



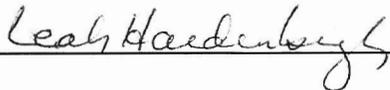
CERTIFICATE OF AUTHENTICITY

THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.

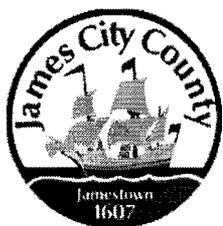
BMP NUMBER: WC037

DATE VERIFIED: October 15, 2012

QUALITY ASSURANCE TECHNICIAN: Leah Hardenbergh



LOCATION: WILLIAMSBURG, VIRGINIA



Stormwater Division

MEMORANDUM

DATE: March 12, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Tina Cantwell, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: WC037

PIN: 0530200001A

Subdivision, Tract, Business or Owner

Name (if known):

Association at Stonehouse, Inc. (The)

Property Description:

Near (West of) 2932 Leather Leaf Drive

Site Address:

Stonehouse Subdivision

(For internal use only)

Box 13

Drawer: 9

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

Larry S. Barry, P.E., President
Norman H. Mason, L.S., Vice Pres.
Vaughn B. Rinner, C.L.A.
Kenneth A. Dierks
Robert P. Kerr, R.E.P., P.W.S.

LANDMARK DESIGN GROUP

Clayton E. Massey, P.E.
Charles R. Orsborne, L.S.
Stephen A. Romeo, L.S.
Mark W. Strickland, P.E.
A. Gary Webb, P.E.

November 15, 2000

Mr. Darryl E. Cook
Environmental Director
James City County
P.O. Box 8784
Williamsburg, VA 23187-8784



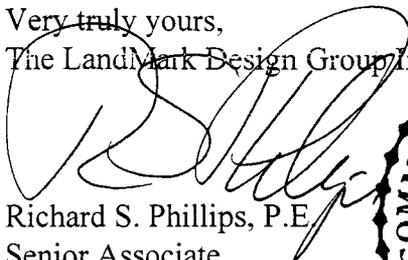
Re: Stonehouse Development Co., L. L. C.
BMP Basins A, B & G Construction Certificate
Section IVA, Leather Leaf
J. C. C. Case No. S-30-97

Dear Darryl:

This is to confirm that periodic inspection was provided by John L. Hutcherson, P. E., a Professional Engineer previously employed by this firm during the progress of construction of the subject storm water management basins. I, and individuals under my supervision, have reviewed the work and construction reports. To the best of my knowledge and judgment, the structure has been constructed in accordance with the approved plans and specifications.

Should you have any questions or wish to discuss this further, please call.

Very truly yours,
The LandMark Design Group, Inc.


Richard S. Phillips, P.E.
Senior Associate



RSP/cjp

Cc: Brandon Forrest
File: 1990131-000.46

Engineers ♦ Planners ♦ Surveyors ♦ Landscape Architects ♦ Environmental Consultants
4029 Ironbound Road, Suite 100, Williamsburg, VA 23188 (757) 253-2975 FAX: (757) 229-0049 Imdg@landmarkdgb.com

NOTE: THIS RECORD DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY LANDMARK DESIGN GROUP, 07/00 AND REFLECTS CONDITIONS PRESENT AT THAT TIME.

LOT 14
BLOCK A

2944
LOT 10
BLOCK B

RISER STRUCTURE
RIM=58.69
TOP RISER=56.93
LOW FLOW INV=53.26
INV IN=50.98 (4" PVC)
INV IN=50.08 (8" DIP)
INV OUT=49.85

YARD DRAIN
RIM=60.38
INV IN=55.03
INV OUT=52.80

SITE = 20.13 AC.
DIST = 8.5'

PROPOSED
2 6.81 CFS
10 9.90 CFS
100 13.19 CFS
TC = 35'
A=1.54 C=0.45 TC=17 min
RIP IN 25.65 CFS
10- 32.45 CFS
100- 46.71 CFS
RIP IN 2- 5.99 CFS @ 57.00 EL
10- 9.90 CFS @ 57.17 EL
100- 15.85 CFS @ 57.85 EL

Need Pond Detail.
- MP
- Riser size?
- Low Flow or if clogged
- check 25' Pond Buffer
from Lot 2932 to other.

CONC. CURB

WATER VALVES

FIREL HYD.

CONC. WALK

SAN MH

LIGHT POLE

RIP-RAP

STORM DI
RIM=66.67
INV IN=60.83

STORM DI
RIM=65.79
INV IN=60.17(S)
INV IN=60.04(W)
INV OUT=59.88

STORM DI
RIM=60.84
INV OUT=60.84

STORM MANHOLE
RIM=65.10
INV IN=57.87
INV OUT=57.70

END SECTION
INV=50.08 (8" DIP)
INV=51.19 (4" PVC)

END SECTION
INV=52.29

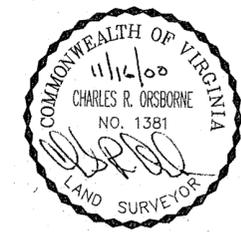
LOT 9
BLOCK B

2932

RECORD DRAWING
C.F.
BASIN A
SECTION IVA
AT STONEHOUSE

STONEHOUSE DISTRICT JAMES CITY COUNTY
VIRGINIA

SCALE: 1"=25' 11/16/00



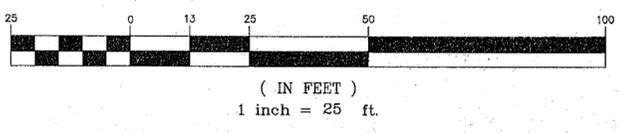
LANDMARK DESIGN GROUP
Engineers • Planners • Surveyors
Landscape Architects • Environmental Consultants

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Tel. (757) 253-2975
Fax (757) 229-0049
Email: lmdg@landmarkdgb.com

5544 Greenwich Road
Suite 200
Virginia Beach, VA 23462
Tel. (757) 473-2000
Fax (757) 497-7933
Email: lmdg@landmarkdgb.com

DRAWN BY: PF PROJ. NO.: 1990131-000.46
CHKD. BY: RSP DWG. NO.: 11680-W

GRAPHIC SCALE



LEATHERLEAF DRIVE

SIT FIELD SET 8/27/01

NOTE: THIS RECORD DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY LANDMARK DESIGN GROUP, 07/00 AND REFLECTS CONDITIONS PRESENT AT THAT TIME.



LOT 14
BLOCK A

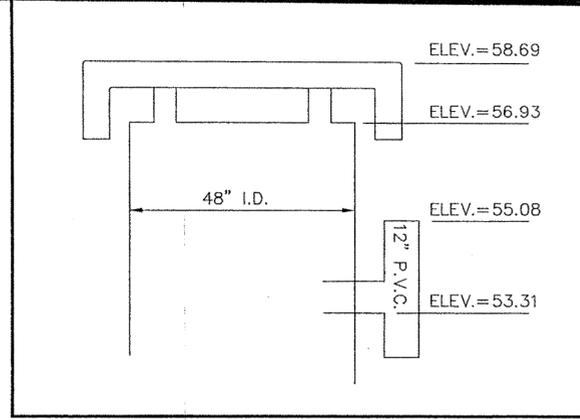
LOT 10
BLOCK B

LOT 9
BLOCK B
NO. 2932 LEATHERLEAF LA.

