

**A G E N D A**  
**JAMES CITY COUNTY CHESAPEAKE BAY BOARD**  
**REGULAR MEETING**  
**County Government Center, Building F**  
**101 Mounts Bay Road, Williamsburg, Virginia 23185**  
**January 13, 2021**  
**5:00 PM**

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**A. CALL TO ORDER**

**B. ROLL CALL**

**C. MINUTES**

1. Minutes from December 9, 2020, Regular Meeting

**D. PUBLIC HEARINGS**

1. Case No. CBPA 20-0142 : 8797 Pocahontas Trail
2. Case No. CBPA 20-0141 : 137 Westbury
3. Case No. CBPA 20-0140 : 244 William Barksdale
4. Case No. CBPA 20-0100 : 5520 North Mallard Run
5. Case No. CBPA 20-0139 : 289 Mill Stream Way

**E. BOARD CONSIDERATIONS**

1. Case No. CBPA 19-0141 : 2552 William Tankard Drive

**F. MATTERS OF SPECIAL PRIVILEGE**

1. 2020 Year in Review

**G. ADJOURNMENT**

**ITEM SUMMARY**

DATE: 1/13/2021  
TO: Chesapeake Bay Board  
FROM: Michael Woolson, Chesapeake Bay Board Secretary  
SUBJECT: Minutes from December 9, 2020, Regular Meeting

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**ATTACHMENTS:**

	Description	Type
☐	Minutes	Minutes

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:35 PM

**MINUTES**  
**JAMES CITY COUNTY CHESAPEAKE BAY BOARD**  
**REGULAR MEETING**  
**County Government Center, Building F**  
**101 Mounts Bay Road, Williamsburg, Virginia 23185**  
**December 9, 2020**  
**5:00 PM**

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**A. CALL TO ORDER**

The Chesapeake Bay Board meeting for December 9, 2020, was called to order.

The responsibility of this Board is to carry out locally the Commonwealth policy to protect against and minimize pollution and deposition of sediment in wetlands, streams, and lakes in James City County, which are tributaries of the Chesapeake Bay.

**B. ROLL CALL**

**Board Members Present:**

William Apperson, Vice Chair  
David Gussman, Remote Access  
Charles Roadley  
Halle Dunn

**Board Members Absent:**

Larry Waltrip

**Other Staff Present:**

Toni Small, Director, Stormwater and Resource Protection  
Liz Parman, Assistant County Attorney  
Michael Woolson, Senior Watershed Planner, Stormwater and Resource Protection  
Trevor Long, Watershed Planner, Stormwater and Resource Protection

**C. MINUTES**

1. Minutes from November 12, 2020, Regular Meeting

A Motion to Approve the minutes was made by Mr. Apperson. The minutes were approved on a voice vote.

**D. PUBLIC HEARINGS**

1. Case No. CBPA 20-0132 : 124 Four Mile Tree

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Brian and Mrs. Stacy Solano, for encroachments into the Resource Protection Area (RPA) buffer for the construction of two retaining walls located at 128 Four Mile Tree, within the Riverview Plantation Subdivision and the Skimino Creek watershed. The property is further identified as James City County Tax Map Parcel No. 1640500013. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley inquired if this would stabilize the area around the house.

Mr. Long replied that there was an erosion issue with current construction and deferred to the contractor for an answer.

Mr. Apperson opened the Public Hearing

A. Mr. Fred Nice, builder at 128 Four Mile Tree, outlined the project for the Board.

Mr. Roadley inquired if the retaining walls would provide water quality treatment themselves, was gravel to be used to intercept some of the sheet flow.

A. Mr. Fred Nice affirmatively replied.

Mr. Roadley inquired about the height of the retaining walls.

A. Mr. Nice replied the height would be 6 feet for the front, 40 foot long retaining wall and the back retaining wall would be 4 feet high and 10 feet long.

Mr. Apperson inquired of the location of the wall, inside or outside of the line of trees.

A. Mr. Nice answered the wall would be inside the line of trees.

Mr. Apperson stated that the retaining walls should be as close to the structures as possible.

Mr. Apperson closed the Public Hearing as no one else wished to speak.

Mr. Roadley made a motion to Adopt the resolution for Chesapeake Bay Board Case No. CBPA 20-0132 at 128 Four Mile tree.

A motion to Approve with Conditions was made by Mr. Roadley, the motion result was:

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1

AYES: Gussman, Apperson, Roadley, Dunn

NAYS: None

ABSENT: Waltrip

2. Case No. CBPA 20-0120 : 3468 Hunter's Ridge

Mr. Michael Woolson, Senior Watershed Planner, presented the exception request submitted by Mr. Michael Vergakis and Mrs. Linda Vergakis, for encroachments into the RPA buffer for the construction of a retaining wall, fill and a paver pad located at 3468 Hunter's Ridge, within the Powhatan Crossing Subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4621300024. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

The Board deliberated on the pros and cons of this application.

Mr. Roadley inquired about the impervious surfaces being the pavers and the retaining wall.

Mr. Woolson affirmatively replied.

Mr. Apperson opened the Public Hearing.

A. Mr. Michael Vergakis, owner, outlined the project for the Board.

Mr. Roadley inquired about the area of subsidence and if the tree was to be removed.

A. Mr. Vergakis replied that there was an underground spring contributing to the subsidence. Yes, the tree would be removed.

Mr. Roadley inquired about the spring, potential issues with the spring and asked if anyone had looked at the spring to determine the cause.

A. Mr. Vergakis replied that the James City Service Authority had come out and tested a hole that had developed under the sewer line.

Mr. Dunn inquired if pervious pavers could be used.

A. Mr. Vergakis replied that they were using pavers that matched the existing pavers on site.

Mr. Roadley suggested that a geotechnical engineer could do a site inspection to render an opinion concerning the spring.

Mr. Dunn made a motion to Adopt the resolution for Chesapeake Bay Board Case No. CBPA 20 -0120 at 3468 Hunter's Ridge.

A motion to Approve with Conditions was made by Mr. Dunn, the motion result was:

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1

AYES: Gussman, Apperson, Roadley, Dunn

NAYS: None

ABSENT: Waltrip

3. Case No. CBPA 20-0105 : 2148 Benomi Drive

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mrs. Tabitha and Mr. Robert Partlow, for encroachments into the RPA buffer for the construction of a shed located at 2148 Benomi Drive, within the Peleg's Point Subdivision and the Mill Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4741300084. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley inquired about potential locations for the shed outside of the RPA, such as the side yard to the left of the house.

Mr. Long answered that the HOA might allow the side yard location for the shed.

Mr. Dunn inquired about the conservation easement location.

Mr. Long replied that the conservation easement is within the area of the RPA and also shown on the site plan.

Mr. Apperson opened, then closed the Public Hearing, as no one wished to speak.

Mr. Roadley made a motion to Deny Chesapeake Bay Board Case No. CBPA 20-0105 at 2148 Benomi Drive.

A motion to deny was made by Mr. Roadley, the motion result was:

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1

AYES: Apperson, Gussman, Roadley, Dunn

NAYS: None

ABSENT: Waltrip

**E. BOARD CONSIDERATIONS**

1. Michael Woolson stated there would be a Wetlands and Chesapeake Bay Board meeting for January 13, 2021. At that time, Carter's Grove will be proposing a living shoreline and some RPA modifications along the shoreline. If any Board member would like to go visit the site, please let staff know and they will arrange a visit.

Mr. Apperson and Mr. Roadley both said they would like to attend.

**F. MATTERS OF SPECIAL PRIVILEGE**

None

**G. ADJOURNMENT**

A Motion to Adjourn was made by Mr. Roadley and approved on a voice vote. The meeting adjourned at 5:52 p.m.

**ITEM SUMMARY**

DATE: 1/13/2021

TO: Chesapeake Bay Board

FROM: Michael Woolson, Senior Watershed Planner

SUBJECT: Case No. CBPA 20-0142 : 8797 Pocahontas Trail

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VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

**ATTACHMENTS:**

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Presentation	Presentation
☐	Site Plan	Backup Material
☐	Public Advertisement	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:29 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:38 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:19 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0142. 8797 Pocahontas Trail  
Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicant: Carter's Grove Associates, LLC

Agent: Mr. Anthony Loubier, Vanasse Hangen Brustlin (VHB), Inc.

Location: 8797 Pocahontas Trail

Parcel Identification No.: 5910100030

Parcel: Carter's Grove

Lot Size: 401 acres +/-

Area of Lot in Resource Protection Area (RPA): 105 acres +/- (25%)

Watershed: Skiffes Creek (HUC JL 35)

Floodplain: Zone AE - Base flood elevation is determined to be at 9 feet mean sea level  
Zone VE - The special flood hazard area subject to 1% annual chance flood

Proposed Activity: Regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway

Impervious Cover: 541 square feet

RPA Encroachment: 5,182 square feet (0.12 acre), landward 50-foot RPA  
240,857 square feet ((5.53 acres), seaward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Anthony Loubier, VHB, Inc., has applied for a Chesapeake Bay Exception on behalf of Carter's Grove Associates, LLC for encroachments into the RPA buffer for the regrading of a ravine, regrading of a shoreline, and the installation of outfall pipes and spillway on property located at 8797 Pocahontas Trail within the Skiffes Creek watershed. The property is further identified as James City County Tax Map Parcel No. 5910100030 and is otherwise referred to as Carter's Grove. The parcel was platted before the adoption of the Chesapeake Bay Ordinance in 1990.

The total area involved with this portion of the project equals approximately 15 acres, of which 100% is located within the RPA. This application request is in conjunction with the wetlands permit request WJPA 20-0038 to protect the James River shoreline bordering this property. The applicant is proposing to regrade the shoreline and a ravine, and to install outfall pipes and a spillway to an existing pond. The limits of work are proposed in three separate locations and is proposed to run concurrently with the shoreline stabilization project proposed in WJPA 20-0038.



There are two outfall pipes associated with this proposal. One outfall pipe is proposed in a degrading ravine currently transporting runoff towards the resource. The second outfall pipe is associated with an existing pond on the site. Total impacts associated with the proposed project equal 5,182 square feet of impacts to the landward 50-foot RPA and 240,857 square feet of impacts to the seaward 50-foot RPA. Total impervious impacts to the RPA associated with the installation of the pipes and spillway equal 541 square feet. There are also 22,075 square feet of steep slopes proposed to be impacted with this project. Required mitigation for this amount of impervious cover impact to the RPA equals one planting unit (one canopy tree, two understory trees, and three shrubs). However, the entire disturbed area within the RPA must be revegetated with the three trophic layers (canopy, understory, and shrub) per the Ordinance. While no mitigation plan has been submitted at this point, the applicant has expressed intentions of planting in excess of the required mitigation plantings. The applicant must coordinate with the Virginia Department of Forestry for this restoration effort.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the regrading efforts and stormwater conveyances are considered accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff's view of this application is that it meets all five of the conditions presented above. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project. Specifically, an Erosion and Sediment Control Plan and Land Disturbing Permit are required; and
2. A mitigation plan consisting of one canopy tree, two understory trees, and three shrubs be submitted to the Stormwater and Resource Protection Division; and
3. Coordination with the Virginia Department of Forestry on revegetating the total disturbed RPA (buffer restoration) in trees and shrubs suitable to that location; and

4. A surety of \$20,000 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the required planting mitigation and the RPA buffer restoration; and
5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/md  
CBPA20-142\_8797PocTrl

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-20-0142. 8797 POCAHONTAS TRAIL

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Samuel Mencoff (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 13, 2021, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 5910100030 and further identified as 8797 Pocahontas Trail (the “Property”) as set forth in the application CBPA-20-0142 for the purpose of regrading of a ravine, regrading of the shoreline, and installation of outfall pipes and spillway; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits as required for the project. Specifically, an Erosion and Sediment Control Plan and Land Disturbing Permit are required; and
  - b. A mitigation plan consisting of one canopy tree, two understory trees, and three shrubs be submitted to the Stormwater and Resource Protection Division; and

- c. Coordination with the Virginia Department of Forestry on revegetating the total disturbed RPA (buffer restoration) in trees and shrubs suitable to that location; and
- d. A surety of \$20,000 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the required planting mitigation and the RPA buffer restoration; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

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David Gussman  
Chair, Chesapeake Bay Board

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Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-142\_8797PocTrl-res



# **Chesapeake Bay Board of James City County, Virginia**

**January 13, 2021**

**CBPA 20-0142**

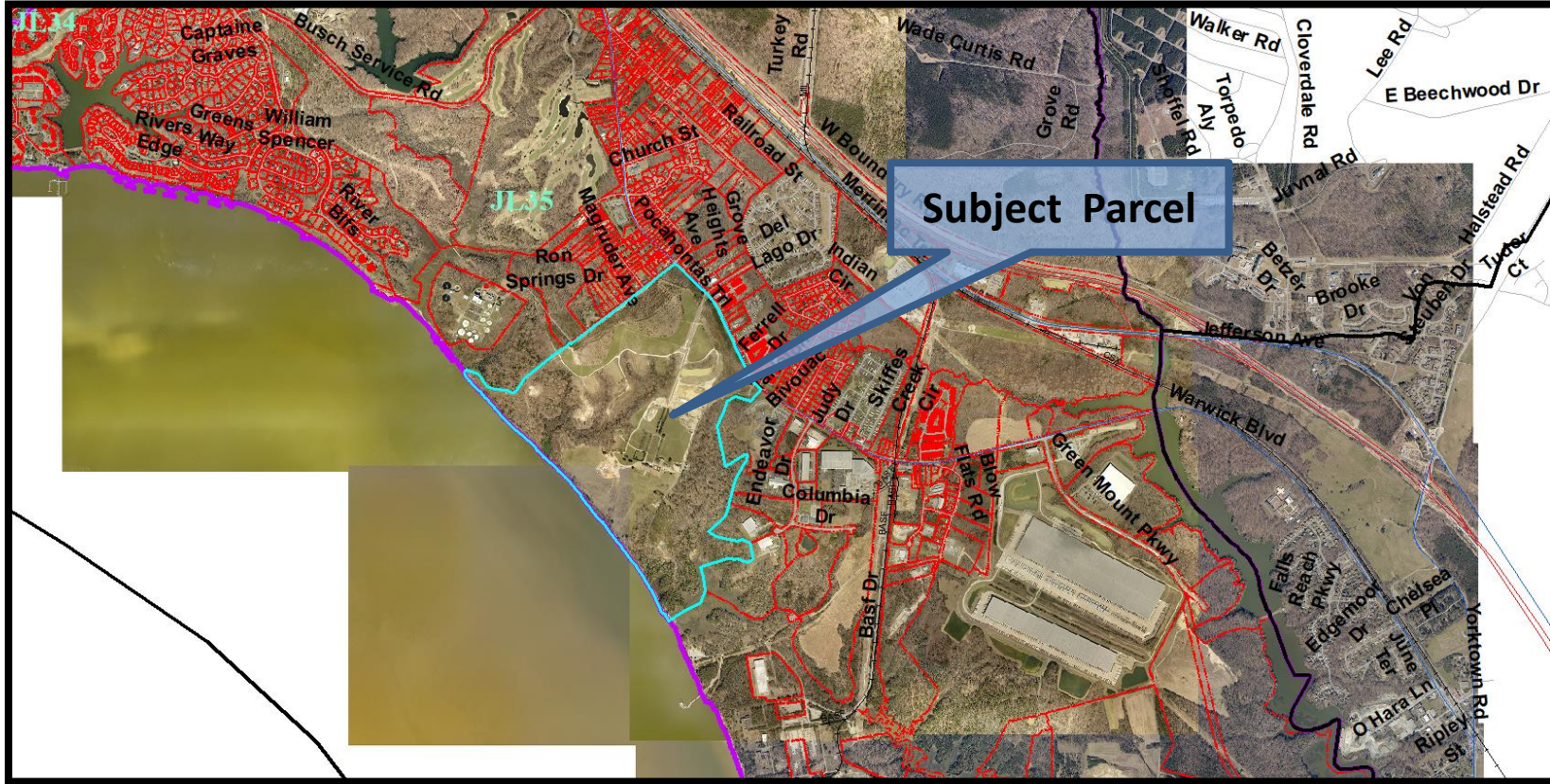
**Carter's Grove Associates**

**8797 Pocahontas Trail**

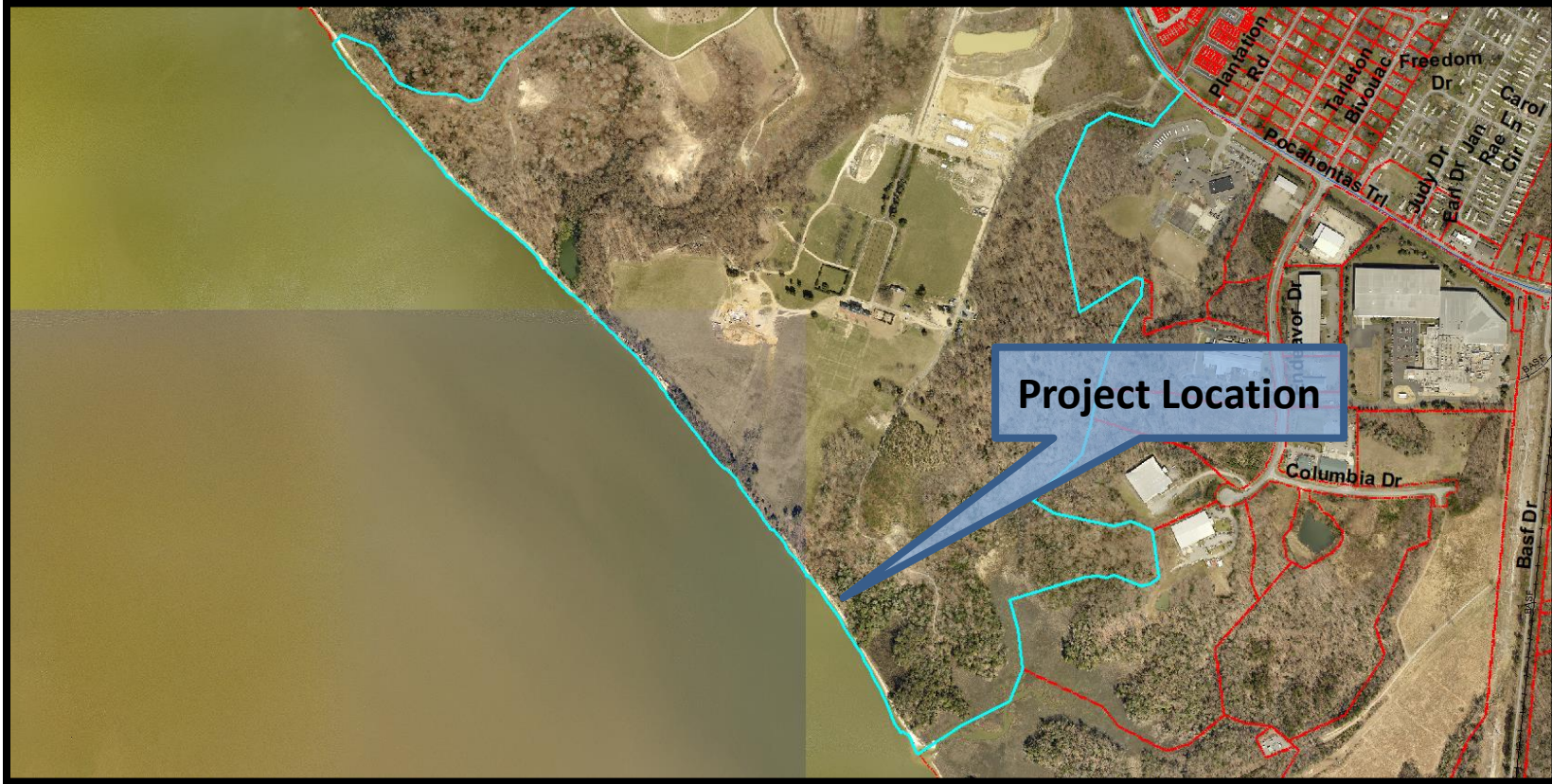


# Applicant Request

- ✓ Regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway.

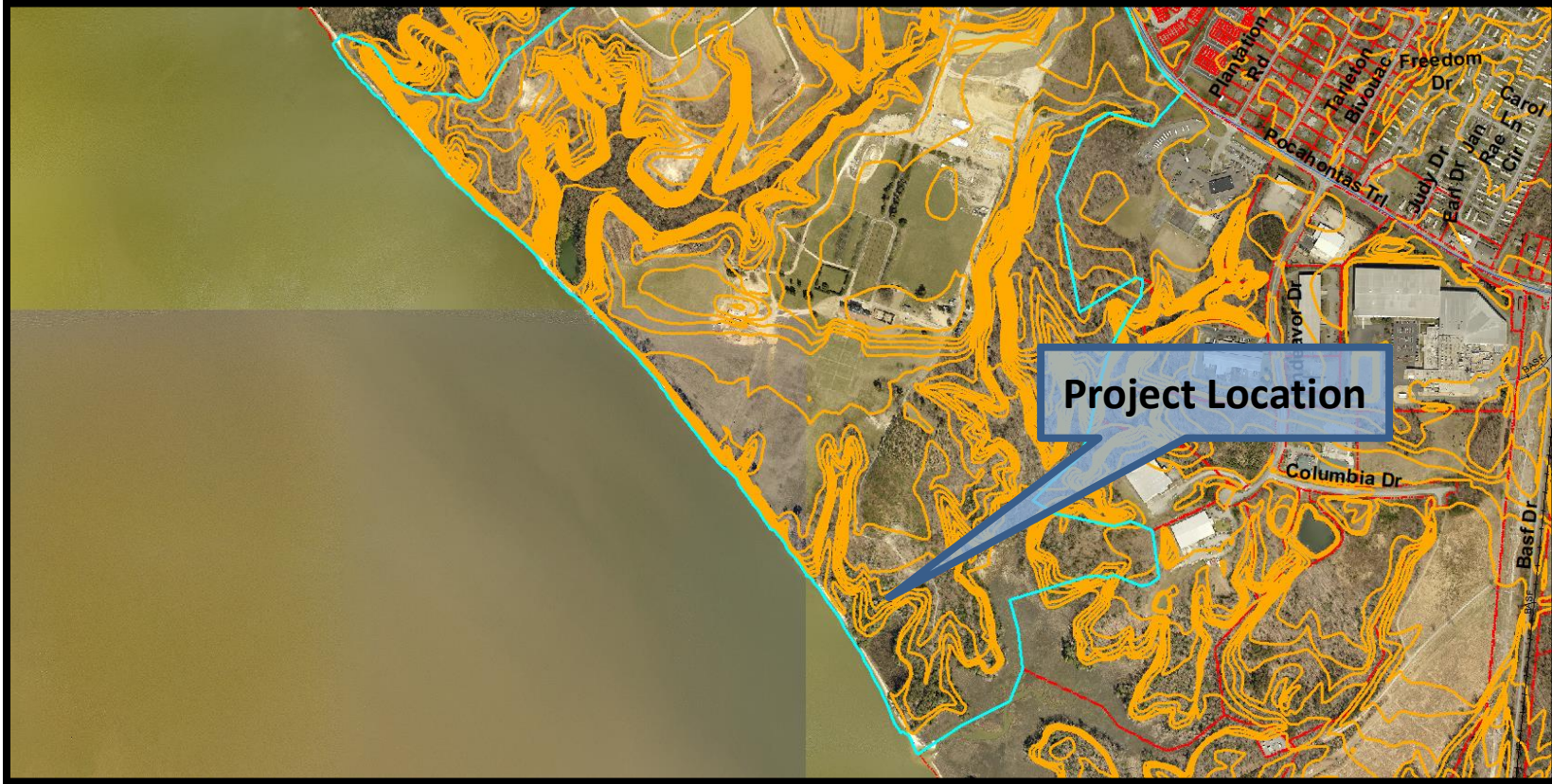


**Vicinity Map**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**

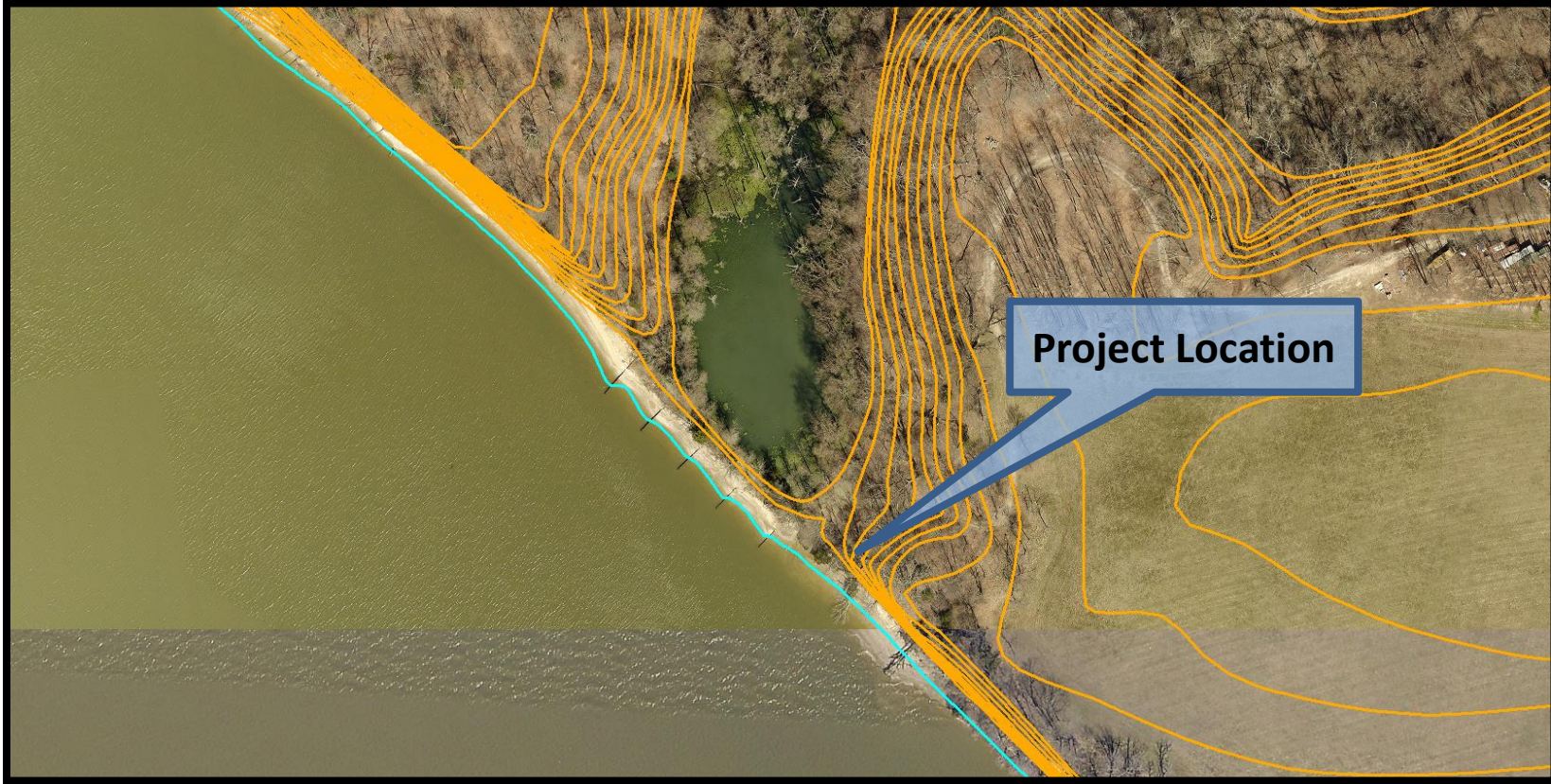


**Aerial Photograph**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**





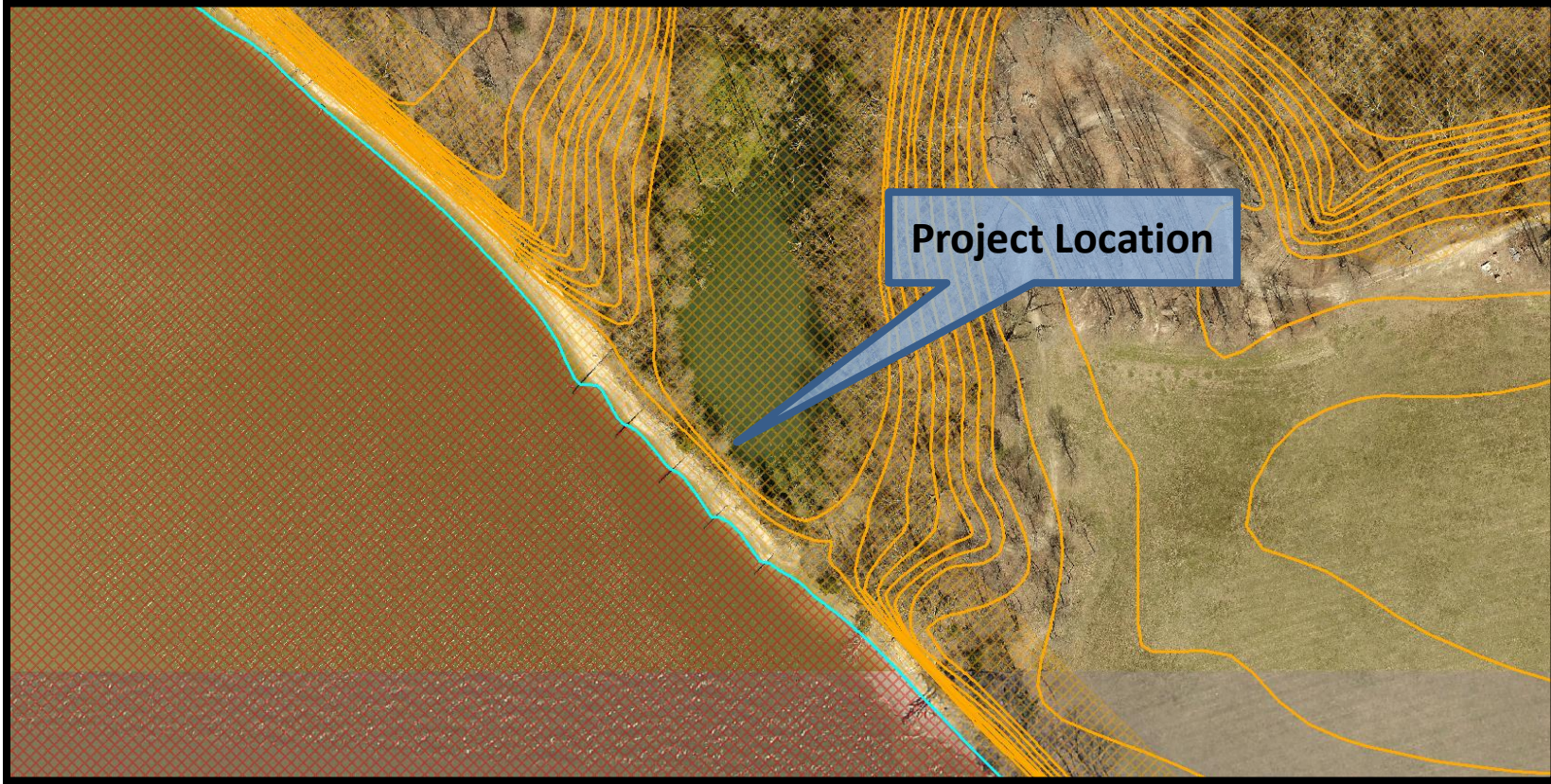
**Topography**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**



**Topography 1**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**



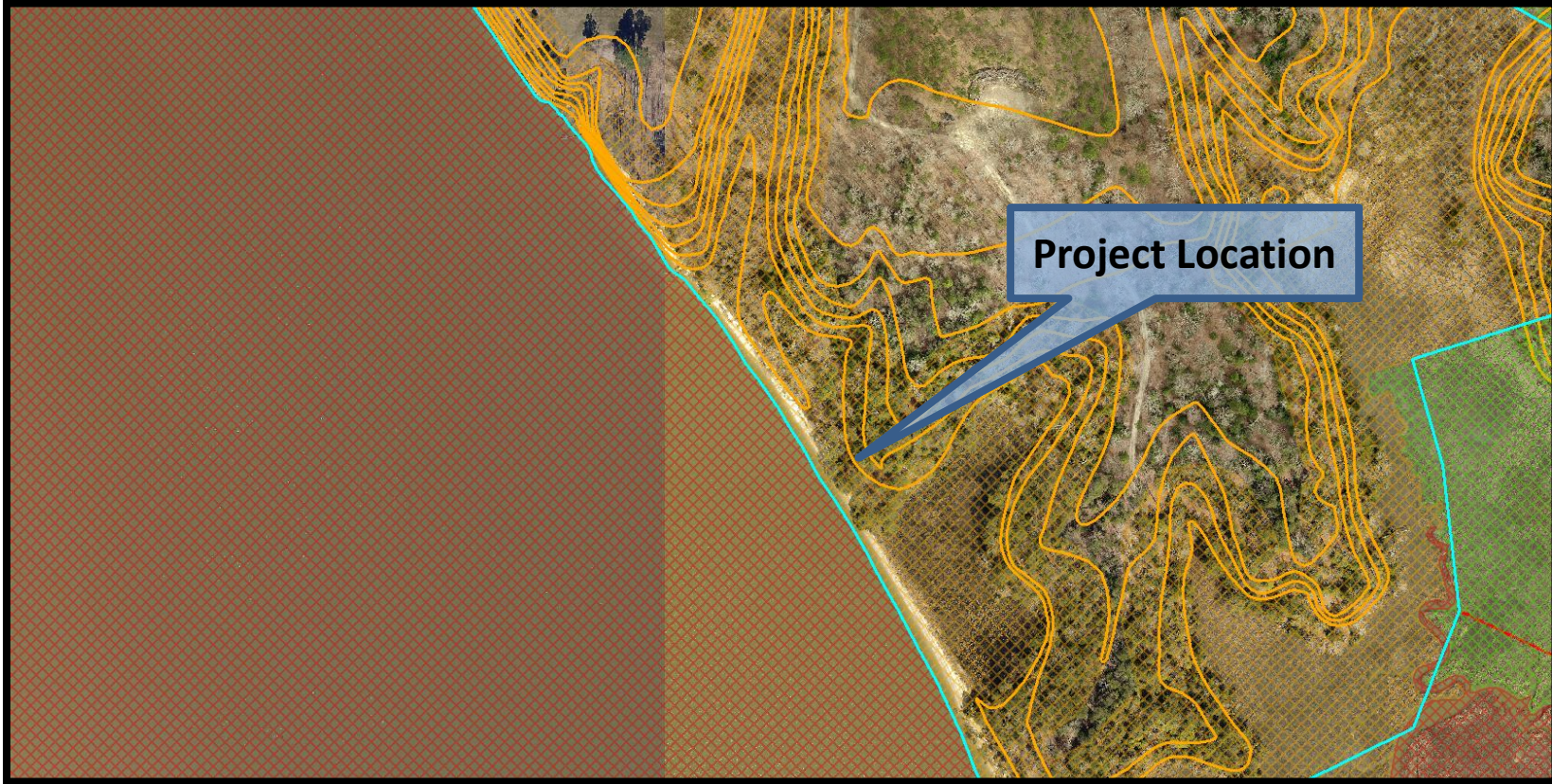
**Topography 2**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**



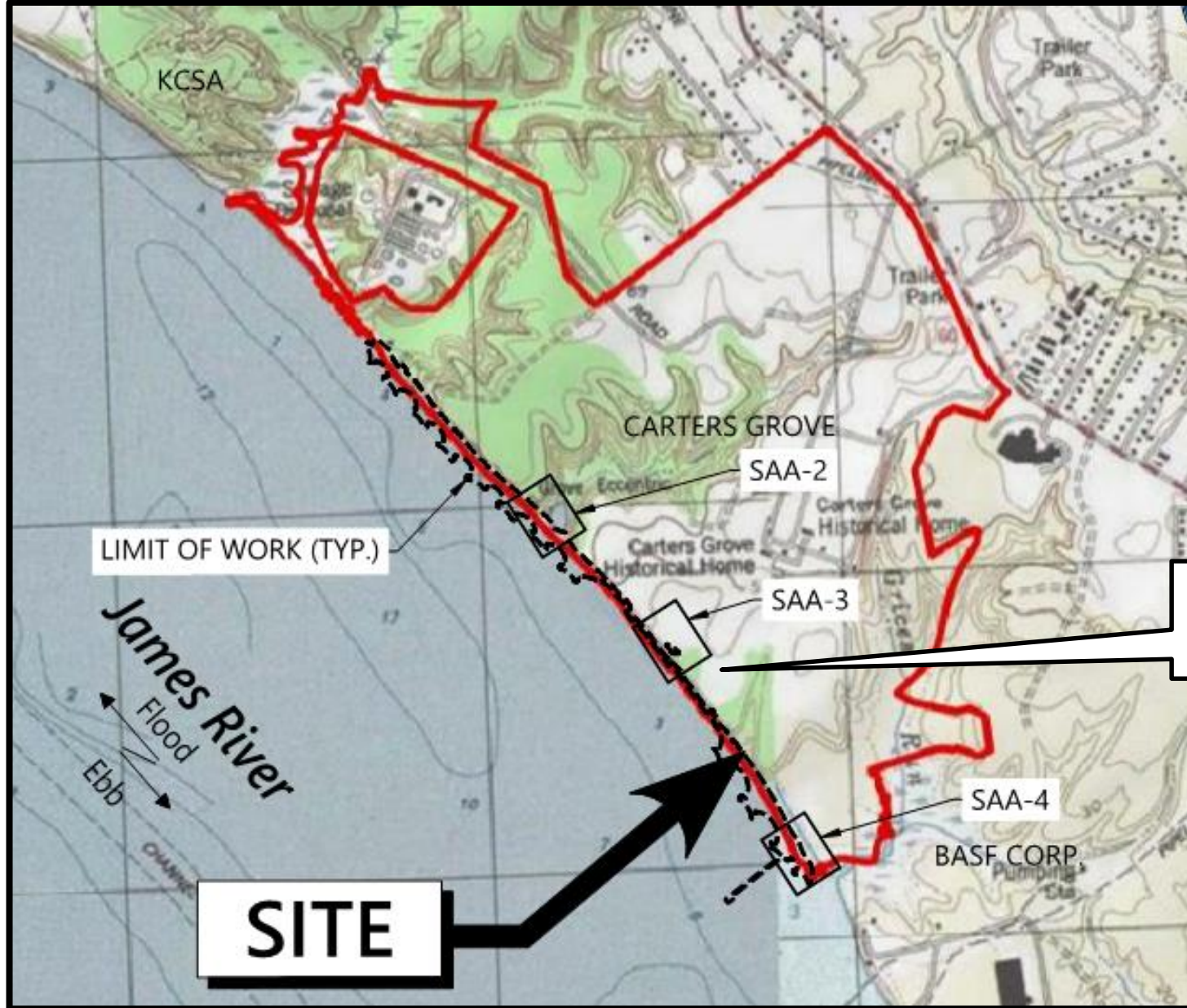
**Resource Protection Area 1**

**CBPA-20-0142**

**8797 Pocahontas Trail**



**Resource Protection Area 1**  
**CBPA-20-0142**  
**8797 Pocahontas Trail**



Site Plan showing proposed improvements, submitted December 3, 2020. For representative use only for presentation of case #CBPA-20-0142

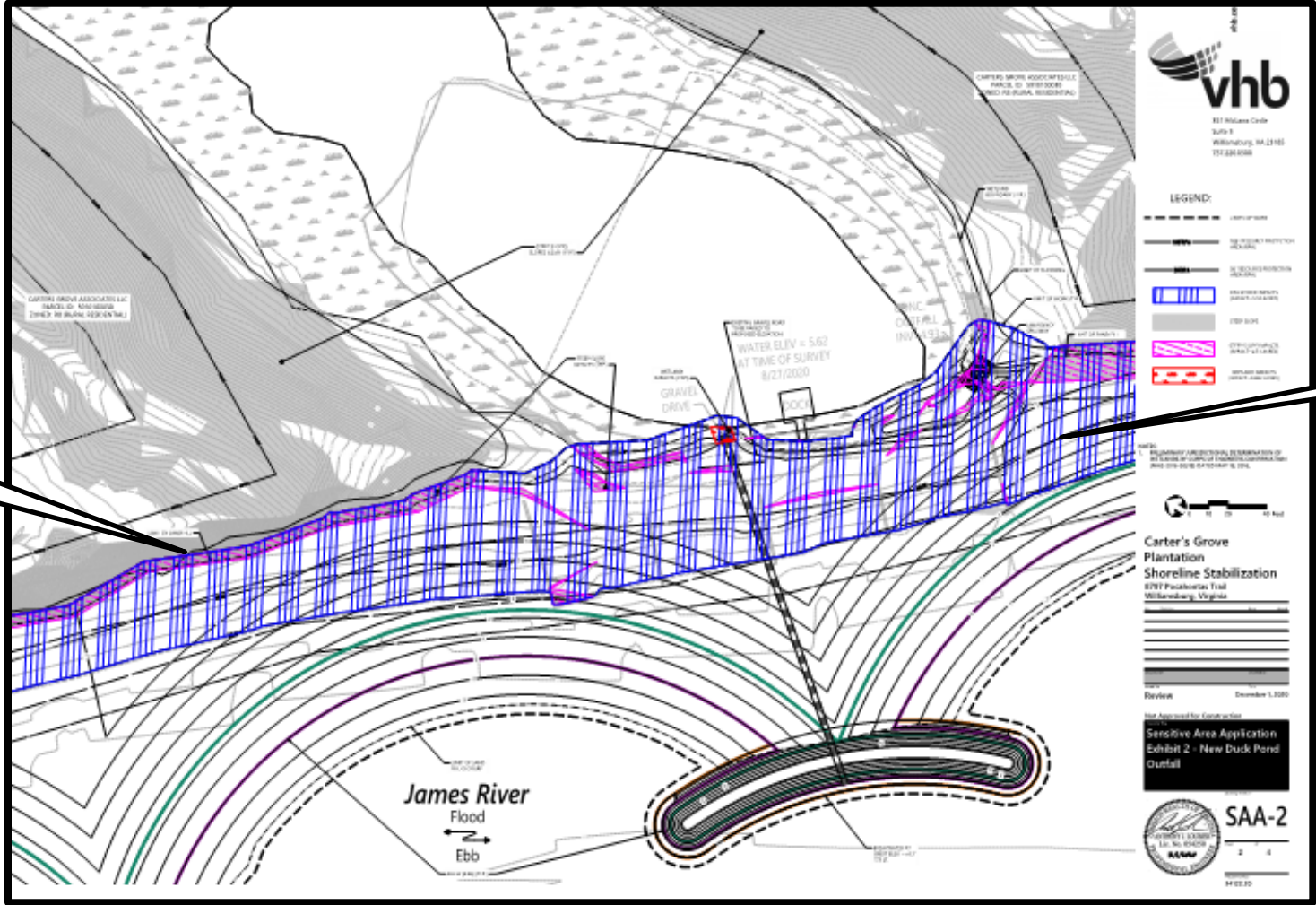
Proposed Extension

Mitigation Plan - CBPA-20-0142  
8797 Pocahontas Trail

Site Plan showing proposed improvements, submitted December 3, 2020. For representative use only for presentation of case #CBPA-20-0142

