



## CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

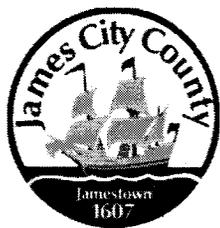
**BMP NUMBER:** SC023

**DATE VERIFIED:** April 19, 2012

**QUALITY ASSURANCE TECHNICIAN:** Leah Hardenbergh

*Leah Hardenbergh*

**LOCATION:** WILLIAMSBURG, VIRGINIA



# Stormwater Division

## MEMORANDUM

**DATE:** March 10, 2010  
**TO:** Michael J. Gillis, Virginia Correctional Enterprises Document Management Services  
**FROM:** Jo Anna Ripley, Stormwater  
**PO:** 270712  
**RE:** Files Approved for Scanning

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**General File ID or BMP ID:** SC023

**PIN:** 6010100010

**Subdivision, Tract, Business or Owner**

**Name (if known):**

Walmart

**Property Description:**

Lot 2 Green Mount Associates \*was (60-1)(1-4)

**Site Address:**

9305 Pocahontas Trail

*(For internal use only)*

**Box** 8

**Drawer:** 5

**Agreements:** (in file as of scan date)

N

**Book or Doc#:**

**Page:**

Comments

**Section 4 - Professional Certifications:**

**Certifying Professionals:** (Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)

**Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities**

**Record Drawing Certification**

**Construction Certification**

Firm Name: RANDY BIEBER, L.S.  
Mailing Address: 5401 HILLSBOROUGH ST.  
RALEIGH, NC 27606  
Business Phone: 919-854-4833  
Fax: 919-854-4834

Firm Name: Carter & Burgess, Inc.  
Mailing Address: 777 Main Street, Floor  
29, Ft. Worth, TX 76102  
Business Phone: 817-222-8446  
Fax: 817-222-8780

Name: RANDY BIEBER  
Title: LAND SURVEYOR

Name: James D. Emerson  
Title: Civil Engineer

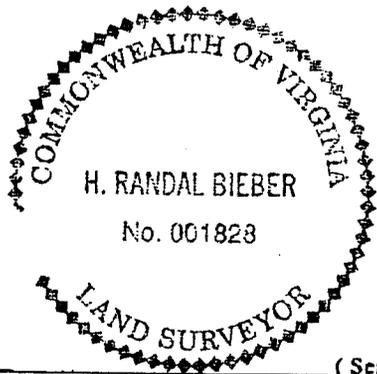
Signature: H. Randal Bieber  
Date: 12-22-05

Signature: James D. Emerson  
Date: 1-17-06

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

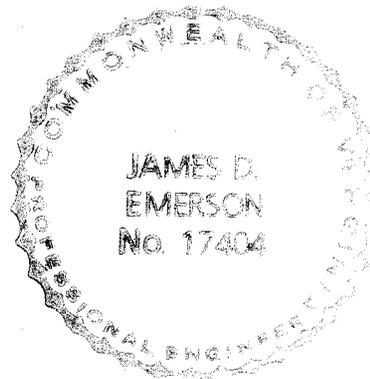
I hereby certify to the best of my knowledge and belief that this Stormwater Management/BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

(WAL-MART BULK STORAGE FACILITY # 6088, PAGE III)  
BMP CODES # SC019, SC020, SC021, SC022, SC023, SC024



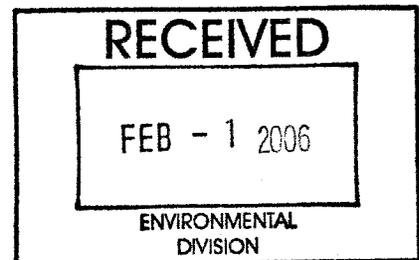
( Seal )

Virginia Registered Professional Engineer or Certified Land Surveyor



( Seal )

Virginia Registered Professional Engineer



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**Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities**

Record Drawing Certification

Construction Certification

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Mailing Address: 5401 HILSBROOK ST.  
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Business Phone: 919-854-4833  
Fax: 919-854-4834

Firm Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Business Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Name: RANDY BIEBER  
Title: LAND SURVEYOR

Name: \_\_\_\_\_  
Title: \_\_\_\_\_

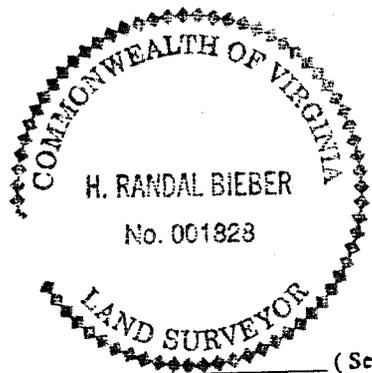
Signature: H. Randal Bieber  
Date: 12-22-05

Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

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FACILITY # 6088, PAGE III)  
BMP CODES # SC019, SC020, SC021,  
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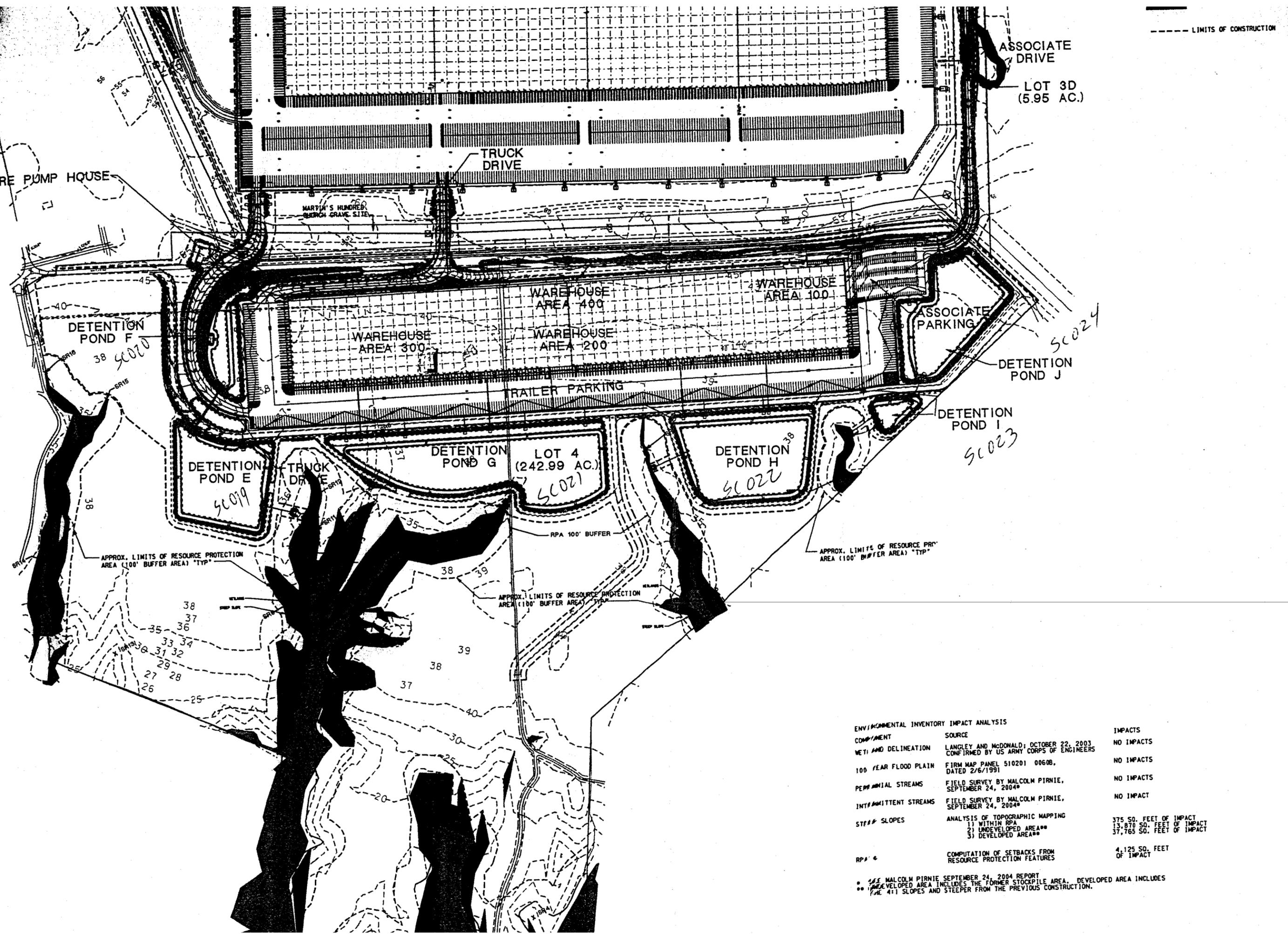
( Seal )

Virginia Registered Professional Engineer  
or Certified Land Surveyor

\_\_\_\_\_  
( Seal )