LEATHERLEAF DRIVE

RISER STRUCTURE 48" I.D.
RIM=58.69
TOP RISER=56.93
LOW FLOW INV=53.31
INV IN=50.98 (4" PVC)
INV IN=50.08 (8" DIP)
INV OUT=49.85

YARD DRAIN
RIM=60.38
INV IN=55.03
INV OUT=52.80



APPROVED
James City County
Environmental Division
By: *[Signature]*
Date: 6-27-03



RECORD DRAWING
OF
BASIN A
SECTION IVA
AT STONEHOUSE

STONEHOUSE DISTRICT, JAMES CITY
COUNTY, VIRGINIA

SCALE: 1"=25' 11/16/00

REVISED PER COUNTY
COMMENTS: 2/25/03

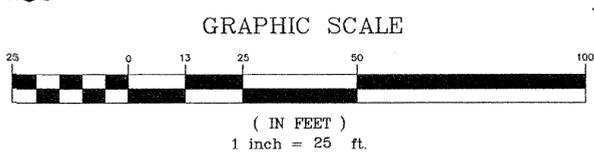
APPROVED
James City County
Environmental Division
By: *[Signature]*
Date: 6-27-03

**LANDMARK
DESIGN GROUP**
Engineers • Planners • Surveyors
Landscape Architects • Environmental Consultants

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Tel. (757) 253-2975
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Email: lmdg@landmarkdgb.com

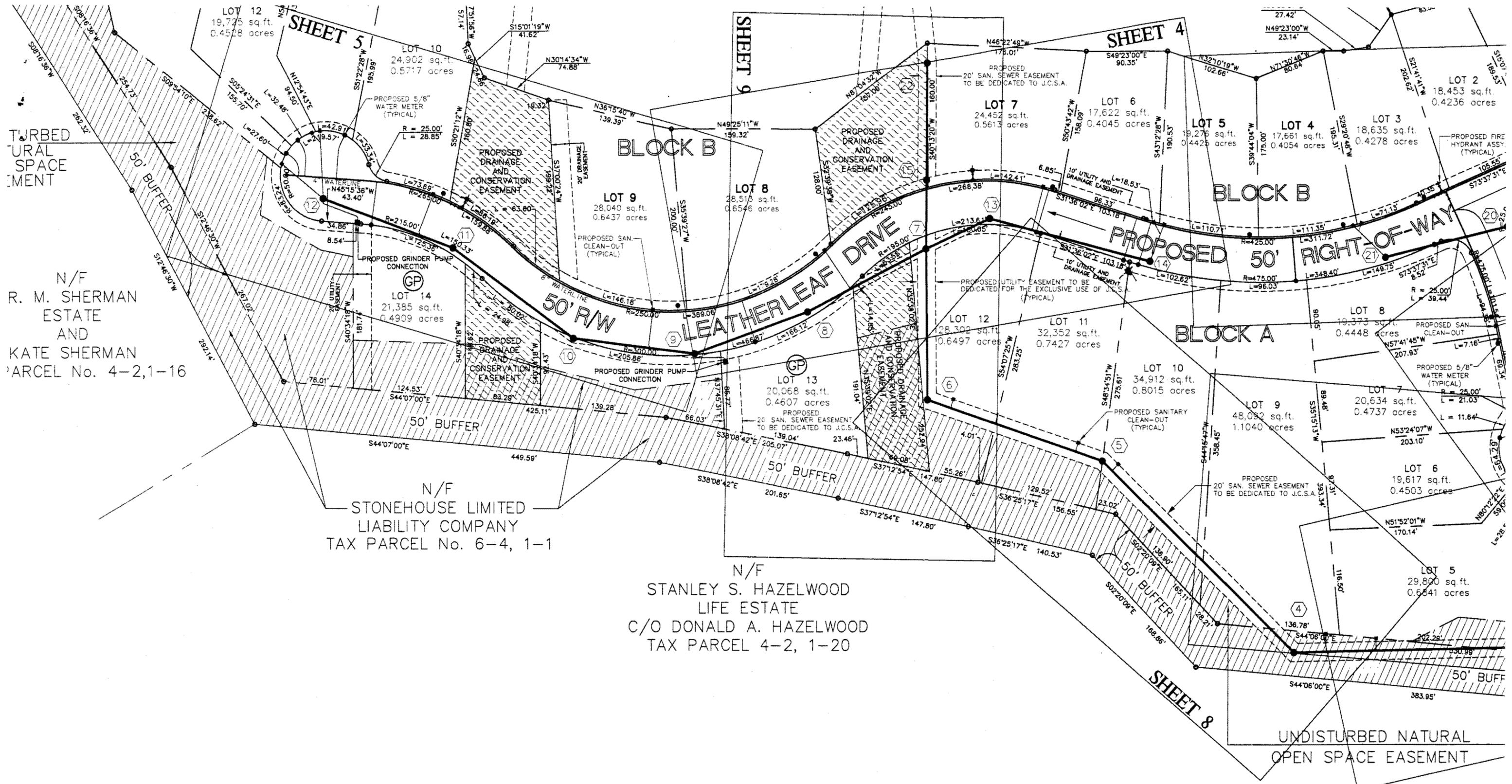
5544 Greenwich Road
Suite 200
Virginia Beach, VA 23462
Tel. (757) 473-2900
Fax (757) 497-7933
Email: lmdg@landmarkdgb.com

COUNTY PLAN NO. S-30-97
BMP ID NO. WC037



DRAWN BY: PF	PROJ. NO.: 1990131-000.46
CHKD BY: RSP	DWG. NO.: 11680 W

wc037



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

S-30-97; WC 037

POSTED SPEED LIMIT = 25 M.P.H.
DESIGN SPEED LIMIT = 25 M.P.H.

PROPOSED DRAINAGE AND
CONSERVATION
EASEMENT

OP EC-1
CLASS I RIP RAP REQ'D.
 $Q_{100} = 15.85$
 $L = 20'$
 $W = 22'$
 $D_{50} = 1.0'$
15" ES-1

LOT 14

BLOCK A

LEATHERLEAF DRIVE

50' R/W

10' UTILITY AND
DRAINAGE EASEMENT
(TYP. ALL LOTS)

STA. 25+00
END GR-2

PROPOSED GUARD RAIL

PROP. 8" WATERLINE

COM. G.V. TO

STA. 23+50
BEGIN GR-2

PROPOSED GUARD RAIL

10' DRAINAGE EASEMENT

LIMITS OF WETLANDS

LOT 9

B/M STABILIZE SLOPE WITH
EC-2
(EXCELSIOR MATTING)

PS

B/M

CD

OP EC-1
CLASS I RIP RAP REQ'D.
 $Q_{100} = 2.52$
 $L = 10'$
 $W = 12'$
 $D_{50} = 1.0'$
15" ES-1

RISER STRUCTURE
SEE DETAILS SHEET 11

EW-11 WITH GALVANIZED STEEL
GRATE COVERED WITH FILTER
FABRIC AND 2 cu. yds. OF No. 3
STONE OVER AND AROUND
EW-11 STRUCTURE.