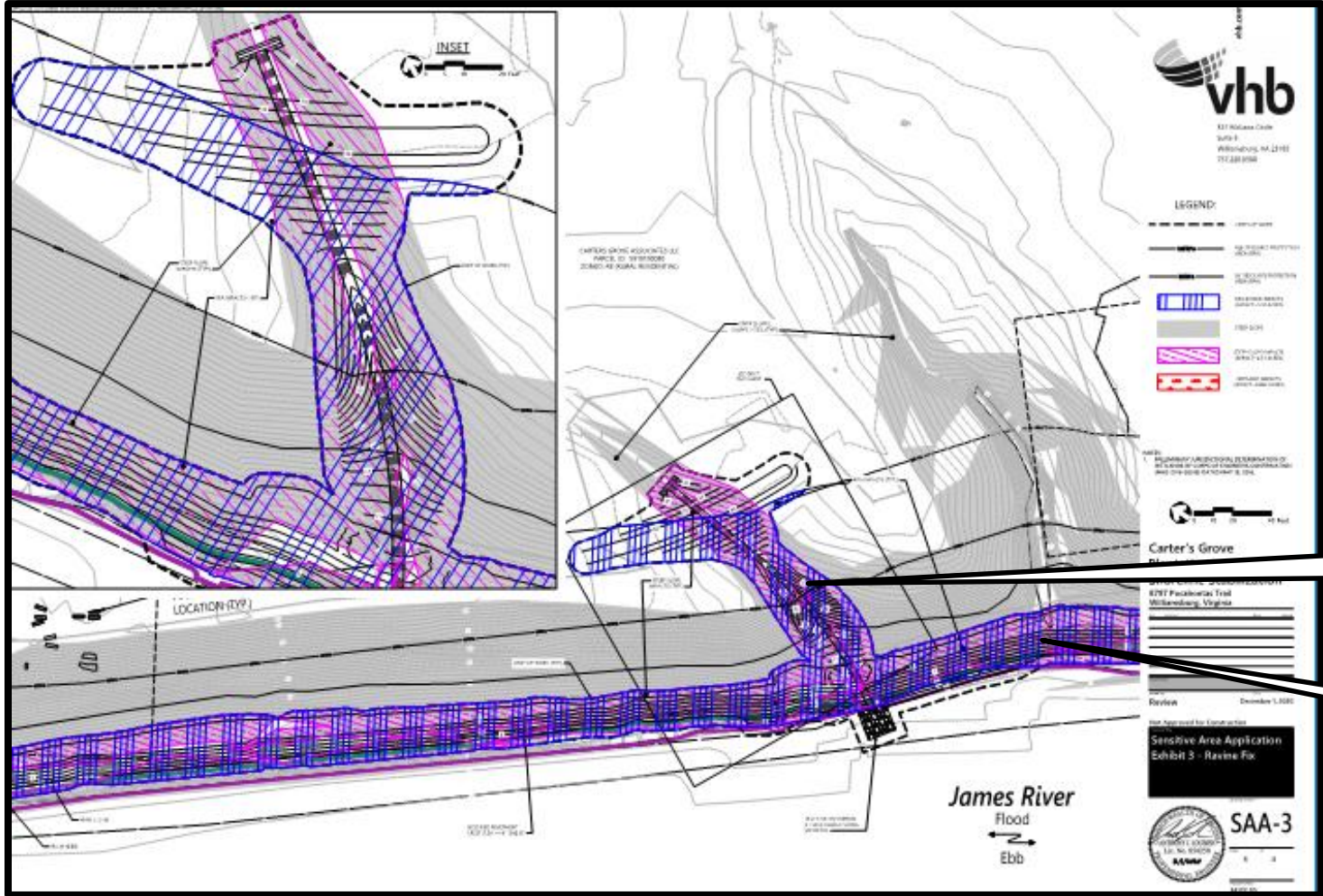
Area to be graded

Steep Slope Impacts



**Section Plan 1 - CBPA-20-0142**  
**8797 Pocahontas Trail**

Site Plan showing proposed improvements, submitted December 3, 2020. For representative use only for presentation of case #CBPA-20-0142



Proposed Outfall Piping

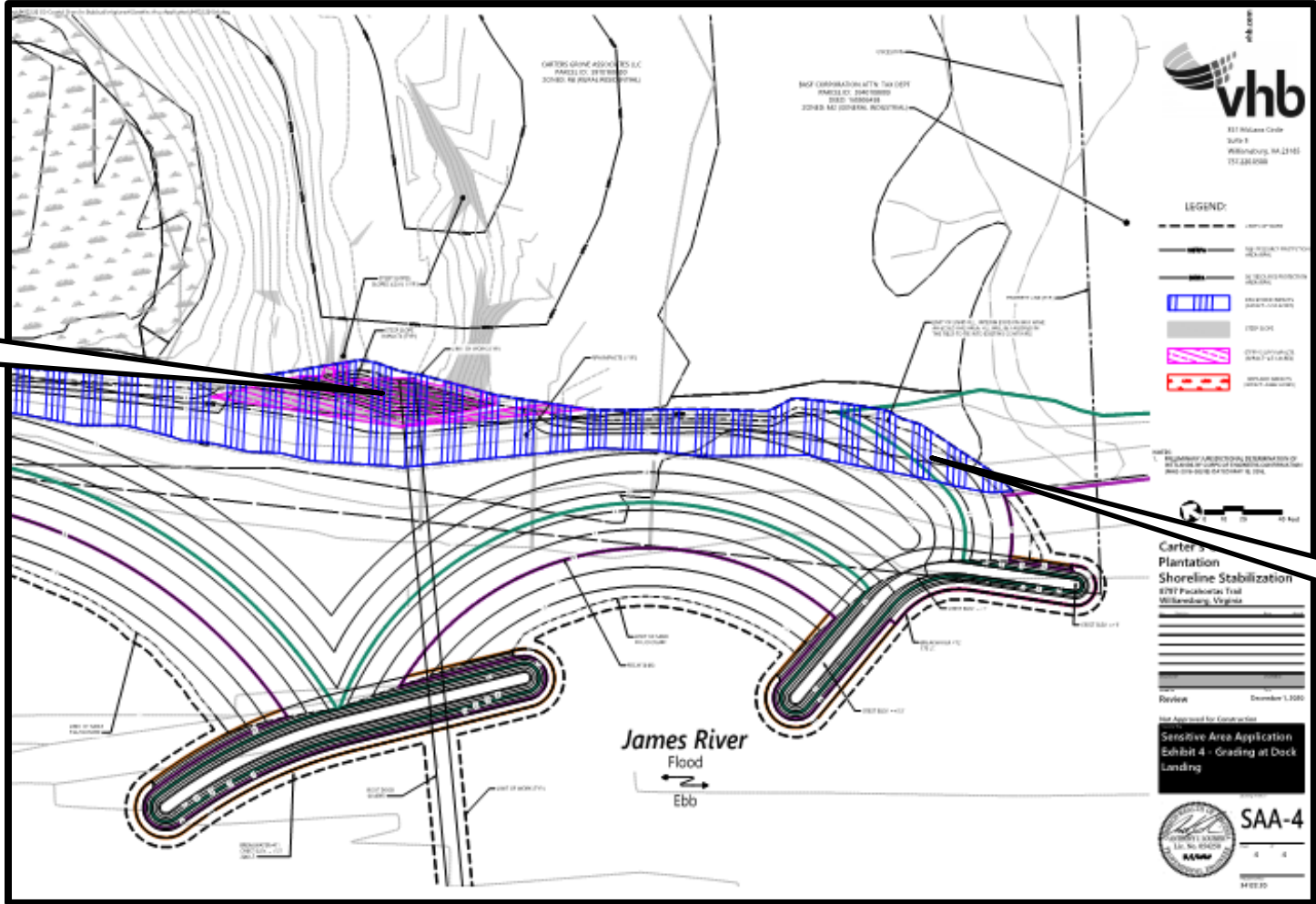
Area to be graded

**Section Plan 2 - CBPA-20-0142**  
**8797 Pocahontas Trail**



Site Plan showing proposed improvements, submitted December 3, 2020. For representative use only for presentation of case #CBPA-20-0142

Proposed spillway reconstruction

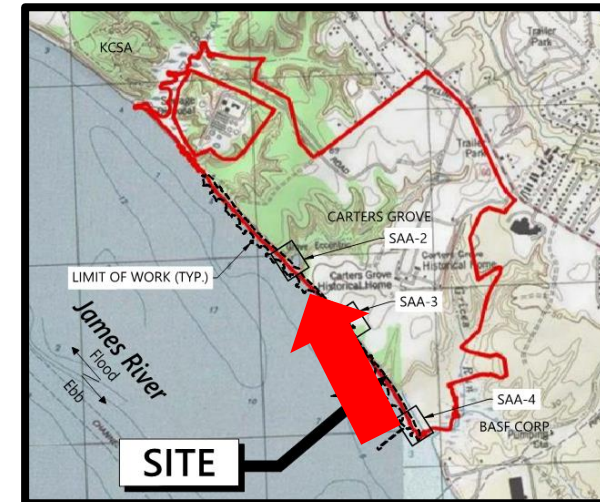


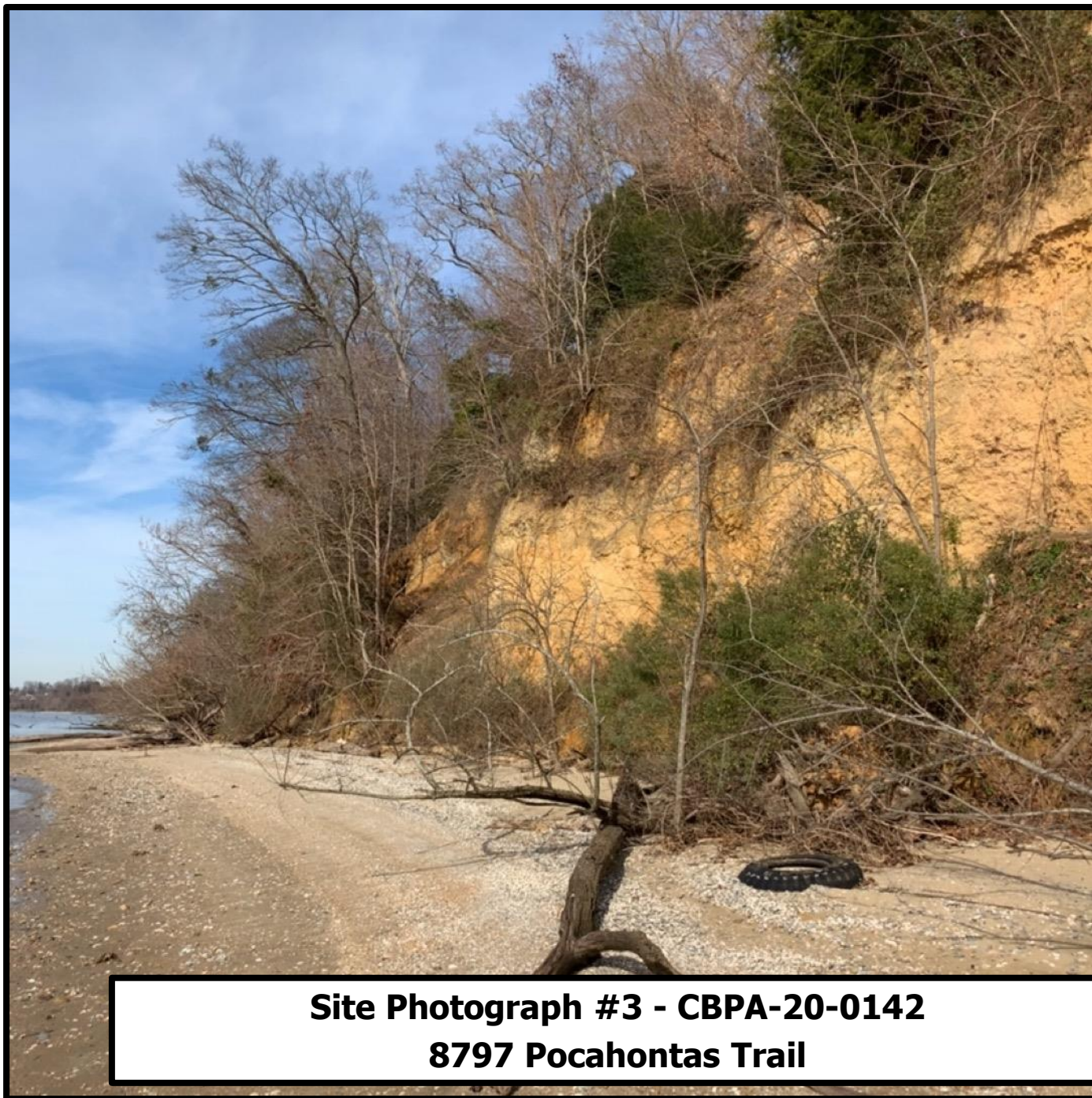
Area to be graded

**Section Plan 3 - CBPA-20-0142**  
**8797 Pocahontas Trail**



**Site Photograph #2 - CBPA-20-0142**  
**8797 Pocahontas Trail**



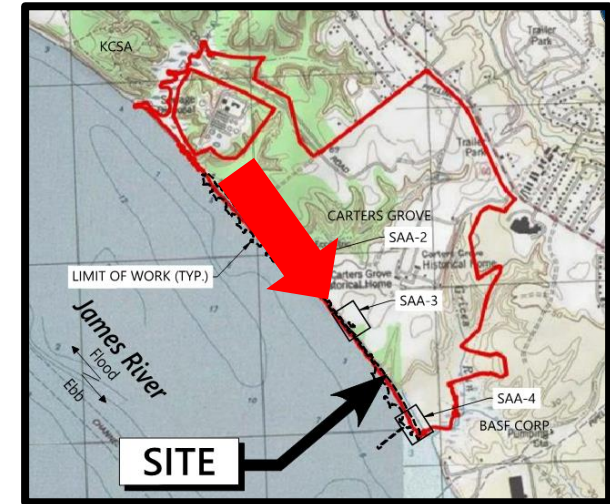


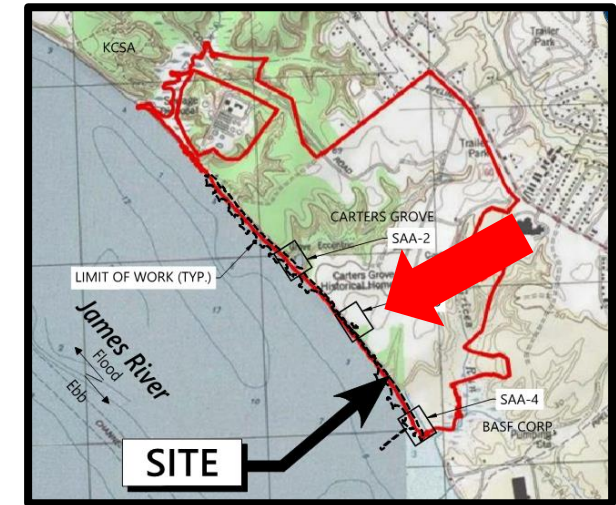
**Site Photograph #3 - CBPA-20-0142**  
**8797 Pocahontas Trail**





**Site Photograph #4 - CBPA-20-0142**  
**8797 Pocahontas Trail**





**Site Photograph #5 - CBPA-20-0142**  
**8797 Pocahontas Trail**



**Site Photograph #6 - CBPA-20-0142**  
**8797 Pocahontas Trail**

# Permit Conditions



## Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- ✓ A mitigation plan of 1 canopy tree, 2 understory trees, and 3 shrubs.
- ✓ Coordination with VADOF on revegetating the total disturbed RPA.

# Permit Conditions



## Staff Recommendation – Approval

- ✓ A surety of \$20,000
- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.







## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING **WEDNESDAY JANUARY 13, 2020 AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

**NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021.  
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES:        PLANNING  
                  ASSISTANT COUNTY ATTORNEY  
                  WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-253-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

December 23, 2020

RE: CBPA-20-0142  
8797 Pocahontas  
Carter's Grove Living Shoreline

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Anthony Loubier of Vanasse Hangen Brustlin, Inc. on behalf of Carters Grove Associates, LLC for encroachment into the Resource Protection Area (RPA) buffer for the installation of a living shoreline and drainage improvements. The project is located at 8797 Pocahontas and further identified as JCC Parcel No. 5910100030.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Michael D. Woolson*

Michael D. Woolson  
Chesapeake Bay Board Secretary  
757-253-6823  
michael.woolson@jamescitycountyva.gov

cc: Vanasse Hangen Brustlin, Inc.  
Mr. Anthony Loubier

MDW: jep

Mailing List for: CBPA-20-0142 – 8797 Pocahontas Trail – Living Shoreline at Carter’s Grove

Owner - 5910100030  
5820100002 - 250 Ron Springs Dr  
Carters Grove Associates LLC  
70 West Madison Ste 4600  
Chicago, IL 60602-4215

VHB, Inc.  
Attn: Mr. Anthon Loubier  
351 McLaws Circle, Suite 3  
Williamsburg, VA 23185

5910100028 – 200 Ron Springs Rd  
Colonial Investors, Inc  
P.O. Box 1165  
Williamsburg, VA 23187-1165

5910100029 - 150 Ron Springs Dr  
150 Grove, LLC  
P.O. Box 1165  
Williamsburg, VA 23187-1165

5910200018H - 140 Ron Springs Dr  
Remillard, Randy  
16900 Holly Point Rd  
Williamsburg, VA 23185-7643

5910200018I  
5910200018D - 132 Ron Springs Dr  
Joshua C Palmer, Jr.  
138 Ron Springs Drive  
Williamsburg, VA 23185-6014

5910200019- 118 Ron Springs Dr  
Palmer, M Cornelius  
69 Semple Farm Road  
Hampton, VA 23666-1456

5910200018F - 136 Ron Springs Dr  
5910200018E - 134 Ron Springs Dr  
Joshua C Palmer, Sr. Estate  
130 Ron Springs Drive  
Williamsburg, VA 23185-6014

5910200008- 114 Ron Springs Dr  
Cook, Milton, & Williams, Norriss  
114 Magruder Avenue  
Williamsburg, VA 23185

5910200018A - 128 Ron Springs Dr  
5910200018C - 126 Ron Springs Dr  
Ethelyn L Springs Estate  
c/o Springs, Ethelyn L  
2915 Snuggles Court  
Toano, VA 23168-8943

5910200007A - 112 A Ron Springs Dr  
Colonial Pipeline Co, Inc  
P.O. Box 1624  
Alpharetta, GA 30009-1624

5910200018K - 124 Ron Springs Dr  
Moser, Hans W  
3023 Edgewood Avenue  
Parkville, MD 21234-4108

5910200007D - 110 Ron Springs Dr  
Bannister, Marjorie Lee  
606 Tam O’Shanter Boulevard  
Williamsburg, VA 23185-5922

5910200018J  
Sumter, Anthony & Amanda  
122 Ron Springs Drive  
Williamsburg, VA 23185-6014

5910200006  
5910200006A - 8751 Pocahontas Tr  
Wallace, Alfred, Sr. & Sissie V  
104 Ron Springs Drive  
Williamsburg, VA 23185-6007

5910200018  
Smokstad, Taylor  
120 Ron Springs Drive  
Williamsburg, VA 23185-6014

5910100020 - 8758 Pocahontas Tr  
Carters Cove, Inc  
c/o Hudgins, George M, Jr.  
203 The Maine  
Williamsburg, VA 23185-1458

5910100021 - 8766 Pocahontas Tr  
8766 Pocahontas, LLC  
3625 Beech Down Drive  
Chantilly, VA 20151-3382

5920100001 - 10 Gray Gables Dr  
Newport Datsun  
c/o Crumpler, Jacquelyn Q.  
PO Box 1219  
Kitty Hawk, NC 27949-1219

5910100023  
Brennan, Rowsena & Seth  
8774 Pocahontas Trail  
Williamsburg, VA 23185-6026

5910100024A - 8776 Pocahontas Tr  
SEJ Asset Management & Investment  
Company  
1722 Routh St, Suite 1000  
Dallas, TX 75201-2506

5940100003 - 8961 Pocahontas Tr  
BASF Corporation  
Attn: Tax Department  
100 Park Avenue  
Florham Park, NJ 07932-1049

5920100051  
DYARRCC, Inc.  
1708 Endeavor Drive  
Williamsburg, VA 23185-6239

5910100011 - 8732 Pocahontas Tr  
Wallace, George E, Jr., & Harrison, K  
& Addison, N  
3 Colonnade Court  
Hampton, VA 23666-6025

5910100017 - 8736 Pocahontas Tr  
5910100018 - 8744 Pocahontas Tr  
Keenan Palmer  
P.O. Box 15356  
Newport News, VA 23605-0026

5910100019 - 8750 Pocahontas Tr  
Scarborough, Margaret  
8750 A Pocahontas Trail  
Williamsburg, VA 23185-6027

5920100003 - 8810 Pocahontas Tr  
Heritage Community, LLC  
486 Seaport Court, Suite 101  
Redwood City, CA 94063-2730

5910400001A - 1900 Algonquin Tr  
Pocahontas Square Townhouse Association, Inc  
2310 Tower Place, Suite 105  
Hampton, VA 23666-2481

5910400001B - 1899 Algonquin Tr  
Pocahontas Square Townhouse Association, Inc  
15064 Carrollton Blvd, Suite H  
Carrollton, VA 23314-3577

5920300001A - 6.29 A  
Brookside Haven Homeowners Association, Inc.  
8979 Pocahontas Trail  
Williamsburg, VA 23185-6243

5920100046 - 8901 Pocahontas Tr  
Williamsburg-James City  
County School Board  
117 Ironbound Road  
Williamsburg, VA 23185-2616

5920100054

Montrose, LLC

1737 Endeavor Drive

Williamsburg, VA 23185-6246

5920100052 - 1720 Endeavor Dr

Tomco Williamsburg, LLC

4375 George Washington Memorial Hwy

Hayes, VA 23072-2822

**ITEM SUMMARY**

DATE: 1/13/2021  
TO: Chesapeake Bay Board  
FROM: Michael Woolson, Senior Watershed Planner  
SUBJECT: Case No. CBPA 20-0141 : 137 Westbury

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CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teresa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

**ATTACHMENTS:**

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Presentation	Presentation
☐	Site Plan	Backup Material
☐	Public Advertisement	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:35 PM



**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0141. 137 Westbury  
Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. John Murphy and Mrs. Teresa Murphy

Agent: Mr. Darrell Wahl, Wahl Builders, LLC

Location: 137 Westbury

Parcel Identification No.: 3720600053

Parcel: Lot 53, Section 13B, Ford's Colony

Lot Size: 0.57 acres

Area of Lot in Resource Protection Area (RPA): 0.40 acres +/- (70%)

Watershed: Powhatan Creek (HUC JL 31)

Floodplain: None

Proposed Activity: Construction of a deck extension

Impervious Cover: 40 square feet

RPA Encroachment: 40 square feet, landward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Darrell Wahl, Wahl Builders, LLC, has applied for a Chesapeake Bay Exception on behalf of Mr. John and Mrs. Teresa Murphy for encroachments into the RPA buffer for the construction of a deck extension on property located at 137 Westbury within the Ford's Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3720600053. The parcel was platted in 1997, before the adoption of the changes in the Chesapeake Bay Ordinance in 2004.

The total lot size of this property is 0.57 acres, of which 70% is located within the RPA. The applicants are proposing to construct an extension to an existing deck located on the property in order to make the deck more usable. Total impacts associated with the deck extension equal 40 square feet of impervious cover in the RPA. Required mitigation for this amount of impact to the RPA equals one half planting unit (three shrubs). While no mitigation plan has been submitted at this time, the applicants have expressed their intentions of planting in excess of the required mitigation plantings.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a deck extension. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the deck extension is accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff's view of this application is that it meets all five of the conditions presented above and is approvable. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. A mitigation plan consisting of three shrubs be submitted to the Stormwater and Resource Protection Division; and
3. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the plantings; and
4. This exception request approval shall become null and void if construction has not begun by January 3, 2022; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/nb  
CBPA20-0141-137Wbury

### Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-20-0141. 137 WESTBURY

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. John and Mrs. Teresa Murphy (the “Applicants”) have applied to the Chesapeake Bay Board of James City County (the “Board”) on January 13, 2021, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3720600053 and further identified as 137 Westbury (the “Property”) as set forth in the application CBPA-20-0141 for the purpose of constructing a deck extension; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. A mitigation plan consisting of three shrubs be submitted to the Stormwater and Resource Protection Division; and
  - c. A surety of \$250 be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the plantings; and

- d. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- e. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

---

David Gussman  
Chair, Chesapeake Bay Board

---

Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-0141-137Wbury-res



# **Chesapeake Bay Board of James City County, Virginia**

**January 13, 2021**

**CBPA 20-0141**

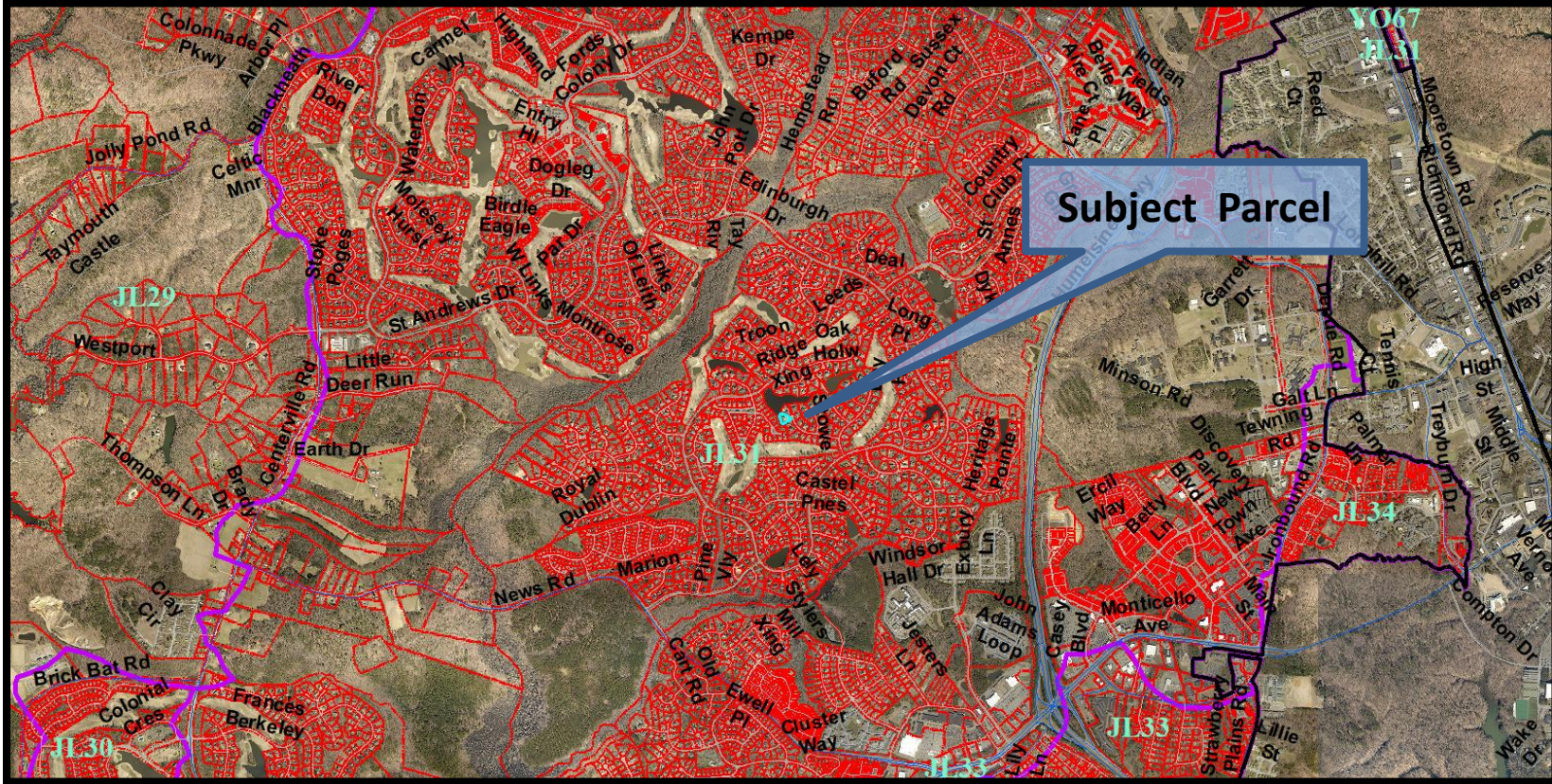
**John and Teressa Murphy**

**137 Westbury**



# Applicant Request

- ✓ Construction of a deck extension.

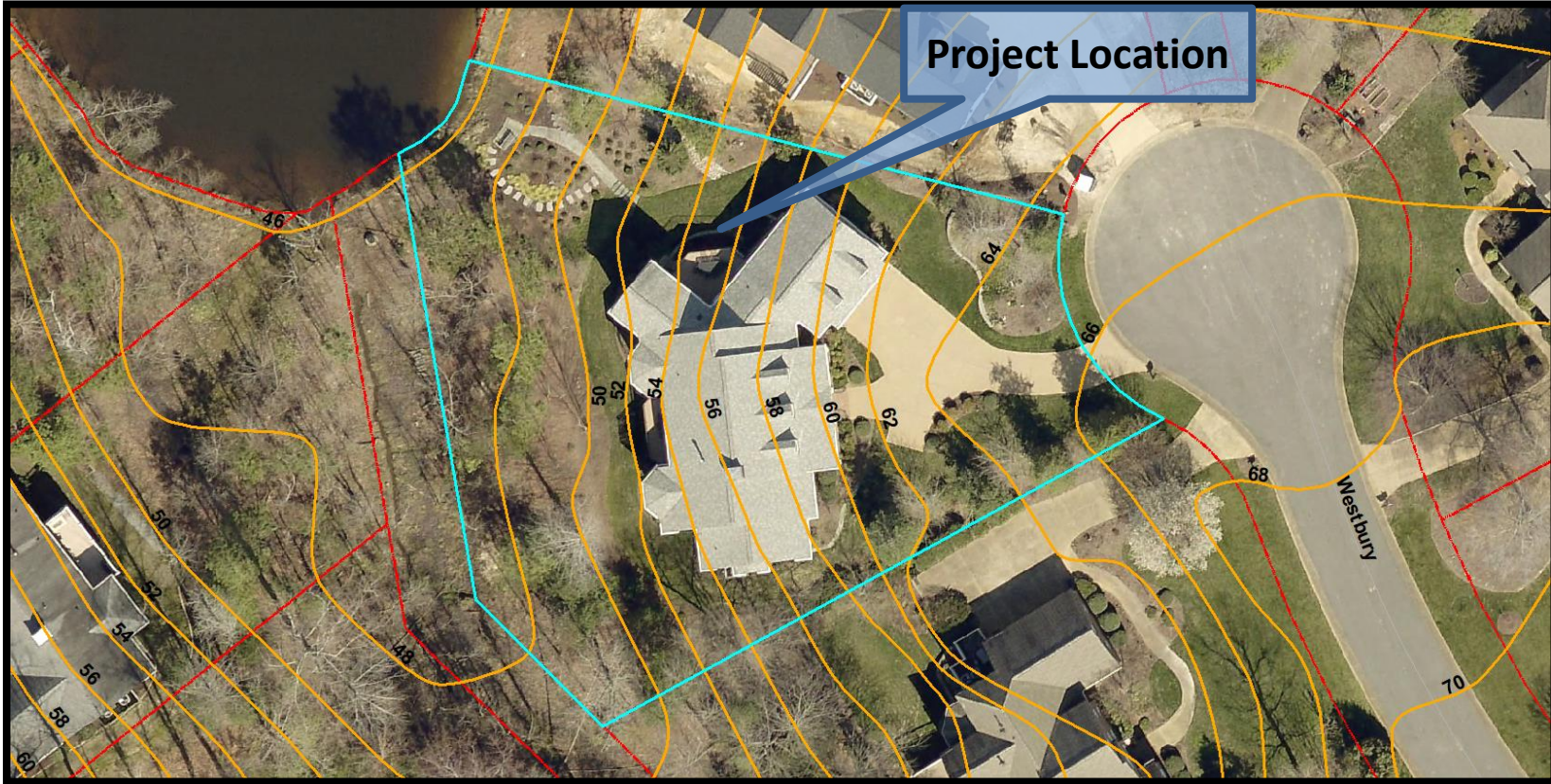


**Vicinity Map**  
**CBPA-20-0141**  
**137 Westbury**

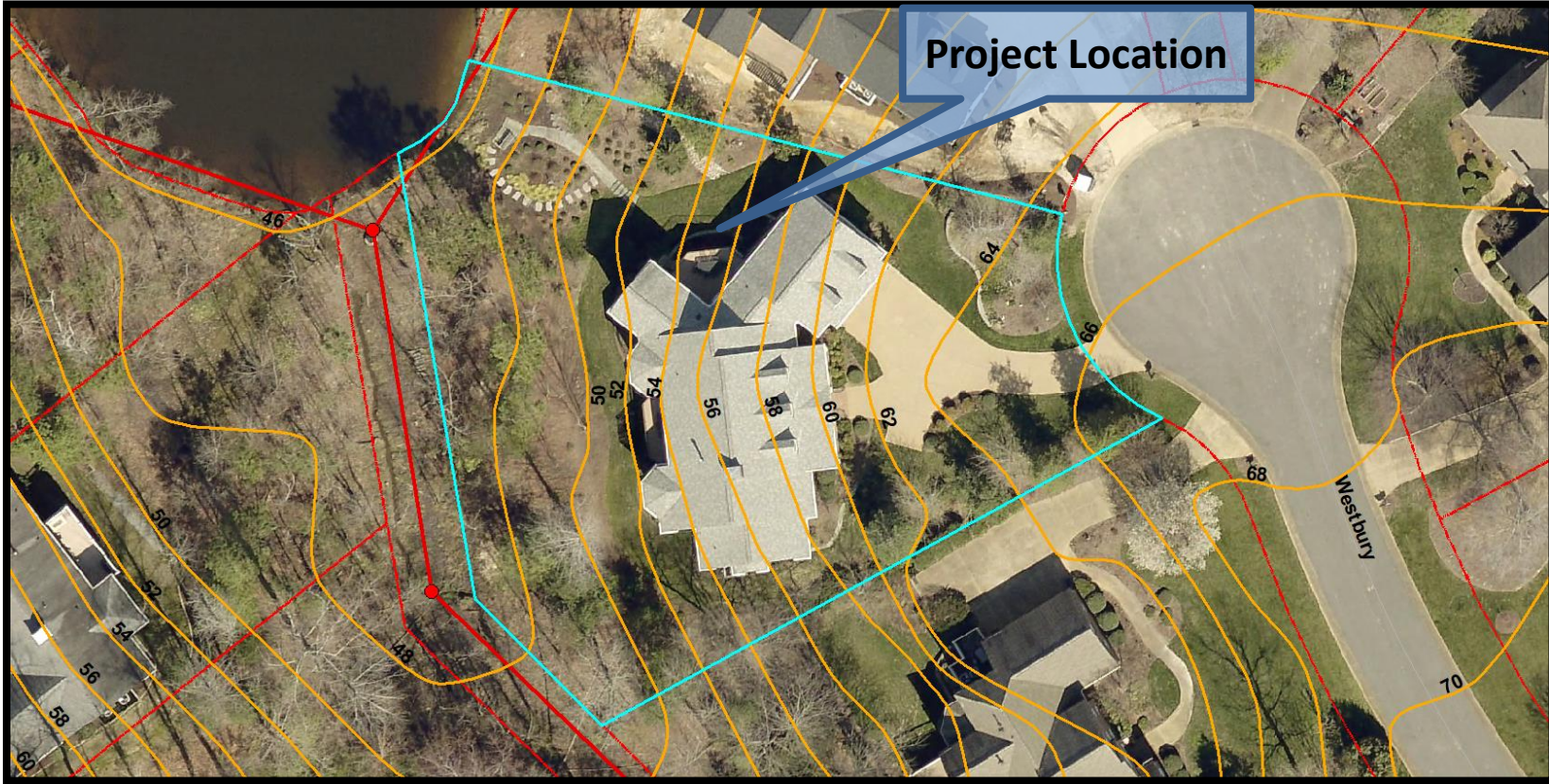


**Aerial Photograph**  
**CBPA-20-0141**  
**137 Westbury**

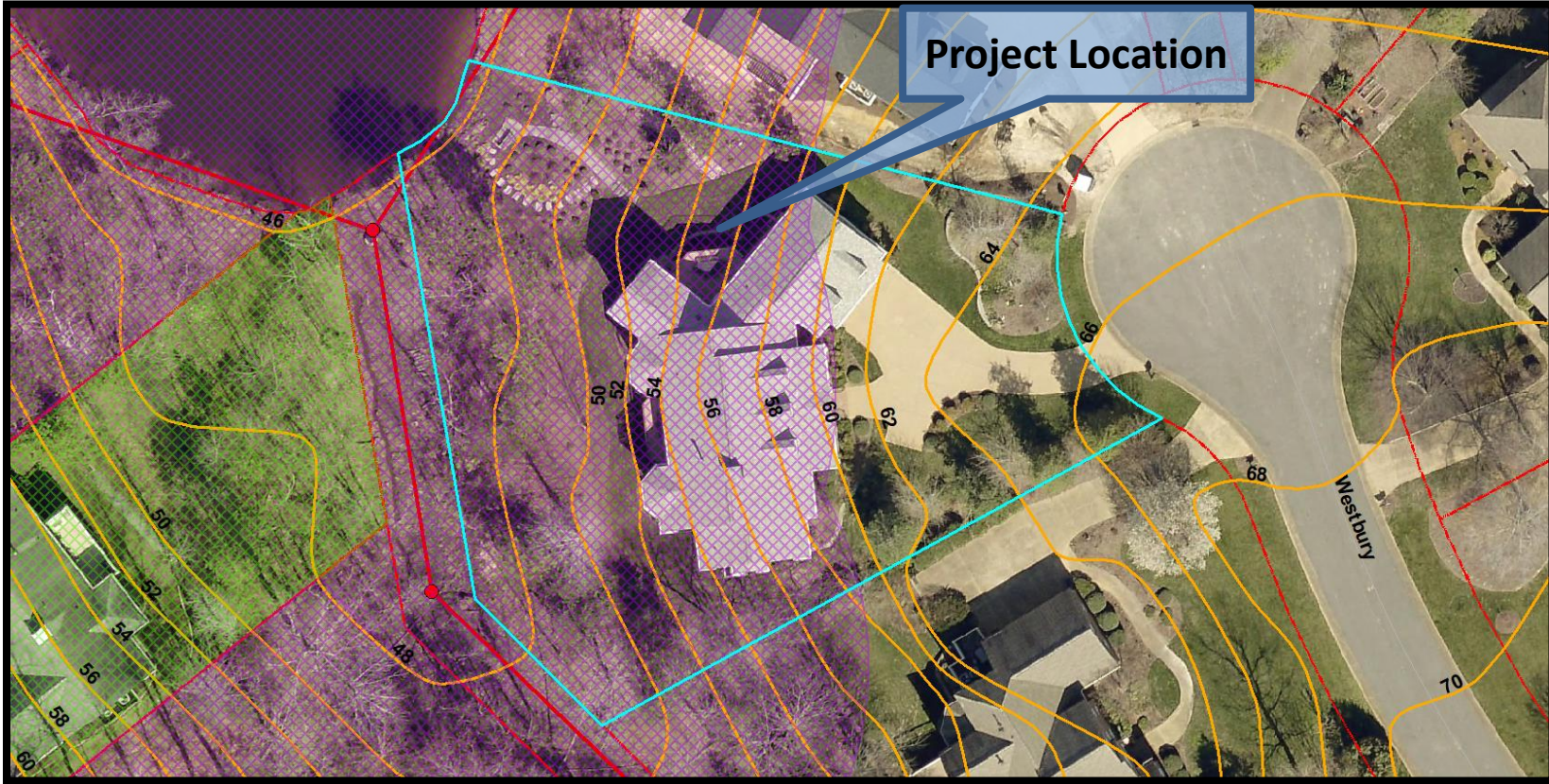




**Topography**  
**CBPA-20-0141**  
**137 Westbury**

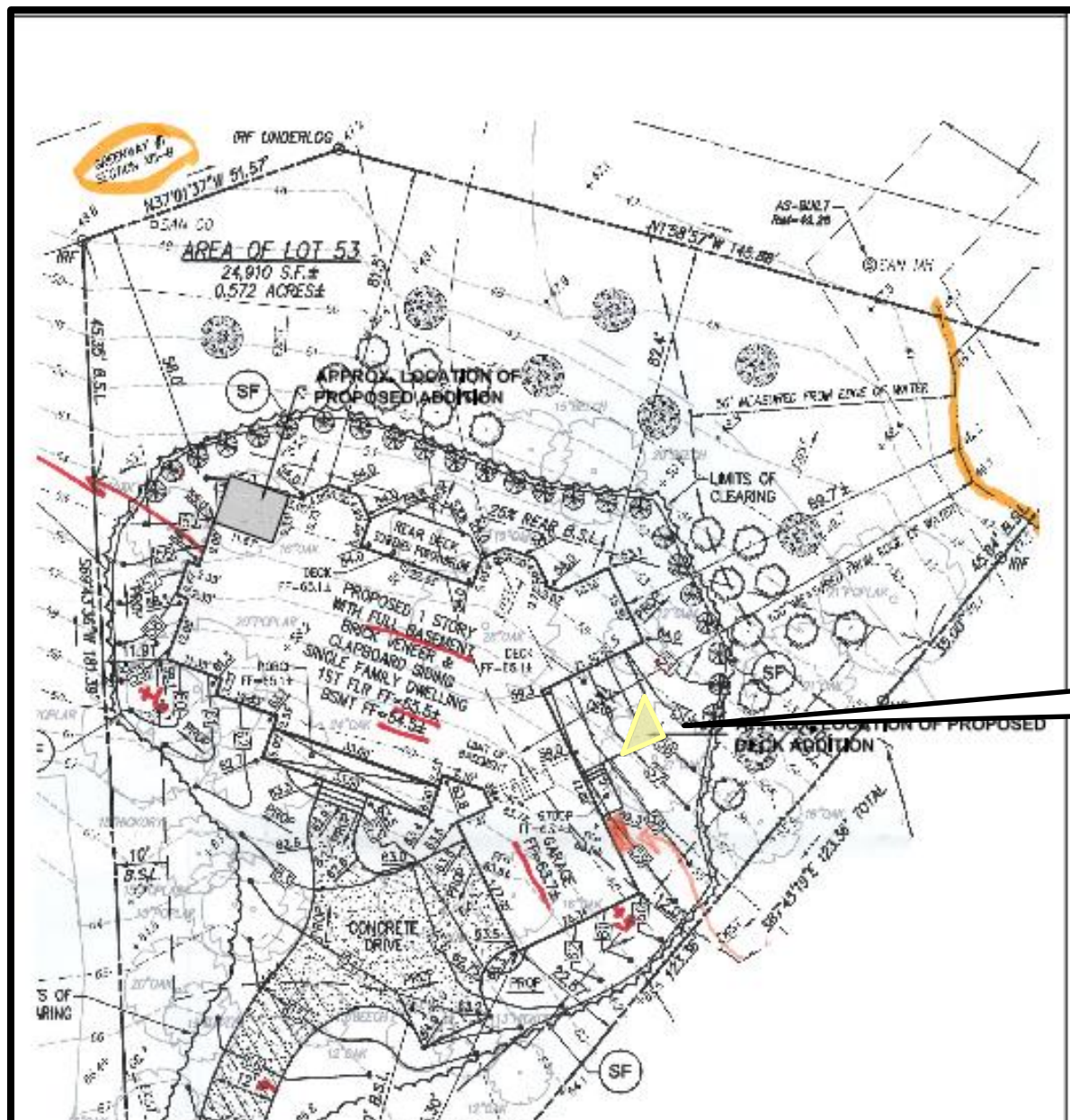


**Sanitary Sewer**  
**CBPA-20-0141**  
**137 Westbury**



**Resource Protection Area**  
**CBPA-20-0141**  
**137 Westbury**

Mitigation Plan showing proposed improvements, submitted December 2, 2020. For representative use only for presentation of case #CBPA-20-0141

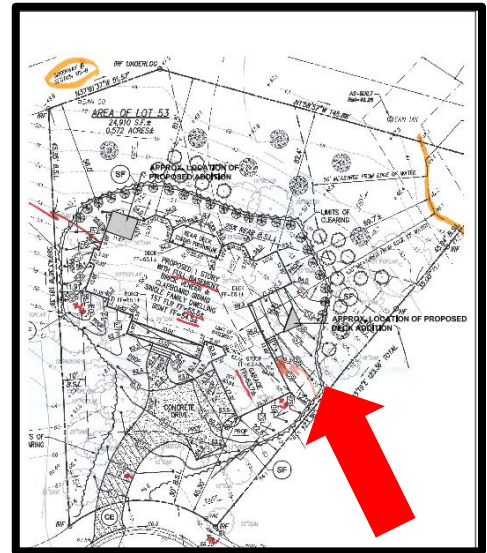


Proposed Extension

**Site Plan - CBPA-20-0141**  
**137 Westbury**



**Site Photograph #2 - CBPA-20-0141**  
**137 Westbury**





**Site Photograph #3 - CBPA-20-0141**  
**137 Westbury**



# Permit Conditions



## Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- ✓ A mitigation plan of 3 shrubs.
- ✓ A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

# Permit Conditions



## Staff Recommendation – Approval

- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.