Virginia Registered  
Professional Engineer

--- LIMITS OF CONSTRUCTION

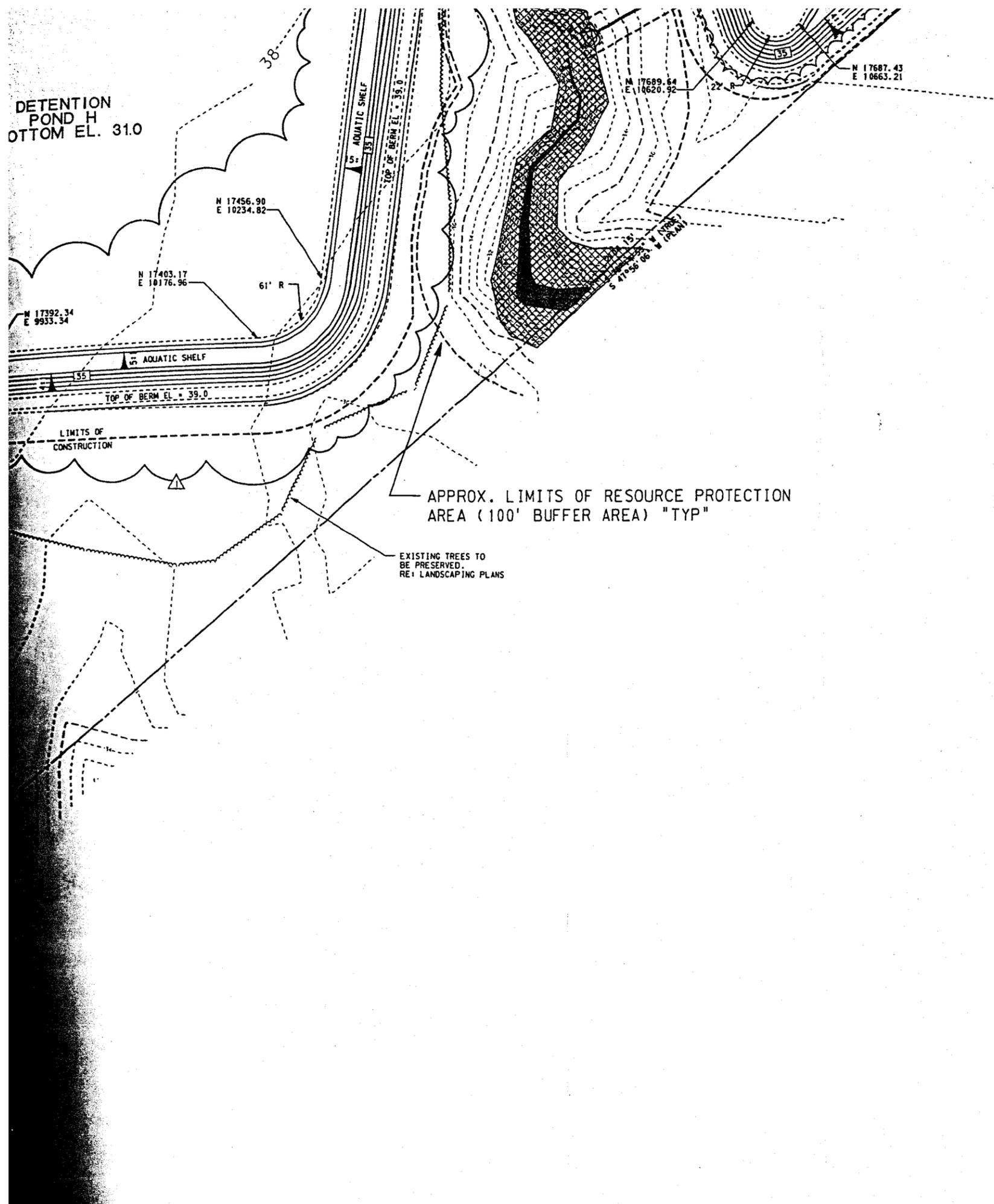


ENVIRONMENTAL INVENTORY IMPACT ANALYSIS		
COMPONENT	SOURCE	IMPACTS
NETI AND DELINEATION	LANGLEY AND McDONALD; OCTOBER 22, 2003 CONFIRMED BY US ARMY CORPS OF ENGINEERS	NO IMPACTS
100 YEAR FLOOD PLAIN	FIRM MAP PANEL 510201 00608, DATED 2/6/1991	NO IMPACTS
PERMANENT STREAMS	FIELD SURVEY BY MALCOLM PIRNIE, SEPTEMBER 24, 2004*	NO IMPACTS
INTERMITTENT STREAMS	FIELD SURVEY BY MALCOLM PIRNIE, SEPTEMBER 24, 2004*	NO IMPACT
STEEP SLOPES	ANALYSIS OF TOPOGRAPHIC MAPPING 1) WITHIN RPA 2) UNDEVELOPED AREA** 3) DEVELOPED AREA**	375 SQ. FEET OF IMPACT 13,870 SQ. FEET OF IMPACT 37,765 SQ. FEET OF IMPACT
RPA'S	COMPUTATION OF SETBACKS FROM RESOURCE PROTECTION FEATURES	4,125 SQ. FEET OF IMPACT

\* SEE MALCOLM PIRNIE SEPTEMBER 24, 2004 REPORT  
 \*\* DEVELOPED AREA INCLUDES THE FORMER STOCKPILE AREA. DEVELOPED AREA INCLUDES  
 THE 4:1 SLOPES AND STEEPER FROM THE PREVIOUS CONSTRUCTION.

TRUE - PL  
NORTH

DETECTION  
POND H  
OTTOM EL. 31.0



PAVEMENT OF  
NORTHEAST OF  
AND 57.9' SC  
A SANITARY  
ELEV. = 59.1

B.M. 2: TEMPORARY BE  
OF CONCRETE  
"189+41". TH  
APPROXIMATEL  
OF TOWER # 4  
WEST AND 85'  
ELEV. = 53.6

B.M. 3: TEMPORARY BE  
OF CONCRETE  
"170+47". TH  
APPROXIMATEL  
OF TOWER # 4  
WEST AND 87'  
ELEV. = 64.6

APPROX. LIMITS OF RESOURCE PROTECTION  
AREA (100' BUFFER AREA) "TYP"

EXISTING TREES TO  
BE PRESERVED.  
RE: LANDSCAPING PLANS

LIMITS OF  
CONSTRUCTION

61' R

TOP OF BERM EL. = 39.0

AQUATIC SHELF

N 17456.90  
E 10234.82

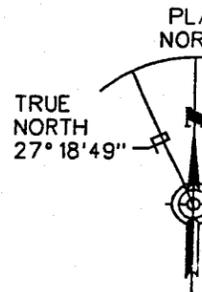
N 17403.17  
E 10176.96

N 17392.34  
E 9933.34

N 17589.64  
E 10620.92

N 17687.43  
E 10863.21

S 47036.06  
W 10000.00



\*STAT 10  
LOCATED  
FLATS RI  
OF U.S.  
18" EAST  
PAVEMENT  
NORTHEAS  
AND 57'  
A SANIT.  
ELEV. \*

B.M. 2: TEMPORAL  
OF CONC  
"189+41"  
APPROX  
OF TOWE  
WEST AN  
ELEV. \*

B.M. 3: TEMPORAL  
OF CONC  
"170+47"  
APPROX  
OF TOWE  
WEST AN  
ELEV. \*

MATCH LINE RE: C4.37

DETENTION  
POND H  
BOTTOM EL. 31.0

5022

100 YEAR PEAK  
W.S. EL. = 36.12

100 YEAR PEAK  
W.S. EL. = 36.03

APPROX. LIMITS OF RESOURCE PROTECTION  
AREA (100' BUFFER AREA) "TYP"

EXISTING TREES TO  
BE PRESERVED.  
RE: LANDSCAPING PLANS

STEEP SLOPE

11" WIDE 1'-X-10'  
18" RCH

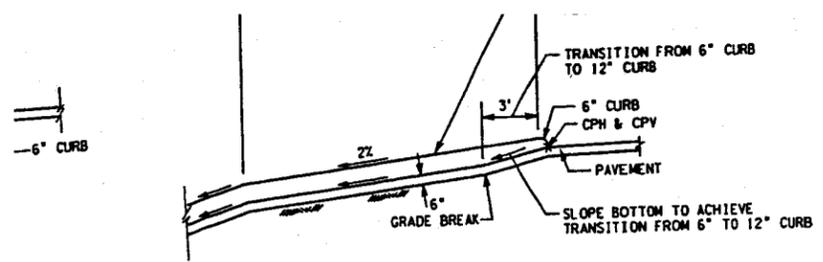
11" WIDE 1'-X-10'  
18" RCH  
CONCRETE W/ WIRE MESH  
PROTECTION  
13' X 13' C/S  
ROP  
13' X 13' C/S  
13' X 13' C/S

5' X 10' PEAK

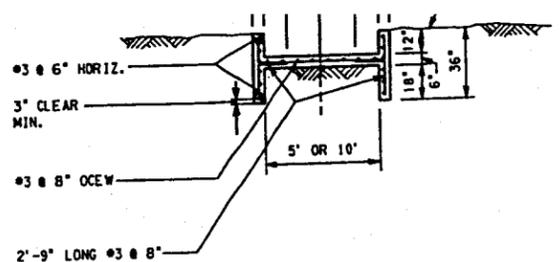
179  
194

TRUE  
NORTH  
27° 18' 49"