PROPOSED DRAINAGE AND
CONSERVATION
EASEMENT

LOT 10

65.47	58.7	66.93	45.3	69.17	49.7	71.92	66.6	74.03	77.5
LOW POINT ELEV = 64.77					VERTICAL SIGHT DISTANCE = 220'				
LOW POINT STA = 22+83.21					150.00' VC				
PVI STA = 23+45					PVI STA = 25+45				
PVI ELEV = 62.90					PVI ELEV = 74.72				
A.D. = 7.91					A.D. = -4.60				
K = 31.61					K = 32.59				
250.00' VC									

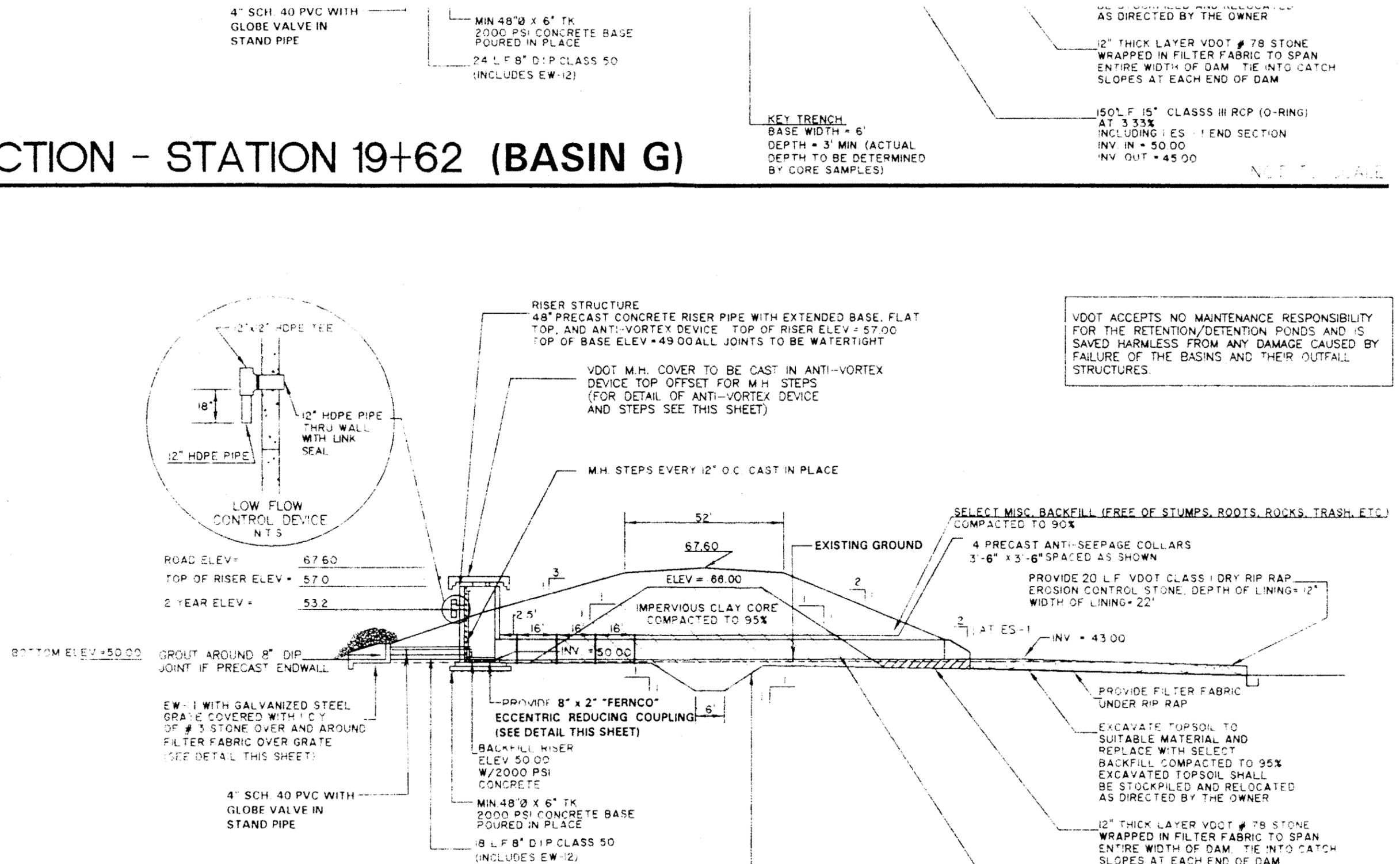


EVCS: 24+70
EVCE: 70.29
BVCS: 24+70
BVCE: 70.29
PROPOSED SAN. MH
STA: 24+86 ST#11
RIM=70.73
INV. IN=65.10
INV. OUT=65.00

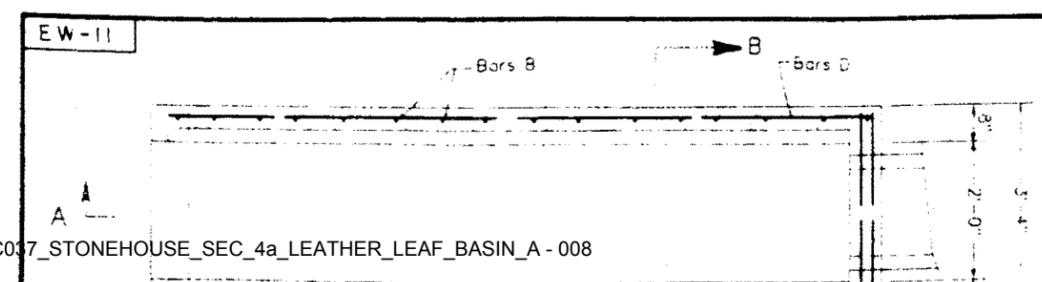
EXISTING GROUND

EXISTING GROUND
AT SANITARY

SECTION - STATION 19+62 (BASIN G)



SECTION - STATION 24+15 (BASIN A)



Headwall to be beveled in all areas except where a conflict with invert or wingwalls occur.

Bevel edge is required on the headwall at the inlet end of the culvert (where the flow enters the culvert).

Headwall at the outlet end of the culvert may be either square edge or bevel edge.

