Chief, Southern Virginia Regulatory Section

NAO FL 13 REVISED DEC 90

OPTIONAL FORM 99 (7-90)

FAX TRANSMITTAL # of pages ▶ 02

To DARRY COOK	From SNIFFEN
Dept./Agency	Phone # 441-7792
Fax # 253-6850	Fax #

NSN 7540-01-317-7368 5099-101 GENERAL SERVICES ADMINISTRATION