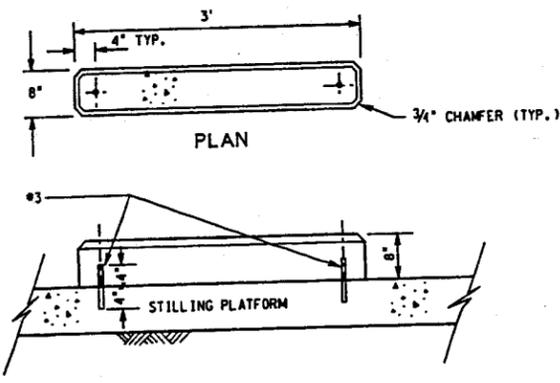




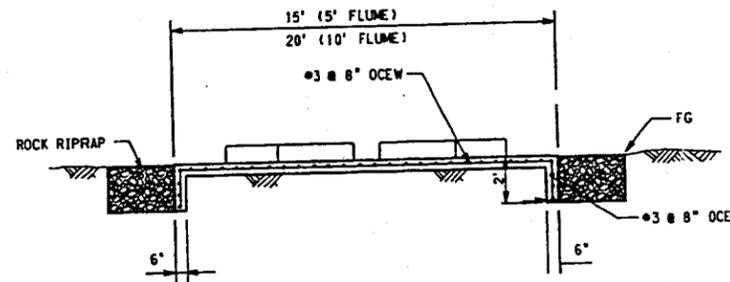
2 SECTION  
C4.52 NOT TO SCALE



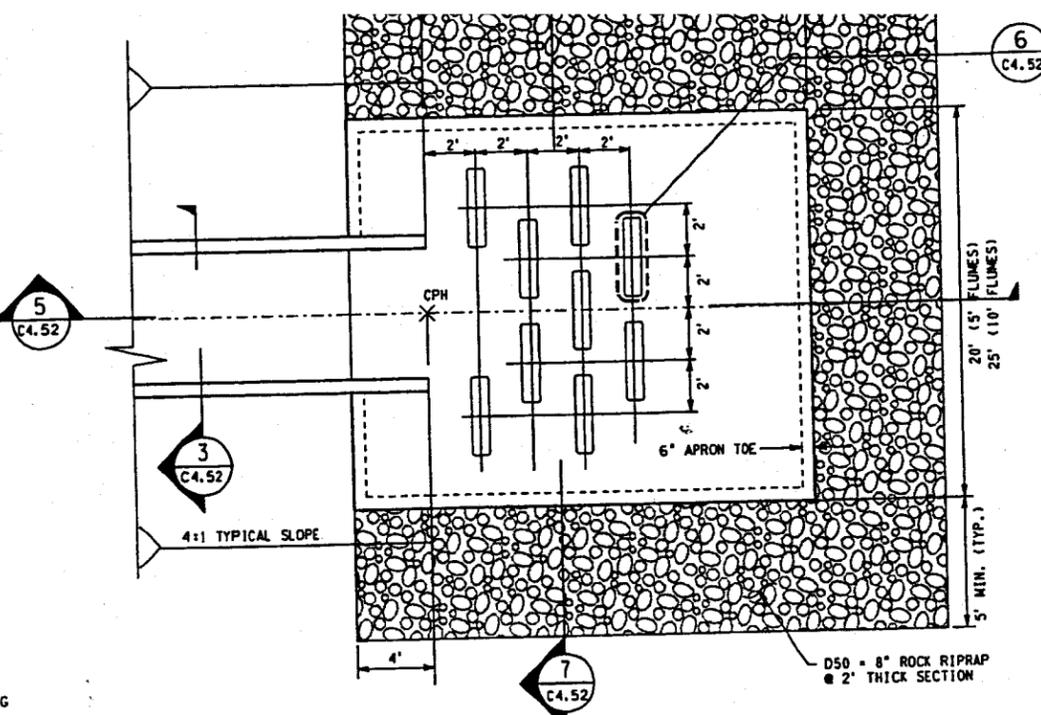
3 SECTION  
C4.52 NOT TO SCALE



6 CONCRETE BAFFLE  
C4.52 NOT TO SCALE

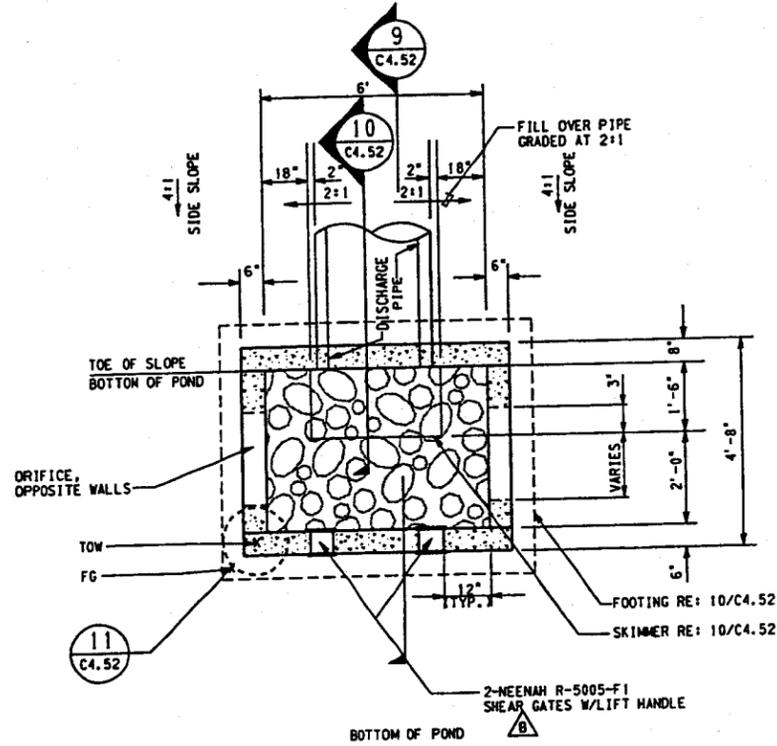
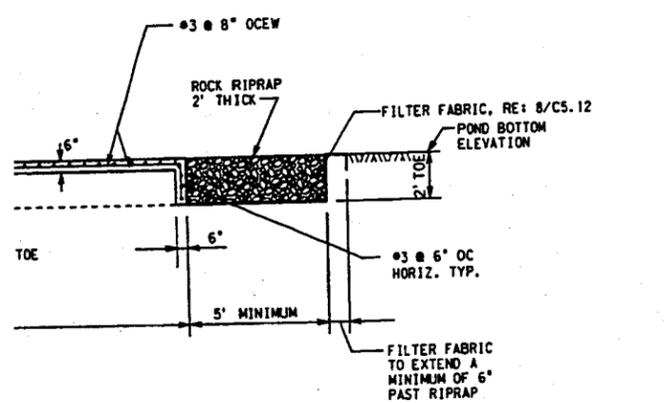


7 SECTION  
C4.52 NOT TO SCALE

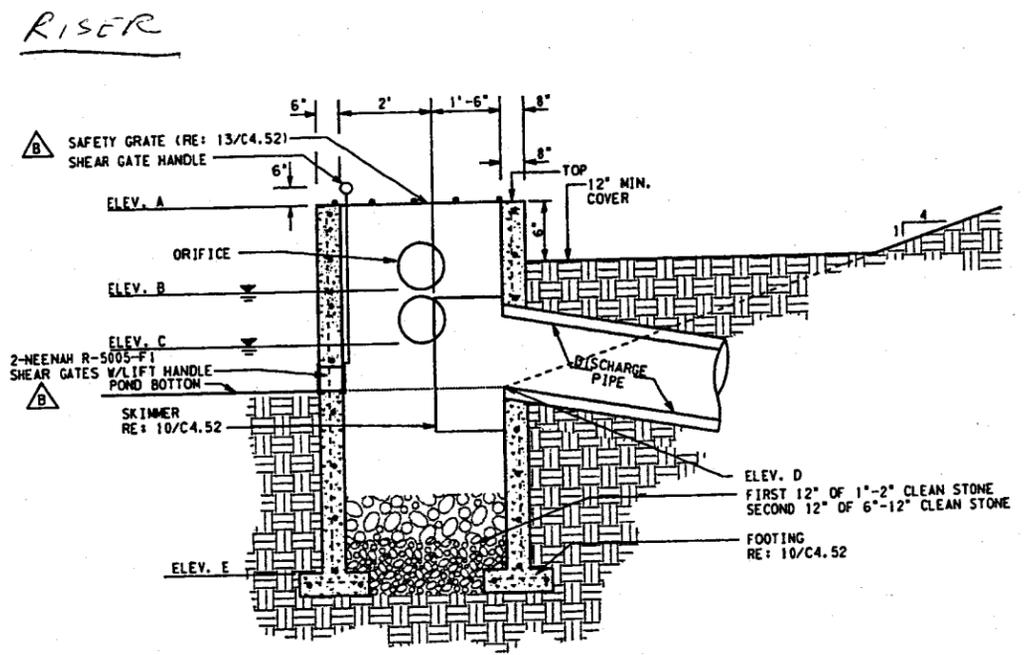


DETAIL NOTES:  
1. REFER TO LAYOUT AND DIMENSION PLANS FOR COORDINATE OF CONTROL POINT HORIZONTAL (CPH).