No holes are to be provided in 2" x 2" x 3/8"

2 Dia. Bar • 10.68 Lbs./Ft. or No. 14 Billet Steel Bar • 7.65 Lbs./Ft. (ASTM A615 Grade 60)



GLOBE VALVE IN
STAND PIPE

MIN. 48" DIA. IN.
2000 PSI CONCRETE BASE
POURED IN PLACE
18 L.F. 8" D.I.P. CLASS 50
(INCLUDES EW-12)

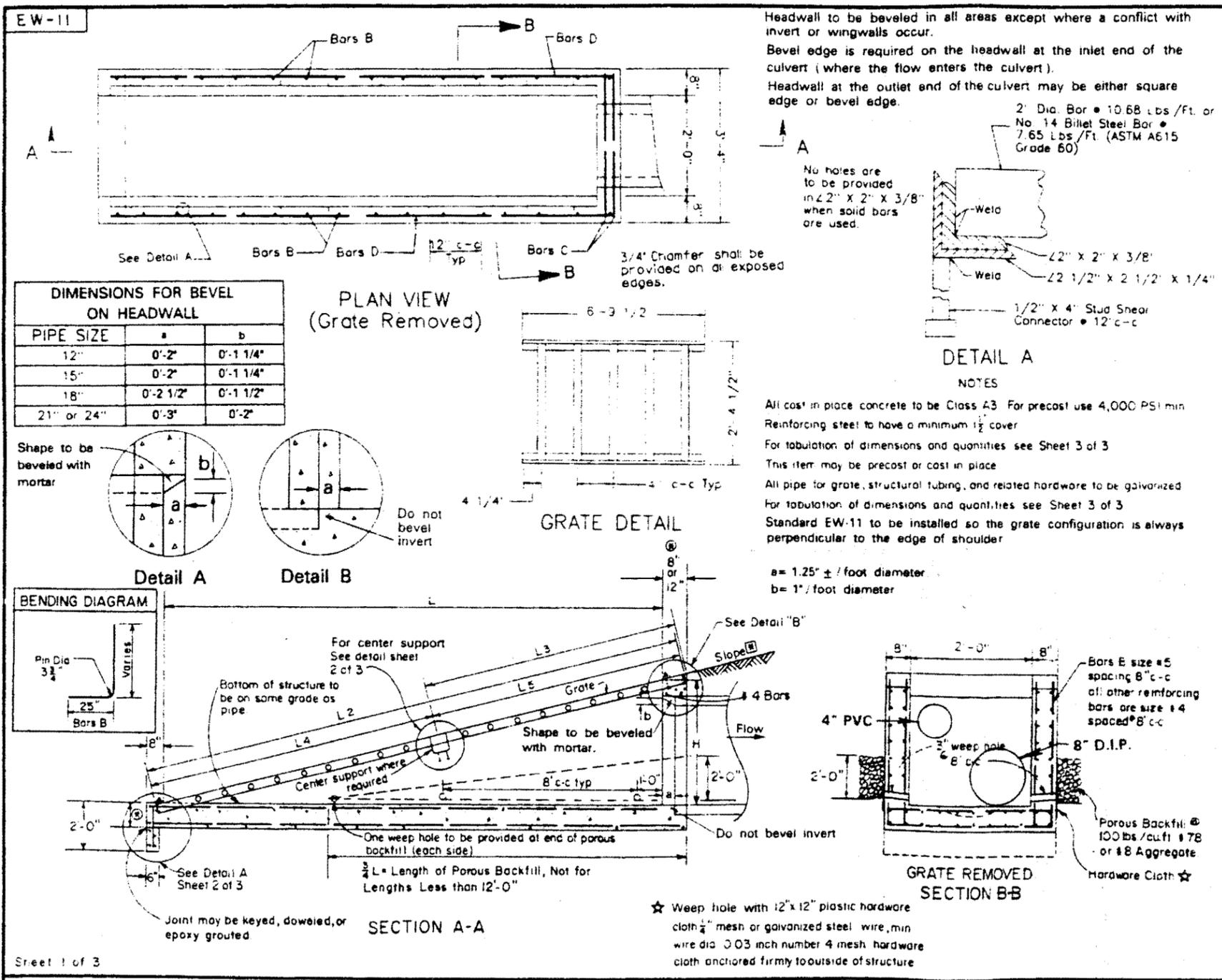
12" THICK LAYER VDOT # 7B STONE
WRAPPED IN FILTER FABRIC TO SPAN
ENTIRE WIDTH OF DAM. TIE INTO CATCH
SLOPES AT EACH END OF DAM

KEY TRENCH
BASE WIDTH = 6'
DEPTH = 3' MIN. (ACTUAL
DEPTH TO BE DETERMINED
BY CORE SAMPLES).

160 L.F. 15" CLASS V RCP (O-RING)
AT 4.38%
INCLUDING 1 ES - 1 END SECTION
INV. IN = 50.00
INV. OUT = 43.00

NOT TO SCALE

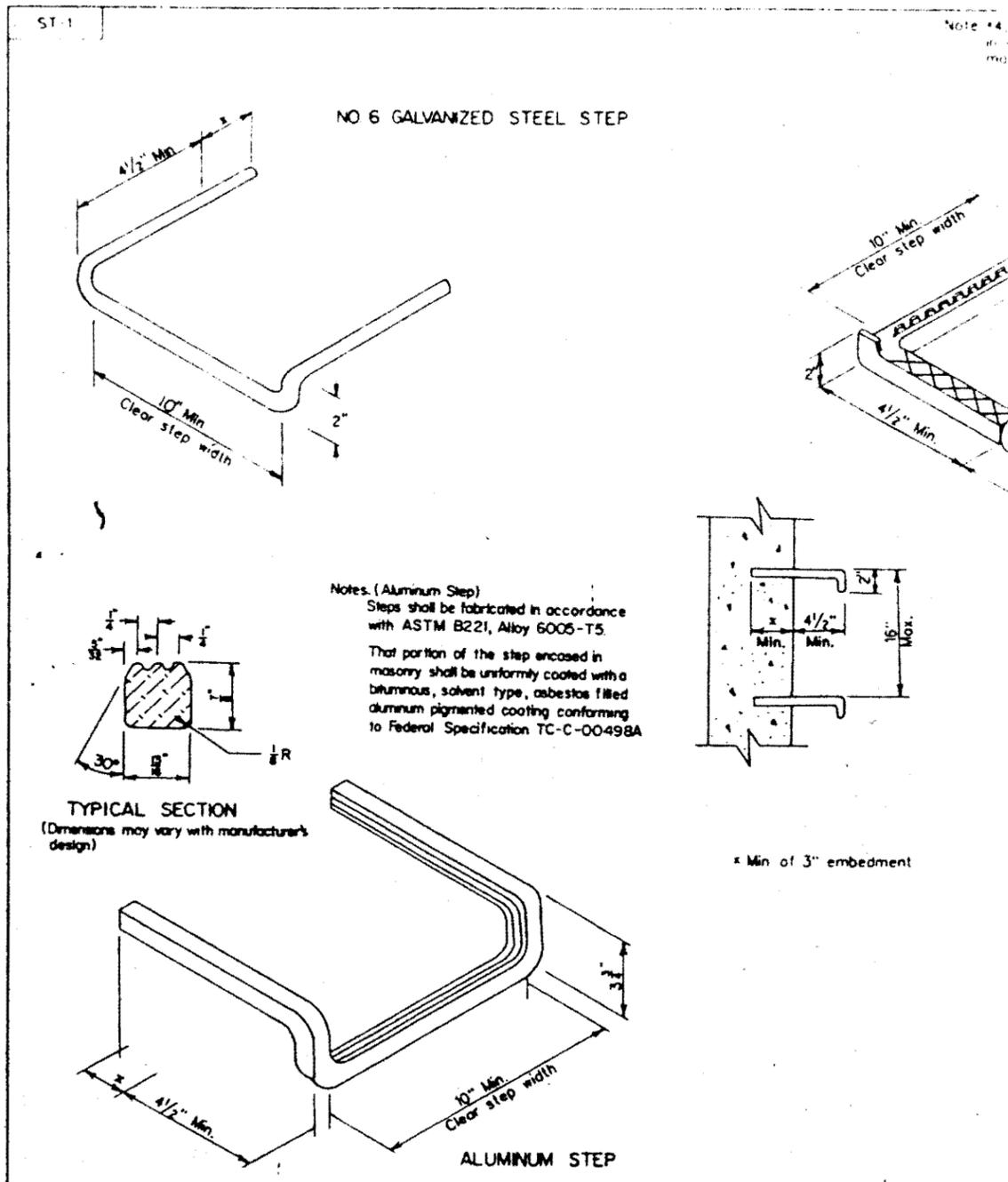
SECTION - STATION 24+15 (BASIN A)