# MURPHY RESIDENCE ADDITION

137 WESTBURY

JAMES CITY COUNTY, VIRGINIA

## ABBREVIATION INDEX

&	AND	FT.	FOOT	Q.T.	QUARRY TILE
@	AT	FURN.	FURNITURE	QTY.	QUANTITY
A/C	AIR CONDITIONING	GA.	GAUGE	R.A.	ALLIED DOME CO
A.D.	AREA DRAIN	GALV.	GALVANIZED	RAD.	RADIUS
A.F.F.	ABOVE FINISH FLOOR	GYP. BD.	GYP. BOARD	REF.	REFRIGERATOR
ALUM.	ALUMINUM	HDWD.	HARDWOOD	REINF.	REINFORCING
ALT.	ALTERNATE	HDR.	HEADER	REV.	REVISION
APPROX.	APPROXIMATE	H.M.	HOLLOW METAL	REQ'D	REQUIRED
BD.	BOARD	HORIZ.	HORIZONTAL	RES.	RESILIENT
BLDG.	BUILDING	HGT.	HEIGHT	RM.	ROOM
BM.	BEAM	I.D.	INSIDE DIAMETER	R.O.	ROUGH OPENING
BSMT.	BASEMENT	INSUL.	INSULATION	SCHED.	SCHEDULE
BTWN.	BETWEEN	INT.	INTERIOR	SEC.	SECTION
BOT.	BOTTOM	JT.	JOINT	S.F.	SQUARE FOOT
C.L.	CENTER LINE	KIT.	KITCHEN	SHT.	SHEET
C.T.	CERAMIC TILE	LAM.	LAMINATE	SM.	SIMILAR
CLG.	CILING	LAV.	LAVATORY	SPEC.	SPECIFICATION
CLOS.	CLOSET	LT.	LIGHT	SO.	SQUARE
CM	CONSTRUCTION MGR.	MAS.	MASONRY	S.S.	STAINLESS STEEL
CMU	CONC. MASONRY UNIT	MAX.	MAXIMUM	STD.	STANDARD
COL.	COLUMN	MECH.	MECHANICAL	STL.	STEEL
CONC.	CONCRETE	MTL.	METAL	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	MFR.	MANUFACTURER	SUSP.	SUSPENDED
CONST.	CONSTRUCTION	MIN.	MINIMUM	TEL.	TELEPHONE
(D) BEAM	DROP BEAM	MISC.	MISCELLANEOUS	THK.	THICK
DEPT.	DEPARTMENT	M.O.	MASONRY OPENING	THRU	THROUGH
DTL.	DETAIL	MOUNTED	MOUNTED	T.O.P.	TOP OF PLATE
D.F.	DRINKING FOUNTAIN	N.I.C.	NOT IN CONTRACT	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	NO.	NUMBER	T.O.SL.	TOP OF SLAB
DIM.	DIMENSION	NOM.	NOMINAL	TRT.	TREATED
DISP.	DISPENSER	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
DN.	DOWN	O.A.	OVERALL	V.C.B.	VINYL COMPOSITION BASE
DR.	DOOR	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
DWG.	DRAWING	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
EA.	EACH	OPT.	OPTIONAL	V.W.C.	VINYL WALL COVERING
EL.	ELEVATION	PL.	PLATE	W.	WITH
ELEC.	ELECTRICAL	P.LAM.	PLASTIC LAMINATE	W.C.	WATER CLOSET
EQ.	EQUAL	PLUMB.	PLUMBING	WD.	WOOD
EQUIP.	EQUIPMENT	PLYND.	PLYWOOD	W/O	WITHOUT
EXIST.	EXISTING	PR.	PAIR	WP.	WATERPROOFING
EXT.	EXTERIOR	PROP.	PROPERTY	WT.	WEIGHT
(F) BEAM	FLUSH BEAM	P.S.F.	PER SQUARE FOOT	WWM.	WELDED WIRE MESH
F.D.	FLOOR DRAIN	P.S.I.	PER SQUARE INCH		
F.S.	FLOOR SINK	PTD.	PAINTED		
FIN.	FINISH	P.V.C.	POLY VINYL CHLORIDE		
FL.	FLOOR				
F.O.	FACE OF				

## INDEX OF DRAWINGS

1	COVER SHEET, BUILDING DATA & INDEXES
2	GENERAL NOTES
3	HOUSE ADDITION PLAN VIEWS
4	ELEVATION & SECTIONAL VIEWS
5	DECK PLAN & ELEVATION VIEWS
6	MISCELLANEOUS DETAILS

## PROJECT DATA

DESCRIPTION	SQ. FOOTAGE
MASTER CLOSET ADDITION / RENOVATION	154
DECK ADDITION	150
TOTAL:	304

## CLOSET ROOF VENTILATION

236 SQUARE FEET = 1.573 SQUARE FEET "REQUIRED"  
150

PROVIDED MINIMUM OF FOLLOWING:  
12.0 = LINEAR FEET CONTINUOUS SOFFIT VENT FOR 0.75 SQ. FT. NET FREE AREA  
2.0 = (NO.) INDIVIDUAL ROOF VENTS AT 0.9028 SQ. FT. EACH NET FREE AREA

TOTAL = 1.6528 SQUARE FEET.

## DESIGN CODES

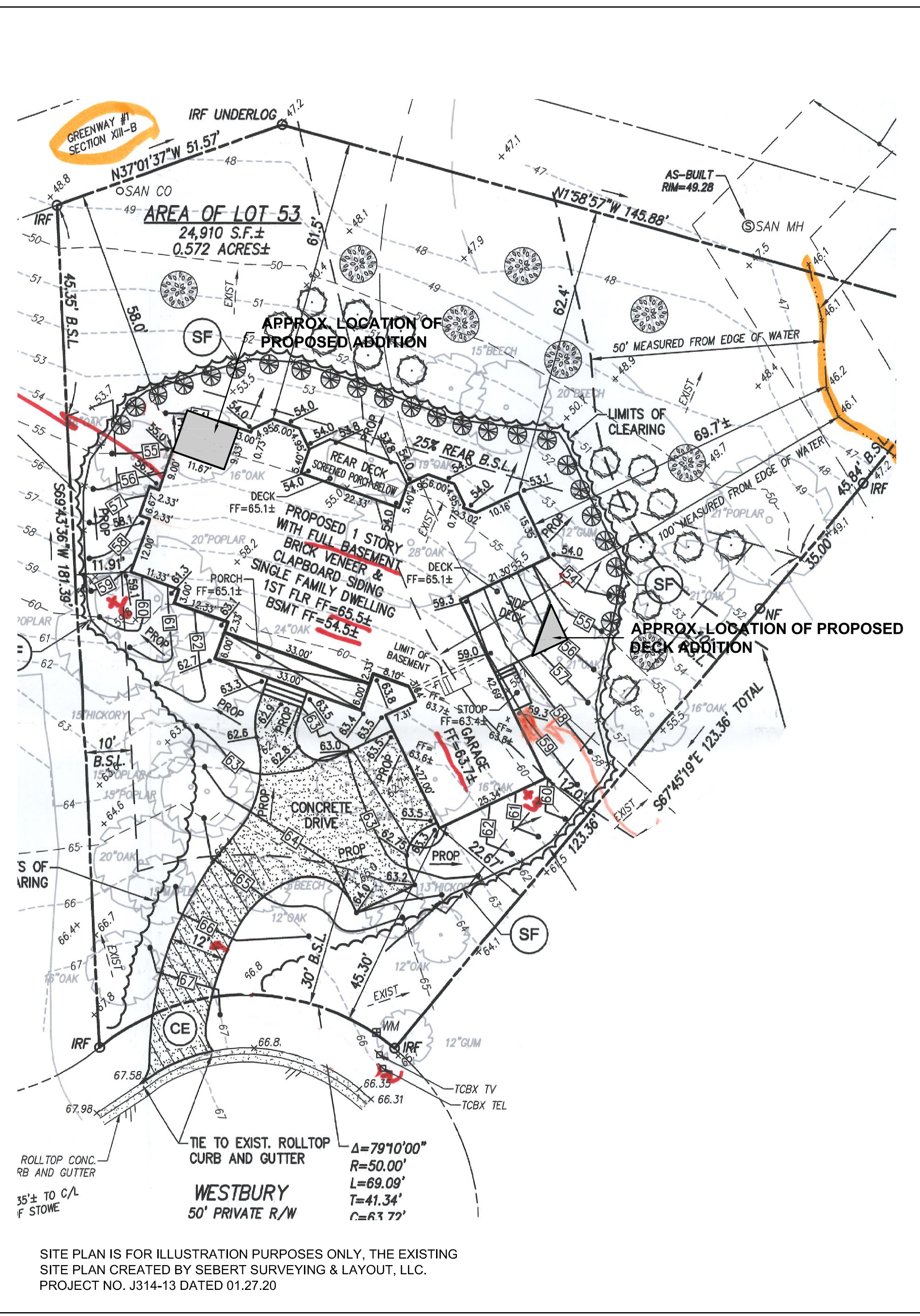
- JURISDICTION:  
JAMES CITY COUNTY, VIRGINIA
- BUILDING CODES:  
A. THE VIRGINIA STATEWIDE BUILDING CODE, 2015  
B. THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION AS AMENDED  
C. ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS
- DESIGN LOADS:  
A. WIND SPEED..... 100 MPH  
EXPOSURE..... B  
IMPORTANCE FACTOR, I..... 1.0  
B. ROOF LIVE LOAD..... 20 PSF  
ROOF DEAD LOAD..... 15 PSF  
SNOW LOAD..... 20 PSF  
C. FLOOR LIVE LOAD..... 40 PSF  
FLOOR DEAD LOAD..... 10 PSF  
D. SLAB ON GRADE..... 100 PSF  
E. ATTICS (w/ STORAGE)..... 20 PSF  
(w/out STORAGE)..... 10 PSF
- SOILS INFORMATION:  
A. BEARING CAPACITY..... 2,000 PSF  
B. SHRINK SWELL POTENTIAL..... LOW  
C. MINIMUM FOOTING EMBEDMENT..... 24 INCH DEPTH

## FINISH SCHEDULE

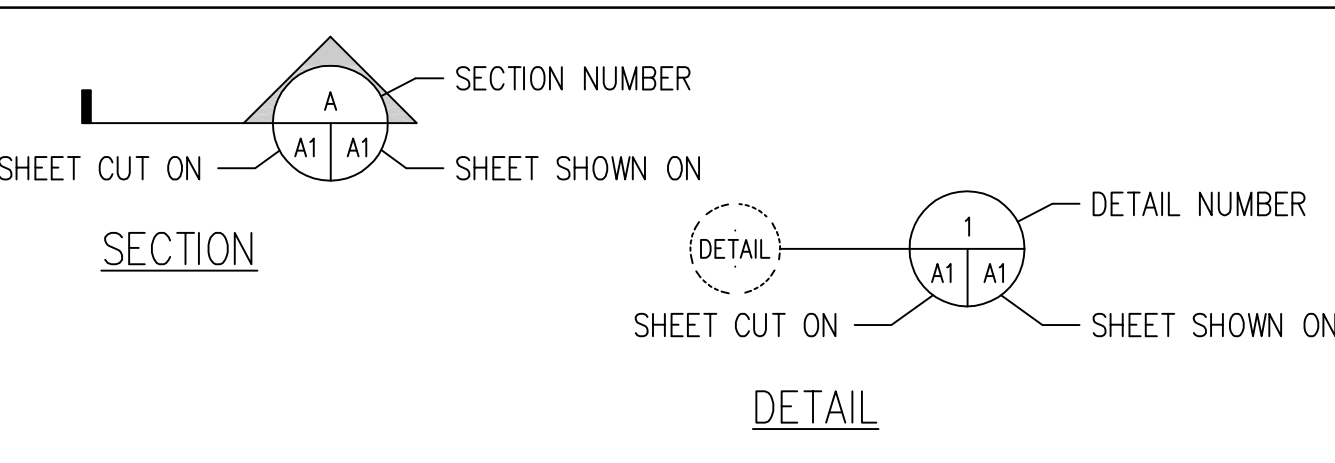
NO.	ROOM	FLOOR	WALLS	CEILING	CLG HT	REMARKS
100	W.L.C.	HARDWOOD	1/2" GYP	1/2" GYP	±9'-0"	
101	DECK	5/4" DECKING	N/A	N/A	N/A	

NOTES: AS NOTED

## SITE PLAN



## GRAPHIC SYMBOLS



## LEGEND

SYM.	DESCRIPTION	SYM.	DESCRIPTION
[Symbol]	EXIST. 2x4 STUD WALL	[Symbol]	ROOM NUMBER
[Symbol]	2x4 STUD WALL	[Symbol]	POST
[Symbol]	2x4 LOAD BEARING WALLS	[Symbol]	POST (ABOVE)
[Symbol]	BRICK VENEER	[Symbol]	MECHANICAL VENTILATION
[Symbol]	CONCRETE MASONRY UNIT (CMU)		
[Symbol]	CONCRETE		

## HEADER SCHEDULE

Beam Number	Beam Size	Column 1	Column 2	Column 3
200	2 Pieces 1 3/4" x 9-1/4" 2.0E Microllam® LVL See Note 2	Double (2) 2x6 SPF #2 King Double (2) 2x6 SPF #2 Jack	Double (2) 2x6 SPF #2 King Double (2) 2x6 SPF #2 Jack	
100	2 Pieces 1 3/4" x 9-1/4" 2.0E Microllam® LVL See Note 2	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack	Triple (3) 2x4 SPF #2 Jack	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack
101	3 Pieces 1 3/4" x 11 7/8" 2.0E Microllam® LVL See Note 1	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack	

NOTES:  
1. FASTEN ALL PLIES USING (3) ROWS OF 16D NAILS @ 12" O.C., BOTH SIDES, MAXIMUM END DISTANCE NOT TO EXCEED 6".  
OR FASTEN ALL PLIES USING (2) ROWS OF SDW22500 SCREWS @ 12" O.C., MAXIMUM END DISTANCE NOT TO EXCEED 6".  
2. FASTEN ALL PLIES USING (2) ROWS OF 16D NAILS @ 12" O.C.

NOTES:  
BUILDER AT BUILDER'S DISCRETION MAY SUBSTITUTE BRAND NAMES, MATERIALS & SPECIFICATIONS, PROVIDED CHANGES MEET BUILDING CODE REQUIREMENTS.

Drafting services provided by R.J.H. Drafting & Designs, Inc.  
CONTACT INFORMATION:  
RONALD HUIK PHONE: 757-876-1882  
P.O. BOX 3663 MILLANESBURG, VA 23187

NOTES:  
THIS DRAWING IS THE PROPERTY OF R.J.H. DRAFTING & DESIGNS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF R.J.H. DRAFTING & DESIGNS, INC.

Drawing By: AS NOTED Date: 04-04-20 File Name: 20050

No.	By	Revision	App.	Date
6				10/30/20
5				09/16/20
4				07/29/20

MURPHY RESIDENCE  
137 WESTBURY

COVER SHEET, BUILDING DATA & INDEXES  
JAMES CITY COUNTY VIRGINIA

Job Number: 20050  
Sheet No.: 1

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# GENERAL NOTES AND REQUIREMENTS

R.J.H. DRAFTING & DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION. ALL QUESTIONS PERTAINING TO THE ARCHITECTURAL AND STRUCTURAL ELEMENTS SHOWN ON THESE PLANS SHOULD BE ADDRESSED TO THE CONTRACTOR.

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - THESE PLANS MAY NOT COMPLY WITH SOME LOCAL CODES REGARDING THE SUPPORT OF MASONRY ON COMBUSTIBLE CONSTRUCTION. USE NON-COMBUSTIBLE SUPPORT WHERE REQUIRED BY CODE. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.
  - THESE PLANS HAVE NOT BEEN SEALED BY A PROFESSIONAL ENGINEER. CONTACT A LOCAL PROFESSIONAL ENGINEER OR DESIGN TRADITIONS IF THIS IS REQUIRED. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
  - CONTACT A PROFESSIONAL ENGINEER IF CHANGES ARE NECESSARY TO THESE DRAWINGS, WITH RESPECT TO SIZE, SPANS, HEIGHT, MATERIALS, CONFIGURATION, OR LOADING.
  - THE MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS SHALL ABIDE BY ALL LOCAL BUILDING CODES.
- CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR, OR STRUCTURAL ENGINEER SHOULD ATTEMPT MODIFICATIONS. AS EVEN MINOR CHANGES IN ONE AREA OF THE HOUSE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.

- FOUNDATION NOTES**
- FOUNDATIONS ARE DESIGNED TO BEAR ON RESIDUAL SOIL OR ENGINEERED COMPACTED FILL WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF. VERIFY SOIL CAPACITY AT TIME OF EXCAVATION. IF A LESSER CAPACITY IS DISCOVERED, THIS FOUNDATION SYSTEM IS VOID AND MUST BE RE-DESIGNED.
  - SOILS UNDER FOOTINGS TO BE AT 98 % STANDARD PROCTOR DENSITY; SOILS UNDER SLABS TO BE AT 95 % STANDARD PROCTOR DENSITY.
  - PROVIDE 12" MINIMUM COVER OVER FOOTINGS, UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH.
- ALL CONSTRUCTION ON FILL SOILS SHALL BE REVIEW BY A REGISTERED GEOTECHNICAL ENGINEER.
- GENERAL CONCRETE NOTES**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES, AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
  - CONCRETE FOR THE FOOTINGS SHALL BE NORMAL WEIGHT GRAY CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. CONCRETE FOR THE PORCHES SLABS AND GARAGE SLABS SHALL BE NORMAL WEIGHT GRAY CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. CONCRETE FOR
  - REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615: GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 AND LARGER BARS.
  - LAP ALL REINFORCING BARS 30 BAR DIAMETERS, MINIMUM.
  - WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185.
  - LAP WELDED WIRE FABRIC 6" MINIMUM AT ALL SPLICES.
  - WHERE PIPE PASSES THROUGH A FOUNDATION WALL, DROP THE WALL FOOTING TO PASS BELOW THE PIPE (REFER TO STEPPED FOOTING DETAIL). PROVIDE 1" THICK COMPRESSIBLE MATERIAL AROUND PIPE.
  - ALL CONSTRUCTION JOINTS SHALL BE ROUGH-SURFACE AND CLEANED BEFORE THE NEXT POUR. NO HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED IN WALLS OR SLABS.
  - USE SAWN OR FORMED CONTROL JOINTS IN ALL SLABS. LOCATE JOINTS SO THAT THE MAXIMUM AREA BOUNDED WITH THE JOINTS IS 600 SQUARE FEET, AND THE RATIO OF THE SIDES IS NOT MORE THAN 2:1.
  - ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.

- STRUCTURAL WOOD FRAMING NOTES**
- THE TERMITE METHOD THAT IS TO BE APPLIED TO THIS PROJECT WILL BE A WOOD BORATE APPLICATION.
  - ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
  - LUMBER FOR BEAMS, HEADERS, JOISTS, AND RAFTERS SHALL BE SOUTHERN PINE NO. 2, OR EQUAL, UNLESS NOTED OTHERWISE.
  - LAMINATED VENEER LUMBER BEAMS SHALL BE MICRO-LAM BEAMS, MANUFACTURED BY TRUS-JOIST MACMILLAN, OR EQUAL. FINAL DESIGN OF FLOOR SYSTEM TO BE PROVIDED BY FLOOR SYSTEM MANUFACTURER.
  - PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
  - DO NOT CUT FRAMING MEMBERS FOR PLUMBING, ELECTRICAL, OR MECHANICAL WITHOUT REINFORCING THE MEMBER TO ITS ORIGINAL CAPACITY.
  - LUMBER FOR THE 2 X 4 AND 2 X 6 STUDS SHALL BE STUD GRADE SPRUCE-PINE-FIR, OR EQUAL, UNLESS NOTED OTHERWISE.
  - STUD WALLS SUPPORTING FLOORS, CEILING, AND ROOF LOADS SHALL BE 2 X 4 AT 16" ON CENTER; ALL OTHER WALLS TO BE 2 X 4 AT 16" ON CENTER, UNLESS OTHERWISE NOTED. STUD WALLS 9'-2" OR TALLER TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS.
  - ALL HEADERS AND BEAMS TO BE SUPPORTED BY BUILT-UP 2 X'S OR COLUMNS AS SHOWN ON THE PLANS. SUPPORT TO BE CONTINUOUS TO FOUNDATION OR OTHER SUPPORT BELOW.
  - ALL COLUMN/JACK STUDS ARE TO NO. 2 SPF UNLESS NOTED OTHERWISE.
  - BEARING-TYPE CONNECTIONS MAY BE TOW-NAILED. ALL OTHER CONNECTIONS OF STRUCTURAL MEMBERS TO BE MADE USING METAL JOIST HANGERS.
  - PROVIDE SIMPSON HURRICANE CLIPS MODEL# H2-5A ON EACH RAFTER TYP.
  - PROVIDE BLIND FLASHING AT ALL HIPps, VALLEYS & ROOF CONNECTIONS TYP. ROOF AREAS WITH A PITCH OF 4/12 OR LESS WILL BE REQUIRE TO INSTALL AN ADDITIONAL LAYER OF UNDERLAYMENT PER R905.2.2
  - ICE AND WATER SHEILD TYPE MEMBRANE SHALL BE INSTALLED AT THE FIRST COURSE OF THE EAVES, RAKES VALLEYS AND WHERE A ROOF LINE MEETS A WALL. ROOF FLASHING SHALL BE INSTALLED PER THE 2015 IRC AND STATE WIDE BUILDING CODE AND ALSO PER MANUF. SPECS.
  - ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED. PROVIDE PRESSURE TREATED LUMBER AT ALL OTHER LOCATIONS SHOWN ON THE PLANS.
  - THE FIRE BLOCKING MATERIALS FOR ALL PENETRATION OF CABLE WIRES, DUCTS AND PLUMBING WILL CONSIST OF 3M FIRE CAULK & DRAFT STOP OR FIRESTOP 814 PLUS. PROVIDE FIRE BLOCKING IN WALLS AT CEILING ELEVATION CHANGES WHERE DOUBLE TOP-PLATE IS NOT PRESENT, AT WALLS EXCEEDING 10'-0" IN HEIGHT, AND AT OTHER LOCATIONS NOTES IN R302.1.1.

- STRUCTURAL DECKNOTES**
- ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACQ OR CA-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS FOR GROUND CONTACT.
  - ALL NAILS SHALL BE SPIRAL OR ANNULAR GROOVED.
  - BEARING-TYPE CONNECTIONS MAY BE TOE-NAILED. ALL OTHER CONNECTIONS OF STRUCTURAL MEMBERS TO BE MADE USING METAL JOIST HANGERS.
  - NEW PRESSURE TREATMENT METHODS USE CHEMICALS THAT WILL PREMATURELY CORRODE STANDARD FASTENERS, HARDWARE, AND FLASHING WHEN IN CONTACT WITH PRESSURE TREATED LUMBER. AND, AS A RESULT, FASTENER AND HARDWARE REQUIREMENTS HAVE CHANGED; SEE BELOW.
    - ALL SCREWS AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
    - ALL HARDWARE (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL. LOOK FOR PRODUCTS SUCH AS "ZMAX" FROM SIMPSON STRONG-TIE OR "TRIPLE ZINC" FROM USP.
  - DECKS CONSTRUCTED ACCORDING TO THIS HAVE NOT BEEN DESIGNED FOR FUTURE HOT TUB INSTALLATIONS.
  - ANCHORS: FURNISH GALVANIZED ANCHORS REQUIRED FOR CARPENTRY WORK.
  - POST BASES ALONG FOOTINGS SHALL BE SIMPSON AB06Z, OR APPROVED EQUAL.
  - PRE-MANUFACTURED POST ANCHORS SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
  - ALL DECKING MATERIAL SHALL BE COMPOSED OF 2X8 OR 5/4 ("FIVE-QUARTER") BOARD. ATTACH DECKING TO EACH JOIST WITH 2-8D NAILS OR 2-#8 SCREWS. DECKING MAY BE PLACED FROM AN ANGLE PERPENDICULAR TO THE JOISTS TO AN ANGLE OF 45 DEGREES TO THE JOISTS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF 4 JOISTS.
  - PLASTIC OR MANUFACTURED DECKING PRODUCTS MAY BE SUBSTITUTED WITH AN APPROVED EVALUATION REPORT FROM THE INTERNATIONAL CODE COUNCIL. THE EVALUATION REPORT MUST BE ON THE JOBSITE AND AVAILABLE TO THE INSPECTOR DURING THE INSPECTION PROCESS. INSTALLATION AND SPAN LENGTHS OF THE SUBSTITUTED MATERIAL MUST BE IN STRICT CONFORMANCE WITH THE EVALUATION REPORT AND THE MANUFACTURER'S INSTRUCTIONS.
  - ATTACH A CONTINUOUS RIM JOIST TO THE ENDS OF JOISTS (5) #10 x 3" MIN. WOOD SCREWS. PLEASE NOTE: RIM JOISTS ARE REQUIRED AT BOTH ENDS OF JOISTS ASSOCIATED WITH FREE-STANDING DECKS. MINIMUM RIM JOIST DIMENSIONS SHALL BE EQUAL TO THE DIMENSIONS OF THE JOIST.
  - THE POST-TO-BEAM CONNECTION MAY BE ACCOMPLISHED BY NOTCHING THE 6X6 POST OR BY USING SIMPSON AC6 OR ACE6 POST CAPS. ALL THRU-BOLTS SHALL HAVE WASHERS AT THE BOLT HEAD AND NUT. ALL POST SIZES SHALL BE 6X6, AND THE MAXIMUM HEIGHT SHALL BE 14'-0".
  - GUARD POSTS MAY BE ATTACHED TO THE OUTSIDE FACE OF THE RIM JOIST. HOWEVER, IN THIS CONDITION, GUARDS THAT RUN PERPENDICULAR TO THE DECK JOISTS SHALL BE ATTACHED TO THE RIM JOIST WITH A HOLD-DOWN ANCHOR. HOLD-DOWN ANCHORS MUST BE INSTALLED TO ATTACH THE GUARD POST AND RIM JOIST TO THE DECK JOIST. THERE SHALL BE A MINIMUM OF TWO 1/2" DIAMETER BOLTS AT THE HOLD-DOWNS ANCHORS ATTACHMENT TO THE JOIST. ONLY HOLD-DOWN ANCHOR MODELS MEETING THESE MINIMUM REQUIREMENTS SHALL BE USED.
  - THRU-BOLTS SHALL HAVE A MINIMUM DIAMETER OF 1/2". LEAD (PILOT) HOLES FOR THRU-BOLTS SHALL BE 1/32" TO 9/16" IN DIAMETER. THRU-BOLTS MUST BE EQUIPPED WITH WASHERS AT THE BOLT HEAD AS WELL AS THE NUT.

- INSULATION NOTES**
- INSULATION CHANGER BY INSULATION CONTRACTOR
- CEILING - R38, VAULTED CEILING - R30, WALLS - R15, BLOWN - R38, CRAWL - R19, WALL CORNER CAVITIES - R3
- THESE R FACTORS DO NOT INCLUDE A FACTOR PICKED UP IN FRAMING MATERIALS.

TABLE R602.3 (1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
<b>Roof</b>		
Blocking between joists or rafters to top plate	4-8d box (2-1/2" x 0.131"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
Ceiling joists to plate	4-8d box (2-1/2" x 0.131"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joists, toe nail
Ceiling joists not attached to parallel rafter, laps over partitions [see Sections R802.3.1, R802.3.2 and Table R802.5.1(9)]	4-10d box (3" x 0.128"); or 3-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail
Ceiling joists attached to parallel rafter (heel joint) [see Sections R802.3.1, R802.3.2 and Table R802.5.1(9)]	Table R802.5.1(9)	Face nail
Collar tie rafter, face nail or 1-1/4" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail each rafter
Rafter or roof truss to plate	3-16d box nails (3-1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3-1/2" x 0.135"); or 3-10d common (3-1/2" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Toe nail
	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	End nail
<b>Wall</b>		
Stud to stud (not at braced wall panels)	16d common (3-1/2" x 0.162") 3-10d box (3" x 0.128"); or 3" x 0.131" nails	24" O.C. face nail 16" O.C. face nail
Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d common (3-1/2" x 0.162") 16d common (3-1/2" x 0.162")	12" O.C. face nail 16" O.C. face nail
Built-up header (2" to 2" header with 1/2" spacer)	16d common (3-1/2" x 0.162") 16d box (3-1/2" x 0.135")	16" O.C. each edge face nail 12" O.C. each edge face nail
Continuous header to stud	5-8d box (3" x 0.131"); or 4-8d common (2-1/2" x 0.131"); or 4-10d box (3" x 0.128")	Toe nail
Top plate to top plate	16d common (3-1/2" x 0.162") 3-10d box (3" x 0.128"); or 3" x 0.131" nails	16" O.C. face nail 12" O.C. face nail
Double top plates splice for SDGs A-D2 with seismic braced wall line spacing less than 25'	8-16d common (3-1/2" x 0.162"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
Double top plates splice for SDGs DO, D1, or D2; and braced wall line spacing greater than or equal to 25'	12-16d (3-1/2" x 0.135")	
Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3-1/2" x 0.162") 16d box (3" x 0.135"); or 3" x 0.131" nails	16" O.C. face nail 12" O.C. face nail
Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	3-16d box (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" O.C. face nail 2 each 16" O.C. face nail 4 each 16" O.C. face nail
Top or bottom plate to stud	4-8d box (2-1/2" x 0.131"); or 3-16d box (3-1/2" x 0.135"); or 4-8d common (2-1/2" x 0.131"); or 4-10d box (3" x 0.128"); or 2 staples 1-3/4"	Face nail
	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-3" x 0.131" nails	End nail
Top plates, laps at corners and intersections, face nail	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail
1" brace to each stud and plate, face nail	3-8d box (2-1/2" x 0.131"); or 2-8d common (2-1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples 1-3/4"	Face nail
1" x 6" sheathing to each bearing	3-8d box (2-1/2" x 0.131"); or 2-8d common (2-1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1-3/4" long	Face nail
1"x8" and wider sheathing to each bearing	3-8d box (2-1/2" x 0.131"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3 staples, 1" crown, 16 ga., 1-3/4" long Wider than 1" x 8" 4-8d box (2-1/2" x 0.131"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 4 staples, 1" crown, 16 ga., 1-3/4" long	Face nail
<b>Floor</b>		
Joist to sill, top plate or girder	4-8d box (2-1/2" x 0.131"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d box (2-1/2" x 0.131")	4" O.C. Toe nail
1" x 6" subfloor or less to each joist	8d common (2-1/2" x 0.131"); or 2-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1-3/4" long	6" O.C. Toe nail Face nail
2" subfloor to joist or girder	3-10d box (3" x 0.128"); or 2-16d common (3-1/2" x 0.162")	Blind and face nail
2" planks (plank & beam - floor & roof)	3-10d box (3" x 0.128"); or 2-16d common (3-1/2" x 0.162")	As each bearing, face nail
Band or rim joist to joist	3-16d common (3-1/2" x 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails; or 4-3" x 14 ga. staples, 7/16" crown	End nail

Floor continued		
DESCRIPTION OF BUILDING ELEMENTS	DESCRIPTION OF FASTENERS	SPACING OF FASTENERS
		Edges (inches)
Built-up girders and beams, 2-inch lumber layers	20d common (4" x 0.192"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	Nail each layer as follows: 32" O.C. at top and bottom and staggered. 24" O.C. face nail at top and bottom staggered on opposite sides
Ledger strip supporting joists or rafters	And: 2-20d common (4" x 0.192"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Face nail at ends and at each splice
Bridging to joist	4-16d box (3-1/2" x 0.135"); or 3-16d common (3-1/2" x 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	At each joist or rafter, face nail
	2-10d (3" x 0.128")	Each end, toe nail

TABLE R602.3 (1)-CONTINUED FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENERS	SPACING OF FASTENERS	
		Edges (inches)	Intermediate supports (inches)
<b>Wood structural panels, subfloor, roof and interior wall sheathing to framing, and particleboard wall sheathing to framing [see Table R602.3(1) for wood structural panel exterior wall sheathing to wall framing]</b>			
3/8"-1/2"	6d common (2" x 0.113") nail (subfloor-wall)   8d common (2-1/2" x 0.131") nail (roof)	6	12f
19/32"-1"	8d common nail (3" x 0.131")	6	12f
1 1/8"-1 1/4"	10d common (3" x 0.148") nail or 8d (2-1/2" x 0.131") deformed nail	6	12
<b>Other wall sheathing g</b>			
1/2" structural cellulose fiberboard sheathing	1/2" galvanized roofing nail, 7/16" head diameter, or 1" crown staple 16 ga., 1-1/4" long	3	6
25/32" structural cellulose fiberboard sheathing	1-3/4" galvanized roofing nail, 7/16" head diameter, or 1" crown staple 16 ga., 1-1/2" long	3	6
1/2" gypsum sheathing g	1-1/2" galvanized roofing nail, staple galvanized, 1-1/2" long, 1-1/4" screws, Type W or S	7	7
5/8" gypsum sheathing g	1-3/4" galvanized roofing nail, staple galvanized, 1-5/8" long, 1-5/8" screws, Type W or S	7	7
<b>Wood structural panels, combination subfloor underlayment to framing</b>			
3/4" and less	6d deformed (2" x 0.127") nail or 8d common (2-1/2" x 0.131") nail	6	12
7/8" - 1"	8d common (2-1/2" x 0.131") nail or 8d deformed (2-1/2" x 0.127") nail	6	12
1-1/8" - 1-1/4"	10d common (3" x 0.148") nail or 8d deformed (2-1/2" x 0.127") nail	6	12

For 5/8" inch: 25.4 mm, 1 foot=304.8 mm, 1 mile per hour=0.447 m/s; 1ksi=6.895 MPa.

- All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi (551 MPa) for shank diameter of 0.192 inch (20d common nail), 90 ksi (620 MPa) for shank diameter larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi (689 MPa) for shank diameter of 0.142 inch or less.
- Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
- Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- Four-foot-by-9-foot or 4-foot-by-9-foot panels shall be applied vertically.
- Spacing for fasteners not included in this table shall be based on Table R602.3(2).
- Where the ultimate design wind speeds of 150 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 150 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from rafters, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeter only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof perimeter. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.
- Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.