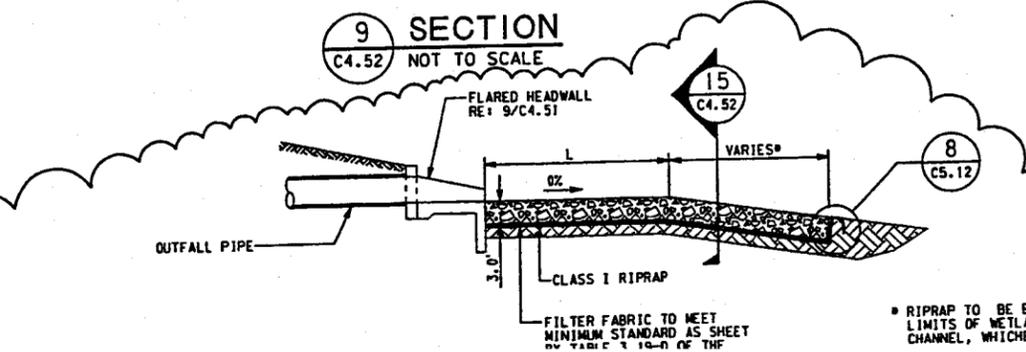
4 FLUME RIPRAP APRON DETAIL  
NOT TO SCALE



8 OUTFALL CONTROL STRUCTURE  
C4.37 NOT TO SCALE  
C4.39



DETAIL NOTES:  
1. FOOTINGS ARE INTENDED TO BE PERMANENT INSTALLATIONS AT THE OUTFALL STRUCTURES.

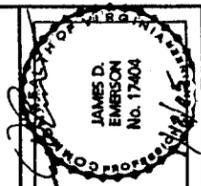


9 SECTION  
C4.52 NOT TO SCALE

PROJECT NO.	09/29/04	REVISION FOR LD PERMIT
DESIGNED BY	S. BOLTON	
DRAWN BY	S. BOLTON	ADDITION B
APPROVED BY	T. DALFERES	ISSUE FOR BID
DATE	08/16/04	ISSUE
NO.		DATE

**WAL-MART**  
STORES, INC.  
BULK STORAGE NO. 6088  
PHASE III  
JAMES CITY COUNTY, VA

STORM DRAIN DETAILS -  
SHEET 2 OF 6



PROJECT NO.	DATE	ISSUE
292245-030	09/20/04	REISSUE FOR LD PERMIT
292245-030	09/20/04	REVISION C
292245-030	08/16/04	ISSUE FOR BID
292245-030	07/14/04	ISSUE FOR PRELIM. APPROV.
292245-030	07/14/04	ISSUE FOR CONSTRUCTION
292245-030	10/14/04	ISSUE FOR CONSTRUCTION
292245-030	10/14/04	ISSUE FOR CONSTRUCTION

**WAL-MART**  
STORES, INC.  
BULK STORAGE NO. 6088  
PHASE III  
JAMES CITY COUNTY, VA

**EROSION & SEDIMENTATION  
CONTROL PLAN NOTES**

**Carter-Burgess**  
Consultants in Planning, Architecture, Engineering,  
Construction Management, and Related Services  
Carter & Burgess, Inc.  
777 Main Street, Fort Worth, Texas 76102  
(817) 222-8500 Fax (817) 222-8780

SHEET  
**C5.01**

**MAINTENANCE NOTES**

EMENT OF CONSTRUCTION AND UNTIL FINAL SITE  
HIEVED, ALL DISTURBED AREAS AND POLLUTANT CONTROLS  
T LEAST ONCE EVERY FOURTEEN CALENDAR DAYS AND  
LOWING A RAINFALL OF 0.5 INCHES OR GREATER. THE  
PECTIONS IS TO ASSESS PERFORMANCE OF POLLUTANT  
CTIONS SHOULD BE CONDUCTED BY THE WAL-MART  
R (WCMC) AND/OR THE CONTRACTOR. BASED ON  
THE WCMC WILL DECIDE WHETHER IT IS NECESSARY TO  
DIMENT CONTROL DEVICES, OR WHATEVER ELSE MAY BE  
PREVENT POLLUTANTS FROM LEAVING THE SITE VIA STORM  
WCMC HAS AUTHORITY TO CAUSE POLLUTANT CONTROL  
RED, MODIFIED, MAINTAINED, SUPPLEMENTED, OR  
CESSARY IN ORDER TO ACHIEVE EFFECTIVE POLLUTANT

LAR ITEMS TO EVALUATE DURING SITE INSPECTIONS ARE  
LIST IS NOT INTENDED TO BE COMPREHENSIVE. DURING  
INSPECTOR MUST EVALUATE OVERALL POLLUTANT CONTROL  
AS WELL AS PARTICULAR DETAILS OF INDIVIDUAL SYSTEM  
NAL FACTORS SHOULD BE CONSIDERED AS APPROPRIATE TO

E VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED  
F OFF-SITE SEDIMENT TRACKING. A STABILIZED CONSTRUCTION  
BE CONSTRUCTED WHERE VEHICLES ENTER AND EXIT, AND THIS  
BE MAINTAINED OR SUPPLEMENTED AS NECESSARY TO PREVENT  
LEAVING THE SITE ON VEHICLES.

ERS MUST BE INSPECTED AND, IF NECESSARY, THEY MUST BE  
EAINED IN ORDER TO PROVIDE ADDITIONAL CAPACITY. ALL  
ATED FROM BEHIND SEDIMENT BARRIERS WILL BE STOCKPILED  
E SIDE. ADDITIONAL SEDIMENT BARRIERS MUST BE CONSTRUCTED

LL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING  
ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE  
POLLUTANTS ENTERING THE DRAINAGE SYSTEM. IF NECESSARY,  
MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR  
ALSO, PROTECTIVE BERMS CONFORMING TO DETAIL 4 ON SHEET  
CONSTRUCTED, IF NEEDED, IN ORDER TO CONTAIN RUNOFF FROM  
GE AREAS.

WILL BE INSPECTED TO CONFIRM THAT A HEALTHY STAND OF GRASS  
THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS  
TH BUILDING FOUNDATION OR PAVEMENT, OR HAVE A STAND OF  
LEAST 70 PERCENT DENSITY. THE DENSITY OF 70 PERCENT OR  
E MAINTAINED TO BE CONSIDERED AS STABILIZED. AREAS MUST BE  
LIZED, AND RESEEDED AS NEEDED TO ACHIEVE THIS GOAL.

POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION CONTROL  
EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.

ION RESULTS, ANY MODIFICATION NECESSARY TO INCREASE THE  
OSION CONTROL MEASURES MUST BE MADE WITHIN SEVEN CALENDAR  
ION. IN ACCORDANCE WITH THE REQUIREMENTS OF THE VPDES GENERAL  
ES OF STORM WATER FROM CONSTRUCTION ACTIVITIES, AN INSPECTION  
ARED DOCUMENTING EACH INSPECTION. A FORM FOR RECORDING THESE  
UED WITH THE SITE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).  
PORTS MUST BE KEPT ON FILE WITH THE SWPPP FOR AT LEAST THREE  
AL STABILIZATION OF THE SITE.

**CONSTRUCTION ACCESS PLAN**

IMIZE CONSTRUCTION TRAFFIC ON BLOW FLATS ROAD, ALL  
BUILDING COMPONENTS WILL BE THROUGH THE EXISTING  
THIS SHALL BE COORDINATED WITH WAL-MART GENERAL  
EVENTION MANAGER. DELIVERIES OF EARTHMOVING (I.E.  
ASSENGER VEHICLES OF CONSTRUCTION WORKERS AND  
ERIES CAN UTILIZE BLOW FLATS ROAD. ANY VEHICLES  
S ROAD WILL NEED TO CLEAR FROM THE ROAD AND ENTER  
SITE IMMEDIATELY TO DESIGNATED AREAS. ALL NECESSARY  
PERMITS WILL NEED TO BE SECURED FROM THE VIRGINIA  
PORTATION.

STURBER  
MS  
, INC.  
7866 (CB:15)

ED INDIVIDUAL IS IDENTIFIED AS THE  
STURBER FOR SITE PLAN APPROVAL ONLY.

**TOPOGRAPHIC IMPACT ANALYSIS**

SOURCE	IMPACTS
LANGLEY AND McDONALD; OCTOBER 22, 2003 CONFIRMED BY US ARMY CORPS OF ENGINEERS	NO IMPACTS
FIRM MAP PANEL 510201 0060B, DATED 2/6/1991	NO IMPACTS
FIELD SURVEY BY MALCOLM PIRNIE, SEPTEMBER 24, 2004*	NO IMPACTS
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COMPUTATION OF SETBACKS FROM RESOURCE PROTECTION FEATURES	4,125 SQ. FEET OF IMPACT

NIE SEPTEMBER 24, 2004 REPORT  
A INCLUDES THE FORMER STOCKPILE AREA. DEVELOPED AREA INCLUDES  
AND STEEPER FROM THE PREVIOUS CONSTRUCTION.