PIPE ENDWALL WITH LOAD-CARRYING GRATE
MODIFIED
VIRGINIA DEPARTMENT OF TRANSPORTATION

SPECIFICATION REFERENCE

105.04
241
302



STANDARD STEP
VIRGINIA DEPARTMENT OF TRANSPORTATION

106.09

CONCRETE RISER, USE PVC SCHEDULE 40 STUB FOR DEWATERING ORIFICE

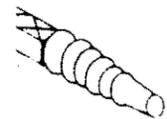
TUBING SHALL COMPLY WITH ASTM F667 AND AASHTO M294

rod encased rubber or other material as approved by the Engineer

Corrosion Resistant Material

No. 4 Reinforcing Rod

TYPICAL SECTION
Dimensions may vary with manufacturer's design



NOTES

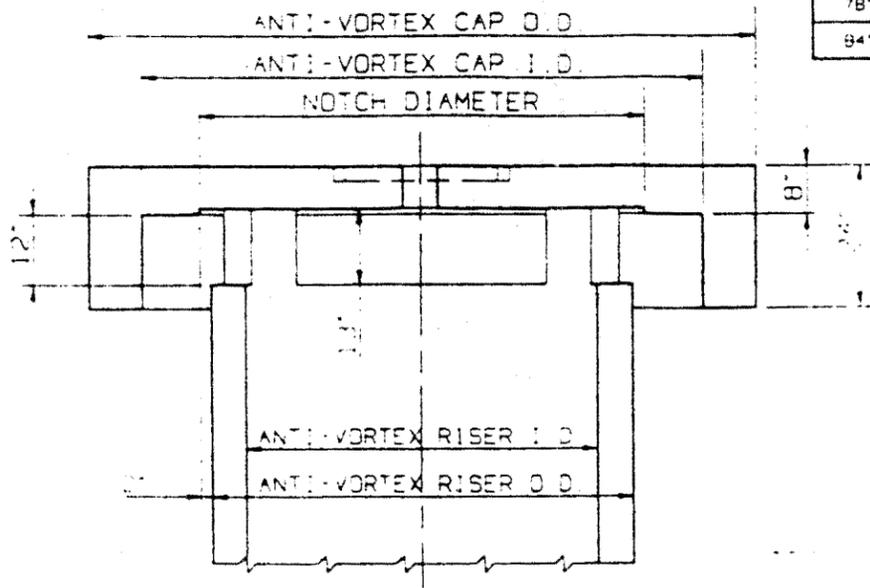
- Required in all structures with a depth of 4'-0" or otherwise noted on the plans.
- Protrude 4 1/2" from inside face of structure
- Spacing to be 16" c-c.
- Withstand a minimum load of 300 pounds when applied from the face of the support.
- Be vertically aligned and uniformly spaced for height of any structure.
- Steps may be cast in place, mortared into holes in fabricator, or driven.
- Dimensions, configuration, or materials from those shown may be used provided they meet the minimum requirements and the Contractor has furnished the details and certified test reports of the proposed steps and received written approval from the Engineer for such steps.
- Steps shall be provided with slip-resistant surfaces, but not limited to, corrugated, or impaled surfaces.

SPECIFICATION REFERENCE

CAST IN TOP SLAB

PLAN

PROPOSED 4" Ø ORIFACE OVER VALVE STEM EXTENSION



SECTION

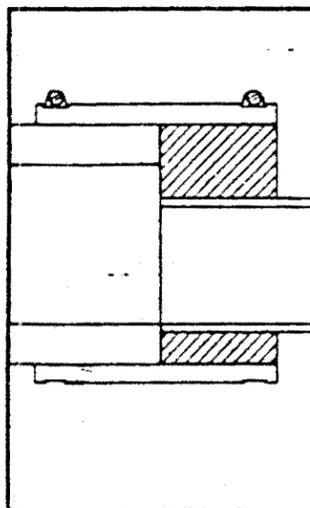
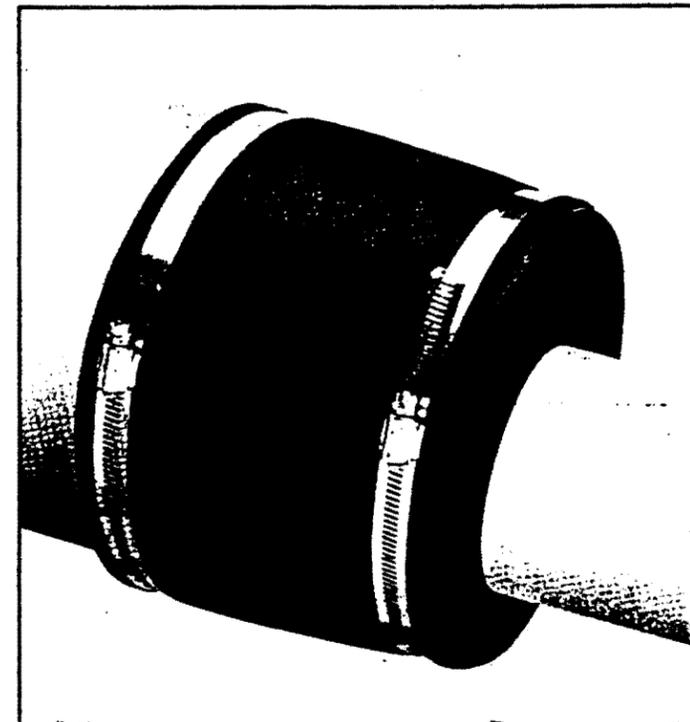
ANTI-VORTEX DEVICE DETAIL

N.T.S.

60"	72"	96"	114"	76"	5.46 1
66"	80 1/2"	96"	114"	84 1/2"	5.39 1
72"	86"	108"	126"	90"	6.83 1
78"	94 1/2"	126"	147"	98 1/2"	8.97 1
84"	100"	126"	147"	104"	8.90 1

ECCENTRIC COUPLINGS

Fernco Eccentric Couplings



help maintain an even, continuous flowline in critical grade conditions. They're easy to install and available to fit all common sewer pipe size combinations. Made of tough, flexible elastomeric PVC. Eccentric Couplings seal reliably against infiltration and exfiltration. Eccentric bushings fit one end of Fernco Standard Flexible Couplings. Available for all common sewer pipe materials.