TABLE R602.3.2 SINGLE TOP-PLATE SPLICE CONNECTION DETAILS				
CONDITION	Corners and intersecting walls		Butt joints in straight walls	
	Splice plate size	Minimum nails each side of joint	Splice plate size	Minimum nails each side of joint
Structures in SDC A-C; and in SDC DO, D1, and D2 with braced wall line spacing less than 25 feet	3" x 8" x 0.036" galvanized steel plate or equivalent	(6) 8d box (2-1/2" x 0.131") nails	3" x 12" x 0.036" galvanized steel plate or equivalent	(12) 8d box (2-1/2" x 0.131") nails
Structures in SDC DO, D1, and D2, with braced wall line spacing greater than or equal to 25 feet	3" x 8" x 0.036" galvanized steel plate or equivalent	(9) 8d box (2-1/2" x 0.131") nails	3" x 16" x 0.036" galvanized steel plate or equivalent	(18) 8d box (2-1/2" x 0.131") nails

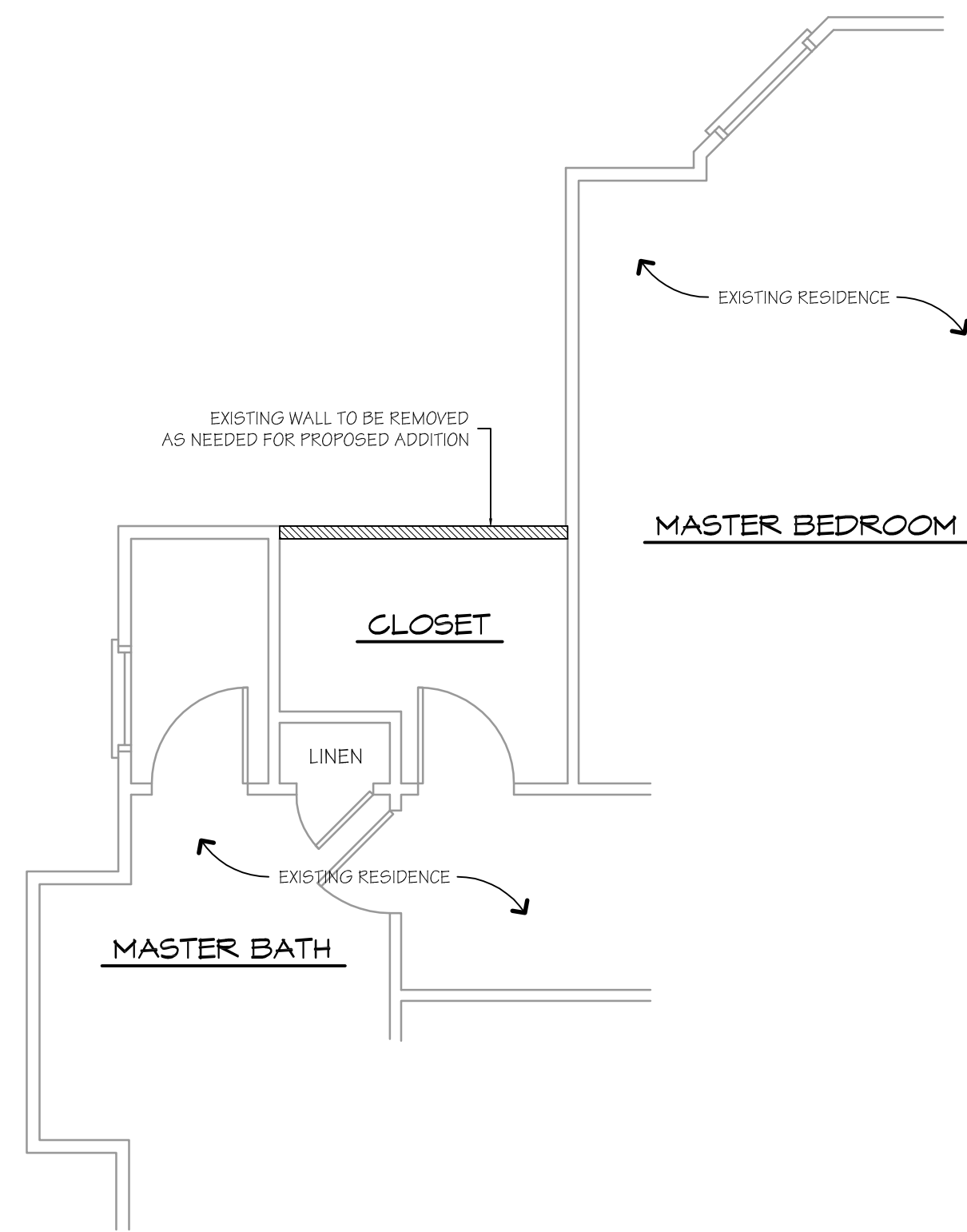
## MEP NOTES AND REQUIREMENTS

- RESIDENTIAL ELECTRICAL GENERAL NOTES**
- ELECTRICAL INSTALLATIONS SHALL BE GOVERNED BY 2015 INTERNATIONAL RESIDENTIAL CODE.
  - ALL ELECTRICAL MATERIALS, COMPONENTS, DEVICES, FIXTURES AND EQUIPMENT SHALL BE LISTED AND LABELED FOR THE APPLICATION AND BE INSTALLED.
  - IN LOCATIONS WHERE ELECTRICAL EQUIPMENT LIKELY TO BE EXPOSED TO PHYSICAL DAMAGE, GUARDS OR ENCLOSURES SHALL BE PROVIDED.
  - RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM A RECEPTACLE.
  - AT LEAST ONE (1) WALL SWITCHED LIGHTING OUTLET SHALL BE PROVIDED IN EACH ROOM.
  - THE ELECTRICAL CONTRACTOR SHALL PROVIDE A WRITTEN WARRANTY STATING THAT ALL MATERIALS AND WORKMANSHIP ARE FREE FROM DEFECTS FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
- RESIDENTIAL MECHANICAL GENERAL NOTES**
- GAS PIPING: GAS WORK SHALL BE INSTALLED, SUPPORTED, AND TESTED IN COMPLIANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE.
  - THE CONTRACTOR SHALL COORDINATE THE CONNECTION OF GAS SERVICE WITH THE VIRGINIA NATURAL GAS REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL MECHANICAL EQUIPMENT SHALL BE LABELED FOR THE APPLICATION AND BEAR THE MANUFACTURER'S NAMEPLATE.
  - SUFFICIENT ACCESS SHALL BE PROVIDED FOR MAINTENANCE INSPECTIONS AND SERVICE WITHOUT REMAINING PERMIT CONSTRUCTION.
  - HVAC: ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE.
  - PROVIDE AUXILIARY DRAIN PANS UNDER ALL UNITS INSTALLED OVER AN OCCUPIED SPACE. A SEPARATE DRAIN LINE SHALL BE EXTENDED FROM THIS PAN TERMINATING AT A CONSPICUOUS POINT.
- RESIDENTIAL PLUMBING GENERAL NOTES**
- ALL PLUMBING FIXTURES AND PIPING SHALL BE INSTALLED, SUPPORTED, AND TESTED PER THE 2015 INTERNATIONAL RESIDENTIAL CODE.
  - WATER SUPPLY PIPING SHALL BE EQUIPPED WITH FITTINGS SPECIFIC TO PIPE MATERIALS AND INSTALLATION AS PROVIDED IN 2015 INTERNATIONAL RESIDENTIAL CODE.

TABLE R602.3 (2) ALTERNATE ATTACHMENTS				
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION OF FASTENER AND LENGTH (inches)	SPACING OF FASTENERS		
		Edges (inches)	Intermediate supports (inches)	Body of panel (inches)
<b>For underlayment; plywood-hardboard-particleboard</b>				
<b>Fiber-cement</b>				
up to 1/2"	Staple 15 ga. 1-3/4" O.097 - O.099 Nail 2-1/4" Staple 16 ga. 1-3/4" O.113 Nail 2"	4 3 3	6 6 6	
19/32" and 5/8"	Staple 15 and 16 ga. 2" O.097 - O.099 Nail 2-1/4" Staple 14 ga. 2" Staple 15 ga. 1-3/4" O.097 - O.099 Nail 2-1/4"	4 4 3 3	6 6 6 6	
25/32" and 3/4"	Staple 16 ga. 2" Staple 14 ga. 2-1/4" O.113 Nail 2-1/4" Staple 15 ga. 2-1/4" O.097 - O.099 Nail 2-1/2"	4 4 3 4	6 6 6 6	
1"	Staple 15 ga. 2-1/4" O.097 - O.099 Nail 2-1/2"	4 4	6 6	
<b>Plywood</b>				
1/4" and 5/8"	1-1/4" ring or screw shank nail - minimum 12-1/2 ga. (O.099) shank diameter Staple 18 ga. 7/8", 3/16" crown width	3 2	6 5	
1 1/32", 3/8", 15/32" and 1/2"	1-1/4" ring or screw shank nail - minimum 12-1/2 ga. (O.099) shank diameter	6	6e	
19/32", 5/8", 25/32" and 3/4"	1-1/2" ring or screw shank nail - minimum 12-1/2 ga. (O.099) shank diameter Staple 16 ga. 1-1/2"	6 6	6 6	
<b>Hardboard</b>				
0.200"	1-1/2" long ring-grooved underlayment nail 4d cement-coated sinker nail Staple 18 ga. 7/8" long (plastic coated)	6 6 3	6 6 6	
<b>Particleboard</b>				
1/4"	4d ring-grooved underlayment nail Staple 18 ga. 7/8" long, 3/16" crown	3 3	6 6	
3/8"	6d ring-grooved underlayment nail Staple 16 ga. 1 1/8" long, 3/8" crown	6 3	6 6	
1/2", 5/8"	6d ring-grooved underlayment nail Staple 16 ga. 1-5/8" long, 3/8" crown	6 3	6 6	

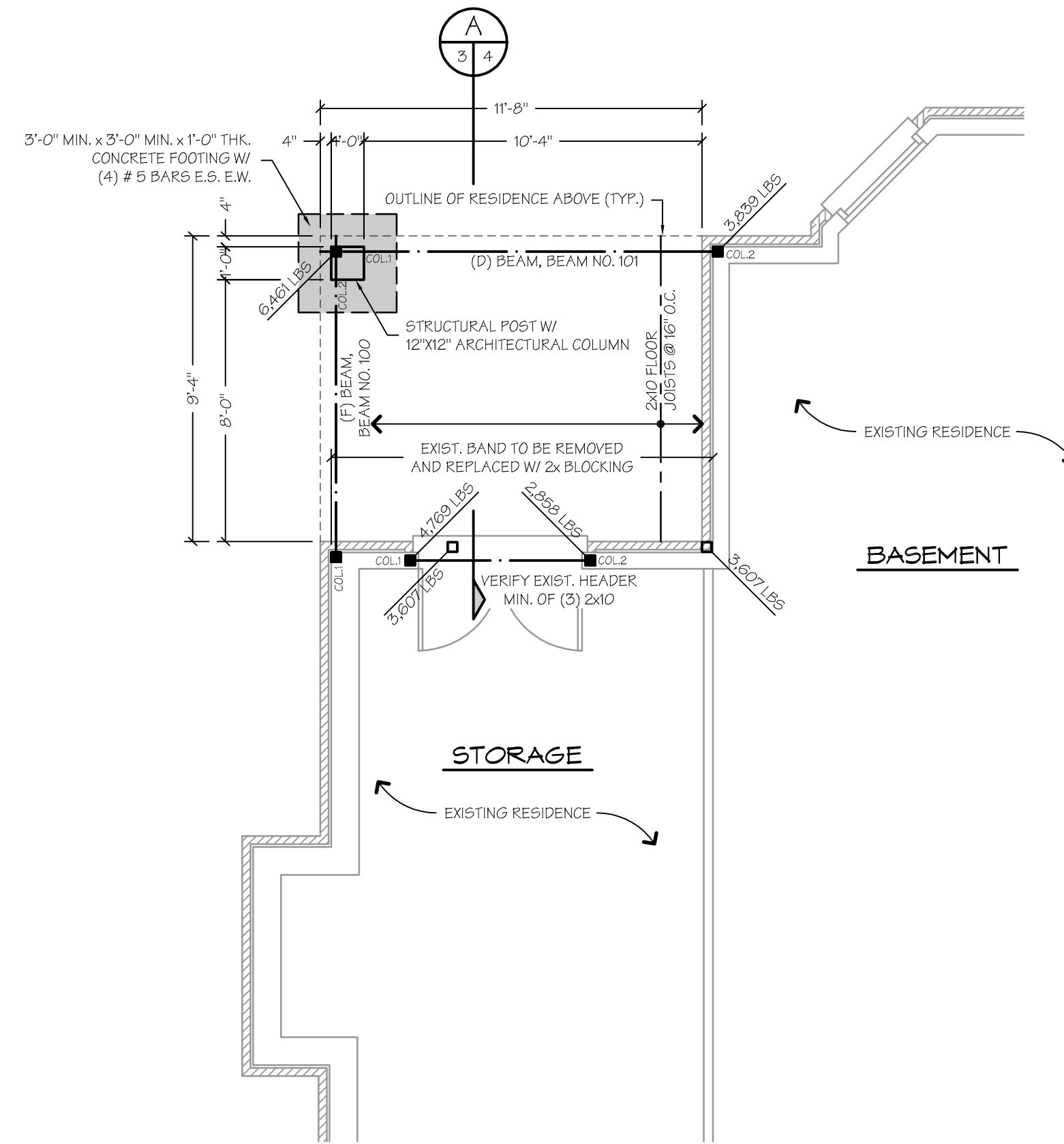
- For 5/8" 1 inch = 25.4 mm.
- Nail is a general description and shall be permitted to be 1-head, modified round head or round head.
  - Staples shall have a minimum crown width of 7/16-inch on diameter except as noted.
  - Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
  - Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.
  - Fasteners shall be placed in a grid pattern throughout the body of the panel.
  - For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.
  - Hardboard underlayment shall conform to CPAN/ANSI A935.4.
  - Specified alternate attachments for roof sheathing shall be permitted where the ultimate design wind speed is less than 150 mph.
  - Fasteners attaching wood structural panel roof sheathing to gable end wall framing shall be installed using the spacing listed for panel edges.
  - Fiber-cement underlayment shall conform to ASTM C 1228 or ISO 8336, Category C.

TABLE R602.3 (3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES						
MINIMUM NAIL Size	MINIMUM WOOD PANEL STRUCTURAL RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)				



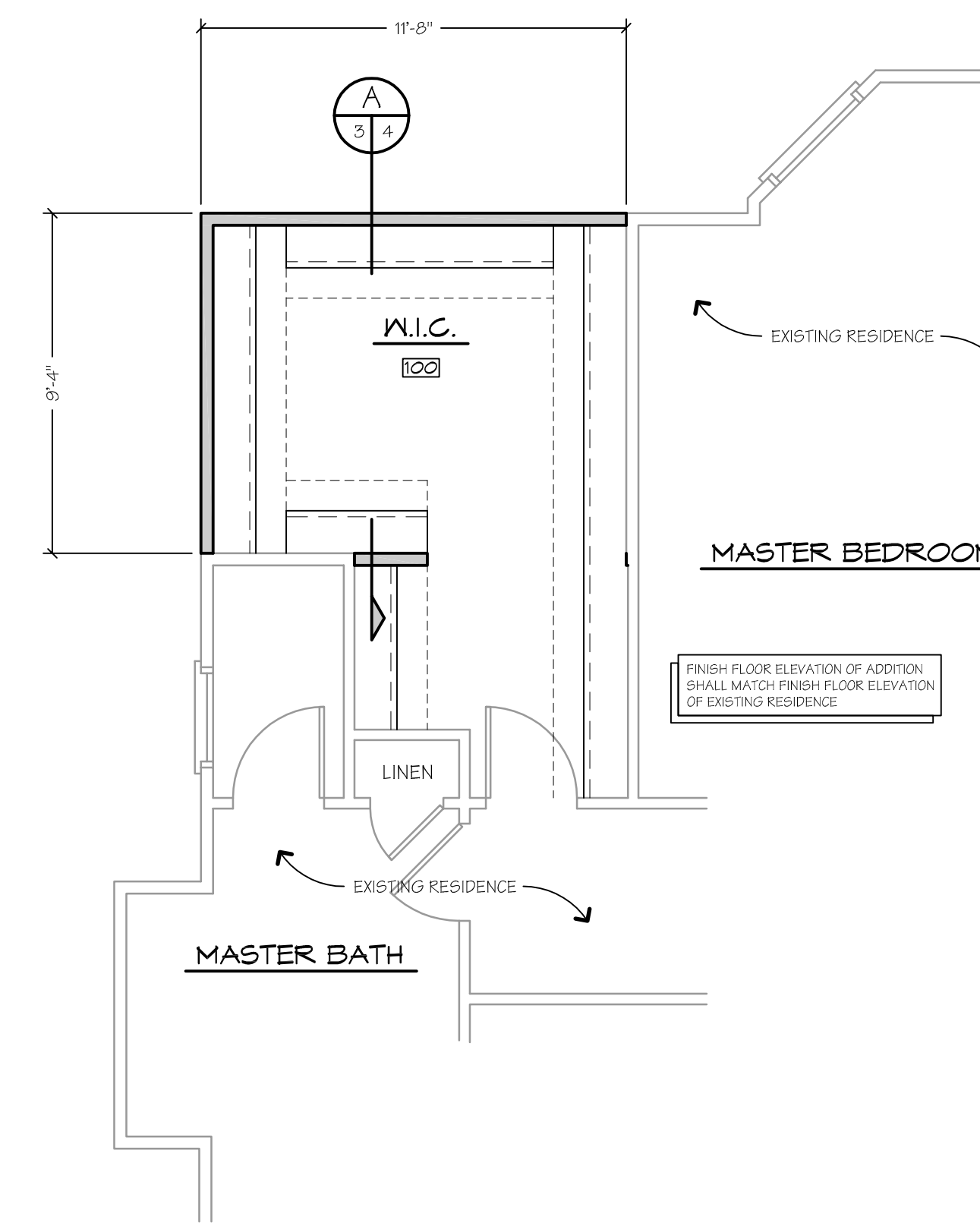
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



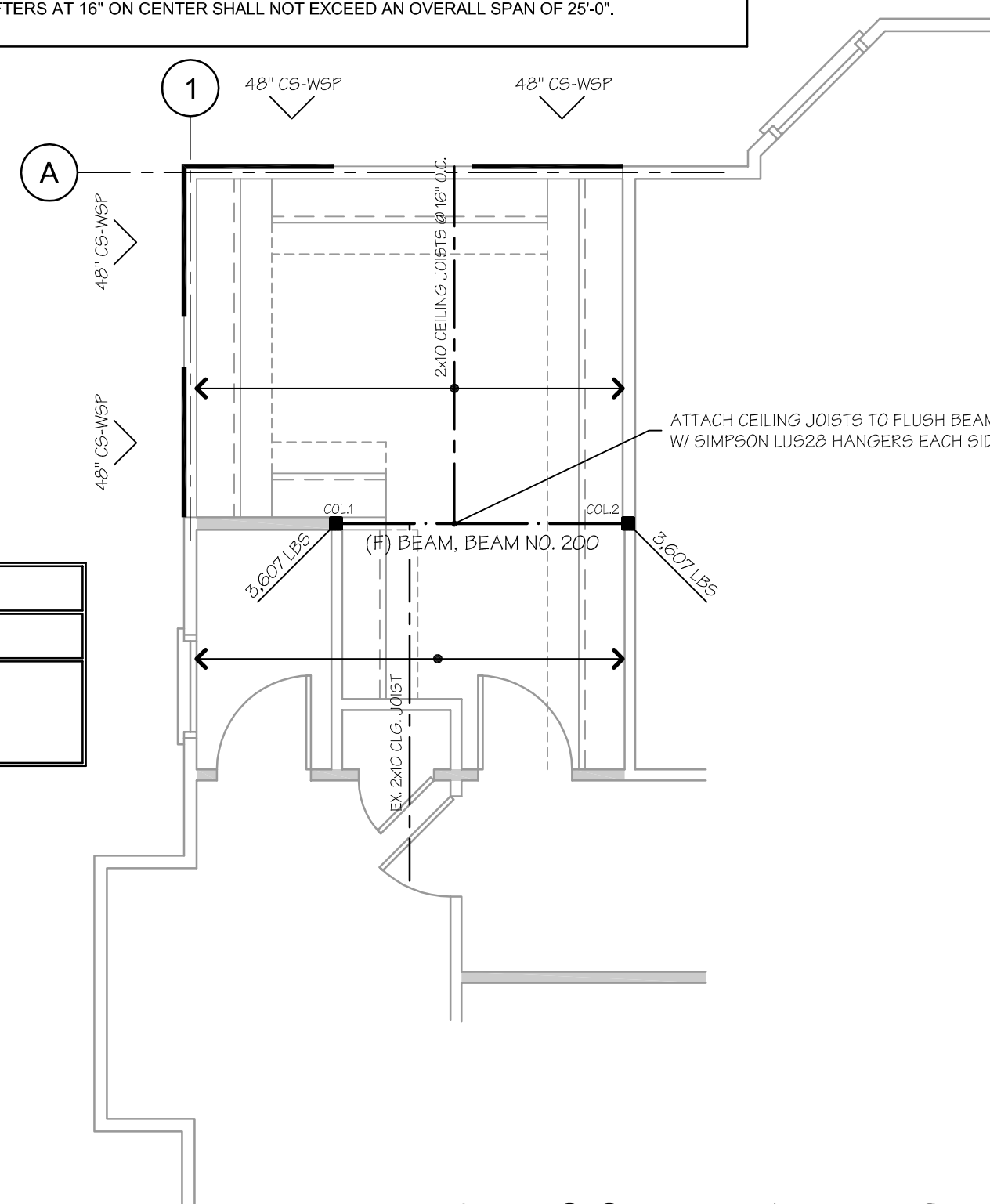
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES

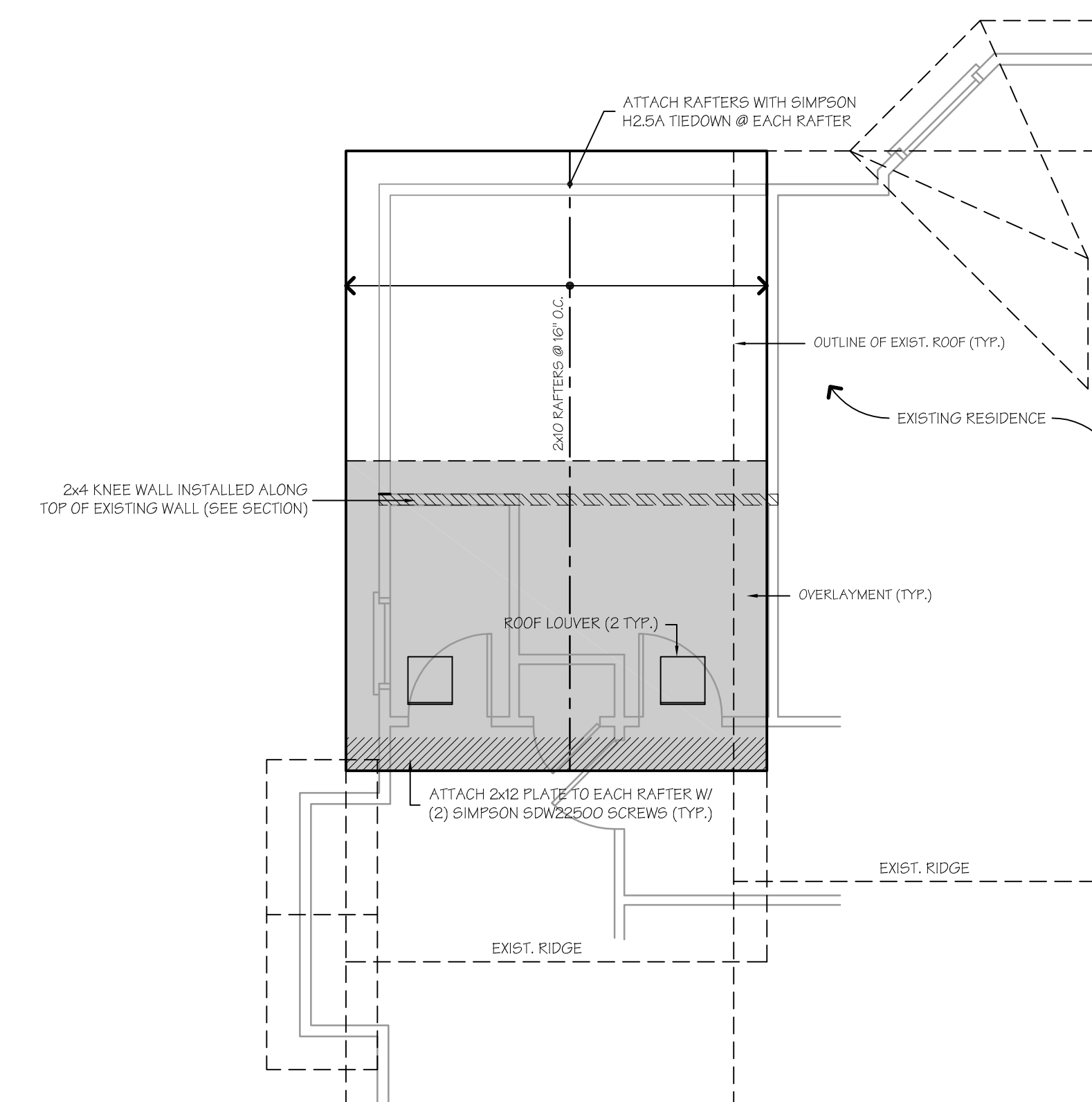
- 2x CEILING JOISTS SHOULD BE ATTACHED TO 2x10 RAFTERS WITH A MINIMUM OF (6) 16D NAILS @ EACH CONNECTION
- 2x RAFTERS SHOULD BE ATTACHED TO WALL PLATE WITH A MINIMUM OF (3) 16D NAILS @ EACH CONNECTION AND TO THE RIDGE BOARD WITH A MINIMUM OF (4) 16D NAILS
- SIZE OF CEILING JOISTS  
NOTE: THE SPACING OF CEILING JOISTS SHALL BE 2x8 SOUTHERN YELLOW PINE #2 CEILING JOIST AT 16" ON CENTER SHALL NOT EXCEED AN OVERALL SPAN OF 14'-6" OR 2x10 SOUTHERN YELLOW PINE #2 CEILING JOIST AT 16" ON CENTER SHALL NOT EXCEED AN OVERALL SPAN OF 17'-4".
- LENGTH OF RAFTERS  
NOTE: 2x10 SOUTHERN YELLOW PINE #2 RAFTERS AT 16" ON CENTER SHALL NOT EXCEED AN OVERALL SPAN OF 23'-0". 2x12 SOUTHERN YELLOW PINE #2 RAFTERS AT 16" ON CENTER SHALL NOT EXCEED AN OVERALL SPAN OF 25'-0".

WALL BRACING METHODS		
METHOD	MATERIAL	CONNECTION CRITERIA
WSP (WOOD STRUCTURAL PANEL)	3/8" MINIMUM PLYWOOD OR OSB	6d COMMON NAILS @ 6" EDGE SPACING 12" FIELD SPACING



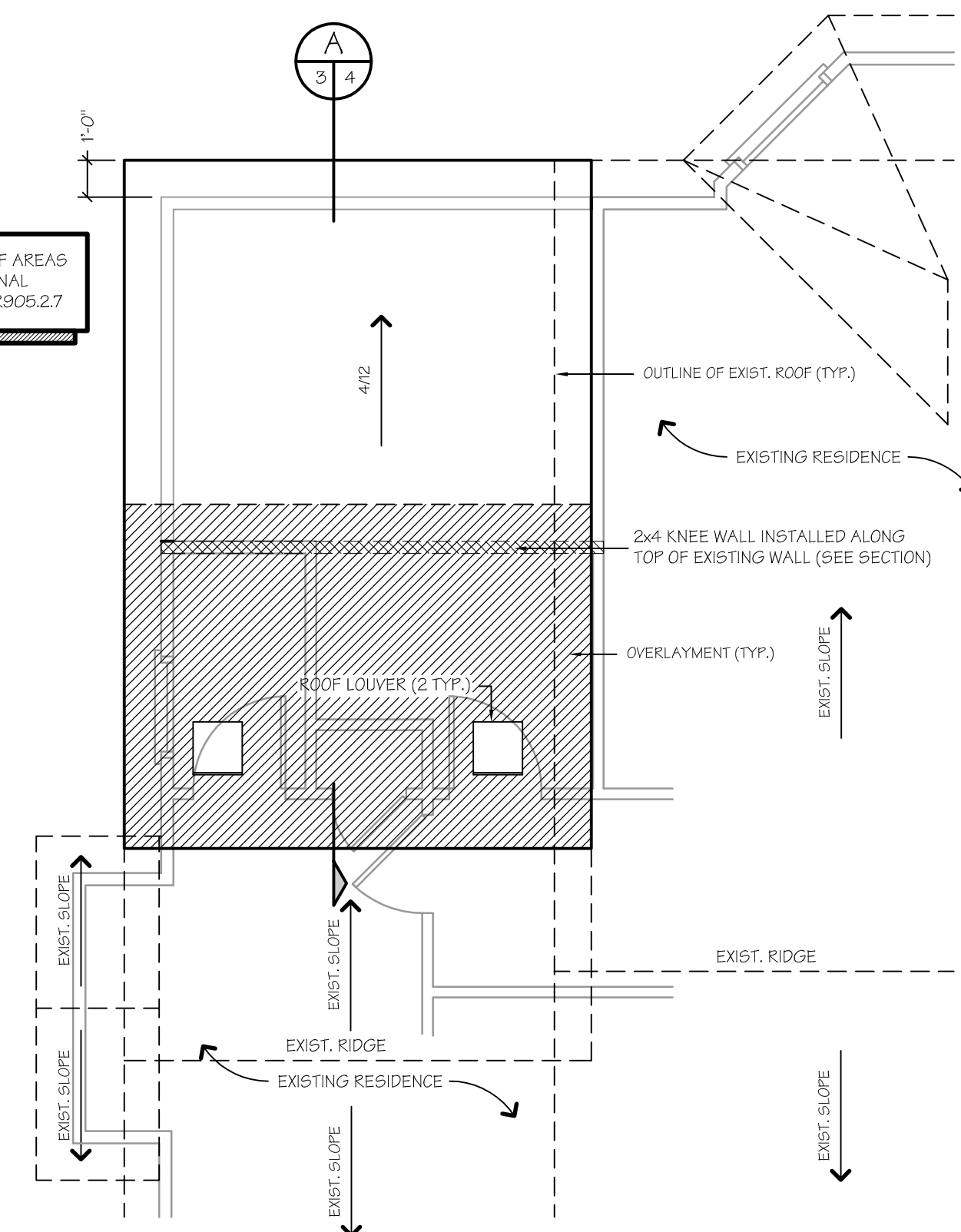
FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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Draft By: [Signature] Date: 04-04-20  
 Scale: AS NOTED File Name: 20050

No.	By	Revision	Date
6		REV PER CONTRACTOR COMMENTS	10/30/20
5		REV PER CONTRACTOR COMMENTS	09/16/20
4		REV PER CONTRACTOR COMMENTS	07/29/20

No.	By	Revision	Date
6		REV PER CONTRACTOR COMMENTS	10/30/20
5		REV PER CONTRACTOR COMMENTS	09/16/20
4		REV PER CONTRACTOR COMMENTS	07/29/20

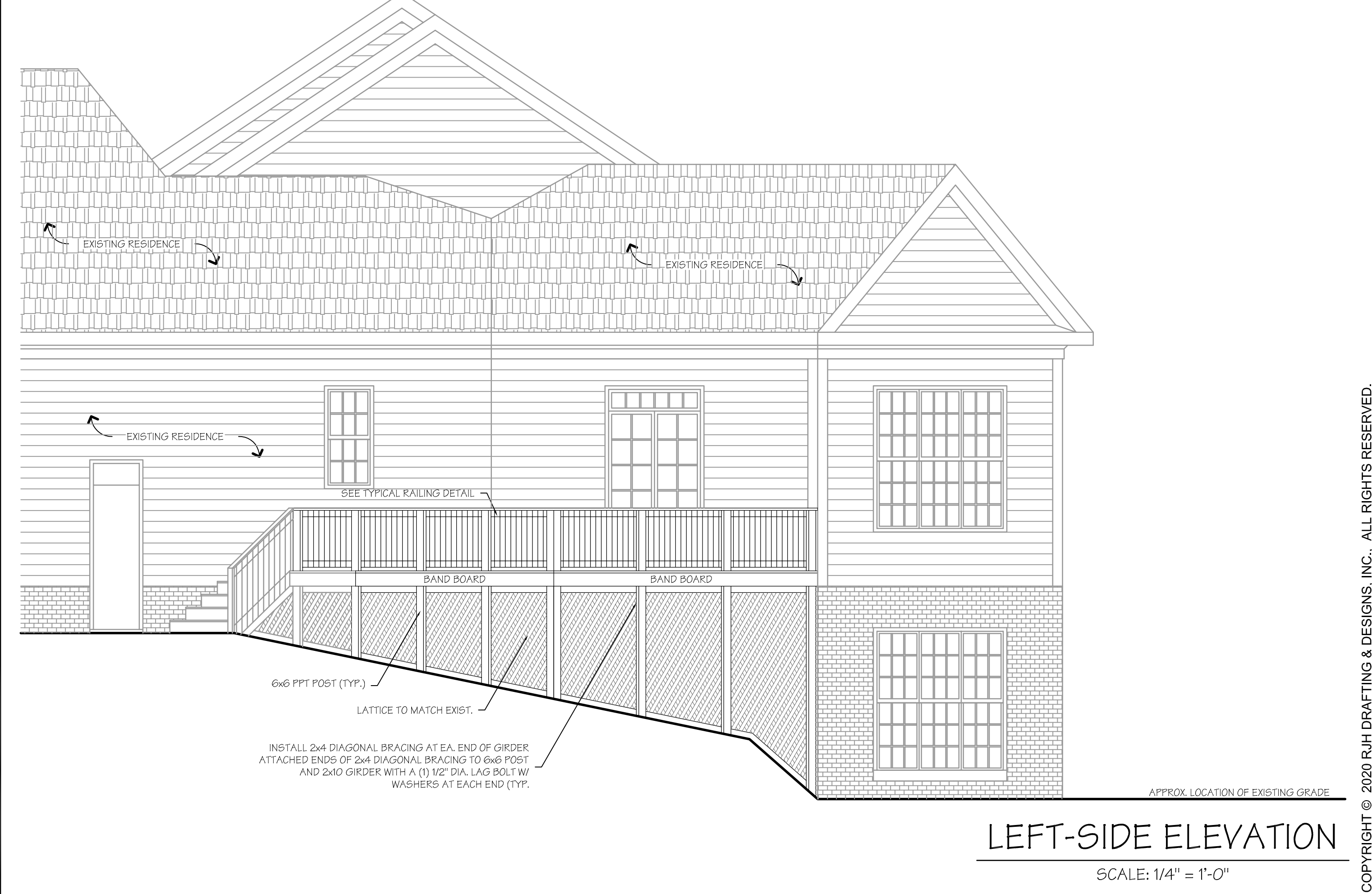
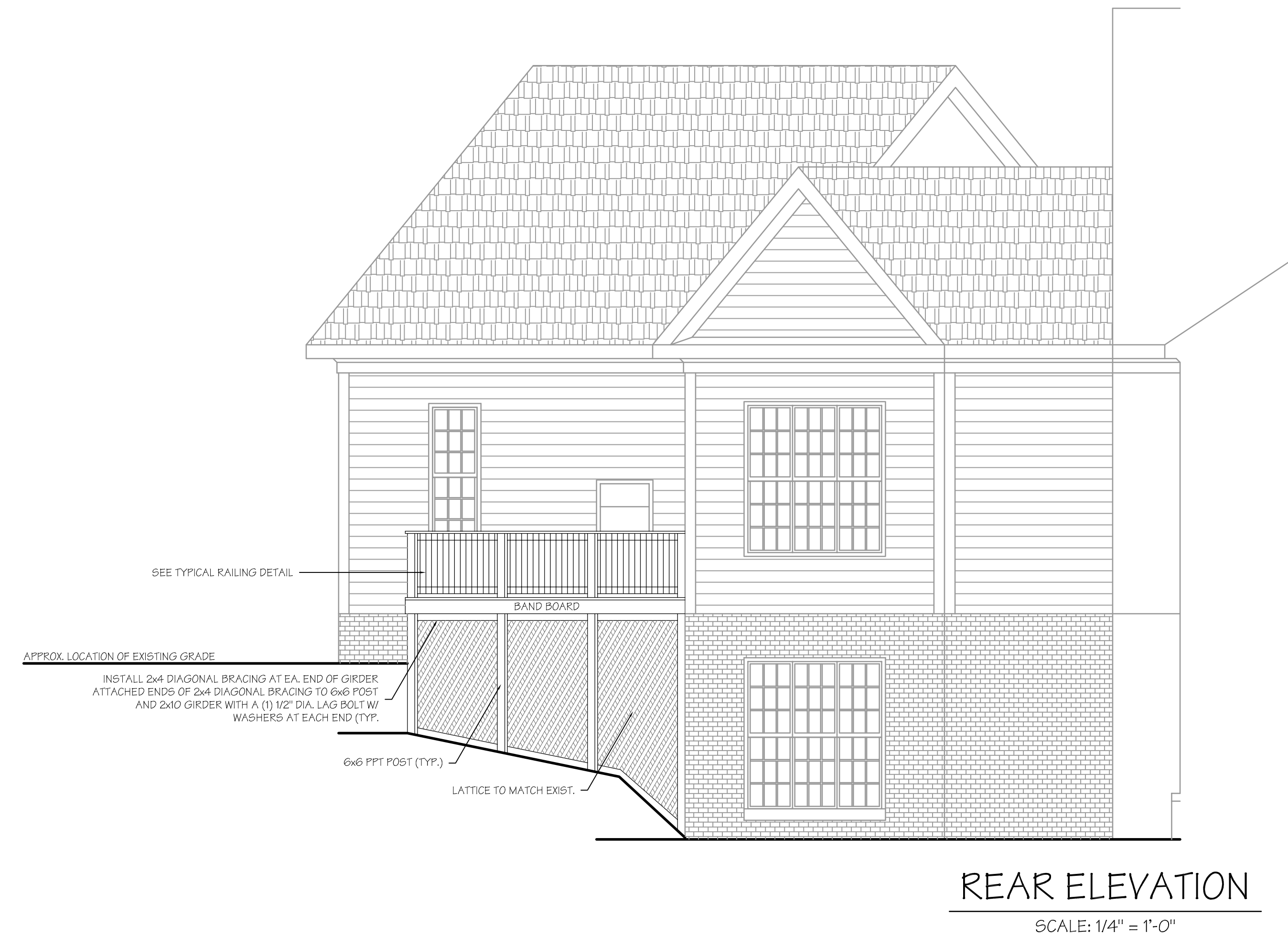
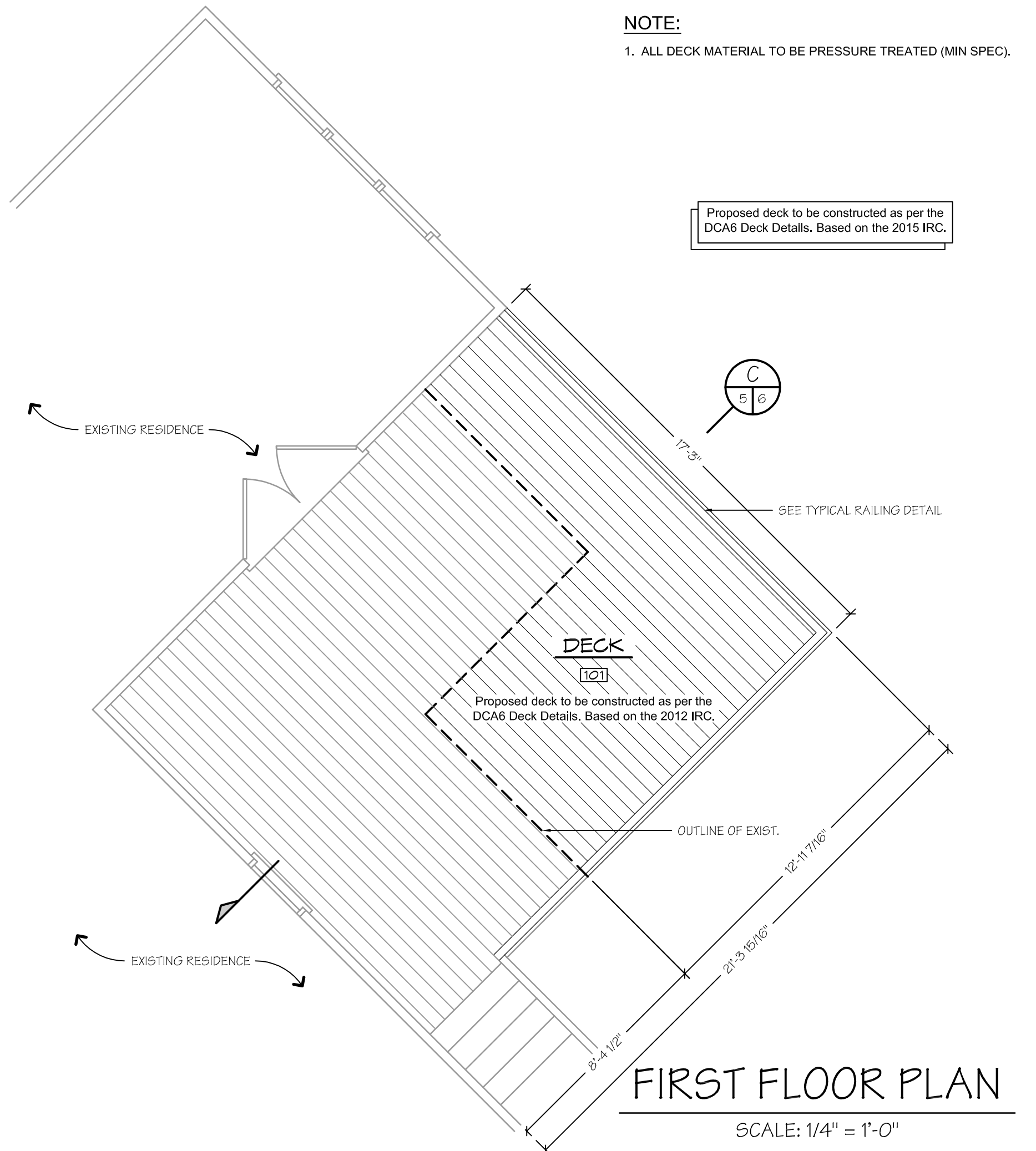
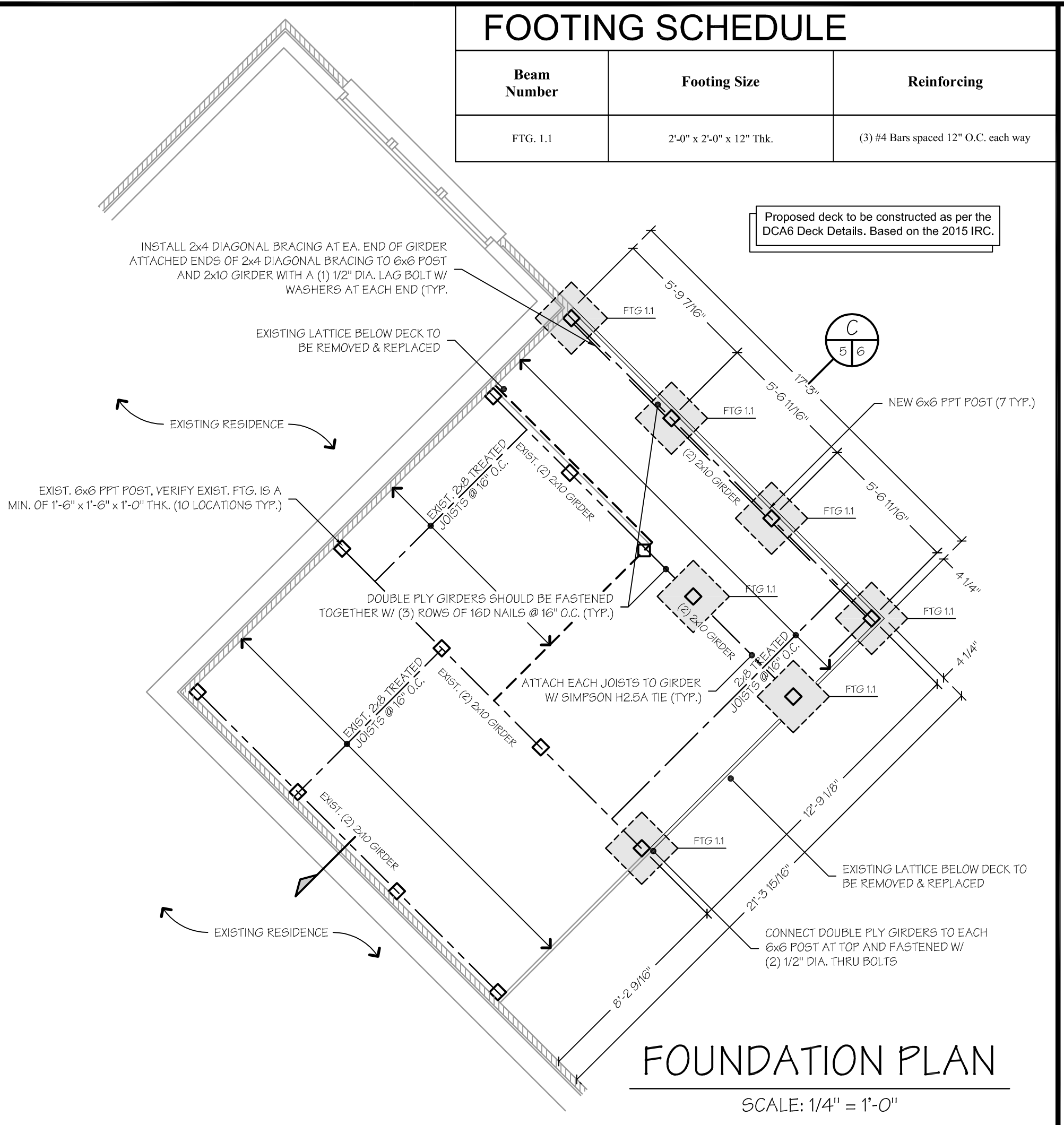
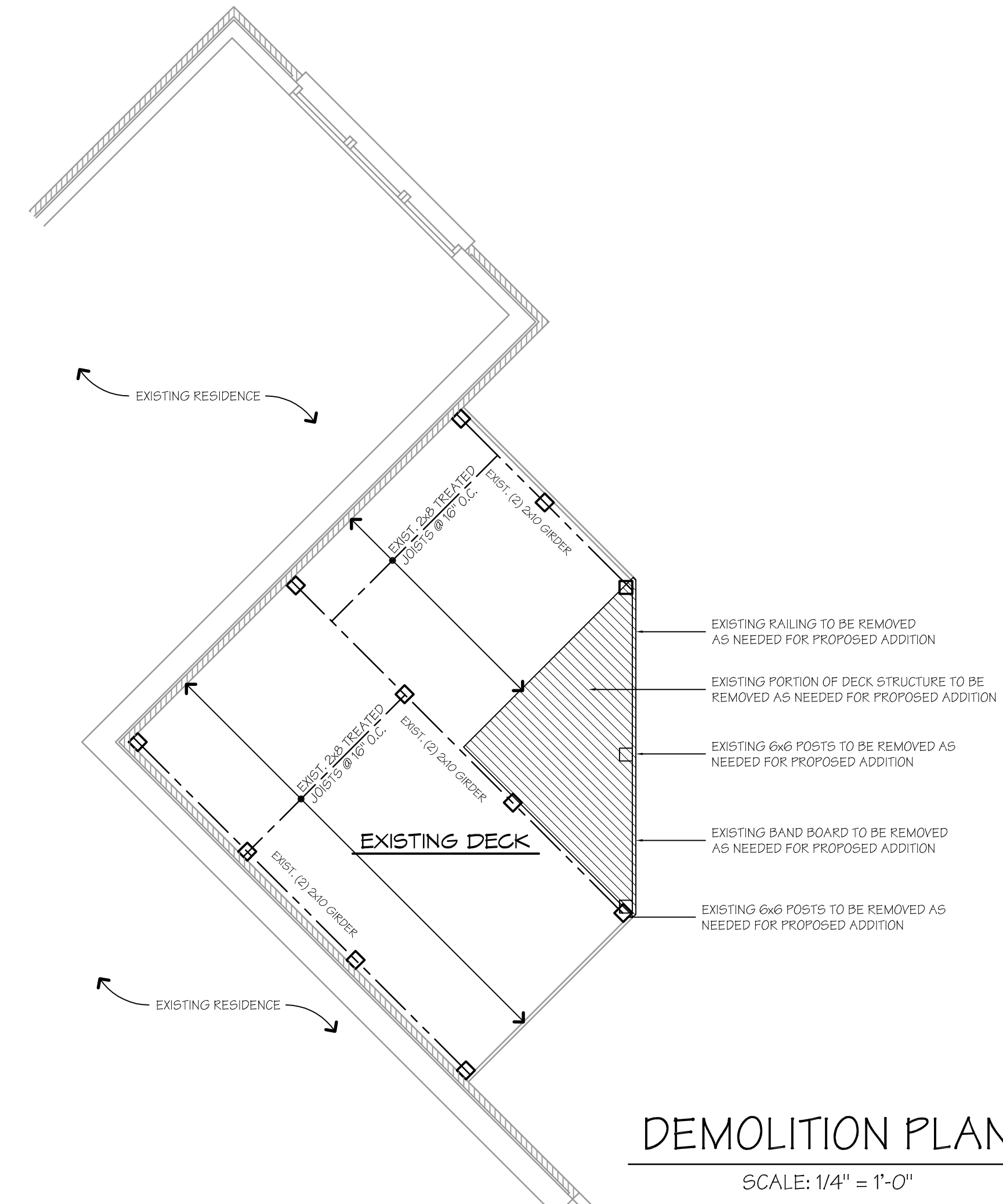
**MURPHY RESIDENCE**  
 137 WESTBURY