**LONG TERM MAINTENANCE PLAN**

A MAINTENANCE PROGRAM IS REQUIRED TO ENSURE THE STORMWATER  
MANAGEMENT (SWM)/BEST MANAGEMENT PRACTICE (BMP) FACILITY  
FUNCTIONS AS DESIGNED AND TO PROVIDE FOR REASONABLE AESTHETIC  
CONDITIONS. PROPER MAINTENANCE IS ENCOURAGED TO PREVENT THE  
INTRODUCTION OF DEBRIS AND SEDIMENT AT INFLOW LOCATIONS,  
PRETREATMENT AREAS, THE BMP ITSELF, ITS PRINCIPAL CONTROL  
STRUCTURES AND DOWNSTREAM WATERWAYS. FOLLOWING INSTALLATION  
AND ESTABLISHMENT OF VEGETATION IN DISTURBED SITE AREAS,  
INSPECTIONS FOR SEDIMENT BUILDUPS WILL BE PERFORMED AT LEAST  
QUARTERLY. IT IS ANTICIPATED THAT UNDER NORMAL CONDITIONS,  
SEDIMENT REMOVAL WILL BE REQUIRED ONCE EVERY 5 TO 10 YEARS.  
IF OTHER CONSTRUCTION OR RELATED LAND-DISTURBING ACTIVITIES  
ARE PERFORMED UPSLOPE OF THE BMP, ADEQUATE PROTECTION  
MEASURES SHOULD BE IMPLEMENTED WITH INSPECTIONS PERFORMED  
AT LEAST ONCE WEEKLY.

THE OWNER OR ITS DESIGNATED REPRESENTATIVE WILL INSPECT THE  
SWM/BMP STRUCTURE AFTER EACH SIGNIFICANT RAINFALL EVENT  
OR THE FOLLOWING WORKING DAY IF A WEEKEND OR HOLIDAY OCCURS.  
A SIGNIFICANT RAINFALL FOR THIS STRUCTURE IS DEFINED AS ONE  
(1) INCH OR MORE OF GAUGED RAINFALL WITHIN A 24 HOUR PERIOD.  
ONCE PER YEAR (MORE OR LESS) A REPRESENTATIVE OF THE COUNTY  
MAY JOINTLY INSPECT THE STRUCTURE. APPROPRIATE ACTION,  
PERFORMED AT THE COST OF THE OWNER WILL BE TAKEN TO ENSURE  
APPROPRIATE MAINTENANCE. WHERE STRUCTURES ARE TO BE  
MAINTAINED JOINTLY, ALLOCATION OF MAINTENANCE COSTS WILL BE  
IN ACCORDANCE WITH TERMS ESTABLISHED IN MAINTENANCE AGREEMENTS.  
KEYS TO LOCKED ACCESS POINTS OR STRUCTURE SHALL BE MADE  
AVAILABLE TO THE COUNTY UPON REQUEST.

INSPECTION AND MAINTENANCE OF THE FACILITY WILL CONSIST OF THE  
FOLLOWING ADDITIONAL MEASURES:

- PERFORM MAINTENANCE MOWING OF POND GRASSES, TO THE  
EXTENT POSSIBLE, AT LEAST TWICE EACH YEAR. GRASSES  
SUCH AS TALL FESCUE SHOULD BE MOWED IN EARLY SUMMER  
AFTER EMERGENCE OF THE HEADS ON COOL SEASON GRASSES  
AND IN LATE FALL TO PREVENT SEEDS OF ANNUAL WEEDS FROM  
MATURING. MOWING OF LEGUMES CAN BE LESS FREQUENT.  
TREES, SHRUBS AND WOODY VEGETATION ARE NOT TO BE  
PERMITTED TO GROW ALONG OR ON ANY PART OF THE POND  
EMBANKMENTS.
- PERFORM SOIL SAMPLING ON STABILIZED POND SOIL AREAS  
AT LEAST ONCE EVERY 4 YEARS. SOIL SAMPLING AND  
TESTING SHOULD BE PERFORMED BY QUALIFIED INDEPENDENT  
SOIL TESTING LABORATORY SUCH AS VIP & SU. APPLY  
ADDITIONAL LIME AND FERTILIZER IN ACCORDANCE TEST  
RECOMMENDATIONS.
- IN STABILIZED POND AREAS, IF VEGETATION COVERS LESS  
THAN 40% OF SOIL SURFACES, LIME, FERTILIZE AND SEED  
IN ACCORDANCE WITH RECOMMENDATIONS FOR NEW SEEDLINGS.  
IF VEGETATION COVERS MORE THAN 40% BUT LESS THAN 70%  
OF SOIL SURFACES, LIME, FERTILIZE AND OVER SEED IN  
ACCORDANCE WITH CURRENT SEEDING RECOMMENDATIONS OR  
REQUIREMENTS OF THE VIRGINIA EROSION AND SEDIMENT  
CONTROL HANDBOOK (VESCH).
- PERFORM QUARTERLY INSPECTIONS OF THE OUTFALL CONTROL  
STRUCTURES FOR THE OBSERVANCE OF COLLECTED TRASH AND  
DEBRIS. IMMEDIATELY REMOVE ANY TRASH OR DEBRIS THAT  
PREVENTS THE MOVEMENT OF WATER. REMOVE ANY TRASH  
AND LITTER DOWNSTREAM AND AT STORM DRAIN OR CHANNEL  
INFLOW LOCATIONS TO MAINTAIN THE INTEGRITY OF THE  
STRUCTURE AND PROVIDE AN ATTRACTIVE APPEARANCE.
- PERFORM YEARLY STRUCTURAL INSPECTIONS OF THE FACILITY  
FOR DAMAGE. STRUCTURAL INSPECTION SHALL BE PERFORMED  
ON THE OUTFALL CONTROL STRUCTURES AND POND EMBANKMENT.  
EXPOSED METAL SURFACES SHALL BE RE-PAINTED OR  
RE-GALVANIZED TO MINIMIZE RUST DAMAGE OR REPLACED IF RUST  
DAMAGE IS IRREVERSIBLE. IF DAMAGE IS EVIDENT, FURTHER  
INVESTIGATION BY A PROFESSIONAL ENGINEER MAY BE REQUIRED  
TO ASSESS THE INTEGRITY OF THE STRUCTURE.
- PERFORM QUARTERLY INSPECTIONS OF THE GRADED SIDE SLOPES  
OF THE FACILITY FOR SIGNS OF ANIMAL/RODENT BORROWS OR SLOPE  
EROSION. IMMEDIATELY PERFORM NECESSARY REPAIRS, REFILLING  
OR RESEEDING.
- PERFORM YEARLY OBSERVATIONS OF PERIMETER AREAS SURROUNDING  
THE FACILITY TO ENSURE CHANGES IN LAND USE, TOPOGRAPHY OR  
ACCESS HAVE NOT OCCURRED AND DO NOT AFFECT THE OPERATION,  
MAINTENANCE, ACCESS OR SAFETY FEATURES AS PROVIDED.  
APPROPRIATE ACTION IS REQUIRED TO ENSURE ADEQUACY AND TO  
PROVIDE A CLEAR, SAFE PASSAGE FOR MAINTENANCE VEHICLES TO THE  
ENGINEERED EMBANKMENT AND PRINCIPAL FLOW CONTROL STRUCTURES.
- POND MAINTENANCE  
  
FOREBAY - REMOVE SEDIMENT WHEN THE DEPOSITION HAS ACCUMULATED  
TO 0.5 FEET ABOVE THE FOREBAY BOTTOM ELEVATION OF 34.0 .  
  
WET POND - AN ANNUAL SURVEY SHALL BE PERFORMED ON THE WET POND  
BOTTOM AND SIDE SLOPES. WHEN SEDIMENT DEPOSITION HAS ACCUMULATED  
TO 0.75 FEET ABOVE THE POND BOTTOM ELEVATION OF 31.0, THE SEDIMENT  
SHALL BE REMOVED TO THE ORIGINAL DESIGN AND PROPERLY DISPOSED.
- RECORD KEEPING. THE OWNER OR DESIGNATED REPRESENTATIVE  
SHALL KEEP REASONABLE, ACCURATE WRITTEN RECORDS OF  
INSPECTIONS PERFORMED FOR THE STRUCTURE. RECORDS SHALL  
DOCUMENT ROUTINE MAINTENANCE AND/OR REPAIRS PERFORMED.  
COPIES SHALL BE PROVIDED TO COUNTY UPON REQUEST.
- THE FACILITY SHALL NOT ACCEPT ADDITIONAL DRAINAGE OR  
BE MODIFIED IN ANY WAY WITHOUT PRIOR CONSENT OR APPROVAL  
BY THE ENVIRONMENTAL DIVISION OF JAMES CITY COUNTY.