Clay to Clay	Concrete to CI/Plastic
Clay to CI/Plastic	A-C/Ductile to CI/Plastic
Clay to A-C/Ductile	A-C/Ductile to A-C/Ductile
Concrete to Concrete	CI/Plastic to CI/Plastic

When ordering, please provide size and piping materials to be connected.

DES. L&M
DWN. GSW
CHK. J.L.H.

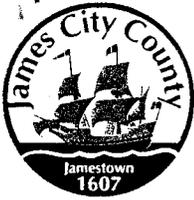
DEVELOPMENT AREA ONE, PHASE I
SECTION IVA
AT STONEHOUSE
FOR
STONEHOUSE ITC

PROJ. NO. 96038

SCALE: AS NOTE

SHEET OF 11

DWG. NO.



DEVELOPMENT MANAGEMENT

101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784
(757) 253-6671 Fax: (757) 253-6850 E-MAIL: devtman@james-city.va.us

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codecomp@james-city.va.us

ENVIRONMENTAL DIVISION
(757) 253-6670
environ@james-city.va.us

PLANNING
(757) 253-6685
planning@james-city.va.us

COUNTY ENGINEER
(757) 253-6678
INTEGRATED PEST MANAGEMENT
(757) 259-4116

September 10, 2001

LandMark Design Group
4029 Ironbound Road
Williamsburg, Va. 23188
Attn: Mr. Peter Farrell

*Reinspect
4-14-03*

Re: Stonehouse Section 4A Leather Leaf, Basin A
Dry Pond at Road near 2932 Leather Leaf
County BMP ID Code: WC 037

Dear Mr. Farrell:

The Environmental Division has reviewed record drawings and construction certifications as submitted to our office on November 16th 2000 for various stormwater management facilities located within Stonehouse. The record drawings and construction certifications provide as-built information for seven (7) stormwater management BMP extended dry detention facilities located within the community. For simplicity, you will receive separate correspondence relative to each of the facilities.

Based on our review of information as submitted and a concurrent field observation as performed on August 27th 2001, the following items must be addressed for **Basin A Leather Leaf (WC 037)** prior to release of the developer's surety instrument for the stormwater management/BMP facility:

Construction Certification:

1. The construction certification dated November 15th 2000 is **satisfactory**.

Record Drawing:

2. ~~Add the detention basin outlet structure detail as provided on Sheet 11 of the approved plan set to the as-built (record) drawing for the facility. This detail provides important information about the facility. Annotate the detail as necessary with field-obtained construction information.~~

*2-27-03
OK ✓*

3. Show the following additional information on the record drawing: size of riser; size of the higher level (dewatering) orifice; invert elevation on the upstream side of the low flow orifice (at the EW-11 grate) within the bottom of the pond; and show the street address on Lot 9 as 2932 Leather Leaf Drive.

*2-27-03
OK ✓*

4. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-30-97 and BMP ID No. WC 037.

Construction-Related Items:

To be done, no reinspect necessary.

*JOK
6-21-03
4-14-03*

5. Remove silt fence present along the downstream toe of the dam/road embankment.

6. Clean and remove fallen trees and wood debris from along the west shoreline of the basin. The west side is adjacent to Lot 10, 2944 Leather Leaf. Debris is especially excessive in the southwest corner of the basin.

✓ 4/14/03
OK

7. Clear and remove vegetation within 10 feet of the low flow control orifice (EW-11) in the bottom of the basin, within 15 feet of the riser structure and along the immediate upstream embankment toe of the facility.

8.

Clean and remove accumulated sediment and debris on the upstream end of the low flow orifice and the EW-11 headwall. These structures could not be physically found. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out eastward from the riser. The 8-inch pipe reduces to a smaller diameter within the riser and has an EW-11 end wall on it's upstream side to serve as a trash rack protection device.

✓ TREES OK 4-14-03

9. Clear and remove willows and all vegetation with 15 feet of the outfall ends of the 15-inch and 30-inch storm drains which inflow to the basin at the north (golf course) side. Flow into the pond must not be obstructed by sediment and vegetation.

SF needs removed

✓
OK

(Note: In general, the entire basin bottom is overgrown with trees and thick vegetation. Clear and remove trees and vegetation at the pipe inflows, the low flow orifice, the riser structure and the immediate upstream toe of embankment to establish positive drainage through/along the bottom of the basin and to/through the principal flow control devices.)

Once this work is satisfactorily completed, contact our office appropriately. We can then proceed with final release of the surety on the project. One reproducible and one blue/black line set of the record drawings will be required once the above items are adequately addressed. Please contact me at 757-253-6639 or the assigned Environmental Division inspector, Gerry Lewis, at 757-253-6672 if you have any further comments or questions.

Sincerely,

Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

G:\SWMProg\AsBuilts\S3097.wcr037



DEVELOPMENT MANAGEMENT

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September 10, 2001

LandMark Design Group
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Dry Pond at Road near 2932 Leather Leaf
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3. Show the following additional information on the record drawing: size of riser; size of the higher level (dewatering) orifice; invert elevation on the upstream side of the low flow orifice (at the EW-11 grate) within the bottom of the pond; and show the street address on Lot 9 as 2932 Leather Leaf Drive.
4. If possible, add the following County identifiers to the lower right hand corner of the record drawing: County Plan No. S-30-97 and BMP ID No. WC 037.

Construction-Related Items:

5. Remove silt fence present along the downstream toe of the dam/road embankment.
6. Clean and remove fallen trees and wood debris from along the west shoreline of the basin. The west side is adjacent to Lot 10, 2944 Leather Leaf. Debris is especially excessive in the southwest corner of the basin.

7. Clear and remove vegetation within 10 feet of the low flow control orifice (EW-11) in the bottom of the basin, within 15 feet of the riser structure and along the immediate upstream embankment toe of the facility.
8. Clean and remove accumulated sediment and debris on the upstream end of the low flow orifice and the EW-11 headwall. These structures could not be physically found. The low flow orifice for this structure is an 8-inch ductile iron pipe which extends out eastward from the riser. The 8-inch pipe reduces to a smaller diameter within the riser and has an EW-11 end wall on it's upstream side to serve as a trash rack protection device.
9. Clear and remove willows and all vegetation with 15 feet of the outfall ends of the 15-inch and 30-inch storm drains which inflow to the basin at the north (golf course) side. Flow into the pond must not be obstructed by sediment and vegetation.

(Note: In general, the entire basin bottom is overgrown with trees and thick vegetation. Clear and remove trees and vegetation at the pipe inflows, the low flow orifice, the riser structure and the immediate upstream toe of embankment to establish positive drainage through/along the bottom of the basin and to/through the principal flow control devices.)