HOUSE ADDITION PLAN VIEWS  
 JAMES CITY COUNTY VIRGINIA

Job Number 20050	Sheet No. 3
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Drawing By: AS NOTED Date: 04-04-20 File Name: 20050

No.	By	Revision	App.	Date

No.	By	Revision	App.	Date

**MURPHY RESIDENCE**  
 137 WESTBURY

DECK PLAN VIEWS & ELEVATIONS  
 JAMES CITY COUNTY VIRGINIA

Job Number: 20050 Sheet No.: 5





# Classic Wall Bracing Worksheet

per 2015 Virginia Residential Code Section R602.10

Ultimate Wind Speed (mph)		115																			
BWL Designation		a				1															
No. of Floors above BWL		0				0															
BWP Method		CS-WSP				CS-WSP															
Average BWL Spacing (ft)		9.5				10															
Tabular Requirement (ft)		2.00				2.00															
Adjustments	Exposure	B	1.00			B	1.00														
	Eave-to-Ridge Ht. (ft)	7.00	0.82			7.00	0.82														
	Max. Wall Ht. (ft)	9.00	0.95			9.00	0.95														
	No. of BWLs	2	1.00			2	1.00														
	Omit Interior Finish?	No	1.00			No	1.00														
	Added Hold-downs?	No	1.00			No	1.00														
	Fasteners @ 4" o.c.?	No	1.00			No	1.00														
Required BWL Length (ft)		1.56				1.56															
Actual BWPs	Contributing Length (ft)  WSP=actual SFB=actual GB(ss)=0.5xactual GB(ds)=actual CS-PF=1.5xactual PFG=1.5xactual PFH=4' ABW=4'	BWP	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	
		1	CS-WSP	4.00			CS-WSP	4.00													
		2	CS-WSP	4.00			CS-WSP	4.00													
		3																			
		4																			
		5																			
		6																			
		7																			
Actual BWL Length (ft)		8.00				8.00															
Actual ≥ Required?		PASS				PASS															
BWPs ≤ 20' Apart?		Yes				Yes															
≥ 2 Panels in BWL?		Yes				Yes															
BWP 10' from Ends?		Yes				Yes															
Continuous Sheathing End Conditions	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	
	1	3			1	3															
BWL Compliance		PASS				PASS															

DATE: VITRUVIUS BUILD: CUSTOMER: PROJECT LOCATION:	11/4/2020 Base	COMPANY: DESIGNED BY: REVIEWED BY:	RJH Designs Ronald Hudik Ronald Hudik
LEVEL: LOCATION: TYPE: MATERIAL:	Roof Flush Beam 200 ROOF BEAM STRUCTURAL COMPOSITE LUMBER	LOADING: CODE: NDS:	ASD 2015 International Building Code 2015 NDS
Weyerhaeuser	2.0E Microlam LVL	(2) 1.75 X 9.25	DRY

**Flush Beam 200 DIAGRAM**



**BEAM PROPERTIES**

Start (ft): 0 End (ft): 8.25 Member Slope: 0/12 Actual Length (ft): 8.25 Roof Pitch: 0/12

Area	I <sub>x</sub>	I <sub>y</sub>	BSW	Lams	C <sub>fn</sub>	K <sub>cr</sub>
(in <sup>2</sup> )	(in <sup>4</sup> )	(in <sup>4</sup> )	(lbf/ft)			Creep Factor
32.38	230.84	8.26	9.44	2	7.35	1

**STRENGTH PROPERTIES**

	F <sub>b</sub> (psi)	F <sub>t</sub> (psi)	F <sub>v</sub> (psi)	F <sub>c</sub> (psi)	F <sub>c⊥</sub> (psi)	E (psi) x10 <sup>3</sup>	E <sub>min</sub> (psi) x10 <sup>3</sup>
Base Values	2600	1895	285	2510	750	2000	1016.535
Adjusted Values	2600	1895	285	2510	750	2000	1017
C <sub>M</sub>	1	1	1	1	1	1	1
C <sub>T</sub>	1	1	1	1	1	1	1

Bending Adjustment Factors C<sub>v</sub> = 1.04 C<sub>r</sub> = 1 Volume factor Is applied on a load combination basis And Is Not reflected in the adjusted values

**BEAM DATA**

Span	Length (ft)	Unbraced Length (ft)		Beam End				
		Top	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	8.25	0	8.25	0	1.00	0.69	1.00	1.00

**PASS-FAIL**

	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR CD
Shear Stress Y (psi)	<b>PASS (59.7%)</b>	143.7	356.3	0	D+0.75L+0.75Lr	1.25
Bending Stress Y (psi)	<b>PASS (54.3%)</b>	1538.1	3367.1	4.12	D+0.75L+0.75Lr	1.25
Deflection (in)	<b>PASS (61.4%)</b>	0.159 (=L/623)	0.413 (=L/240)	4.12	D+Lr	
Bearing Stress (psi)	<b>PASS (66.2%)</b>	253.2	750.0	0	D+0.75L+0.75Lr	1.25

**REACTIONS**

Y axis	DEAD	LIVE	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
A	1586	701	1320	0	0	0	0	0	0	0	0
B	1586	701	1320	0	0	0	0	0	0	0	0

Reaction Location

A

B



**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lb/ft)	140	140	0	8.25	Roof Live	Y
Uniform (lb/ft)	105	105	0	8.25	Dead	Y
Uniform (lb/ft)	120	120	0	8.25	Live	Y
Uniform (lb/ft)	60	60	0	8.25	Dead	Y
Uniform (lb/ft)	180	180	0	8.25	Roof Live	Y
Uniform (lb/ft)	135	135	0	8.25	Dead	Y
Uniform (lb/ft)	50	50	0	8.25	Dead	Y
Uniform (lb/ft)	50	50	0	8.25	Live	Y
Uniform (lb/ft)	25	25	0	8.25	Dead	Y
Self Weight (lb/ft)	9.44	9.44	0	8.25	Dead	Y

**NOTES**

DATE: 11/4/2020	COMPANY: RJH Designs		
VITRUVIUS BUILD: Base	DESIGNED BY: Ronald Hudik		
CUSTOMER:	REVIEWED BY: Ronald Hudik		
PROJECT LOCATION:			
LEVEL: Main Floor	LOADING: ASD		
LOCATION: Flush Beam 100	CODE: 2015 International Building Code		
TYPE: FLOOR BEAM	NDS: 2015 NDS		
MATERIAL: STRUCTURAL COMPOSITE LUMBER			
Weyerhaeuser	2.0E Microlam LVL	(2) 1.5 X 9.25	DRY

**Flush Beam 100 DIAGRAM**



**BEAM PROPERTIES**

Start (ft): 0 End (ft): 10 Member Slope: 0/12 Actual Length (ft): 10

Area	Ix	Iy	BSW	Lams	Cfn	Kcr
(in <sup>2</sup> )	(in <sup>4</sup> )	(in <sup>4</sup> )	(lbf/ft)			Creep Factor
27.75	197.86	5.2	8.09	2	7.35	1

**STRENGTH PROPERTIES**

	Fb (psi)	Ft (psi)	Fv (psi)	Fc (psi)	Fc⊥ (psi)	E (psi) x10 <sup>3</sup>	Emin (psi) x10 <sup>3</sup>
Base Values	2600	1895	285	2510	750	2000	1016.535
Adjusted Values	2600	1895	285	2510	750	2000	1017
C <sub>M</sub>	1	1	1	1	1	1	1
C <sub>T</sub>	1	1	1	1	1	1	1

Bending Adjustment Factors C<sub>v</sub> = 1.04 C<sub>r</sub> = 1 Volume factor Is applied on a load combination basis And Is Not reflected in the adjusted values

**BEAM DATA**

Span	Length (ft)	Unbraced Length (ft)		Beam End				
		Top	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	10	0	10	0	1.00	0.55	1.00	1.00

**PASS-FAIL**

	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR CD
Shear Stress Y (psi)	<b>PASS (70.4%)</b>	84.3	285.0	10	D+L	1
Bending Stress Y (psi)	<b>PASS (60.0%)</b>	1076.7	2693.7	5	D+L	1
Deflection (in)	<b>PASS (65.1%)</b>	0.175 (=L/687)	0.500 (=L/240)	5	D+L	
Bearing Stress (psi)	<b>PASS (86.6%)</b>	100.7	750.0	10	D+0.75L+0.75Lr	1.25

**REACTIONS**

Y axis	DEAD	LIVE	M-(lbf-ft)	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
A	1010	500		200	0	0	0	0	0	0	0	0
B	1060	500		200	0	0	0	0	0	0	0	0

Reaction Location

A

B

**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lb/ft)	80	80	0	10	Live	Y
Uniform (lb/ft)	24	24	0	10	Dead	Y
Uniform (lb/ft)	20	20	0	10	Live	Y
Uniform (lb/ft)	10	10	0	10	Dead	Y
Uniform (lb/ft)	40	40	0	10	Roof Live	Y
Uniform (lb/ft)	30	30	0	10	Dead	Y
Trapezoidal (lb/ft)	120	150	0	10	Dead	Y
Self Weight (lb/ft)	8.09	8.09	0	10	Dead	Y

**NOTES**

DATE:	11/4/2020	COMPANY:	RJH Designs
VITRUVIUS BUILD:	Base	DESIGNED BY:	Ronald Hudik
CUSTOMER:		REVIEWED BY:	Ronald Hudik
PROJECT LOCATION:			
LEVEL:	Main Floor	LOADING:	ASD
LOCATION:	Drop Beam 101	CODE:	2015 International Building Code
TYPE:	FLOOR BEAM	NDS:	2015 NDS
MATERIAL:	STRUCTURAL COMPOSITE LUMBER		
Weyerhaeuser	2.0E Microlam LVL	(3) 1.75 X 11.875	DRY

Drop Beam 101 DIAGRAM



BEAM PROPERTIES

Start (ft): 0 End (ft): 12.499 Member Slope: 0/12 Actual Length (ft): 12.5

Area	I <sub>x</sub>	I <sub>y</sub>	BSW	Lams	C <sub>fn</sub>	K <sub>cr</sub>
(in <sup>2</sup> )	(in <sup>4</sup> )	(in <sup>4</sup> )	(lbf/ft)			Creep Factor
62.34	732.62	15.91	18.18	3	7.35	1

STRENGTH PROPERTIES

	F <sub>b</sub> (psi)	F <sub>t</sub> (psi)	F <sub>v</sub> (psi)	F <sub>c</sub> (psi)	F <sub>c⊥</sub> (psi)	E (psi) x10 <sup>3</sup>	E <sub>min</sub> (psi) x10 <sup>3</sup>
Base Values	2600	1895	285	2510	750	2000	1016.535
Adjusted Values	2600	1895	285	2510	750	2000	1017
C <sub>M</sub>	1	1	1	1	1	1	1
C <sub>T</sub>	1	1	1	1	1	1	1

Bending Adjustment Factors C<sub>V</sub> = 1 C<sub>r</sub> = 1 Volume factor Is applied on a load combination basis And Is Not reflected in the adjusted values

BEAM DATA

Span	Length (ft)	Unbraced Length (ft)		Beam End				
		Top	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	0.833	0	0.833	0	1.00	0.51	1.00	1.00
2	11.6664	0	11.6664	0	1.00	1.00	1.00	1.00

PASS-FAIL

	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR CD
Shear Stress Y (psi)	PASS (71.4%)	81.6	285.0	0.87	D+L	1
Bending Stress Y (psi)	PASS (66.9%)	860.5	2603.7	6.87	D+L	1
Deflection (in)	PASS (63.4%)	0.031 (=L/655)	0.083 (=L/240)	0	D+L	
Bearing Stress (psi)	PASS (75.6%)	195.8	801.1	0.83	D+0.75L+0.75Lr	1.25

REACTIONS

Y axis	DEAD	LIVE	M-(lbf-ft)	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
A	0	0	0	0	0	0	0	0	0	0	0	0
B	3233	2210	1018	0	0	0	0	0	0	0	0	0
C	1742	1415	682	0	0	0	0	0	0	0	0	0

Reaction Location

A

B

C

**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lbf/ft)	120	120	0	12.4994	Roof Live	Y
Uniform (lbf/ft)	90	90	0	12.4994	Dead	Y
Uniform (lbf/ft)	50	50	0	12.4994	Live	Y
Uniform (lbf/ft)	25	25	0	12.4994	Dead	Y
Uniform (lbf/ft)	200	200	0	12.4994	Live	Y
Uniform (lbf/ft)	60	60	0	12.4994	Dead	Y
Uniform (lbf/ft)	120	120	0	12.4994	Dead	Y
Self Weight (lbf/ft)	18.18	18.18	0	12.4994	Dead	Y

**LINKED LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	1060.469	-	0.1666	-	Dead	Y
Point (lbf)	500	-	0.1666	-	Live	Y
Point (lbf)	200	-	0.1666	-	Roof Live	Y

**NOTES**

DATE: 11/4/2020	COMPANY: RJH Designs		
VITRUVIUS BUILD: Base	DESIGNED BY: Ronald Hudik		
CUSTOMER:	REVIEWED BY: Ronald Hudik		
PROJECT LOCATION:			
LEVEL: Main Floor	LOADING: ASD		
LOCATION: Existing Drop Header	CODE: 2015 International Building Code		
TYPE: FLOOR BEAM	NDS: 2015 NDS		
MATERIAL: SOLID SAWN			
Southern Pine	No. 2	(3) 1.5 X 9.25	DRY

Existing Drop Header DIAGRAM



BEAM PROPERTIES

Start (ft): 0 End (ft): 5.666 Member Slope: 0/12 Actual Length (ft): 5.67

Area	Ix	Iy	BSW	Lams	G	Kcr
(in <sup>2</sup> )	(in <sup>4</sup> )	(in <sup>4</sup> )	(lbf/ft)			Creep Factor
41.62	296.79	7.8	10.4	3	0.55	1

STRENGTH PROPERTIES

	Fb (psi)	Ft (psi)	Fv (psi)	Fc (psi)	Fc⊥ (psi)	E (psi) x10 <sup>3</sup>	Emin (psi) x10 <sup>3</sup>
Base Values	800	475	175	1300	565	1400	510
Adjusted Values	800	475	175	1300	565	1400	510
C <sub>M</sub>	1	1	1	1	1	1	1
C <sub>T</sub>	1	1	1	1	1	1	1
C <sub>i</sub>	1	1	1	1	1	1	1
C <sub>F</sub>	1	1	1	1	1	1	1

Bending Adjustment Factors C<sub>fu</sub> = 1 C<sub>r</sub> = 1

BEAM DATA

Span	Length (ft)	Unbraced Length (ft)		Beam End				
		Top	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	5.6664	0	5.6664	0	1.00	0.94	1.00	1.00

PASS-FAIL

	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR CD
Shear Stress Y (psi)	<b>PASS (30.8%)</b>	121.2	175.0	0	D+L	1
Bending Stress Y (psi)	<b>PASS (5.0%)</b>	760.0	800.0	1.87	D+L	1
Deflection (in)	<b>PASS (78.5%)</b>	0.061 (=L/1116)	0.283 (=L/240)	2.66	D+Lr	
Bearing Stress (psi)	<b>PASS (53.1%)</b>	264.7	565.0	0	D+0.75L+0.75Lr	1.25

REACTIONS

Y axis	DEAD	LIVE	M-(lbf-ft)	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
A	2373	990		1406	0	0	0	0	0	0	0	0
B	1533	618		707	0	0	0	0	0	0	0	0

Reaction Location

A

B

**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lbf/ft)	140	140	0	5.6664	Roof Live	Y
Uniform (lbf/ft)	105	105	0	5.6664	Dead	Y
Uniform (lbf/ft)	80	80	0	5.6664	Live	Y
Uniform (lbf/ft)	40	40	0	5.6664	Dead	Y
Uniform (lbf/ft)	80	80	0	5.6664	Live	Y
Uniform (lbf/ft)	24	24	0	5.6664	Dead	Y
Uniform (lbf/ft)	150	150	0	5.6664	Dead	Y
Uniform (lbf/ft)	80	80	0	5.6664	Dead	Y
Self Weight (lbf/ft)	10.4	10.4	0	5.6664	Dead	Y

**LINKED LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	1585.826	-	1.3332	-	Dead	Y
Point (lbf)	701.25	-	1.3332	-	Live	Y
Point (lbf)	1320	-	1.3332	-	Roof Live	Y

**NOTES**

DATE: VITRUVIUS BUILD: CUSTOMER: PROJECT LOCATION:	11/4/2020 Base	COMPANY: DESIGNED BY: REVIEWED BY:	RJH Designs Ronald Hudik Ronald Hudik
LEVEL: LOCATION: TYPE: MATERIAL:	Basement Column COLUMN STRUCTURAL COMPOSITE LUMBER	LOADING: CODE: NDS:	ASD 2015 International Building Code 2015 NDS
Weyerhaeuser	1.8E Parallam PSL	(1) 5.25 X 5.25	DRY

**Column DIAGRAM**



**COLUMN PROPERTIES**

Start (ft): 0 End (ft): 9 Member Slope: 0/12 Actual Length (ft): 9

Area	I <sub>x</sub>	I <sub>y</sub>	BSW	Lams	C <sub>fn</sub>	K <sub>cr</sub>
(in <sup>2</sup> )	(in <sup>4</sup> )	(in <sup>4</sup> )	(lbf/ft)			Creep Factor
27.56	63.31	63.31	8.61	1	9	1

**STRENGTH PROPERTIES**

	F <sub>b</sub> (psi)	F <sub>t</sub> (psi)	F <sub>v</sub> (psi)	F <sub>c</sub> (psi)	F <sub>c⊥</sub> (psi)	E (psi) x10 <sup>3</sup>	E <sub>min</sub> (psi) x10 <sup>3</sup>
Base Values	2500	1995	230	2500	545	1800	914.88
Adjusted Values	2500	1995	230	2500	545	1800	915
C <sub>M</sub>	1	1	1	1	1	1	1
C <sub>T</sub>	1	1	1	1	1	1	1

Bending Adjustment Factors C<sub>v</sub> = 1.1 C<sub>r</sub> = 1 Volume factor Is applied on a load combination basis And Is Not reflected in the adjusted values

**COLUMN DATA**

Span	Length (ft)	Unbraced Length (ft)		Column End					
		X	Y	Offset	CP	Ke(X Axis)	Ke(Y Axis)	KeL/d (X Axis)	KeL/d (Y Axis)
1	9	0	0	0	1.00	1.00	1.00	0	0

**PASS-FAIL**

	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR CD
Deflection (in)	<b>PASS (97.9%)</b>	0.005 (=L/22500)	0.225 (=L/480)	9	L	
Compressive Stress (psi)	<b>PASS (92.0%)</b>	200.3	2500.0	0	D+L	1

**REACTIONS**

Z axis	DEAD	LIVE	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
A	3311	2210	1018	0	0	0	0	0	0	0	0
B	0	0	0	0	0	0	0	0	0	0	0

Reaction Location

A

B

**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Self Weight (lbf/ft)	8.61	8.61	0	9	Dead	Z

**LINKED LOAD LIST**

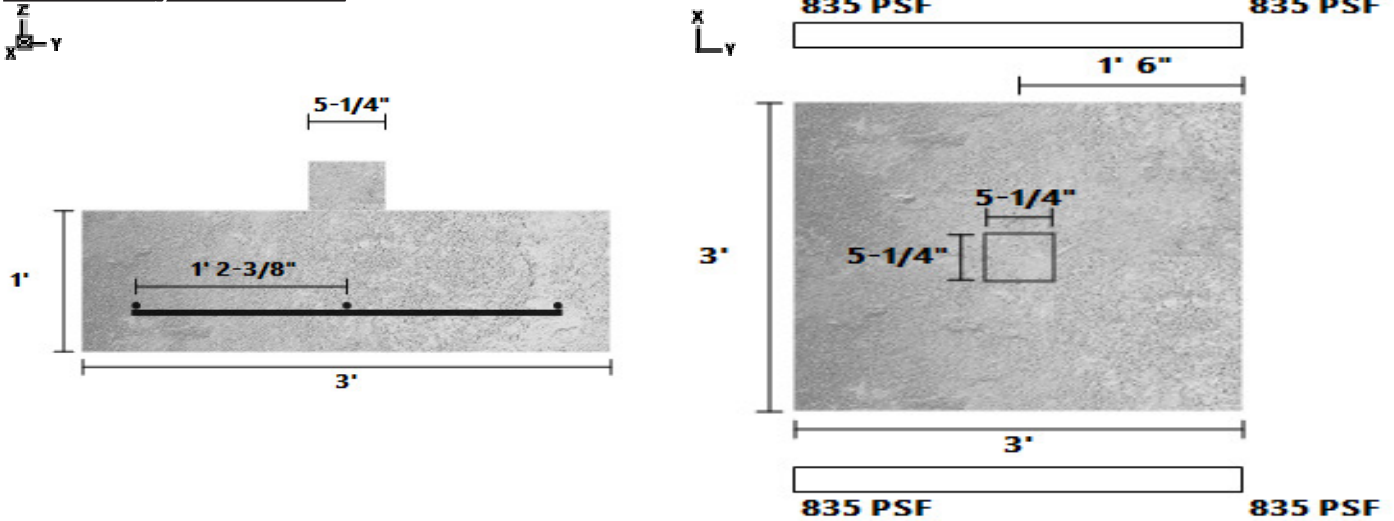
Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	-3233.231	-	9	-	Dead	Z
Point (lbf)	-2209.675	-	9	-	Live	Z
Point (lbf)	-1017.796	-	9	-	Roof Live	Z

**NOTES**



DATE: 11/4/2020	COMPANY: RJH Designs
VITRUVIUS BUILD: Base	DESIGNED BY: Ronald Hudik
CUSTOMER:	REVIEWED BY: Ronald Hudik
PROJECT LOCATION:	
LEVEL: Basement	LOADING:
LOCATION: Spread Footing	CODE: 2015 International Building Code
TYPE: ISOLATED FOOTING	ACI: ACI 318-14
MATERIAL: CONCRETE	
3 (ft) X 3 (ft) X 12 (in)	Soil Depth TOF: 0 (ft)
	(3) #5 Long, (3) #5 Short

**Spread Footing DIAGRAMS**



**MATERIAL PROPERTIES**

FOOTING						
fc' (psi)	Ec (psi)	Density (lb/ft <sup>3</sup> )	Width (ft)	Length (ft)	Depth (in)	Volume (ft <sup>3</sup> )
2500	2880952	145	3	3	12	9
CALCULATION VARIABLES						
Bo (in)	Φ-X	Φ-Y				
54.5	0.9	0.9				
COLUMN						
Width (in)	Length (in)	Material	Offset (in)			
5.25	5.25	Concrete	0			
SOIL						
Bearing Strength (lb/ft <sup>2</sup> )	Density (lb/ft <sup>3</sup> )	Cohesion	Friction Angle	Depth (ft)	Rankine Coefficient (Kp)	
1500	140	0	30	0	3	
REBAR						
Bar Size #	# Bars Long	# Bars Short	fy (psi)	Es (psi)		
5	3	3	40000	2.9E+07		

**PASS-FAIL**

	PASS/FAIL	MAGNITUDE	STRENGTH	LOAD COMBO
Soil Bearing Pressure (lb/ft <sup>2</sup> )	<b>PASS (44.3%)</b>	835.6	1500.0	D+L
Two-Way Shear (Punching) (lbf)	<b>PASS (83.6%)</b>	11217.3	68465.6	1.2D+1.6L+0.5Lr
One-Way Shear X (lbf)	<b>PASS (90.4%)</b>	2181.1	22612.5	1.2D+1.6L+0.5Lr
Moment X (lbf-ft)	<b>PASS (86.5%)</b>	3069.1	22687.9	1.2D+1.6L+0.5Lr
One-Way Shear Y (lbf)	<b>PASS (90.4%)</b>	2181.1	22612.5	1.2D+1.6L+0.5Lr
Moment Y (lbf-ft)	<b>PASS (86.5%)</b>	3069.1	22687.9	1.2D+1.6L+0.5Lr
Crushing (lbf)	<b>PASS (70.5%)</b>	407.0	1381.3	1.2D+1.6L+0.5Lr

**LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	2000	-	0	-	Live	Z

**LINKED LOAD LIST**

Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	3310.75	-	0	-	Dead	Z
Point (lbf)	2209.675	-	0	-	Live	Z
Point (lbf)	1017.796	-	0	-	Roof Live	Z

**NOTES**

The footing requires a minimum area of dowel bars equal to 0.1378125 in<sup>2</sup> into the column ACI 16.3.4.1



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING **WEDNESDAY JANUARY 13, 2020 AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

**NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021.  
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES:        PLANNING  
                  ASSISTANT COUNTY ATTORNEY  
                  WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-253-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

December 23, 2020

RE: CBPA-20-0141  
137 Westbury  
Deck

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Darrell Wahl of Wahl Builders, LLC, on behalf of Murphy, John T, Trustee and Teresa E, Trustee for encroachment into the Resource Protection Area (RPA) buffer for the construction of a deck. The project is located at 137 Westbury and further identified as JCC Parcel No. 3720600053.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Michael D. Woolson*

Michael D. Woolson  
Chesapeake Bay Board Secretary  
757-253-6823  
michael.woolson@jamescitycountyva.gov

cc: Wahl Builders, LLC  
Mr. Darrell Wahl

MDW: jep

Mailing List for: CBPA-20-0141–137 Westbury – Deck

Owner: 3720600053

Murphy, John T, Trustee & Teresa E, Trustee  
137 Westbury  
Williamsburg, VA 23188-8912

3720600054

Wightman, Eric N, Trustee & Kach, Patricia  
L, Trustee  
133 Westbury  
Williamsburg, VA 23189-8912

3720600052 – 141 Westbury

Lebolt, Scot Alan, Trustee & Wendy Rilling,  
Trustee  
11230 Sandhill Preserve Drive  
Sarasota, FL 34238-1404

Contractor:

Wahl Builders, LLC  
Attn: Mr. Darrell Wahl  
133 Waller Mill Road  
Williamsburg, VA 23185

3810800001A- 1.75 A, Greenways S-13B

3810100004 141 A Westbury-5.04 A, Parcel A  
Fords Colony at Williamsburg Homeowners  
Association  
100 Manchester  
Williamsburg, VA 23188-7404

3720600050

Beck, Terry M, Trustee & Beck, Maria C  
136 Westbury  
Williamsburg, VA 23188-8912

**ITEM SUMMARY**

DATE: 1/13/2021  
TO: Chesapeake Bay Board  
FROM: Michael Woolson, Senior Watershed Planner  
SUBJECT: Case No. CBPA 20-0140 : 244 William Barksdale

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Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

**ATTACHMENTS:**

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Presentation	Presentation
☐	Site Plan	Backup Material
☐	Public Advertisement	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:15 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:18 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:18 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0140. 244 William Barksdale  
Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. Michael and Mrs. Catherine Hoyt

Agent: Mr. Mathew Roth, Roth Environmental, LLC

Location: 244 William Barksdale

Parcel Identification No.: 4940300097

Parcel: Lot 97, Phase 2, Fairfax Woods

Lot Size: 0.45 acres

Area of Lot in Resource Protection Area (RPA): 0.18 acres +/- (40%)

Watershed: College Creek (HUC JL 34)

Floodplain: None

Proposed Activity: Construction of two retaining walls

Impervious Cover: 130 square feet

RPA Encroachment: 130 square feet, Landward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Mathew Roth, Roth Environmental, LLC has applied for a Chesapeake Bay Exception on behalf of Mr. Michael and Mrs. Catherine Hoyt for encroachments into the RPA buffer for the construction of two retaining walls on property located at 244 William Barksdale within the Kingsmill subdivision and the College Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4940300097. The parcel was platted in 1985, before the adoption of the Chesapeake Bay Ordinance in 1990.

The total lot size of this property is 0.45 acres, of which 40% is located within the RPA. The applicants are experiencing erosion towards the rear of the property and near the foundation adjacent to the side of the existing house. For this reason, two separate retaining walls are being proposed, addressing the issues existing on this property. The two retaining walls equal a total of 130 square feet of impervious cover impacts to the landward 50-foot RPA. Required mitigation for this amount of impervious cover equals one half planting unit (three shrubs). The applicants have proposed planting 11 shrubs, therefore exceeding the required mitigation.



## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of two retaining walls. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the retaining walls are accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff's view of this application is that it meets all five of the conditions presented above and is approvable. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the planting mitigation (11 shrubs); and
3. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
4. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/md  
CBPA20-140\_244WBksdl

### Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-20-0140. 244 WILLIAM BARKSDALE

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Michael and Mrs. Catherine Hoyt (the “Applicants”) have applied to the Chesapeake Bay Board of James City County (the “Board”) on January 13, 2021, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4940300097 and further identified as 244 William Barksdale (the “Property”) as set forth in the application CBPA-20-0140 for the purpose of constructing a two retaining walls; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. A surety of \$250 be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the planting mitigation (11 shrubs); and
  - c. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and

- d. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

---

David Gussman  
Chair, Chesapeake Bay Board

---

Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-140\_244WBsdl-res



# **Chesapeake Bay Board of James City County, Virginia**

**January 13, 2020**

**CBPA 20-0140**

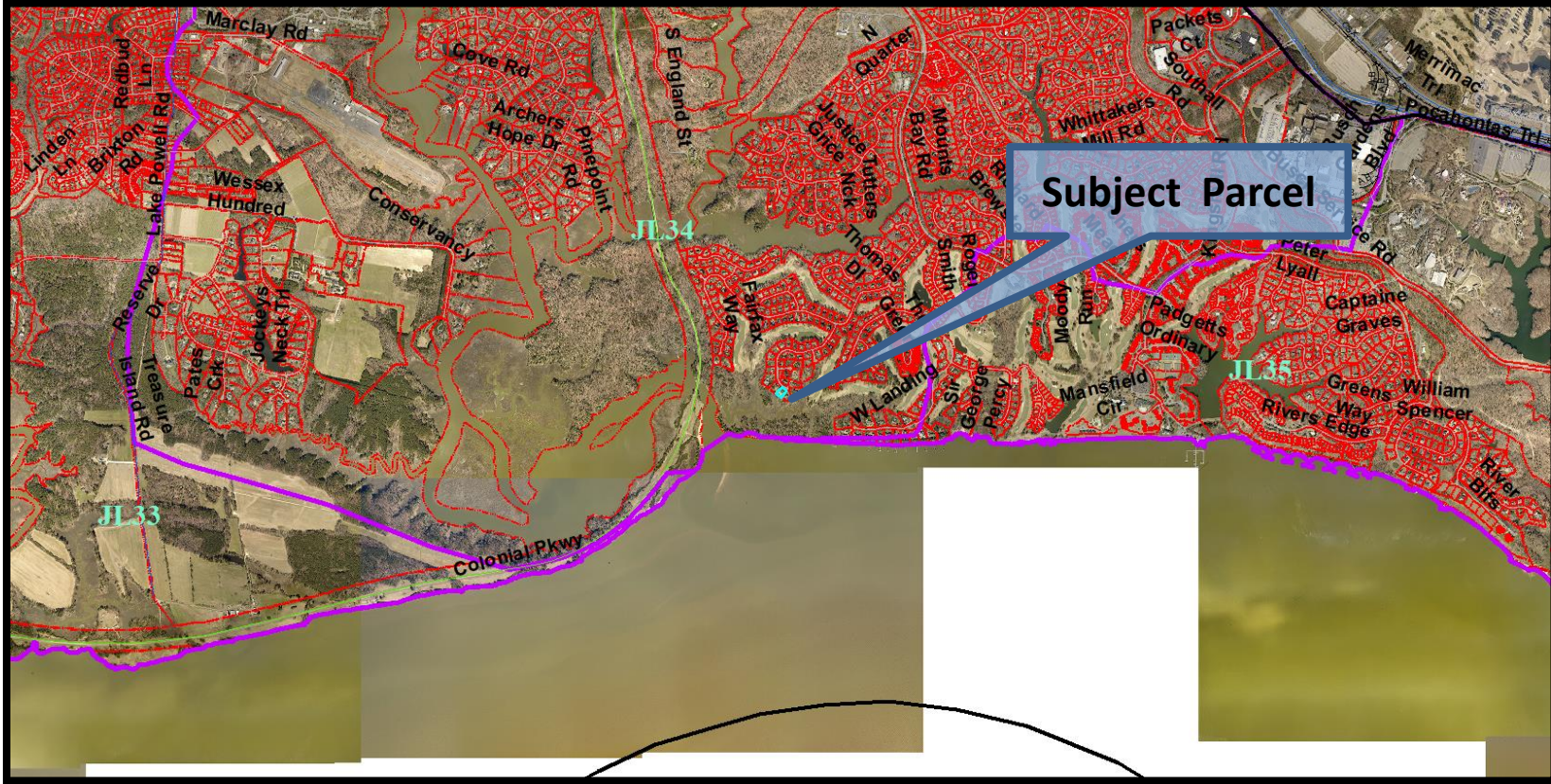
**Michael and Catherine Hoyt**

**244 William Barksdale**



# Applicant Request

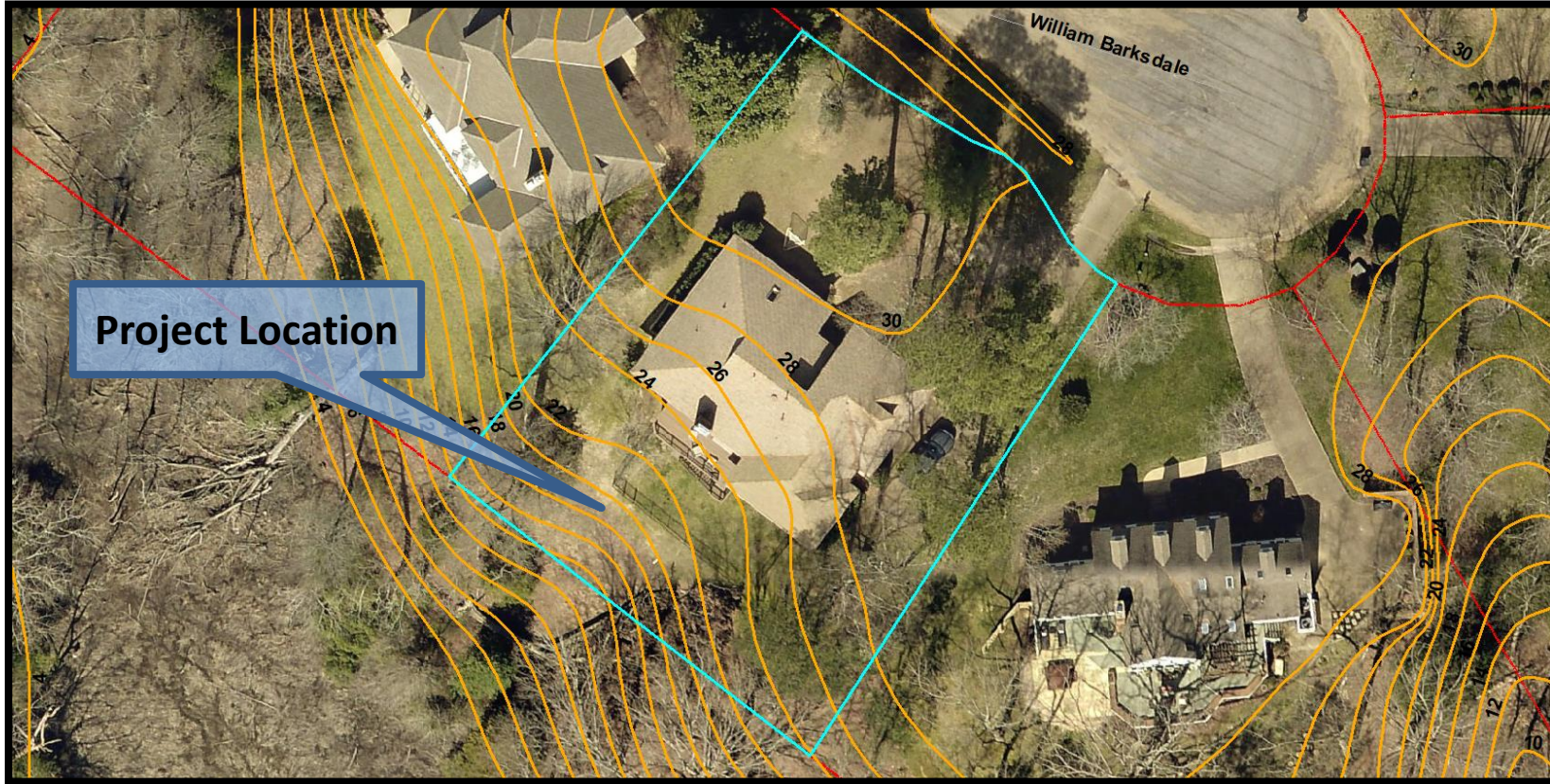
- ✓ Construction of two retaining walls.