1 (CB:02)

1 (CB:02)

# STORM WATER MANAGEMENT REPORT

for

**Wal-Mart Bulk Storage Facility Phase III**

in

**James City County, Virginia**

Prepared by:

**Carter  Burgess**

777 Main Street  
Fort Worth, Texas 76102  
(817) 222-8500

C&B No. 292245

**September 2004**

SP-88-04  
4TH SUB  
(FINAL)

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## I. INTRODUCTION

Proposed for construction is a Wal-Mart Stores, Inc. Bulk Storage Facility Phase III, which is to be located on an approximately 249-acre site in James City County, Virginia. The project site lies approximately 2500 feet west of Skiffes Creek Reservoir along the south side of State Route 60, and approximately 500 feet south of the Wal-Mart Stores, Inc. Bulk Storage Facility Phase I and Phase II. The main distribution building will consist of approximately one million square feet. Other site construction will include a fire pump house, paved entrance roads and parking areas, and utility construction required to facilitate the site. This report will serve as documentation for the storm water management plan proposed for this development. Included with this report are the project Construction Plans. Refer to them for detailed information on the proposed storm water management system.

## II. METHODOLOGY

Standard SCS methodologies were used to estimate pre-development and post-development peak flow rates from the site as modeled with the computer software "AdICPR" by Streamline Technologies, Inc. The post-development peak discharge rates from the site will be limited to pre-development rates or less for the 1-year, 2-year, 10-year, 25-year, and 100-year, 24-hour storm events. In addition, 24-hour extended detention will be provided in each of the outlet ponds for the 1-year, 24-hour storm event. A hydrograph shape factor of 484 was used with an SCS Type II 24-hour rainfall distribution. The time of concentration and runoff curve number calculations were based on procedures outlined in the SCS publication TR-55, and are included in the Appendix of this report. To accomplish the requirement of not increasing peak discharge rates from the site for each of the modeled storm events, a series of six (6) wet extended detention ponds will be constructed. Forebays designed to accommodate the 1.5 inch first flush will be placed in the wet extended detention ponds (Type A-3). Each wet extended detention pond will have three (3) feet of permanent pool to accommodate the 2 inches of water quality volume that will be treated. These detention ponds were designed using "AdICPR". "AdICPR" uses a conservation of mass concept to route flows through the detention ponds and tailwater effects are accounted for. In the program, runoff hydrographs are calculated at critical points which are called "nodes". Flows are then routed between nodes using "links". Storm water runoff will reach the detention ponds by a combination of sheet flow directly to the ponds or via a subsurface drainage system. The subsurface system was designed for a 10-year rational method event, with positive overflow to the ponds for the less frequent storms.

## III. PRE-DEVELOPMENT CONDITIONS

Refer to Construction Plan C4.01 in Appendix 1 for the site Pre-Development Drainage Area Map. This map identifies six (6) drainage basins and associated points of concentration for pre-development conditions. The proposed development site is adjacent to 60 acres of Resource Protection Area (RPA). Refer to construction plans for location of RPA Buffer Zone. Area X-10, consisting of 34.07 acres, drains off the site to the southeast property line. Areas X-20, X-30, X-40, X-50 and X-60 consisting of 37.65, 52.01, 86.44, 16.19, and 23.60 acres, respectively, drain to the mouth of five tributaries to the James River located along the project's southern property line. Appendix 3 contains pre-development runoff curve number calculations. The pre-development runoff curve numbers are from 70 to 75, as a result of the site soils and ground cover descriptions. Times of concentration calculations for the pre-developed areas are included in Appendix 4. In the "AdICPR" model, each of these drainage basins concentrates at a "node" of the same name for which all hydrologic and hydraulic calculations are made. Appendix 8 contains the "AdICPR" Node Maximum Conditions Reports for each of the modeled storms. The maximum inflow to each node represents the peak discharge rate at each point of concentration. For area X-10, which concentrates at the southeast property line, the peak discharge rate represents the peak flow rate leaving the site from drainage area X-10, which is shown as the maximum outflow from node "N-

X10" on the Node Maximum Conditions Report. The pre-development peak discharge rates at each point of concentration are summarized in Table 1.

**TABLE 1 – PRE-DEVELOPMENT PEAK DISCHARGE RATES (CFS)**

Point of Concentration	1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	25-year 24-Hour	100-Year 24-Hour
X-10 (N-X10)	19.01	31.02	81.52	94.56	125.57
X-20 (N-X20)	7.94	14.52	44.34	52.34	71.65
X-30 (N-X30)	19.14	31.71	84.12	97.59	129.64
X-40 (N-X40)	47.19	77.20	200.90	233.16	309.89
X-50 (N-X50)	3.84	7.07	21.54	25.40	34.80
X-60 (N-X60)	4.30	7.63	22.78	26.81	36.49

#### IV. POST-DEVELOPMENT CONDITIONS

Refer to Construction Plan C4.02 in Appendix 9 for the Developed Drainage Area Map for this site. This map identifies points of concentration for developed drainage areas, such as culverts, channels, roof drain collectors, wet extended detention ponds, or outlet structures. Construction Plans C4.11 and C4.12 in Appendix 18 show the hydraulic calculations for the subsurface system. Included are 10-year rational method calculations for the subsurface system, inlet capacity calculations, culvert calculations, and channel calculations which are labeled according to the contributing drainage area. The wet extended detention ponds were modeled using "AdICPR" with a minimum time of concentration of five minutes and runoff curve number of 98 for all developed areas. Appendix 10 contains revised curve number calculations for areas undisturbed by this development, and Appendix 11 contains the revised time of concentration calculations. Elevation storage curves for each detention pond are provided in Appendix 19. Appendix 20 contains curves and calculations showing the stream channel volume pool is detained for at least 24 hours. The stream channel volume is the volume generated for the 1-year, 24-hour storm event. The volume of runoff for a 1-year, 24-hour event was added to the permanent pool volume and then the drawdown was carried out for 72 hours. As shown by the curves, the elevation in each pond is still decreasing at the 24-hour mark, thus showing that the required extended detention time has been met. Appendix 16 contains the "AdICPR" Node Maximum Conditions report for each of the modeled storms. This report shows the maximum conditions at each node for each modeled storm event. Table 2 shows the peak stage elevations in the detention ponds for each of the modeled storms. Table 3 shows the routed peak discharge for each pond. The detention ponds are designed to hold a 100-year, 24-hour storm with a minimum of one foot of freeboard to the top of berm elevation. An emergency spillway is provided for Ponds E, G, H and I. For Ponds F and J, the gravel road and the entrance road act as emergency spillways, respectively and a minimum of two feet of freeboard is provided between the maximum stage elevation in these ponds for the 100-year, 24-hour storm event and the lowest point along these roads.

TABLE 2 – DETENTION POND/PEAK STAGE ELEVATIONS (ft)

Detention Pond/Culvert	Drainage Area (acres)	1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	100-Year 24-Hour	Top of Berm
Pond E	8.85	34.94	35.17	35.77	36.26	39
Pond F	17.47	34.94	35.18	35.83	36.47	39
Pond G	29.08	34.73	34.92	35.49	35.86	39
Pond H	23.84	34.85	35.08	35.66	36.12	39
Pond I	1.26	34.88	35.11	35.65	36.03	39
Pond J	20.86	34.88	35.11	35.70	36.19	39

TABLE 3 – DETENTION POND/ROUTED PEAK DISCHARGE (CFS)

Detention Pond/Culvert	Drainage Area (acres)	1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	100-Year 24-Hour	Top of Berm
Pond E	8.85	0.74	1.03	4.43	7.78	39
Pond F	17.47	26.25	30.64	42.89	51.71	39
Pond G	29.08	0.63	0.73	2.49	5.08	39
Pond H	23.84	0.70	0.85	3.67	6.89	39
Pond I	1.26	0.71	0.89	3.58	6.14	39
Pond J	20.86	3.08	3.68	5.50	7.17	39

*POND F CULVERT CONNECTION TO POND G.*

Table 4 shows a comparison of the peak discharge rate from the site at each of the points of concentration identified in Table 1. The nodes identified on the post-development Node Maximum Conditions Report are related to the corresponding pre-development conditions nodes with the same name.

TABLE 4 – POST-DEVELOPMENT PEAK DISCHARGE RATES (CFS)

Point of Concentration	1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	25-Year 24-Hour	100-Year 24-Hour
N-X10	4.92	8.23	22.50	26.40	36.20
N-X20	3.77	6.32	19.50	23.46	32.75
N-X30	19.25	31.82	84.27	97.77	129.73
N-X40	22.12	36.41	98.79	115.64	156.15
N-X50	3.75	6.87	20.91	24.68	33.80
N-X60	3.45	6.39	20.34	24.10	33.19

The total peak discharge rate from the site has been reduced for all modeled storm events and the storm water management design criteria has been met. Appendix 23 contains a completed James City County Storm Water Detention Basic Design Checklist

Ponds A and D of the existing Wal-Mart Stores East, LP Bulk Storage Facility Phase I and Phase II development will be modified by the Phase III development. The two truck entrance drives from the existing trailer parking area to the new Phase III trailer parking area cross the existing Ponds A and D. In addition, the associate entrance drive crosses Pond D near the northeast part of the existing Phase II site. Table 5 shows the peak stage elevations in Ponds A and D, before Phase III is built, for each of the modeled storm events.