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Sincerely,



Scott J. Thomas, P.E.
Civil Engineer
Environmental Division

cc: James H. Bennett (fax)

G:\SWMPProg\AsBuilts\S3097.wcr037

Scott - 11/20
 For Review
 Daryl

LANDMARK DESIGN GROUP TRANSMITTAL



To: DARYL COOKE
 Company: JAMES CITY CO. ENVIRONMENTAL
 From: PETER FARRELL
 Date: 11/16/00
 Subject: STORMWATER POND RECORD DRAWINGS FOR STONEHOUSE
 LMDG Job No.: 1990131-000.46

Attached please find:

- Prints
- Plans
- Specifications
- Drawings
- Report
- Letter
-

Transmitted as checked below:

- For your use
- As requested
- For review and comment
- For approval
- Approved
-

Copies	Date	Drawing No.	Description
2 EA. 12 TOTAL	11/16/00	11680-11686	RECORD DRAWINGS FOR VARIOUS STORMWATER PONDS AT STONEHOUSE
			{ WC 037, WC 038, WC 039, WC 040 }
			{ WC 041, WC 042, WC 043 }

Notes: LETTERS OF CERTIFICATION FROM DICK PHILLIPS, P.E. ARE BEING SENT TO YOU SEPERATELY

- Copies
1. File: _____
 2. _____
 3. _____
 4. _____
 5. _____

- Enclosures
- -
 -
 -
 -

LandMark Design Group, Inc.

By: PF _____

Engineers ♦ Planners ♦ Surveyors ♦ Landscape Architects ♦ Environmental Consultants
 4029 Ironbound Road, Suite 100, Williamsburg, VA 23188 (757) 253-2975 FAX: (757) 229-0049 lmdg@landmarkdgb.com



**James City County Environmental Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities**

5-30-97
BPIN 0530200001A

Database Inventory No. (if known): WC037
 Name of Facility: Stonehouse Sec 4A Leatherleaf Basin A BMP No.: 2 of 3 Date: 08/27/01
 Location: Near (west) 2932 Leatherleaf. Near end of Road
 Name of Owner: Stonehouse Limited Liability
 Inspector: St Thomas
 Type of Facility: Dry Ext Det.
 Weather Conditions: Sunny, Hot, High 70's

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

- O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory.
- Routine - The item checked requires attention, but does not present an immediate threat to the function of the BMP.
- Urgent - The item checked requires immediate attention to keep the BMP operational and prevent damage to the facility.



Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes:				<u>ROAD IS POND EMBANK. N/S STEEP 1 1/2 H:1 V. U/S 2 OR 3 H:1 V. 45' TW</u>
Grass Height	✓			<u>STABLE. VEG OK for steep slope.</u>
Vegetation Condition	✓			<u>Ground cover, grass, some bare spots.</u>
Tree Growth	✓			<u>Little.</u>
Erosion	✓			<u>Some spots. OK</u>
Trash & Debris	✓			
Seepage	✓			<u>None observed.</u>
Fencing or Benches	✓			<u>No bench. u/s emb. grassed OK.</u>
Interior Landscaping/Planted Areas: <input type="checkbox"/> None <input type="checkbox"/> Constructed Wetland/Shallow Marsh <input checked="" type="checkbox"/> Naturally Established Vegetation				
Vegetated Conditions	✓			<u>Cattails, Willows, Trees (EAST)</u>
Trash & Debris	✓			<u>Wooded slopes in basin.</u>
Floating Material				<u>Highly vegetated in pool area.</u>
Erosion	✓			
Sediment	✓			
Dead Plant	✓			
Aesthetics	✓			<u>NATURAL.</u>
Other				
<u>Services Road, LOT + GOLF COURSE AREA.</u>				

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools <input type="checkbox"/> Permanent Pool (Retention Basin) <input type="checkbox"/> Shallow Marsh (Detention Basin) <input checked="" type="checkbox"/> None (Detention Basin)				
Shoreline Erosion	✓			Basin relatively dry.
Algae	✓			
Trash & Debris	✓	✓		Wood debris west side (2944)
Sediment		✓	✓	At low flow riser Orifice (4"). Difficult
Aesthetics		✓	✓	to find dr to sed, veg.
Other				
Inflow Structures (Describe Locations): Pipe Inflows 1) 30" RCP 2) 18" RCP (BACK)				
Condition of Structure	✓			
Erosion	✓			
Trash and Debris		✓	✓	clear two pipe inflows of willows AND VEG.
Sediment	✓			
Aesthetics	✓			Dense veg at pipe inflows.
Other				
Principal Flow Control Structure - Intake, Riser, etc. (Describe Location): 8' RCP CAP, 8' DEEP; 48" RCP RISER				
Condition of Structure	✓			PAINTED DARK GREEN.
Corrosion	✓			
Trash and Debris		✓		CLEAN + REMOVE VEG 15' FROM RISER. MARK END
Sediment		✓		
Aesthetics	✓			
Other	✓			RISER CLEAN; VALVE CLOSED, LOW FLOW ORIF WORK
Principal Outlet Structure - Barrel, Conduit, etc.: 15" RCP thru ROAD EMBANKMENT.				
Condition of Structure	✓			
Settlement	✓			
Trash & Debris	✓			
Sediment	✓			
Erosion	✓			OP intact about 60%.
Other	✓			Orange color to BMP discharge.
Emergency Spillway (Overflow): None. ROAD PROFILE LOW POINT				
Vegetation				
Lining				
Erosion				
Trash & Debris				
Other				
Steep road slope to house on Lot 9 (2932)				

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type Conditions:				
Mosquito Breeding	✓			Some Mosquitos
Animal Burrows	✓			
Graffiti	✓			
Other				
Surrounding Perimeter Conditions: Woods EAST (2019 2932) AND WEST. ROAD SOUTH. GOLF COURSE N.				
Land Uses	✓			Woods, Lots, ROAD.
Vegetation	✓			Natural setting.
Trash & Debris	✓			
Aesthetics	✓			Natural Look.
Access /Maintenance Roads or Paths	✓			Access direct from Leatherleaf Drive, just past 2932.
Other				

Remarks:

▷ Remove SF From DS Left (Look DS) EAST EMBANK + TOE.

▷ Orange tint to water in barrel.

▷ CLEAN & Remove VEG 15' FROM RISER - WILLOWS & ALONG U/S TOE AT RISER.

D CLEAN & Remove ALL veg, sediment from Low Flow DRAIN approx. 20' north of riser. Could not find end due to vegetation + sediment. Establish unobstructed opening. MARK FOR FUTURE INSPECTION (painted rebar).

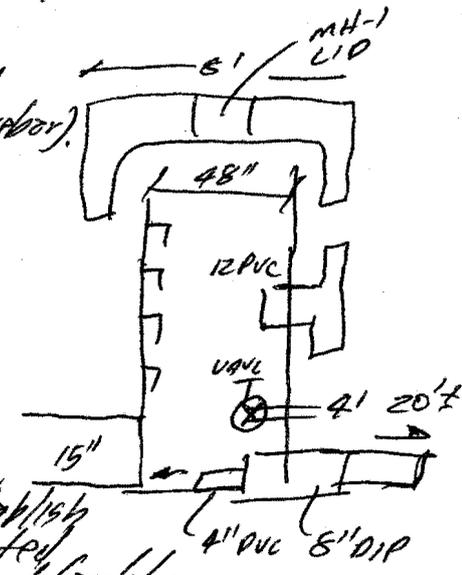
▷ Remove all dead tree/logs in SW corner of pond pool area.