**Vicinity Map**  
**CBPA-20-0140**  
**244 William Barksdale**



**Aerial Photograph**  
**CBPA-20-0140**  
**244 William Barksdale**

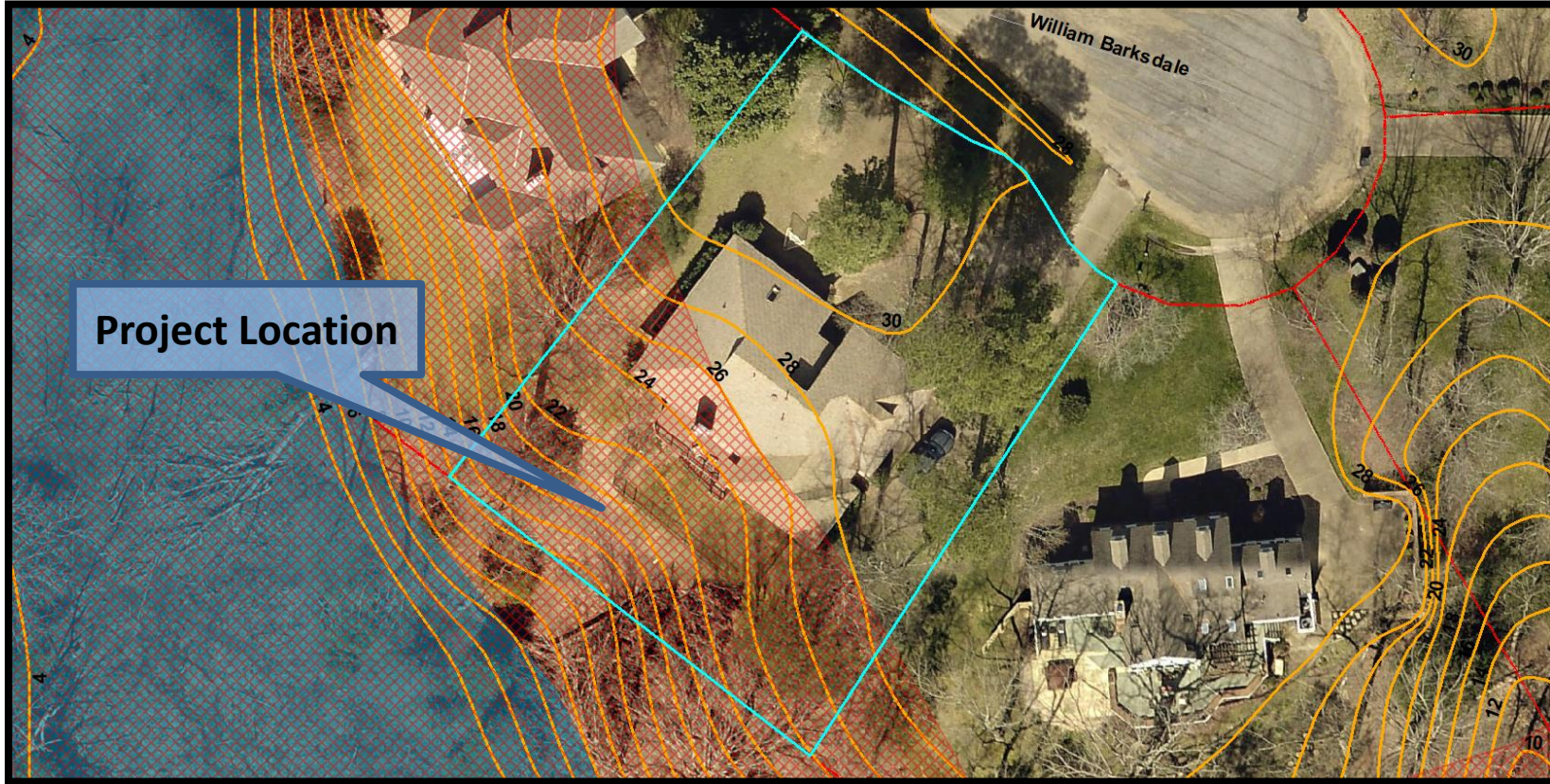


**Topography**  
**CBPA-20-0140**  
**244 William Barksdale**





**Floodplain**  
**CBPA-20-0140**  
**244 William Barksdale**



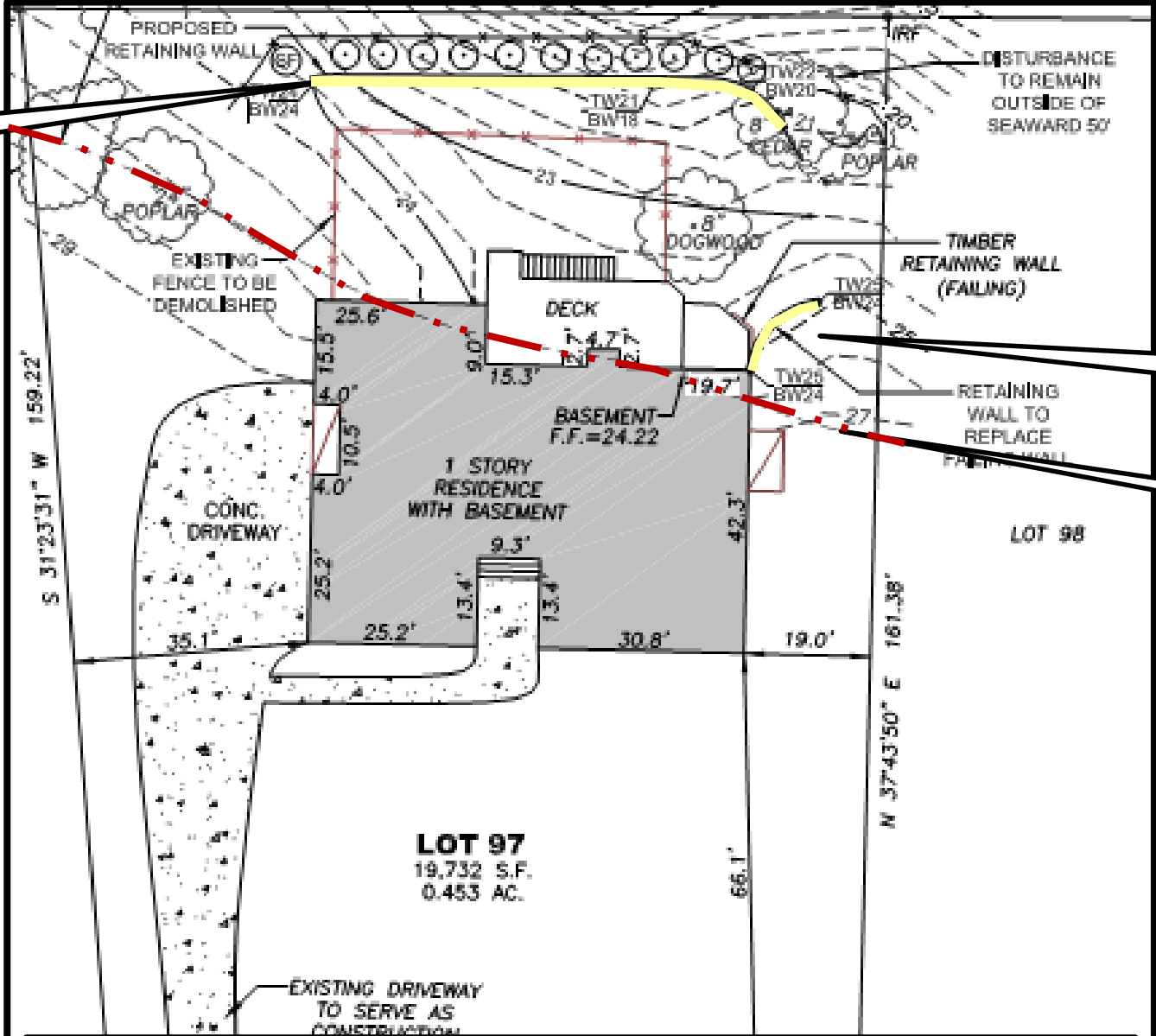
**Resource Protection Area**  
**CBPA-20-0140**  
**244 William Barksdale**

Proposed retaining wall

Site Plan showing proposed improvements, submitted December 1, 2020. For representative use only for presentation of case #CBPA-20-0140

Proposed Retaining Wall

100-foot Resource Protection Area



**Site Plan - CBPA-20-0140**  
**244 William Barksdale**

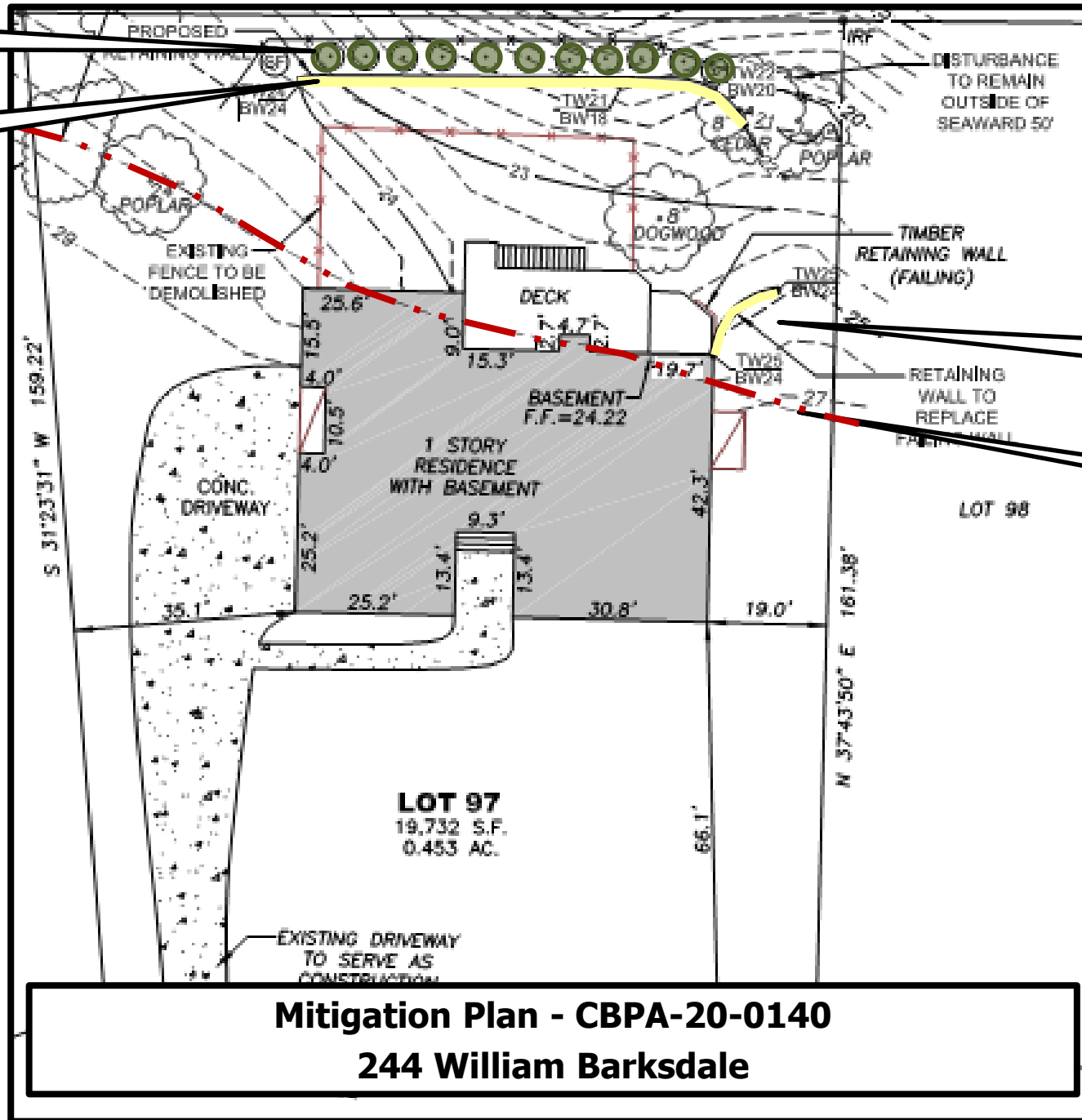
Mitigation Plantings

Proposed retaining wall

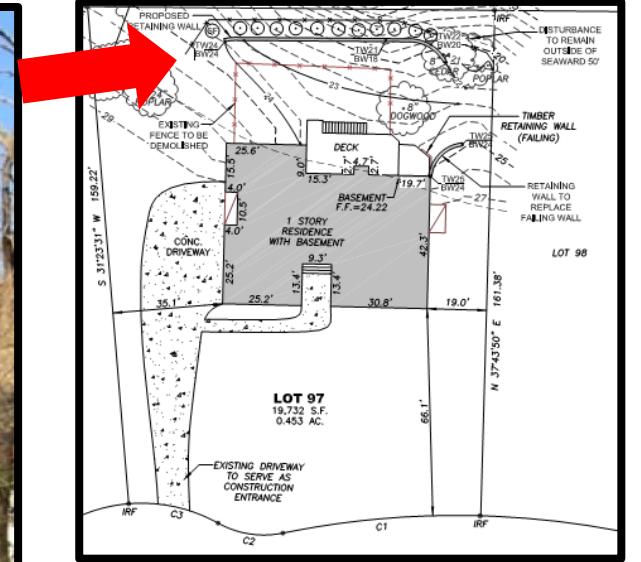
Site Plan showing proposed improvements, submitted December 1, 2020. For representative use only for presentation of case #CBPA-20-0140

Proposed Retaining Wall

100-foot Resource Protection Area



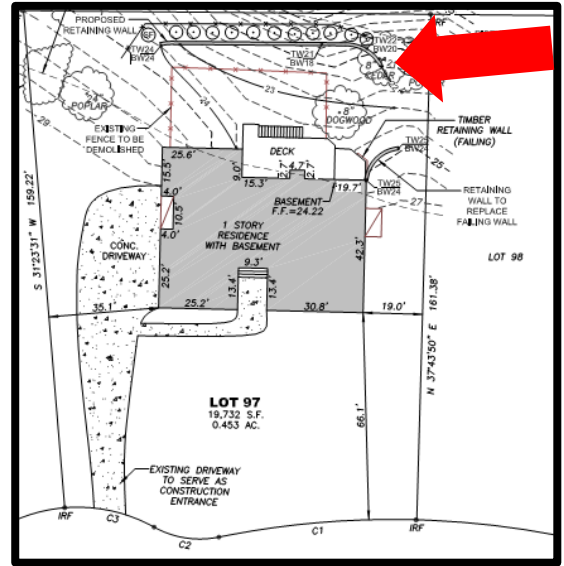
Mitigation Plan - CBPA-20-0140  
244 William Barksdale



**Site Photograph #1 - CBPA-20-0140**  
**244 William Barksdale**

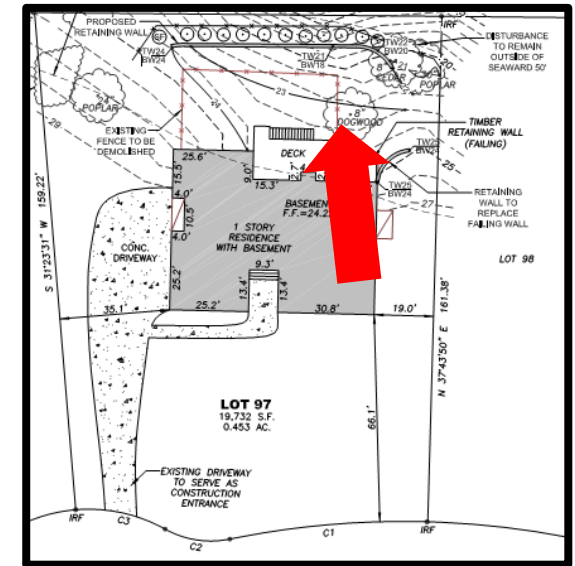


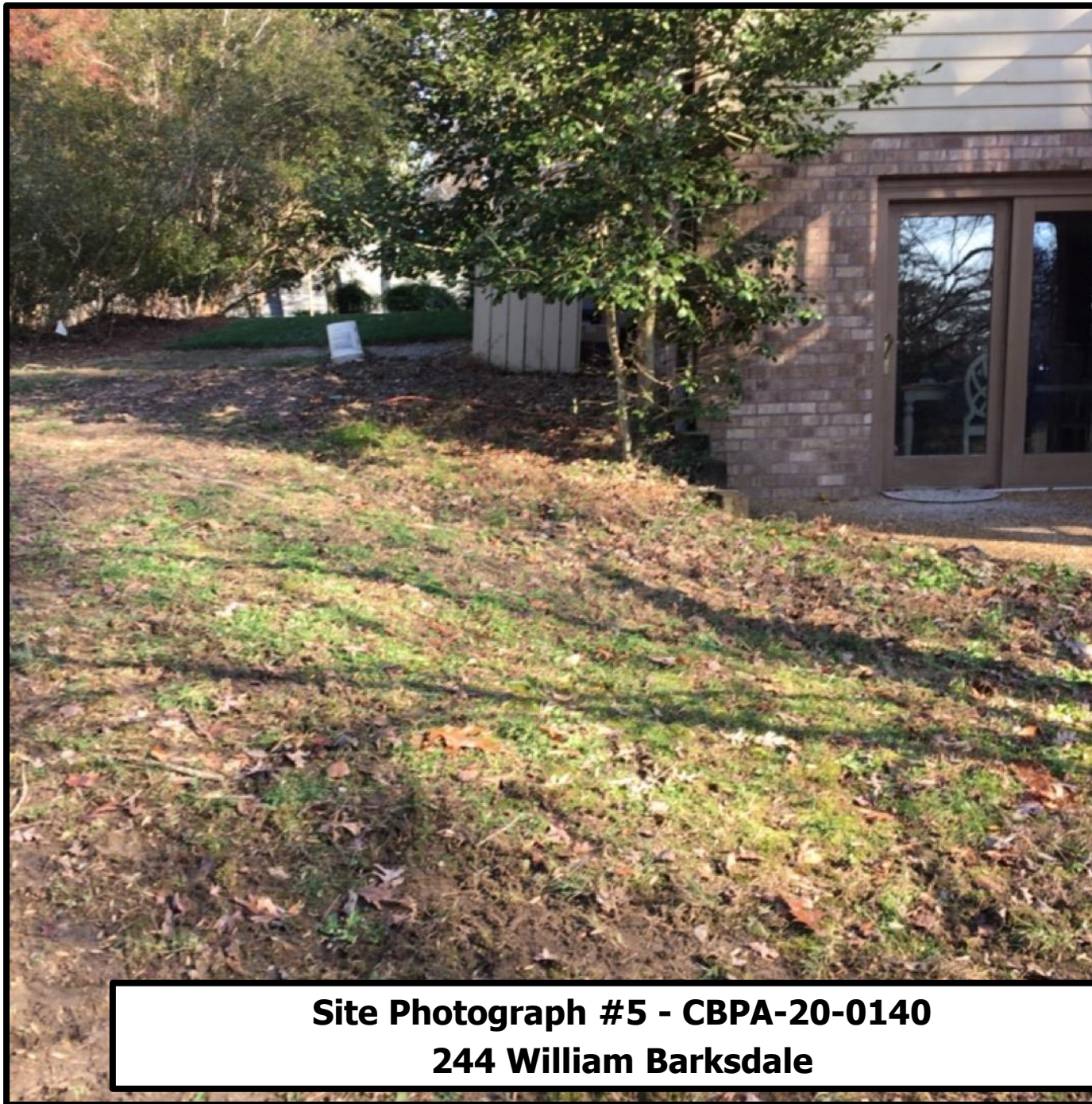
**Site Photograph #2 - CBPA-20-0140**  
**244 William Barksdale**



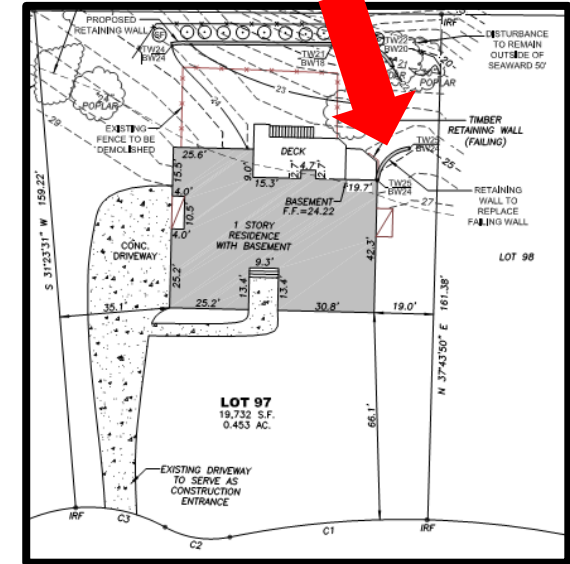


**Site Photograph #4 - CBPA-20-0140**  
**244 William Barksdale**





**Site Photograph #5 - CBPA-20-0140**  
**244 William Barksdale**





# Permit Conditions



## Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- ✓ A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.
- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.

**GENERAL NOTES**

1. A TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM.
2. WETLANDS, IF ANY, WERE NOT LOCATED FOR THIS PLAT.
3. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
4. PARCEL LIES IN F.I.R.M. ZONE "X" ACCORDING TO COMMUNITY PANEL #51095C0202D, DATED DECEMBER 16, 2015.
5. LOT SERVED BY PUBLIC WATER AND SEWER.
6. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS SHOWN HEREON.
7. ELEVATION AS SHOWN HEREON ARE IN FEET AND ARE CLOSELY RELATED TO JCC GIS.
8. CONTRACTOR TO INSTALL ORANGE SAFETY FENCE AROUND PERIMETER OF CONSTRUCTION SITE.
9. A 7.5' DRAINAGE EASEMENT DEDICATED TO BUSCH PROPERTIES IS PARALLEL TO AND ALONG ALL PROPERTY LINES.

**NOTE TO CONTRACTOR**

1. ALL DISTURBED AREAS ARE TO BE SEEDED, SODDED, OR MULCHED WITHIN 7 DAYS OF REACHING FINAL GRADE.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" @ 1-800-552-7001 72 HOURS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL REPORT ANY ERRORS, OMISSIONS, CONFLICTS, OR DISCREPANCIES TO THE DEVELOPER FOR RESOLUTION BEFORE CONTINUING WITH THE WORK.
4. EROSIONS AND SEDIMENT CONTROL SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES, PUBLIC OR PRIVATE, THAT MAY OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS, ANY PAVEMENT, DRIVEWAYS, SHOULDERS, WALKS, LAWNS, SHRUBS, DITCHES, ETC. THAT MAY BE CUT OR DAMAGED DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ORANGE SAFETY FENCE AROUND LIMITS OF CONSTRUCTION. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION.

MITIGATION LEGEND

⊙ NATIVE SHRUB

MITIGATION TABLE

MITIGATION MEASURE	QTY.(NEEDED)	QTY. (PROPOSED)
NATIVE CANOPY TREES	1	0
NATIVE UNDERSTORY TREES	2	0
NATIVE SHRUBS	3	11

2 SHRUBS PER UNDERSTORY TREE AND 4 SHRUBS PER CANOPY TREE

**LANDSCAPING NOTES**

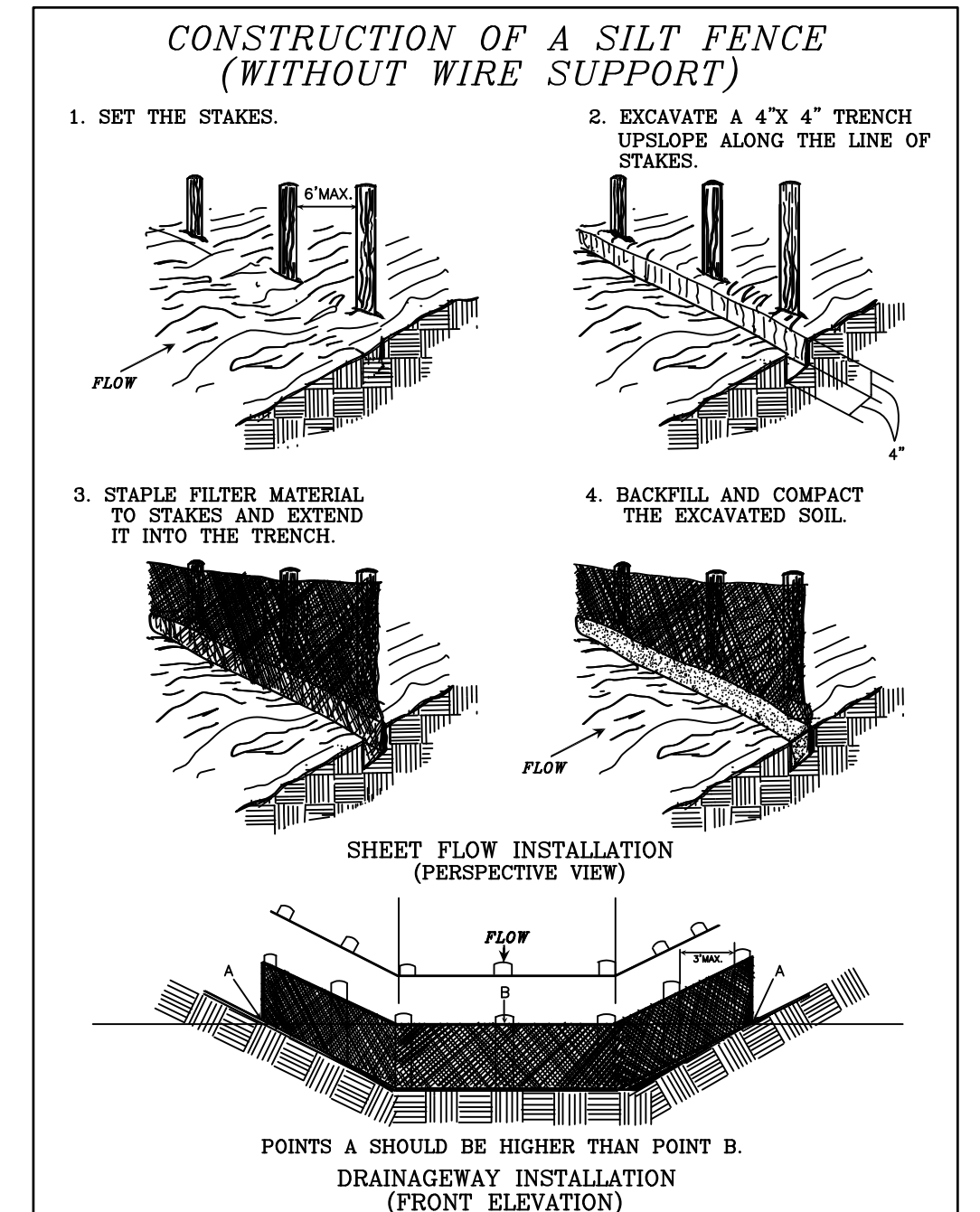
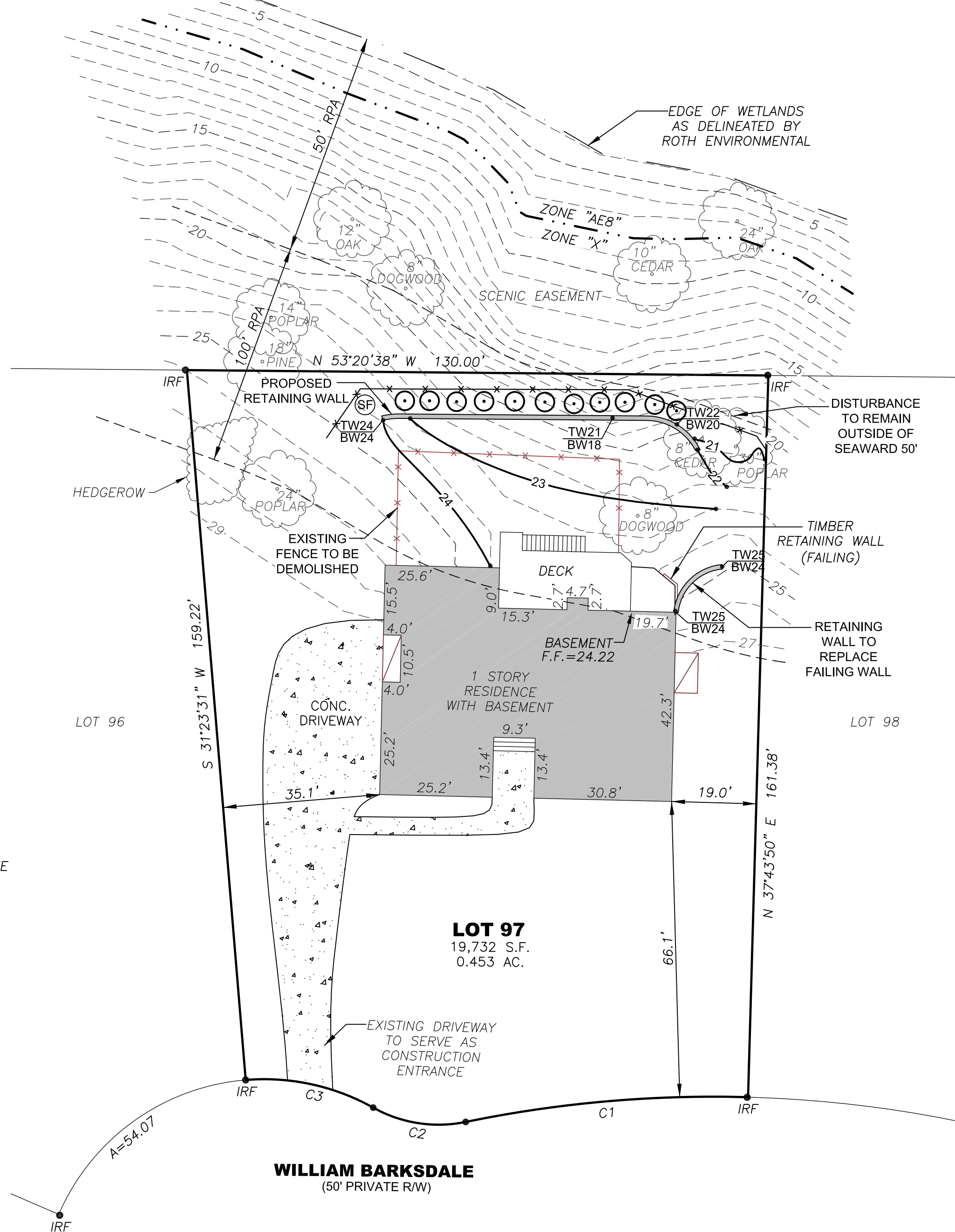
1. SPECIES OF PLANTS AND EXACT PLANTING LOCATION TO BE COORDINATED WITH THE JAMES CITY COUNTY ENGINEERING AND RESOURCE PROTECTION DIVISION.

**SITE INFORMATION**

TOTAL AREA: 19,732 S.F. / 0.453 AC.  
 DISTURBED AREA: 4,729 S.F. / 0.109 AC.  
 PROPOSED IMPERVIOUS: 130 S.F. / 0.003 AC.  
 PARCEL ID: 49403000097  
 ZONING DISTRICT: R4 RESIDENTIAL PLANNED COMMUNITY  
 EXISTING SITE IS PARTIALLY WOODED AS SHOWN

**EXISTING ADDRESS:**

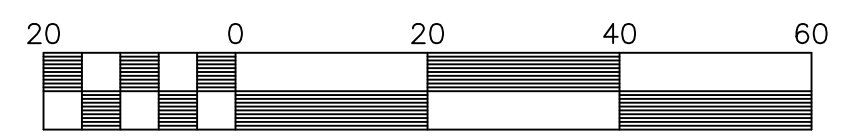
244 WILLIAM BARKSDALE  
 JAMES CITY COUNTY, VIRGINIA



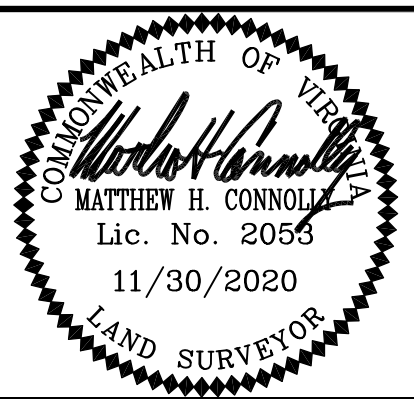
SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2

LEGEND

- ▭ HVAC
- ⊙ FENCE
- IRF= IRON ROD FOUND



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	275.00'	63.51'	63.37'	S 58°53'14" E	13°13'56"
C2	30.00'	21.38'	20.93'	S 45°05'19" E	40°49'46"
C3	50.00'	29.61'	29.18'	S 41°38'21" E	33°55'50"



DATE: 11/24/2020  
 DRAWN BY: AEQ  
 PROJECT No. 20-395  
 FILE NAME: 20-395.DWG  
 REFERENCES:  
 P.B. 41, PG. 91

PLOT PLAN OF  
 LOT 97, PHASE II  
 FAIRFAX WOODS  
 FOR  
 ULTIMATE HARDSCAPES, INC.  
 JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
1	11/30/2020	ADDED MITIGATION PLANTINGS



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING **WEDNESDAY JANUARY 13, 2020 AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

**NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021.  
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES:        PLANNING  
                  ASSISTANT COUNTY ATTORNEY  
                  WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

<b>Capital Projects</b> 107 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Fleet</b> 103 Tewning Road Williamsburg, VA 23188 757-259-4122	<b>Stormwater and Resource Protection</b> 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670	<b>Facilities &amp; Grounds</b> 113 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Solid Waste</b> 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971
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December 23, 2020

RE: CBPA-20-0140  
244 William Barksdale  
Retaining Wall

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Roth of Roth Environmental, LLC. on behalf of Michael and Catherine Hoyt, for encroachment into the Resource Protection Area (RPA) buffer for the construction of a retaining wall. The project is located at 244 William Barksdale and further identified as JCC Parcel No. 4940300097.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Michael D. Woolson*

Michael D. Woolson  
Chesapeake Bay Board Secretary  
757-253-6823  
michael.woolson@jamescitycountyva.gov

cc: Roth Environmental, LLC., Mr. Matthew Roth

MDW: jep

Mailing List for: CBPA-20-0140–244 William Barksdale – Retaining Wall

Owner: 4940300097

Hoyt, Michael J & Catherine J  
244 William Barksdale  
Williamsburg, VA 23185-8208

4930300098

Knight, Harry D & Leland K  
240 William Barksdale  
Williamsburg, VA 23185-8210

4930300096

Magee, Kimberly K  
248 William Barksdale  
Williamsburg, VA 23185-8208

4930300093:

Erickson, Alice M, Trustee & John C,  
Trustee  
241 William Barksdale  
Williamsburg, VA 23185-8210

Contractor:

Roth Environmental, LLC  
Attn: Mr. Matthew Roth  
700 Prescott  
Newport News, VA 23602-7019

4930300094

Brooks, Brian C & Rebecca C  
245 William Barksdale  
Williamsburg, VA 23185-8210

5030100001- 300 Mounts Bay Rd

Escalante Kingsmill Resort, LLC  
2930 Bledsoe Street, Suite 124  
Fort Worth, TX 76107-2942

**ITEM SUMMARY**

DATE: 11/11/2020  
TO: Chesapeake Bay Board  
FROM: Michael Woolson, Senior Watershed Planner  
SUBJECT: Case No. CBPA 20-0100 : 5520 North Mallard Run

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Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

**ATTACHMENTS:**

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Presentation	Presentation
☐	Site Plan	Backup Material
☐	Public Advertisement	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 11:18 AM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 11:23 AM
Publication Management	Daniel, Martha	Approved	1/11/2021 - 12:09 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 12:38 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0010. 5520 North Mallard Run  
Staff Report for the January 13, 2021. Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicant: Mr. Emanuel Greenspon

Agent: Mr. Aaron Williams, Williams Landscape & Design, Inc.

Location: 5520 North Mallard Run

Parcel Identification No.: 3120300039

Parcel: Lot 39, Section 1, Warhill

Lot Size: 0.61 acres

Area of Lot in Resource Protection Area (RPA): 0.57 acres +/- (95%)

Watershed: Powhatan Creek (HUC JL 31)

Floodplain: Zone AE - The special flood hazard area subject to 1% annual chance flood Base elevation approximately 43 feet Mean Sea Level (MSL)

Proposed Activity: Construction of a retaining wall and river rock area

Impervious Cover: 693 square feet (+/-)

RPA Encroachment: 693 square feet (+/-)

Staff Contact: Michael D. Woolson, Senior Watershed Planner Phone: 253-6823

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Aaron Williams, Williams Landscaping & Design, Inc., has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer on behalf of Mr. Emanuel Greenspon for the construction of a retaining wall and a river rock area on property located at 5520 North Mallard Run within the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3120300039. The parcel was platted in 1991 prior to the changes to the Chesapeake Bay Preservation Ordinance in 2004.

The property is characterized by sloping topography affecting half of the yard behind the existing house. The other half of the yard is stable and encompassed by a fence. The property is within the Powhatan Creek floodway with a 100-year flood elevation of approximately 43 feet MSL. Erosion is occurring on the half of the property affected by the sloping topography and it is for this reason that the applicant is proposing to construct a 48-linear-foot retaining wall. The applicant has proposed to fill the area between the house and retaining wall with rock in order to provide further stabilization. Total impacts to the RPA equate to 693 square feet. Required mitigation for this amount of impervious impacts equals two mitigation units (two canopy trees, four understory trees, and six shrubs).



## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a retaining wall and river rock area. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the retaining wall is considered accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff's view of this application is that the request does meet all five of the conditions as presented above and is approvable. Should the Board find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The retaining wall may not be built within the Powhatan Creek floodway; and
3. A mitigation plan equating to the plantings of two canopy trees, four understory trees, and six shrubs be submitted to the James City County Stormwater and Resource Protection Division; and
4. A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office; and
5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

MDW/nb  
CBPA20-10-5520NMallardRn

### Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-20-0100. 5520 NORTH MALLARD RUN

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Emanuel Greenspon (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 13, 2021, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3120300039 and further identified as 5520 North Mallard Run (the “Property”) as set forth in the application CBPA-20-0100 for the purpose of constructing a retaining wall with a river rock area; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. The retaining wall may not be built within the Powhatan Creek floodway; and
  - c. A mitigation plan equating to the plantings of two canopy trees, four understory trees, and six shrubs be submitted to the James City County Stormwater and Resource Protection Division; and

- d. A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

\_\_\_\_\_  
David Gussman  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-10-5520NMallardRn-res



# **Chesapeake Bay Board of James City County, Virginia**

**January 13, 2020**

**CBPA 20-0100**

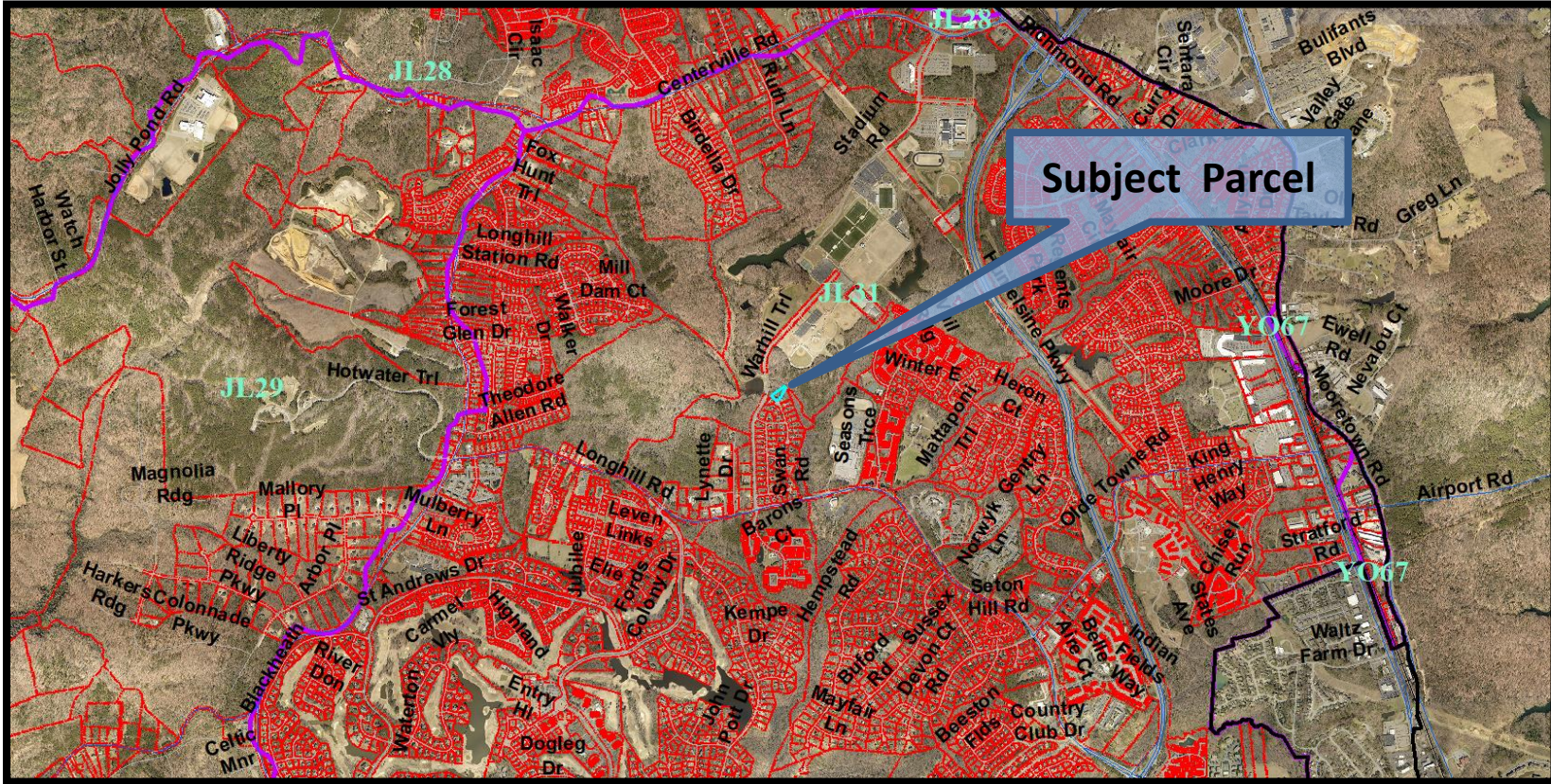
**Emanuel Greenspon**

**5520 North Mallard Run**

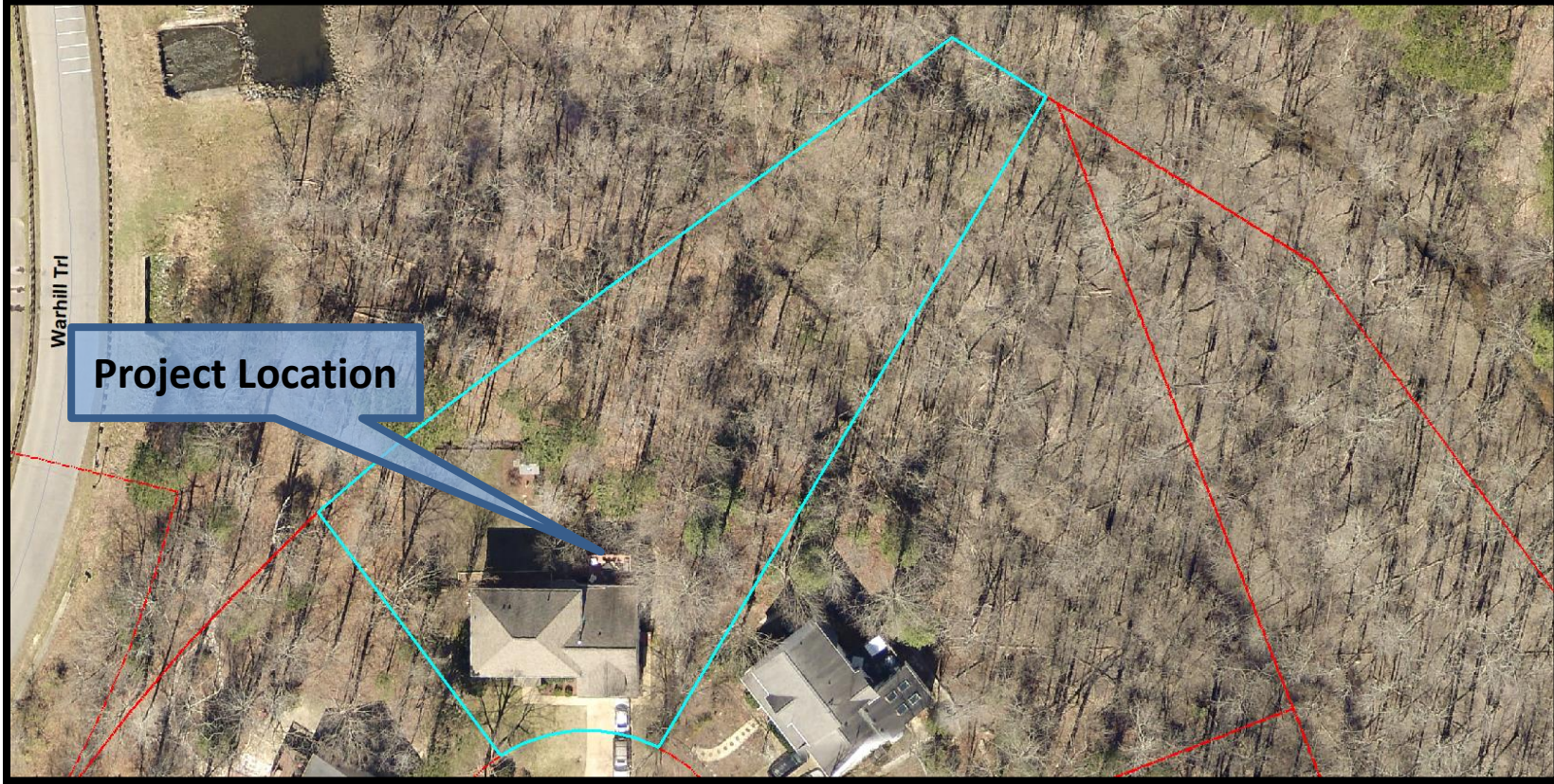


# Applicant Request

- ✓ Construction of a retaining wall and river rock area.