**TABLE 5 – EXISTING DETENTION PONDS A AND D STAGE ELEVATIONS BEFORE PHASE III (ft)**

Detention Pond	1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	25-year 24-Hour	100-Year 24-Hour	Top of Berm
Pond A	47.04	47.32	48.29	48.56	49.33	51
Pond D	47.60	47.92	49.08	49.37	50.01	51

Table 6 shows the peak stage elevations in Ponds A and D, after Phase III is built. Pond A divided into two Detention Basins (A40 and A70) as a result of the entrance drive crossing the existing pond. Both basins are connected with 2-24" reinforced concrete pipes. Pond D is also separated into several Detention Basins (D90, D100, and D200). Detention Basin D90 and D100 are connected with 2-2'x4' reinforced concrete boxes, in addition, D100 and D200 are connected with 2-2'x4' reinforced concrete boxes.

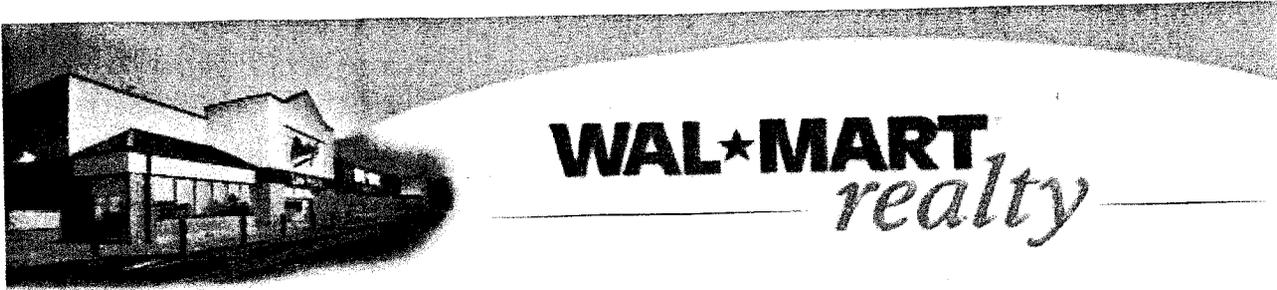
**TABLE 6 – EXISTING DETENTION PONDS A AND D STAGE ELEVATIONS AFTER PHASE III (ft)**

Detention Pond		1-Year 24-Hour	2-Year 24-Hour	10-Year 24-Hour	25-year 24-Hour	100-Year 24-Hour	Top of Berm
Pond A	N-A40	47.13	47.38	48.52	48.96	49.88	51
	N-A70	47.13	47.39	48.56	49.04	50.03	
Pond D	N-D90	48.08	48.50	49.85	50.10	50.62	51
	N-D100	48.08	48.50	49.84	50.10	50.62	
	N-D200	48.03	48.37	49.51	49.77	50.29	

The Storm Water Management System has been adequately designed to reduce the post-development peak discharge by the use of Wet Extended Detention Ponds (Type A-3) and control structures.

## V. WATER QUALITY

Each detention pond BMP must be able to treat a volume of two inches per impervious acre. For a County type A-3 BMP, the two inches per impervious acre is usually achieved by one-inch treatment in the permanent pool and one-inch treatment in the extended detention. Appendix 24 contains calculations showing that each detention pond BMP for the expansion successfully treats two inches per impervious acre.



**Distribution Center Construction Program**

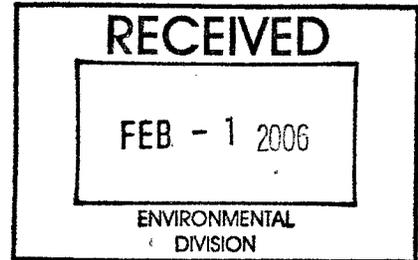
WAL-MART STORES, INC. ★ 2001 SE 10TH STREET, Dept 9562 ★ BENTONVILLE, AR 72716-0550 ★  
Phone 479-273-4000 ★ Fax 479-273-1964

January 31, 2006

Attn: Scott Thomas  
James City County Environmental Division  
101 Mounts Bay Road  
Williamsburg, VA 23185

Subj: Professional Certification

Ref: Wal-Mart BSF # 6088-03



Dear Scott,

Please find attached the original stamped Professional Certification for the Stormwater Management / BMP Facilities. I think that this is the last thing we were waiting on to satisfy the requires for release of the bond for the Phase III project.

Please let me know if we have any other outstanding issues. We still have Cindi Pelli on site and in the area, representing Wal-Mart Construction. You may contact her or me at anytime. I am at (479) 903-2468 and Cindi is at (479) 644-9504.

Thanks for all you help and consideration through out the project.

Sincerely,

Bobbie Brown  
Wal-Mart Construction Manager

**Scott Thomas**

---

**From:** Scott Thomas  
**Sent:** Tuesday, December 20, 2005 4:57 PM  
**To:** 'Wojnicz, Andy'  
**Subject:** RE: Wal-Mart Ph III - Change to BMP Planting Scheme

## 1. Punch List Complete

Glover has informed me that this is complete. Do you agree?

**YES. I believe field items on the punch-list are done.**

## 2. "As-Built" Drawings complete

Glover has stated that they need to change a few items and will get this in your hands next week.

**Have not gotten revised asbuilts yet. There were only a few small corrections needed.**

## 3. Pg. # 4 of packet signed off.

Jim Emerson needs to sign-off and do you also require that the surveyor do the same or are the as-built drawings sufficient?

**For the asbuilt drawings, the surveyor must stamp and seal the left side of the form; or alternatively, provide a statement on the asbuilts and stamp and seal it. Once done I need one blue/blackline set for each BMP (total of 6, I think) and as all the BMPs are on one drawing set, I need one reproducible mylar. As far as the construction certification, I have not gotten anything from Emerson yet.**

***Scott J. Thomas, P.E.***

*James City County*

*Environmental Division*

Visit:

[http://www.james-city.va.us/resources/devmgmt/div\\_devmgmt\\_environ.html](http://www.james-city.va.us/resources/devmgmt/div_devmgmt_environ.html)

and

[www.protectedwithpride.org](http://www.protectedwithpride.org)

-----Original Message-----

**From:** Wojnicz, Andy [mailto:aewojnicz@bucon.com]  
**Sent:** Saturday, December 17, 2005 4:06 PM  
**To:** Scott Thomas  
**Subject:** RE: Wal-Mart Ph III - Change to BMP Planting Scheme

Scott,

I have been in contact with Glover Construction in regards to remaining items for the JCC Wal\*Mart BSF phase III project. I would like to get a status report from you if possible.

My understanding is that you basically need 3 items based on our brief conversation on December 2, 2005.

## 1. Punch List Complete

Glover has informed me that this is complete. Do you agree?

## 2. "As-Built" Drawings complete

Glover has stated that they need to change a few items and will get this in your hands next week.

## 3. Pg. # 4 of packet signed off.

Jim Emerson needs to sign-off and do you also require that the surveyor do the same or are the as-built drawings sufficient?

12/20/2005

If there is anything else that needs to be completed or the information above is not accurate and you feel I need to know, I encourage you to contact me. I feel at this point that Glover is providing you with what you require, but if this is not the case and I can help, I will devote whatever resources to the cause.

Thanks for the hands on effort and assistance. Have a good holiday.

Andrew Wojnicz  
Project Manager - Butler Construction  
( c ) 1-816-590-2557  
( p ) 1-816-245-6582  
( f ) 1-816-245-6099

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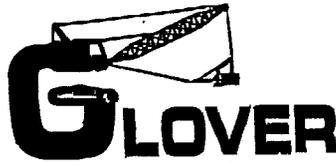
**From:** Scott Thomas [mailto:SCOTTT@james-city.va.us]  
**Sent:** Monday, December 05, 2005 9:25 AM  
**To:** aewojnicz@bucon.com; Emerson, Jim D.  
**Subject:** Wal-Mart Ph III - Change to BMP Planting Scheme

Wal-Mart BSF # 6088  
County Plan No. SP-88-04  
RE: Change to BMP Planting/Landscape Plan

Can you please both email me your fax number? I've reviewed the request by Emerald Forest dated August 31, 2005 as it pertains to proposed changes in the BMP planting plan. I would like to forward a copy of that letter back to you (including Emerald Forest) stamped as approved. I feel it is important to keep record of this change and was not able to fully process it until I did inspections of the BMPs in the field. I did a final inspection of Ponds F, E, G, H, I and J in the field on Friday December 2, 2005. I have copies of inspection reports available for each of the BMPs and also gave Glover a summary of punch-list items that remain for each pond.

***Scott J. Thomas, P.E.***  
*James City County*  
*Environmental Division*

Visit:  
[http://www.james-city.va.us/resources/devmgmt/div\\_devmgmt\\_environ.html](http://www.james-city.va.us/resources/devmgmt/div_devmgmt_environ.html)  
and  
[www.protectedwithpride.org](http://www.protectedwithpride.org)



Glover Construction Company, Inc.  
P. O. Box 40 / Highway 301 North  
Pleasant Hill, NC 27866  
(252) 536-2660  
(252) 536-4600 Fax

**\*\*E-MAIL ADDRESSES\*\***

Engineering Dept  
Matt Glover  
Ed Martin  
Armon Pfeifer

engineering@gloverconstruction.com  
mglover@gloverconstruction.com  
emartin@gloverconstruction.com  
apfeifer@gloverconstruction.com

**FAX**

To: James City County Environmental <sup>Division</sup> From: Ed. Marks  
Fax No: 1-757-259-4032 Pages: 2  
Attn: Scott J. Thomas, P.E. Date: Mon. 12-5-05  
Phone No: 1-757-2536639 Re: Wal-Mart BMP Final Inspections  
Phase III

▪ **Comments**

Attached is a copy of your punch list from Friday. I have forwarded required as-built corrections to our surveyor, so he can furnish us certified copies and mylars.