▷ Clear backforebay areas of all veg (willows) with 15' of each of the 2 inflow storm drains.

▷ In general, entire basin bottom is overgrown w/ veg (willows, trees, etc.) clear & remove at riser, low flow orif, inflow, 2 pipe inflows, & as needed to establish

Overall Environmental Division Internal Rating: _____

positive, unobstructed flow from back of facility to riser.



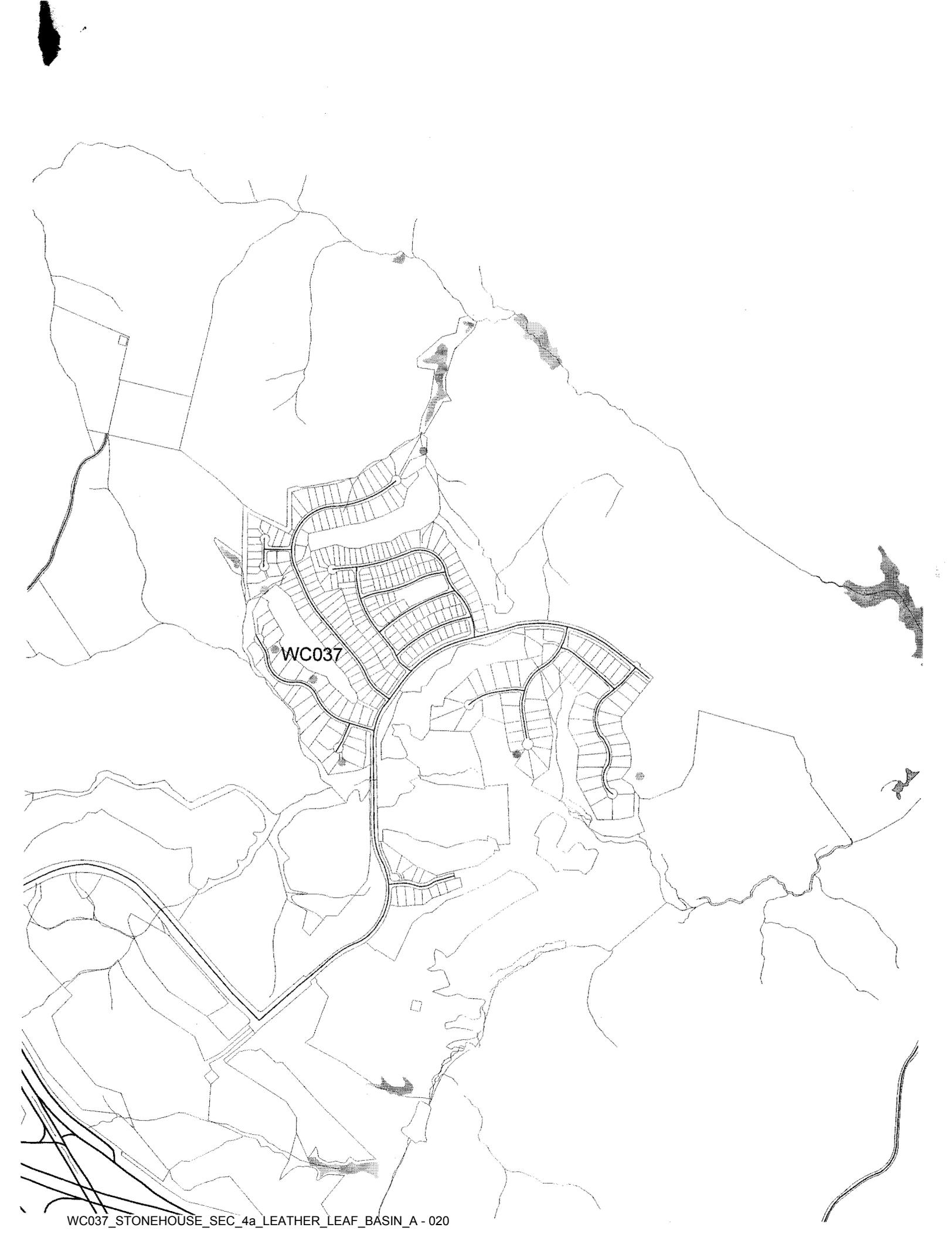
Signature: Scott J. Turner, P.E.
 Title: Civil Engineer ENV DIV

Date: 08/27/01

WATERSHED	WC	MAINTENANCE PLAN	No	CTRL STRUC DESC	RCP Riser
BMP ID NO	037	SITE AREA acre	20.13	CTRL STRUC SIZE inches	48
PLAN NO	S-30-97	LAND USE	Planned Res Unit D	OTLT BARRL DESC	RCP Barrel
TAX PARCEL	(05-03)(02-1A)	old BMP TYP	Dry Pond	OTLT BARRL SIZE inch	15
PIN NO	0530200001A	JCC BMP CODE		EMERG SPILLWAY	No
CONSTRUCTION DATE	11/16/2000	POINT VALUE	4	DESIGN HW ELEV	57.85
PROJECT NAME	Stonehouse Sec 4A Leather Leaf			PERM POOL ELE	none
FACILITY LOCATION	Near (west of) 2932 Leather Leaf Drive			2-YR OUTFLOW cfs	5.99
CITY-STATE	Williamsburg, Va. 23011	SVC DRAIN AREA acres	15	10-YR OUTFLOW cfs	9.90
CURRENT OWNER	Stonehouse Limited Liability			REC DRAWING	Yes
OWNER ADDRESS	P.O. Box 759			SERVICE AREA DESCRI	SF Lots, Roads and Golf Course
OWNER ADDRESS 2		IMPERV AREA acres	3.30	CONSTR CERTI	Yes
CITY-STATE-ZIP CODE	Toano, Va. 23168	RECV STREAM	UT of Bird Swamp WC		
OWNER PHONE		EXT DET-WQ-CTRL	Yes	LAST INSP DATE	8/27/2001
MAINT AGREEMENT	Yes	WTR QUAL VOL acre-ft	0.31	INTERNAL RATING	3
EMERG ACTION PLAN	No	CHAN PROT CTRL	No	MISC/COMMENTS	Basin A. Near cul-de-sac at end of Leather Leaf.
		CHAN PROT VOL acre-ft	0		
		SW/FLOOD CONTROL	Yes		
		GEOTECH REPORT	No		

[Get Last BMP No](#)

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WC037



WC037

LOT 9 Block B WC037

0530200001A

STONEHOUSE LIMITED VA

PO BOX 759

TOANO VA 23168

8.62 AC

LOCATION: (NEAR)
WEST OF 2932
LEATHER LEAF
LOT 9

LABELS
RD