**Vicinity Map**  
**CBPA-20-0100**  
**5520 N Mallard Run**

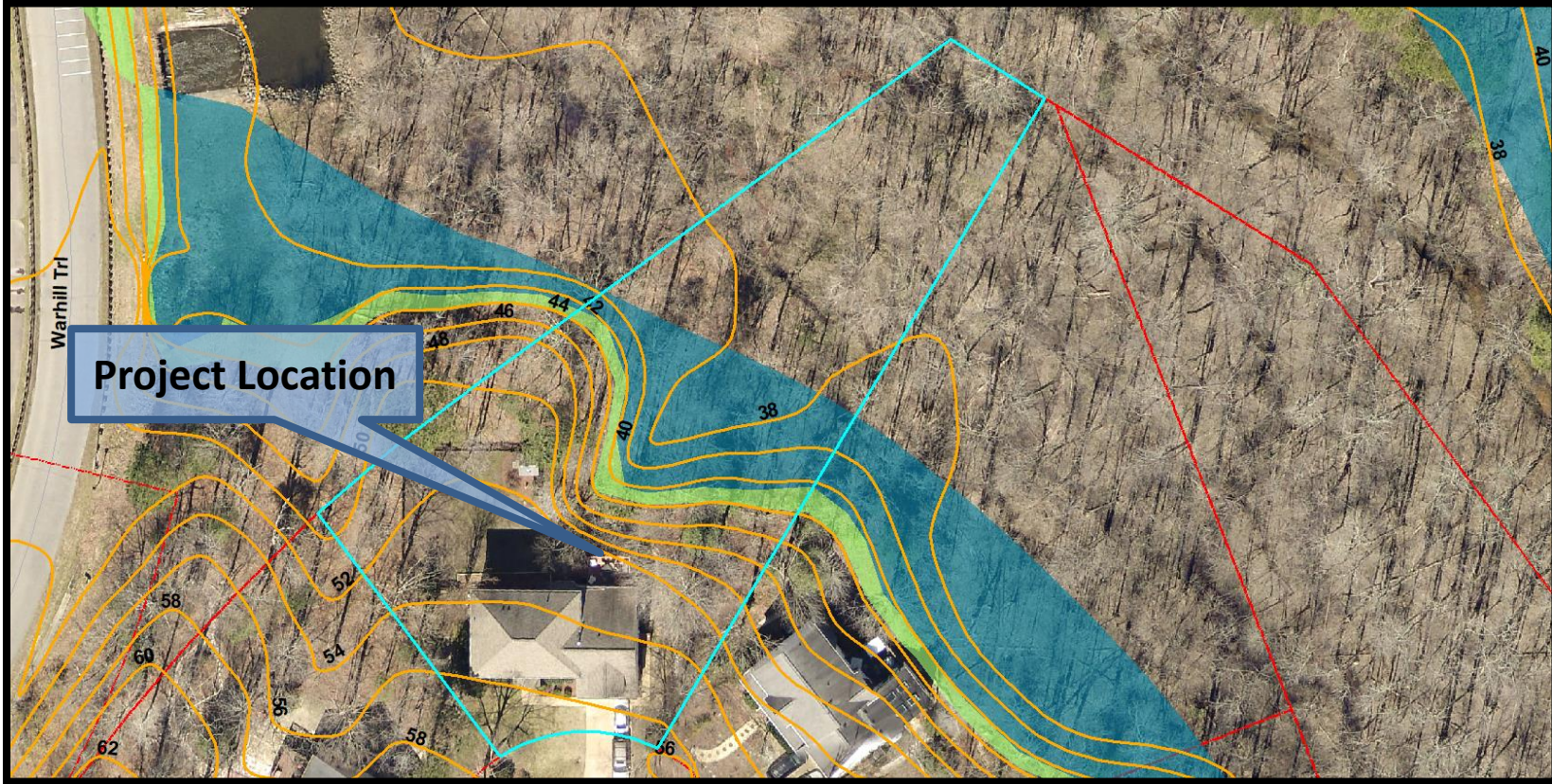


**Aerial Photograph**  
**CBPA-20-0100**  
**5520 N Mallard Run**

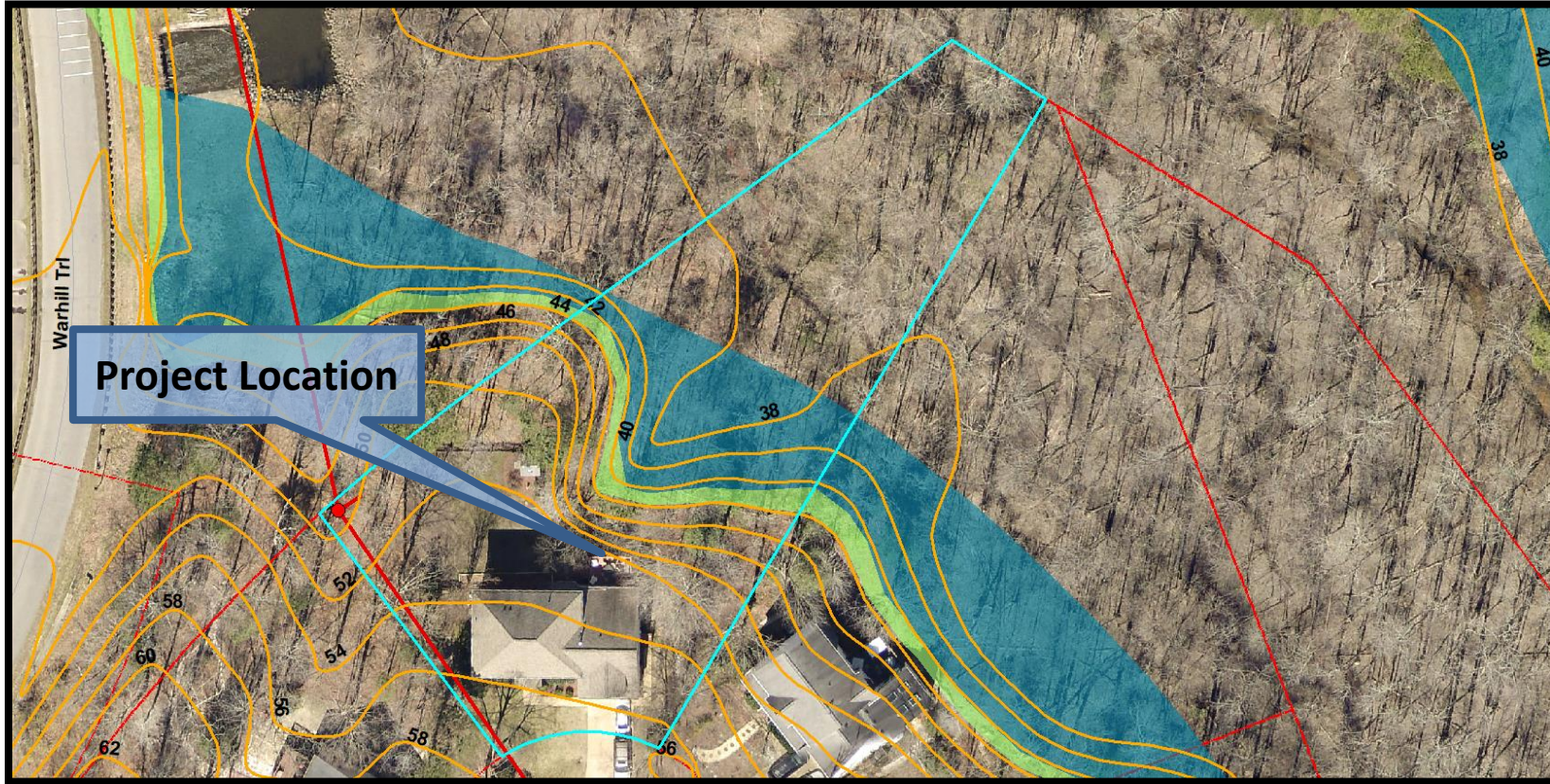


**Topography**  
**CBPA-20-0100**  
**5520 N Mallard Run**

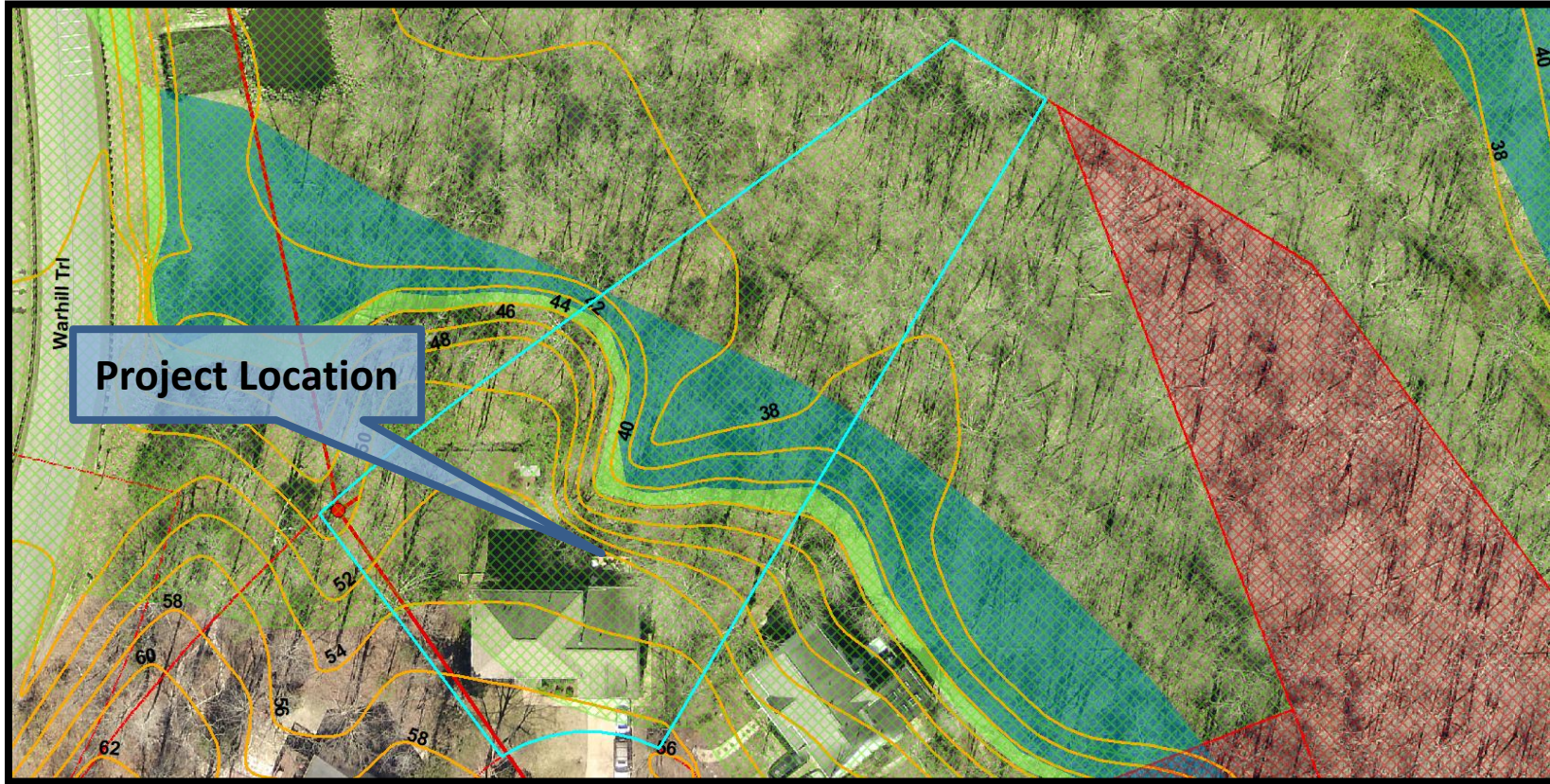




**Floodplain**  
**CBPA-20-0100**  
**5520 N Mallard Run**



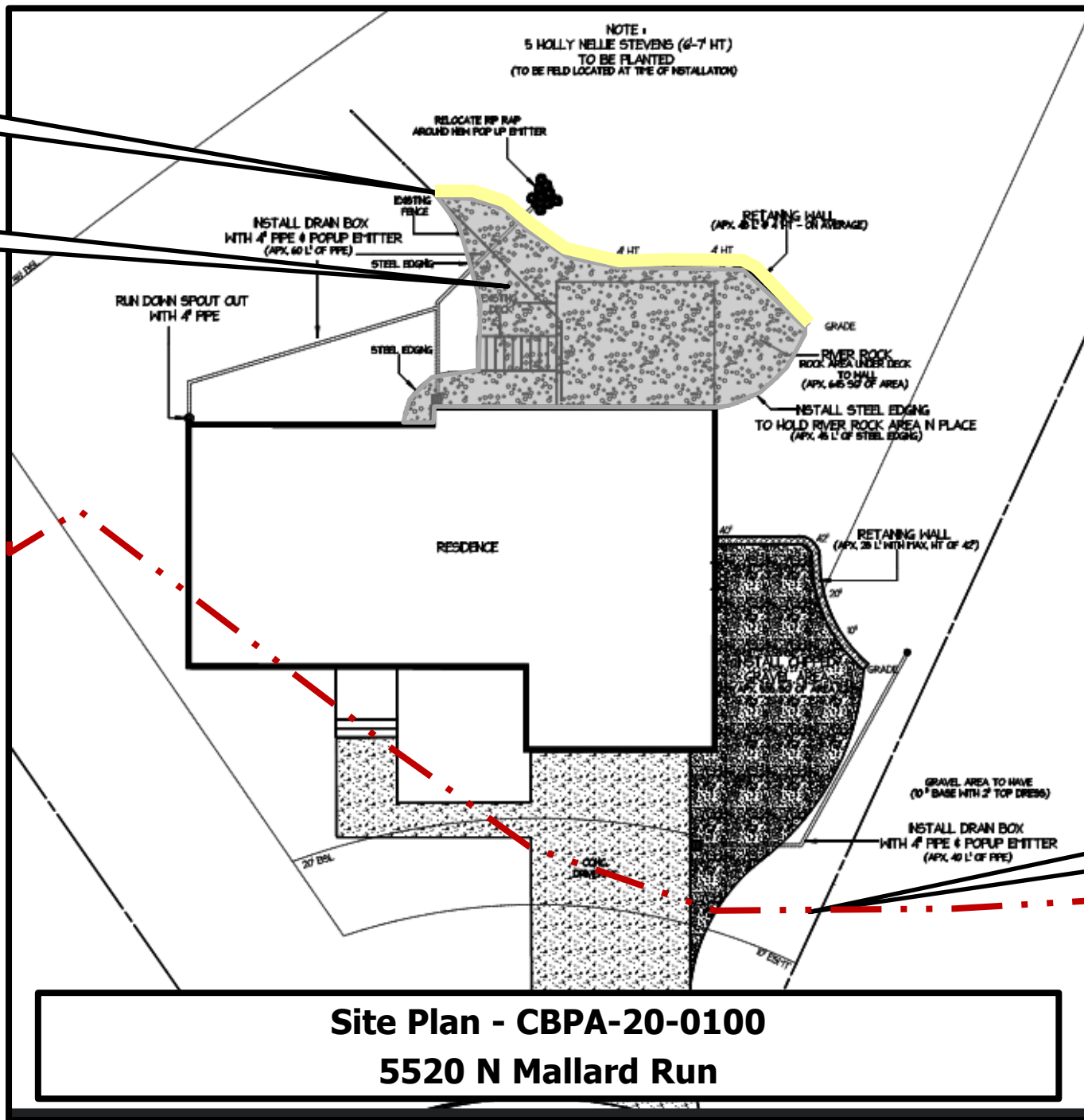
**Sanitary Sewer**  
**CBPA-20-0100**  
**5520 N Mallard Run**



**Resource Protection Area**  
**CBPA-20-0100**  
**5520 N Mallard Run**

Proposed retaining wall

Proposed river rock area



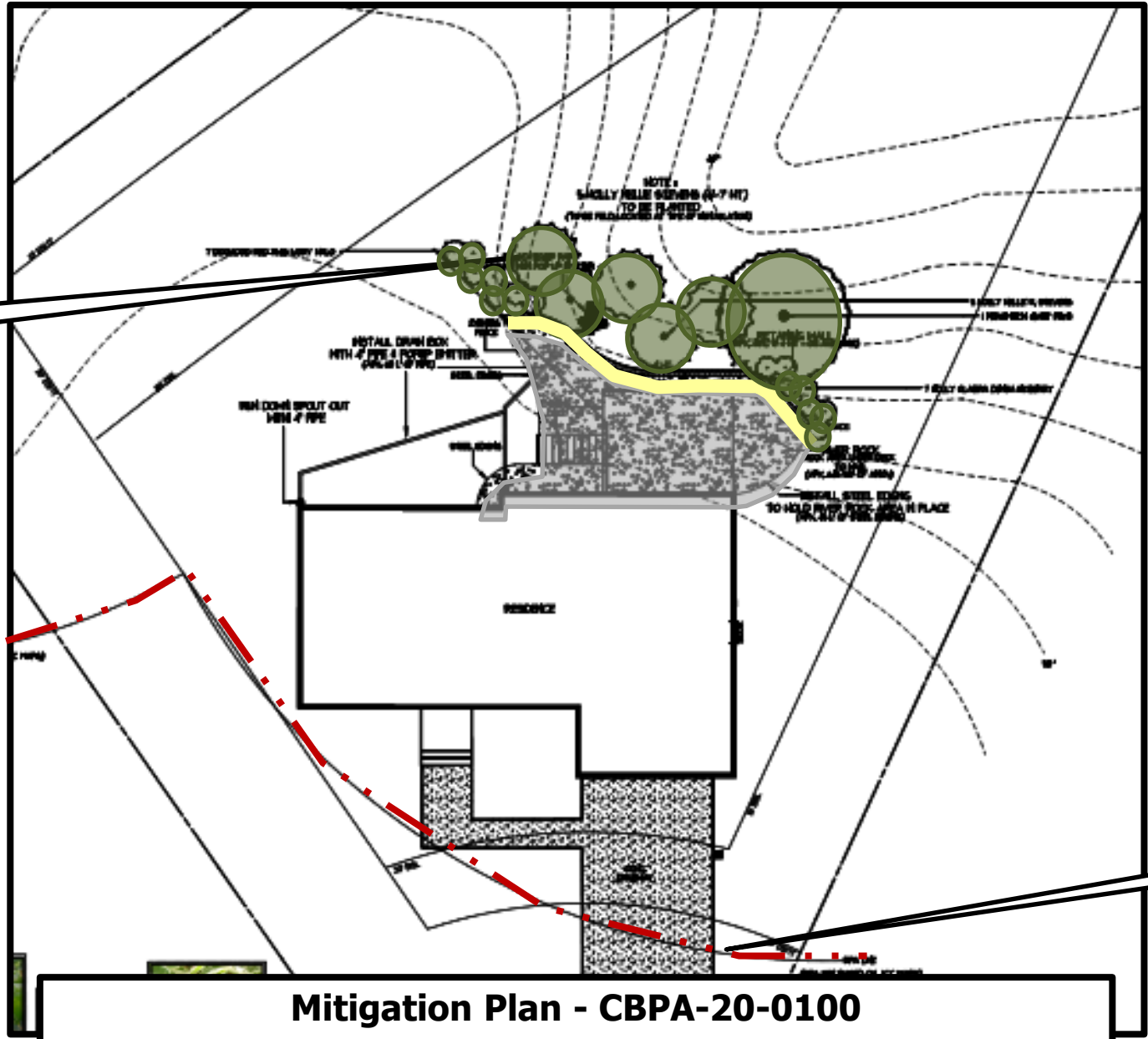
Site Plan showing proposed improvements, submitted November 30, 2020. For representative use only for presentation of case #CBPA-20-0100

100-foot Resource Protection Area

Site Plan - CBPA-20-0100  
5520 N Mallard Run

Site Plan showing proposed improvements, submitted November 30, 2020. For representative use only for presentation of case #CBPA-20-0100

Proposed mitigation

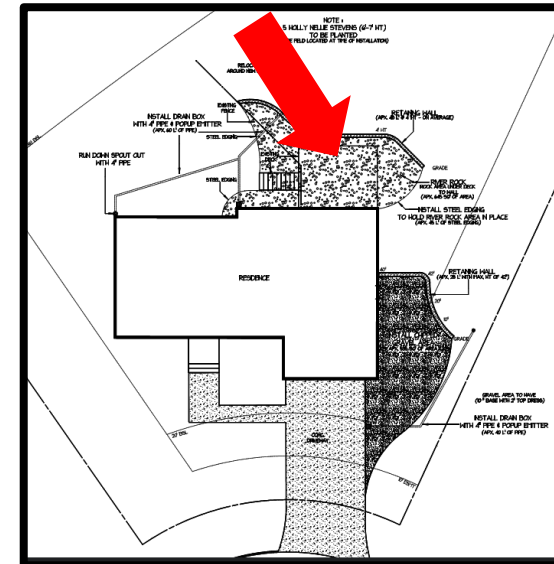


Mitigation Plan - CBPA-20-0100  
5520 N Mallard Run

100-foot Resource Protection Area



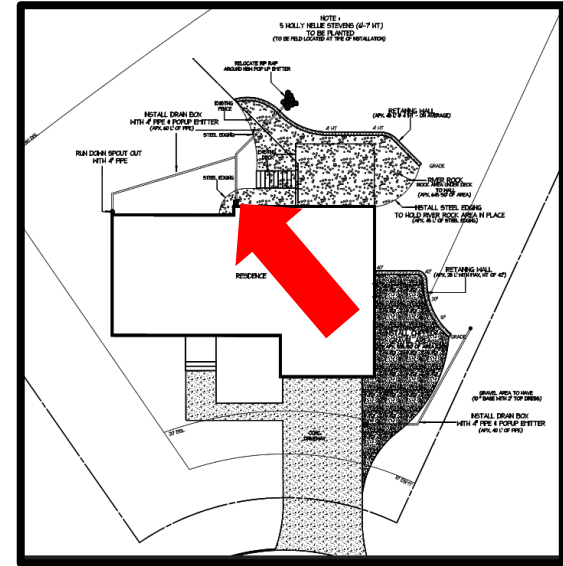








**Site Photograph #4 - CBPA-20-0100**  
**5520 N Mallard Run**



# Permit Conditions



## Staff Recommendation – Approval

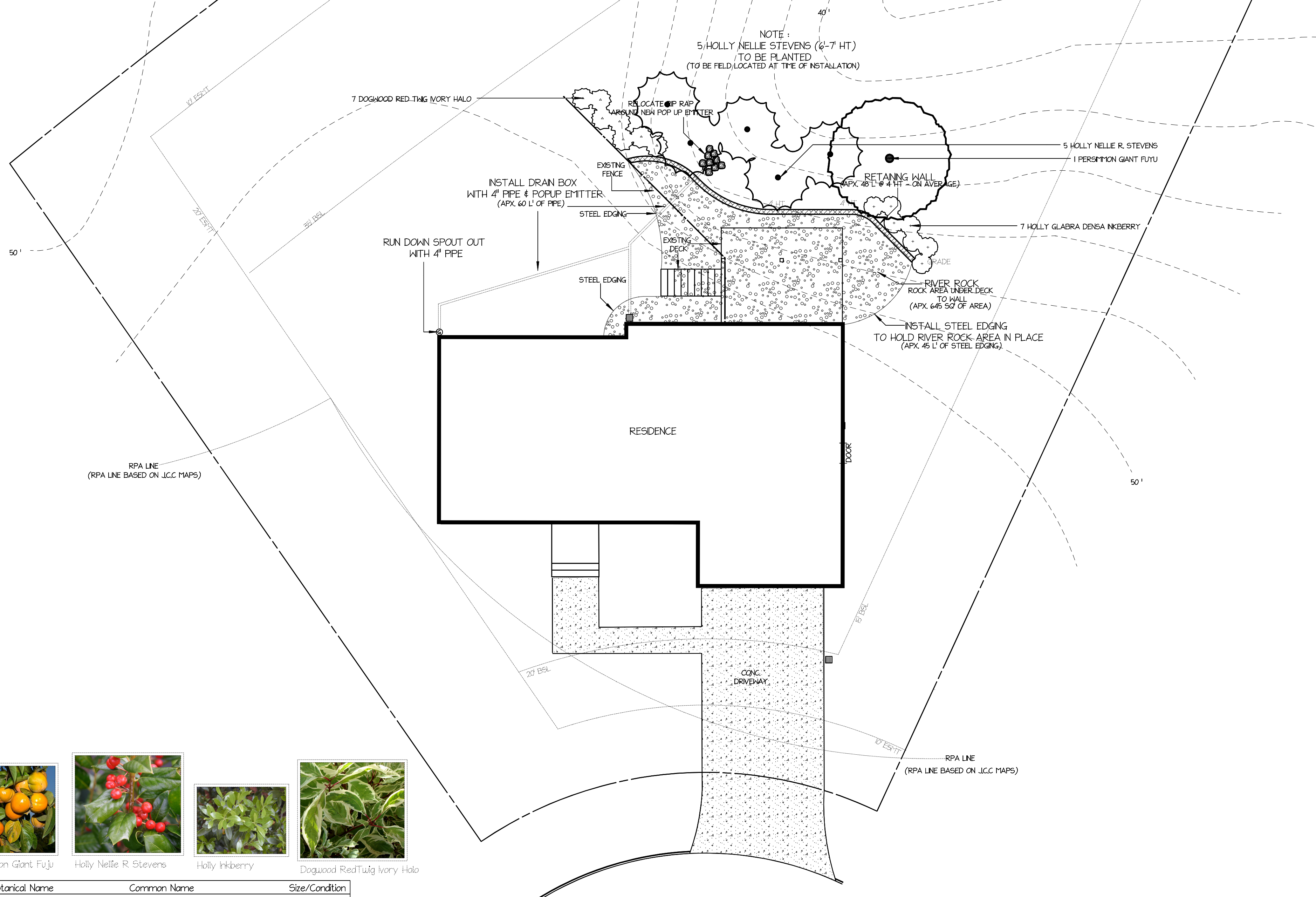
- ✓ All other necessary local, state and federal permits.
- ✓ A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

# Permit Conditions



## Staff Recommendation – Approval

- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.

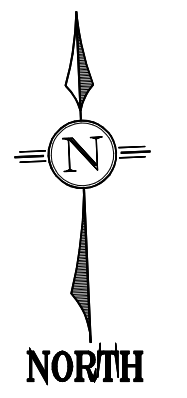


NOTE:  
 5 HOLLY NELLIE STEVENS (6'-7' HT)  
 TO BE PLANTED  
 (TO BE FIELD LOCATED AT TIME OF INSTALLATION)



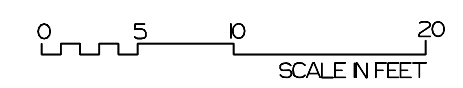
Persimmon Giant Fuji    Holly Nellie R Stevens    Holly Inkberry    Dogwood RedTwig Ivory Halo

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
1	DIOSPYROS KAKI 'GIANT FUJU'	PERSIMMON GIANT FUJU	#7
5	ILEX X 'NELLIE R. STEVENS'	HOLLY NELLIE R. STEVENS	B&B 6'-7'
<b>Shrubs</b>			
7	CORNUS ALBA 'BAHALO'	DOGWOOD RED TWIG IVORY HALO	#3
7	ILEX GLABRA 'DENSA'	HOLLY GLABRA DENSA INKBERRY	#3



**GREENSPON RESIDENCE**

5520 NORTH MALLARD RUN  
 WILLIAMSBURG, VA.  
 SCALE: 1"=10'  
 DATE: 11/19/18  
 DRAWING #: RV/SN: 112420 PRJ # -01 RETAINING WALL  
 LANDSCAPE PLAN:





## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING **WEDNESDAY JANUARY 13, 2020 AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

**NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021.  
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES:        PLANNING  
                  ASSISTANT COUNTY ATTORNEY  
                  WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

<b>Capital Projects</b> 107 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Fleet</b> 103 Tewning Road Williamsburg, VA 23188 757-259-4122	<b>Stormwater and Resource Protection</b> 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670	<b>Facilities &amp; Grounds</b> 113 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Solid Waste</b> 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971
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December 23, 2020

RE: CBPA-20-0100  
5520 North Mallard Run  
Retaining Wall

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Aaron Williams of Williams Landscaping and Design, Inc. on behalf of Emanuel Greenspon for encroachment into the Resource Protection Area (RPA) buffer for the construction of two retaining walls and gravel pads. The project is located at 5520 North Mallard Run and further identified as JCC Parcel No. 3120300039.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Michael D. Woolson*

Michael D. Woolson  
Chesapeake Bay Board Secretary  
757-253-6823  
michael.woolson@jamescitycountyva.gov

cc: Williams Landscaping & Design, Inc.  
Mr. Aaron Williams

MDW: jep

Mailing List for: CBPA-20-0100–5520 North Mallard Run – Two Retaining Walls and Gravel Pads

Owner: 3120300039

Greenspon, Emanuel  
5520 North Mallard Run  
Williamsburg, VA 23188-9415

3120300038

Carpenter, Gregory A & Joyce E  
5516 North Mallard Run  
Williamsburg, VA 23188-9415

3120300040

Bell, David L & Janet O  
5517 North Mallard Run  
Williamsburg, VA 23188-9415

3120300041:

Selby, Kenneth H  
5513 N Mallard Run  
Williamsburg, VA 23188-9415

Contractor:

Williamsburg Landscape & Design, Inc.  
Attn: Mr. Aaron Williams  
1554 Penniman Road  
Williamsburg, VA 23185-5821

3120300042-5509 North Mallard Run

Carbajal, Todd  
PSC 851 Box 50  
FPO, AE 098340001

3210100012-4900 Stadium Road

James City County  
Attn: Mr. Scott Stevens  
P.O. Box 8784  
Williamsburg, VA 23187-8784



**ITEM SUMMARY**

DATE: 1/13/2021

TO: Chesapeake Bay Board

FROM: Michael Woolson, Senior Watershed Planner

SUBJECT: Case No. CBPA 20-0139 : 289 Mill Stream Way

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Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

**ATTACHMENTS:**

	Description	Type
☐	staff report	Cover Memo
☐	resolution	Cover Memo
☐	Presentation	Presentation
☐	Site Plan	Backup Material
☐	Site Plan, November 2020	Backup Material
☐	Public Advertisement	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:21 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:26 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:32 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0139. 289 Mill Stream Way  
Staff Report for the January 13, 2020, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

---

**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. Kevin and Mrs. Tami Potter

Agent: Mr. Aaron Williams, Williams Landscaping & Design, Inc.

Location: 289 Mill Stream Way

Parcel Identification No.: 4711800040

Parcel: Lot 40, Section 5, Settlers Mill

Lot Size: 0.40 acres

Area of Lot in Resource Protection Area (RPA): 0.33 acres +/- (83%)

Watershed: Mill Creek (HUC JL 33)

Floodplain: None affecting this property

Proposed Activity: Construction of a patio, two retaining walls, deck, and steps with paver landings

Impervious Cover: 492 square feet (+/-)

RPA Encroachment: 492 square feet (+/-)

Staff Contact: Michael D. Woolson, Senior Watershed Planner Phone: 253-6823

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Aaron Williams, Williams Landscaping & Design, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. Kevin and Mrs. Tami Potter for encroachments into the RPA buffer for the construction of a patio, two retaining walls, deck, and steps with paver landings on property located at 289 Mill Stream Way within the Mill Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4711800040. The parcel was platted in 1995, prior to the 2004 changes in the Ordinance.

The total lot size of this property is 0.40 acres, of which 83% is located within the RPA. In June of 2020, the applicants obtained an administrative exception to convert a deck into a house addition. A separate application was later submitted for the construction of a patio, three retaining walls, deck, and steps with landings. This application was deferred at the October 14, 2020 meeting, so that some adjustments could be made to the plan. The application was then denied at the November 11, 2020 meeting. The applicant has now amended the site plan to reduce impervious impacts to the RPA. This proposal includes the construction of a patio, two retaining walls, deck, and steps with paver landings equal approximately 492 square feet of impervious surface. The site plan denied in November, 2020, equaled approximately 830 square feet of impacts to the RPA. Since then, the applicants have removed the serpentine wall encompassing the back of the property and have reduced the patio area significantly, cutting the total

impacts in half. Required mitigation for this amount of impact to the RPA equals one planting unit (one canopy tree, two understory trees, and three shrubs). Proposed plantings within the RPA equal five canopy trees, 22 understory trees and 140 shrubs, which are more than five times the required plantings.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the proposed construction of a patio, two retaining walls, deck, and steps with paver landings. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the walls, deck, and patios are considered accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff's view of this application is that it meets all five of the conditions as presented above. Should the Board find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project, this includes an Erosion and Sediment Control plan, a land disturbing permit, and a building permit; and
2. The Turf Love program be implemented for the property; and
3. The permeable paver walkways and landings shall be built to the Department of Environmental Quality Stormwater Design Specification No. 7, Permeable Pavement, current version, and shall encompass at least 250 square feet of surface area; and
4. A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office to guarantee the required mitigation plantings; and
5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and

6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

MDW/nb  
CBPA20-139-289MillsWay

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-20-0139. 289 MILL STREAM WAY

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Kevin and Mrs. Tami Potter (the “Applicants”) have applied to the Chesapeake Bay Board of James City County (the “Board”) on January 13, 2021, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4711800040 and further identified as 289 Mill Stream Way (the “Property”) as set forth in the application CBPA-20-0139 for the purpose of constructing a patio, two retaining walls, deck, and steps with paver landings; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. The Turf Love program be implemented for the property; and
  - c. The permeable paver walkways and landings shall be built to the Department of Environmental Quality Stormwater Design Specification No. 7, Permeable

Pavement, current version, and shall encompass at least 250 square feet of surface area; and

- d. A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office to guarantee the required mitigation plantings; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

\_\_\_\_\_  
David Gussman  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-139-289MillsWay-re



# **Chesapeake Bay Board of James City County, Virginia**

**January 13, 2021**

**CBPA 20-0139**

**Kevin and Tami Potter**

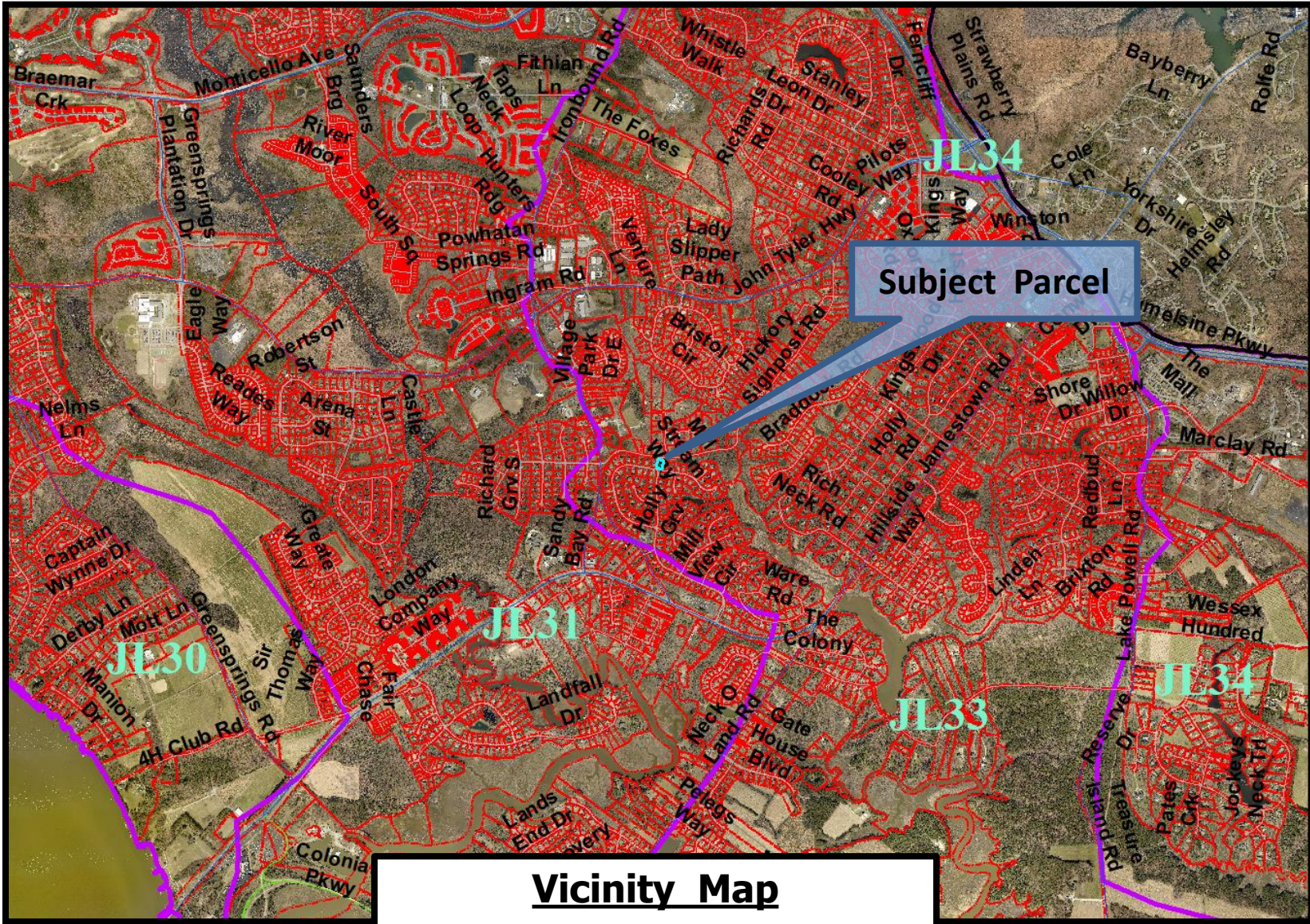
**289 Mill Stream Way**



# Applicant Request

- ✓ Construction of a patio, two retaining walls, and steps with landings.