Thanks for your help,

Ed Marks

P.S. Our Geo-Tech guy, Scott Deese, may contact you with some questions on Phases I & II.

Thanks,  
Ed



# James City County Environmental Division

## Stormwater Management / BMP Inspection Report

### Detention and Retention Pond Facilities

SP-88-04

County BMP ID Code (if known): SC 023

Name of Facility: Walmart PHASE III BMP No.: 4 of 6 Date: 12-2-05

Location: POND I SMALL POND SE corner of site

Name of Owner: Walmart

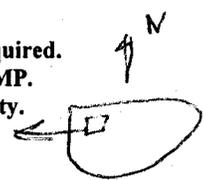
Name of Inspector: SJ Thomas

Type of Facility: Wet EXT DAY Pond

Weather Conditions: Sunny Cold 50s Type:  Final Inspection  County BMP Inspection Program  Owner Inspection

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.
- Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and to prevent damage to the facility.



Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
<b>Embankments and Side Slopes:</b> <input type="checkbox"/> None <input checked="" type="checkbox"/> 10' HIGH EARTH DAM; 44' IV SS, 15' TOP WIDTH				
Grass Height	✓			Good
Vegetation Condition	✓			Grass + Weeds
Tree Growth	✓			None.
Erosion	✓			None.
Trash & Debris	✓			None.
Seepage	✓			None observed.
Fencing or Benches	✓			15' bench full perimeter.
<b>Interior Landscaping/Planted Areas:</b> <input type="checkbox"/> None <input checked="" type="checkbox"/> Constructed Wetland/Shallow Marsh <input type="checkbox"/> Naturally Established Vegetation				
Vegetated Conditions	✓			Pond grasses visible.
Trash & Debris	✓			
Floating Material	✓			
Erosion	✓			
Sediment	✓			sediment 6"-1' deep.
Dead Plant	✓			
Aesthetics	✓			
Other				
Notes: <u>Service Bldg, Trailer Parking + Truck Route road.</u>				

Facility Item	O.K.	Routine	Urgent	Comments
<b>Water Pools:</b> <input checked="" type="checkbox"/> Permanent Pool (Retention Basin) <input type="checkbox"/> Shallow Marsh (Detention Basin) <input type="checkbox"/> None, Dry (Detention Basin)				
Shoreline Erosion	✓	Good		PP 1.5' deep, about 2' lower than LFO.
Algae	✓	None		
Trash & Debris	✓			None.
Sediment	✓			Measured 6"-1".
Aesthetics	✓			
Other	✓			Pond not leaking, seeping into bottom
<b>Inflows (Describe Types/Locations):</b> 1- 24" Pipe East end soils				
Condition of Structure	✓			24" RCP w/ ED
Erosion	✓			
Trash and Debris	✓			
Sediment	✓			
Outlet Protection	✓			Conc. ED
Other	✓			24" pipe from Pond J.
<b>Principal Flow Control Structure - Riser, Intake, etc. (Describe Type):</b> Conc Box same as Pond E, G, H				
Condition of Structure	✓	OK		6x4 grate, 4" grate open;
Corrosion	✓	None		Box 6' high; skimmer plate
Trash and Debris	✓	None.		4" LFO, 12" HIGH RORIF;
Sediment	✓	None		DUAL SWIRE GATE (CLOSED);
Vegetation	✓	None		Removable hatch
Other				
<b>Principal Outlet Structure - Barrel, Conduit, etc.:</b> 18" RCP w/ OP & Headwall				
Condition of Structure	✓			
Settlement	✓			
Trash & Debris	✓			
Erosion/Sediment	✓			
Outlet Protection	✓			C&G Riprap 20x10
Other				Not Channel/ no erosion & intact.
<b>Emergency Spillway (Overflow):</b> None in field. Need in SW corner at EL 37.50				
Vegetation			✓	Construct ES.
Lining				
Erosion				
Trash & Debris				
Other				
Notes:				

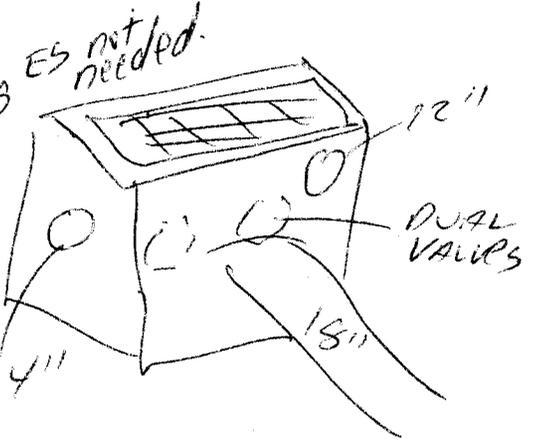
Facility Item	O.K.	Routine	Urgent	Comments
<b>Nuisance Type Conditions:</b>				
Mosquito Breeding	✓			None
Animal Burrows	✓			None
Graffiti	✓			None
Other				
<b>Surrounding Perimeter Conditions:</b> North-Truckroad; East Woods; South Fields; West Woods				
Land Uses	✓			
Vegetation	✓			
Trash & Debris	✓			
Aesthetics	✓			
Access /Maintenance Roads or Paths	✓			EASY ACCESS FROM TRUCK ROAD.
Other				

**Remarks:**

POUND I FIELD NOTES

- An emerg spillway not constructed. One is needed at SW corner of dam, at 37.5 w/c I RR.
- need const cert
- need sealed abutts

DHW 36  
T.O.D. 34  
3' FB



- Pond well constructed.
- NP a bit lower than LFO due to permeability of pond bottom soils. See letter

Overall Environmental Division Internal Rating: 3

Signature: Scott J. Thomas P.E.  
Title: Senior Engineer SEC EWW DIV

Date: 12-2-05

## BMP FINAL INSPECTIONS

\* FIELD-RELATED  
ITEMPOND E (SC019)

- Need construction certification for pond.
- \* Remove silt fence from RPA Buffer Planting Area (between Pond E & G)
- \* Remove silt fence from pond barrel outfall area
- Need asbuilt certification

Pond G (SC021)

- Need construction certification for pond.
- \* Repair slope erosion at slope below Pipe #3. Pipe #3 is the 24" RCP pipe situated the third from the west end of the pond along the gravel access road.
- Need asbuilt certification

POND H (SC022)

- Need construction certification for pond.
- Need sealed asbuilts.
- \* Remove silt fence from downstream of 18" barrel pipe thru dam
- \* Remove all orange safety fence (tree protection) from west end of dam and barrel outfall.

POND I (SC023)

- Need construction certification for pond.
- Need sealed asbuilts.
- \* ~~Construct emergency spillway at southwest corner of dam per approved plan sheets C4.39 and C4.56. CLASS I riprap at elev 37.50. Not needed. Enough Freeboard AND 100-YR USEL never gets to river crest.~~

POND J (SC024)

- Need construction cert for pond.
- Need sealed asbuilt. Correct 24" pipe to 42" size on Sheet 5.
- \* No field issues to address.

POND F (SC020)

- Need construction cert for pond
- Need sealed asbuilts
- \* No field-related items.

This summary serves as a punch-list for BMPs for Walmart PHASE 3.

*Jeff Chinn*  
12-2-05

Date Record Created:

WS\_BMPNO:

SC023

Print Record

Created By:

WATERSHED SC

BMP ID NO 023

PLAN NO SP-88-04

TAX PARCEL

PIN NO

CONSTRUCTION DATE

PROJECT NAME Wal-Mart BSF # 6088

FACILITY LOCATION

CITY-STATE

CURRENT OWNER

OWNER ADDRESS

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

OWNER PHONE

MAINT AGREEMENT No

EMERG ACTION PLAN No

PRINTED ON  
Wednesday, March 10, 201  
11:05:30 AM

MAINTENANCE PLAN No

SITE AREA acre

LAND USE

old BMP TYP Wet Pond

JCC BMP CODE A3 Wet ED Pond

POINT VALUE

SVC DRAIN AREA acres

SERVICE AREA DESCRI

IMPERV AREA acres 0.00

RECV STREAM

EXT DET-WQ-CTRL No

WTR QUAL VOL acre-ft

CHAN PROT CTRL No

CHAN PROT VOL acre-ft

SW/FLOOD CONTROL No

GEOTECH REPORT No

CTRL STRUC DESC

CTRL STRUC SIZE inches

OTLT BARRL DESC

OTLT BARRL SIZE inch

EMERG SPILLWAY No

DESIGN HW ELEV

PERM POOL ELEV

2-YR OUTFLOW cfs 0.00

10-YR OUTFLOW cfs 0.00

REC DRAWING No

CONSTR CERTIF No

LAST INSP DATE Inspected by:

INTERNAL RATING

MISC/COMMENTS

Phase 3, Pond 1.

Get Last BMP No

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Additional Comments:

Empty text box for additional comments.