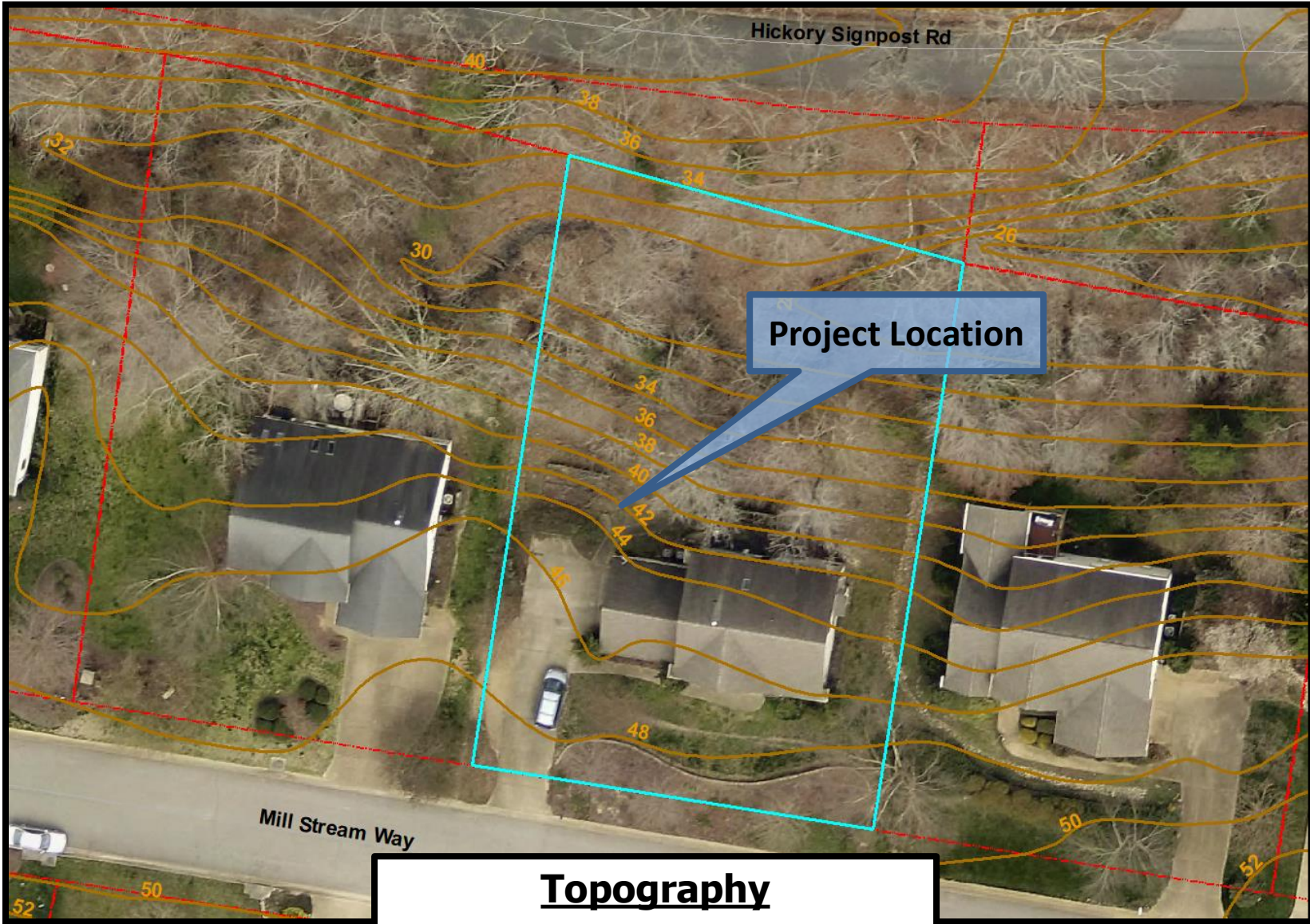


Subject Parcel

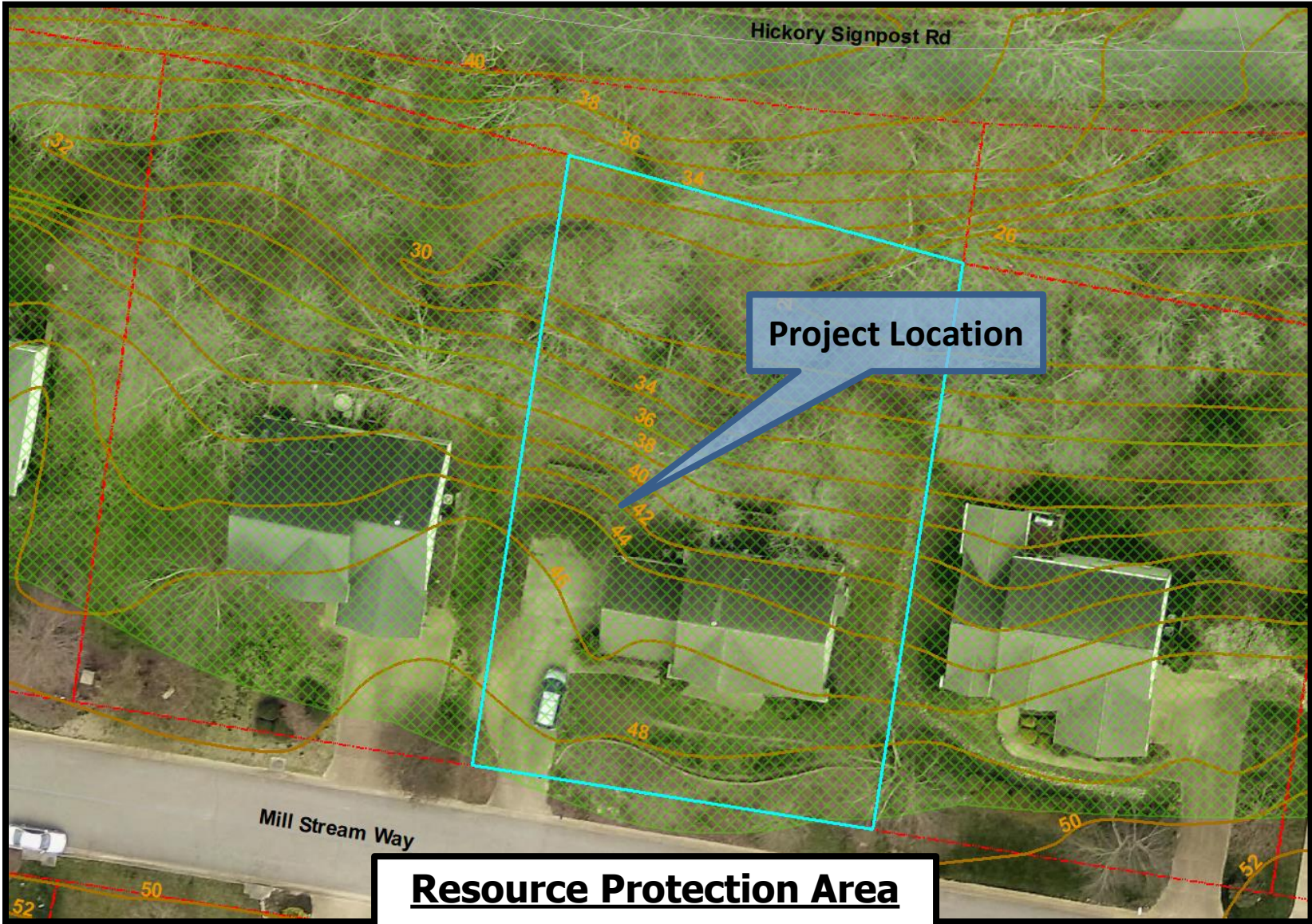
**Vicinity Map**  
**CBPA-20-0139**  
**289 Mill Stream Way**



**Aerial Photograph**  
**CBPA-20-0139**  
**289 Mill Stream Way**



**Topography**  
**CBPA-20-0139**  
**289 Mill Stream Way**



**Resource Protection Area**  
**CBPA-20-0139**  
**289 Mill Stream Way**

Approximate center of stream

Conservation Easement

Approximate edge of wetlands

Proposed Landings

Permeable Pavers

Impervious Surfaces

Patio

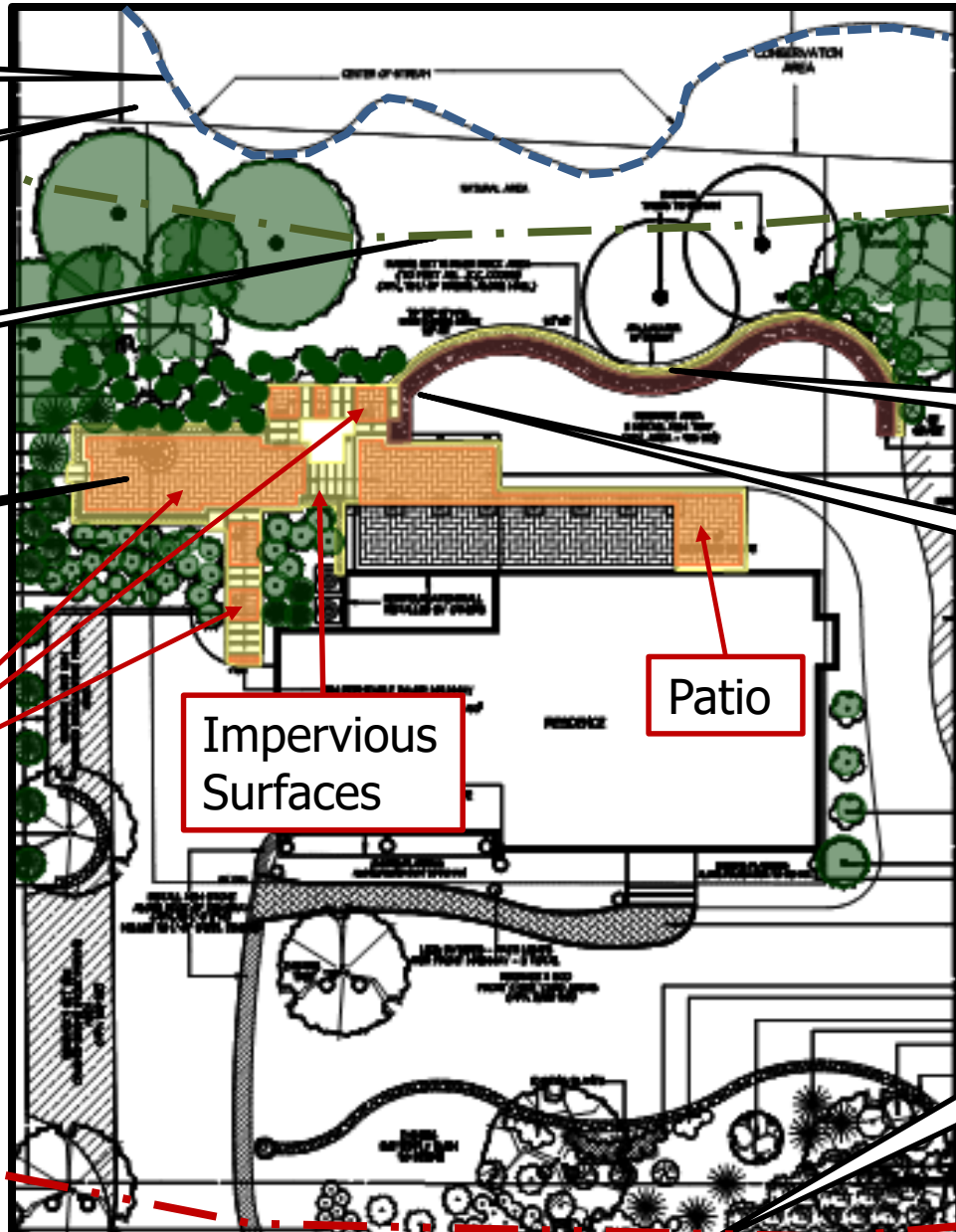
Site Plan showing proposed improvements, submitted October 22, 2020. For representative use only for presentation of case #CBPA-20-0096

Proposed retaining walls

Proposed infiltration

100-foot Resource Protection Area

November 12, 2020 Site Plan - CBPA-20-0096  
289 Mill Stream Way



Site Plan showing proposed improvements, submitted December 2, 2020. For representative use only for presentation of case #CBPA-20-0139

Approximate center of stream

Conservation Easement

Approximate edge of wetlands

Proposed Landings

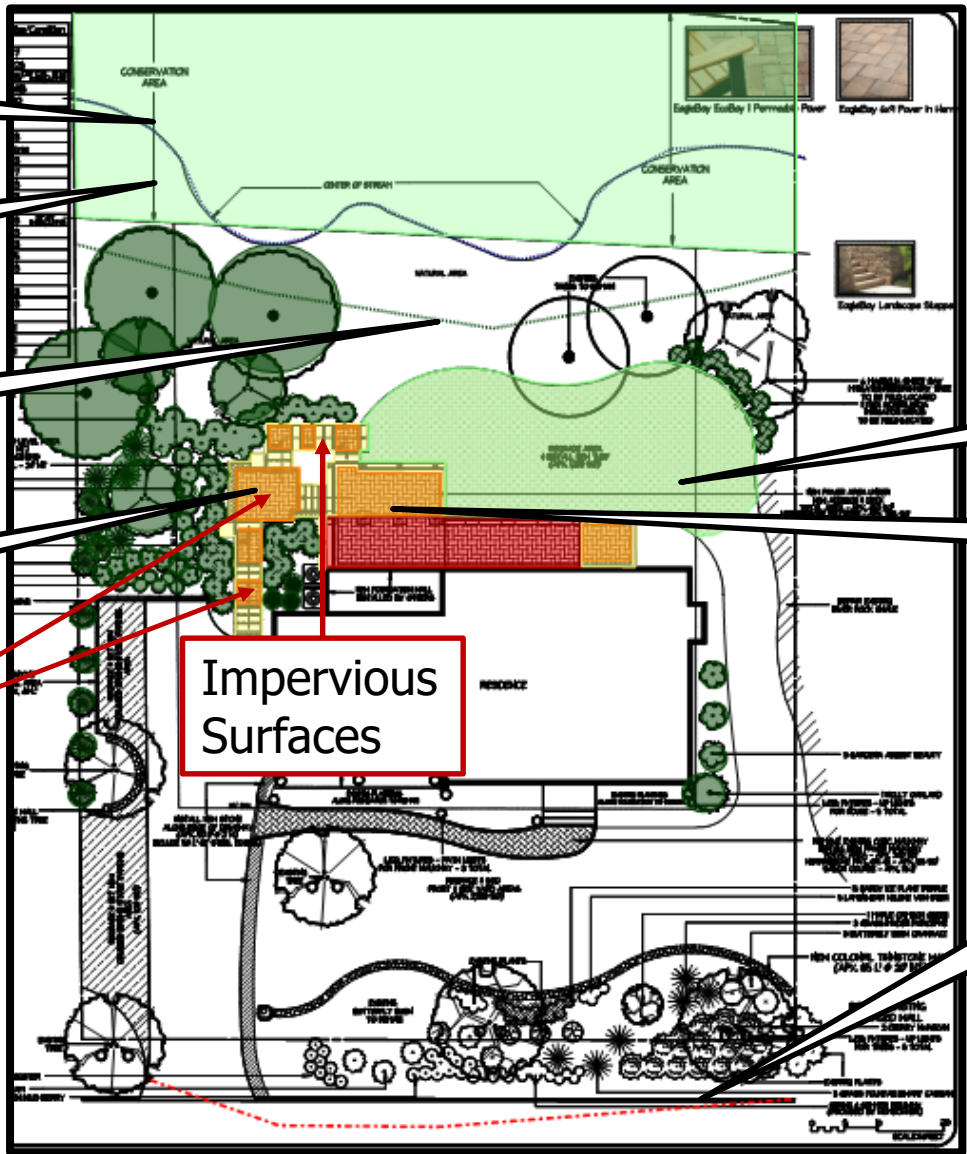
Permeable Pavers

Impervious Surfaces

Proposed grading

Proposed deck

100-foot Resource Protection Area

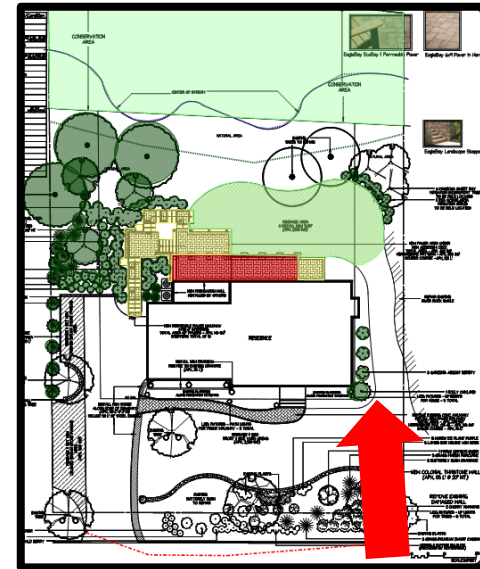


January 13, 2021 Site Plan - CBPA-20-0139  
289 Mill Stream Way

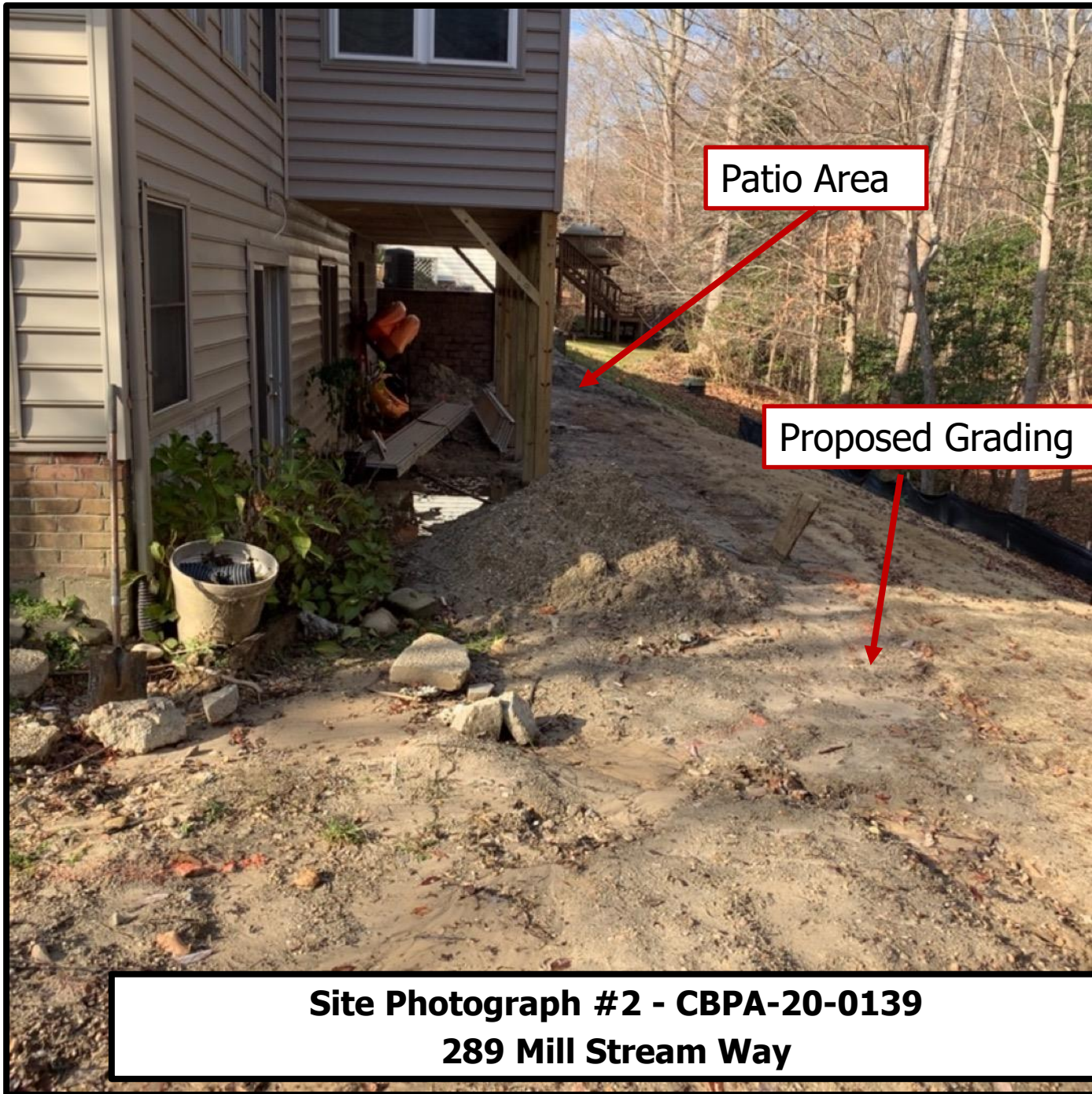




**Site Photograph #1 - CBPA-20-0139**  
**289 Mill Stream Way**



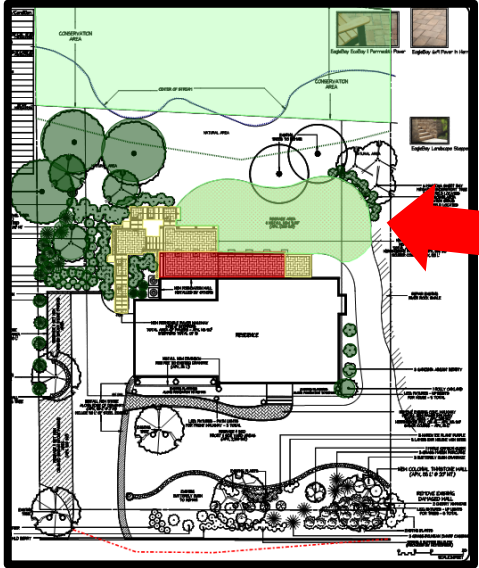


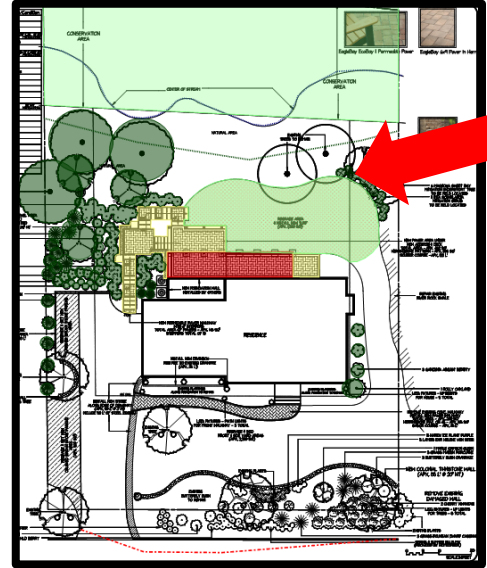


Patio Area

Proposed Grading

**Site Photograph #2 - CBPA-20-0139**  
**289 Mill Stream Way**





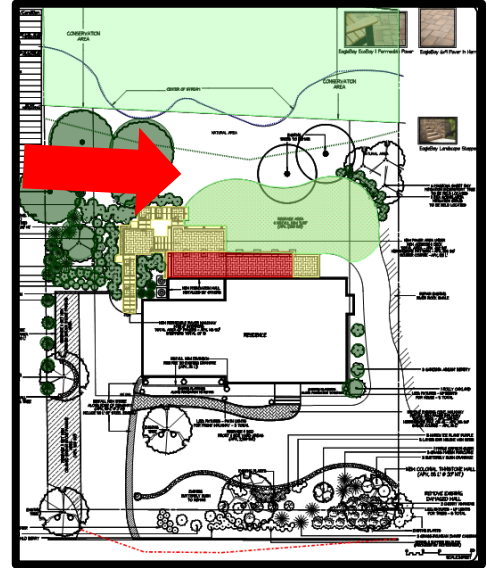
Proposed Grading

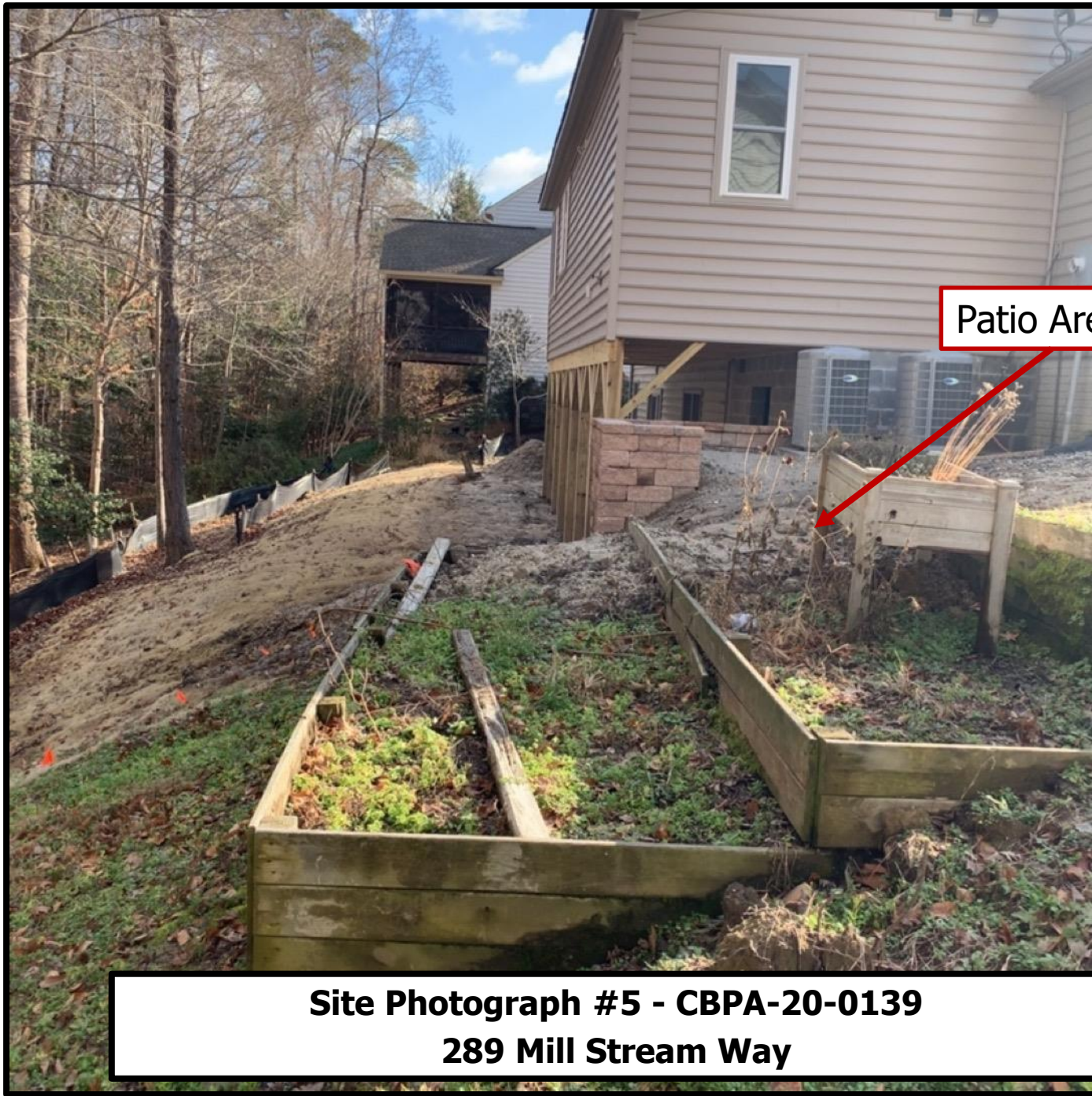
**Site Photograph #3 - CBPA-20-0139**  
**289 Mill Stream Way**



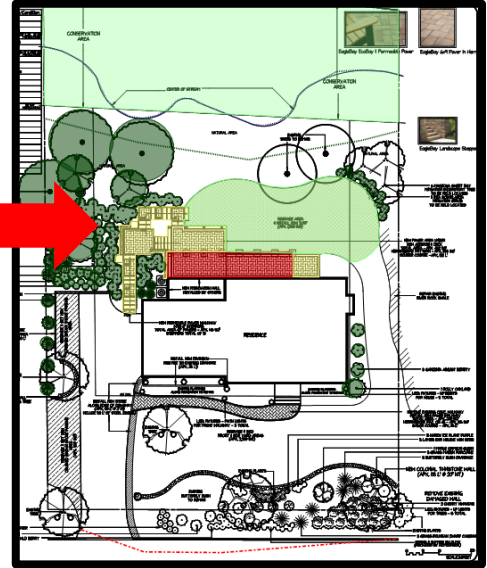
Proposed Grading

**Site Photograph #4 - CBPA-20-0139  
289 Mill Stream Way**





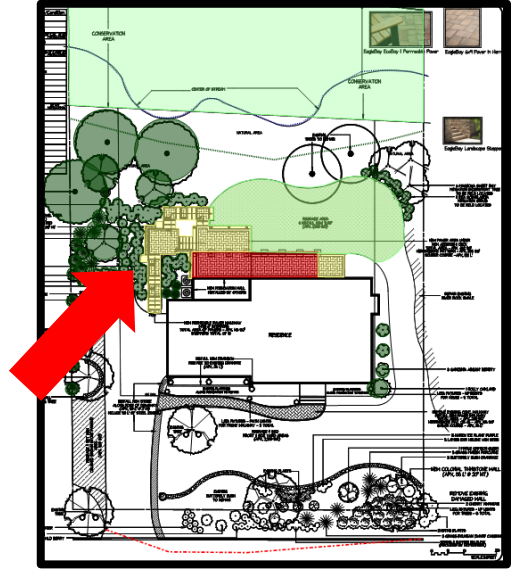
Patio Area



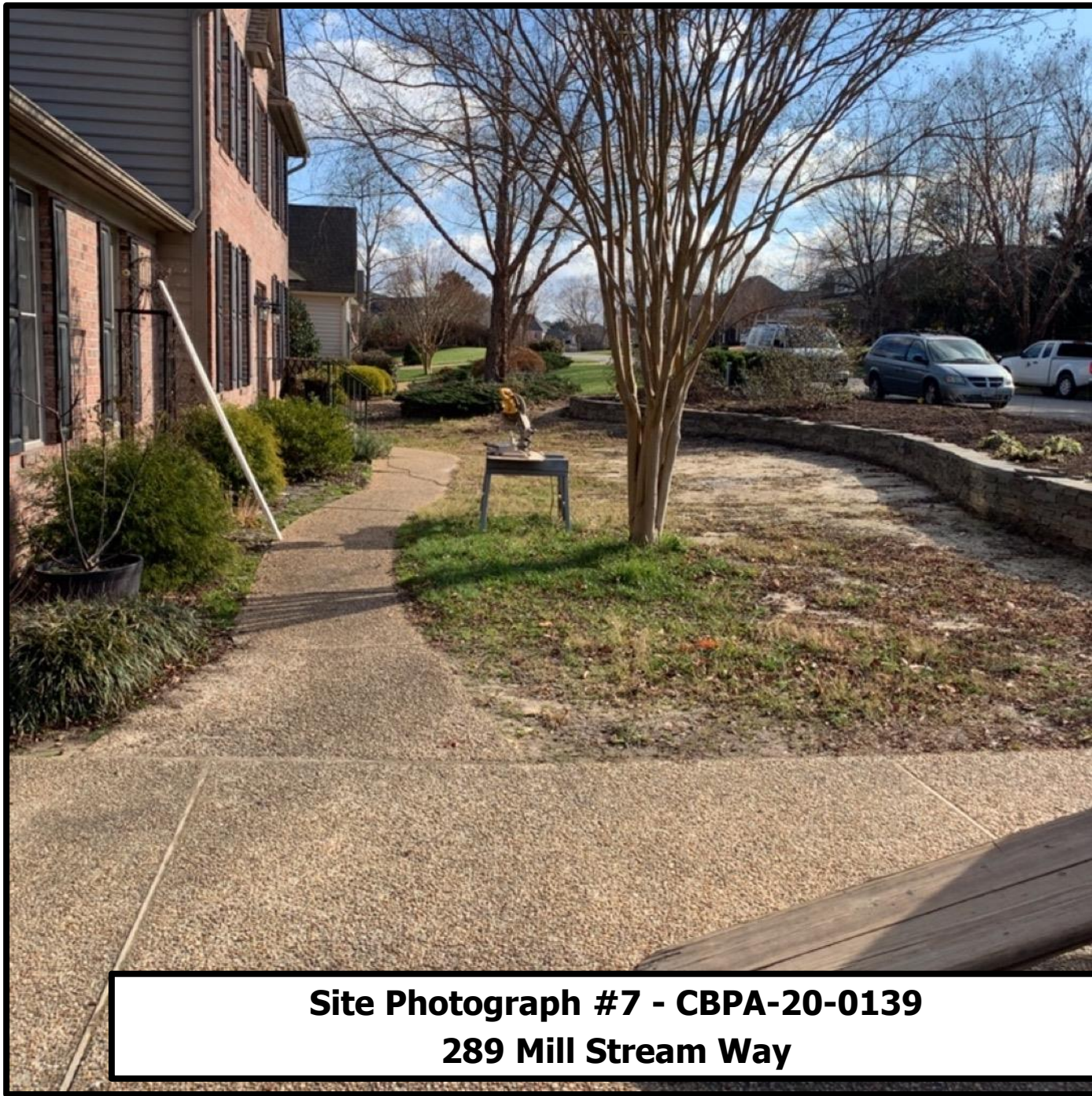
**Site Photograph #5 - CBPA-20-0139**  
**289 Mill Stream Way**



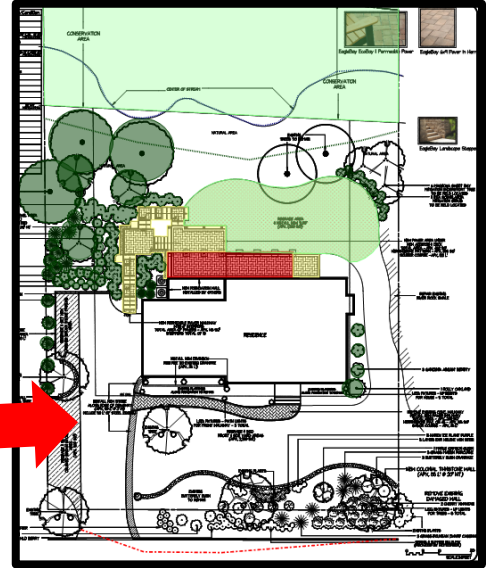
Patio Area



**Site Photograph #6 - CBPA-20-0139**  
**289 Mill Stream Way**

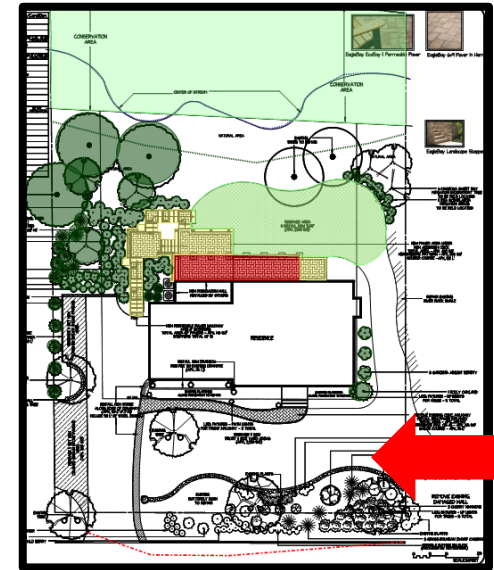


**Site Photograph #7 - CBPA-20-0139**  
**289 Mill Stream Way**



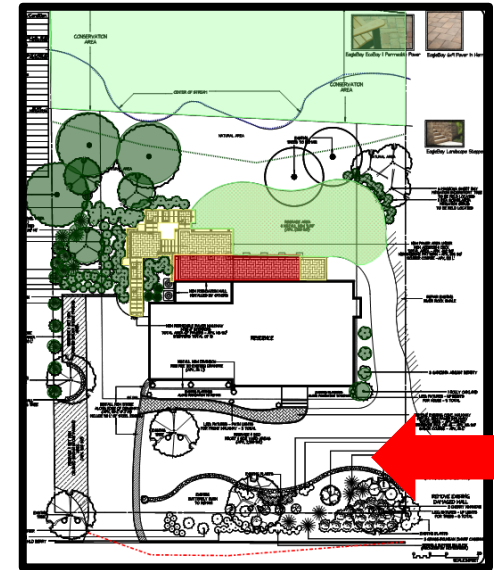


**Site Photograph #8 - CBPA-20-0139**  
**289 Mill Stream Way**





**Site Photograph #9 - CBPA-20-0139**  
**289 Mill Stream Way**





# Permit Conditions



## Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- ✓ Turf Love enrollment.
- ✓ A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

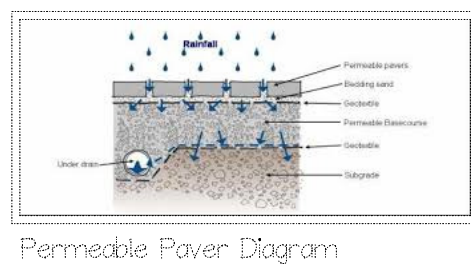
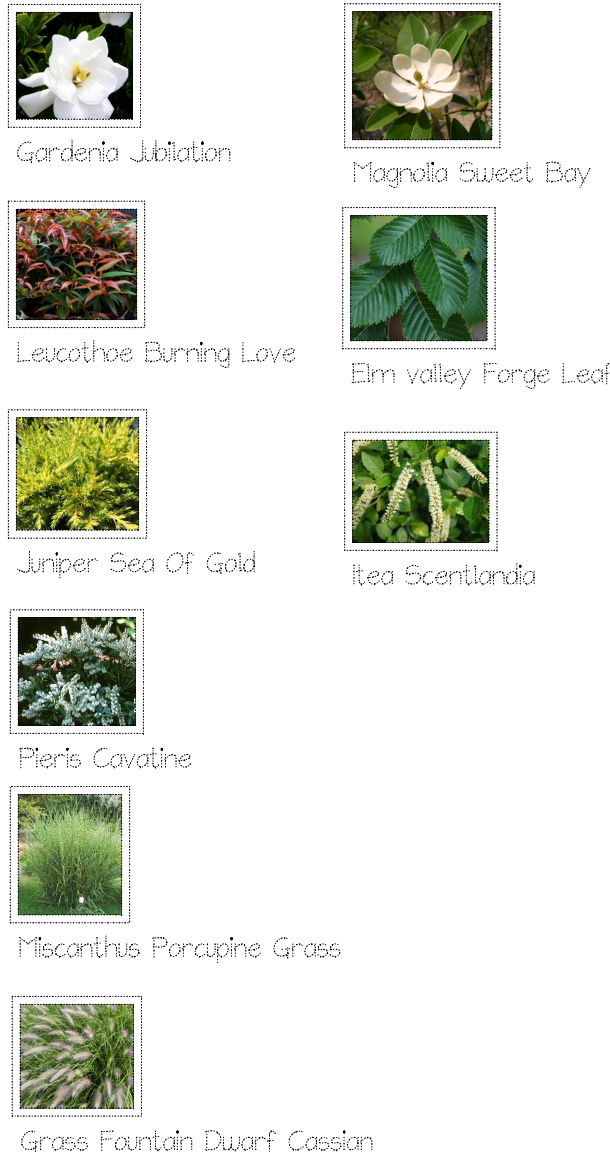
# Permit Conditions



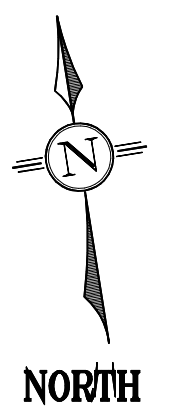
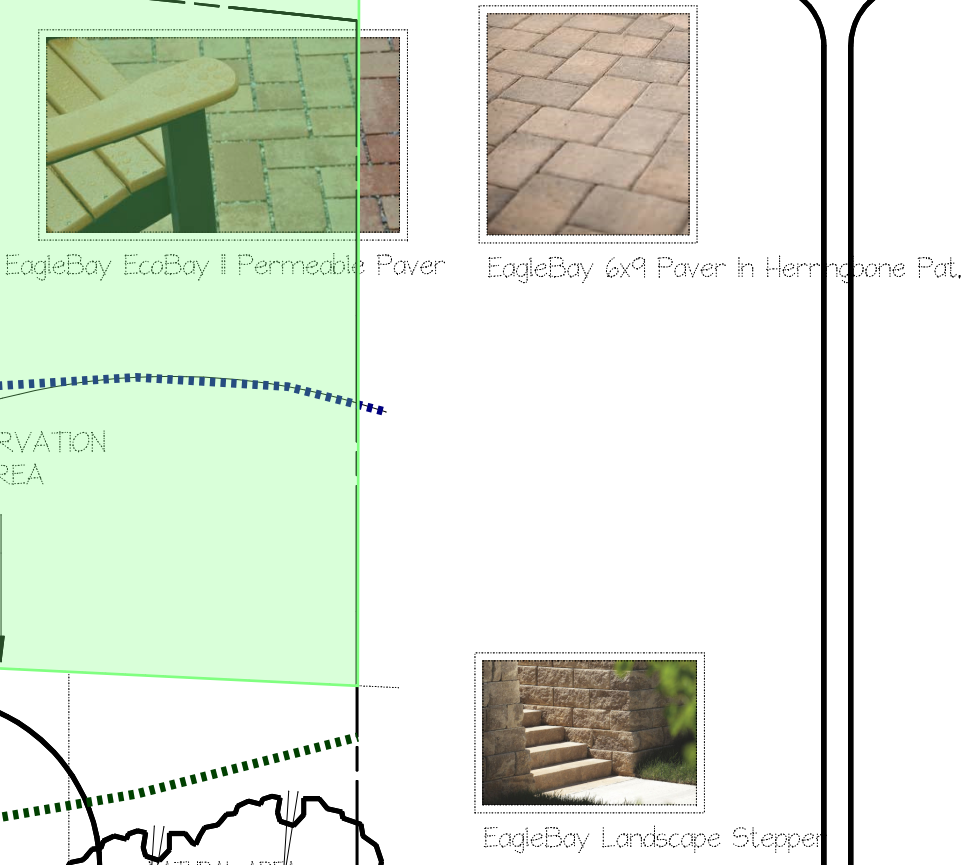
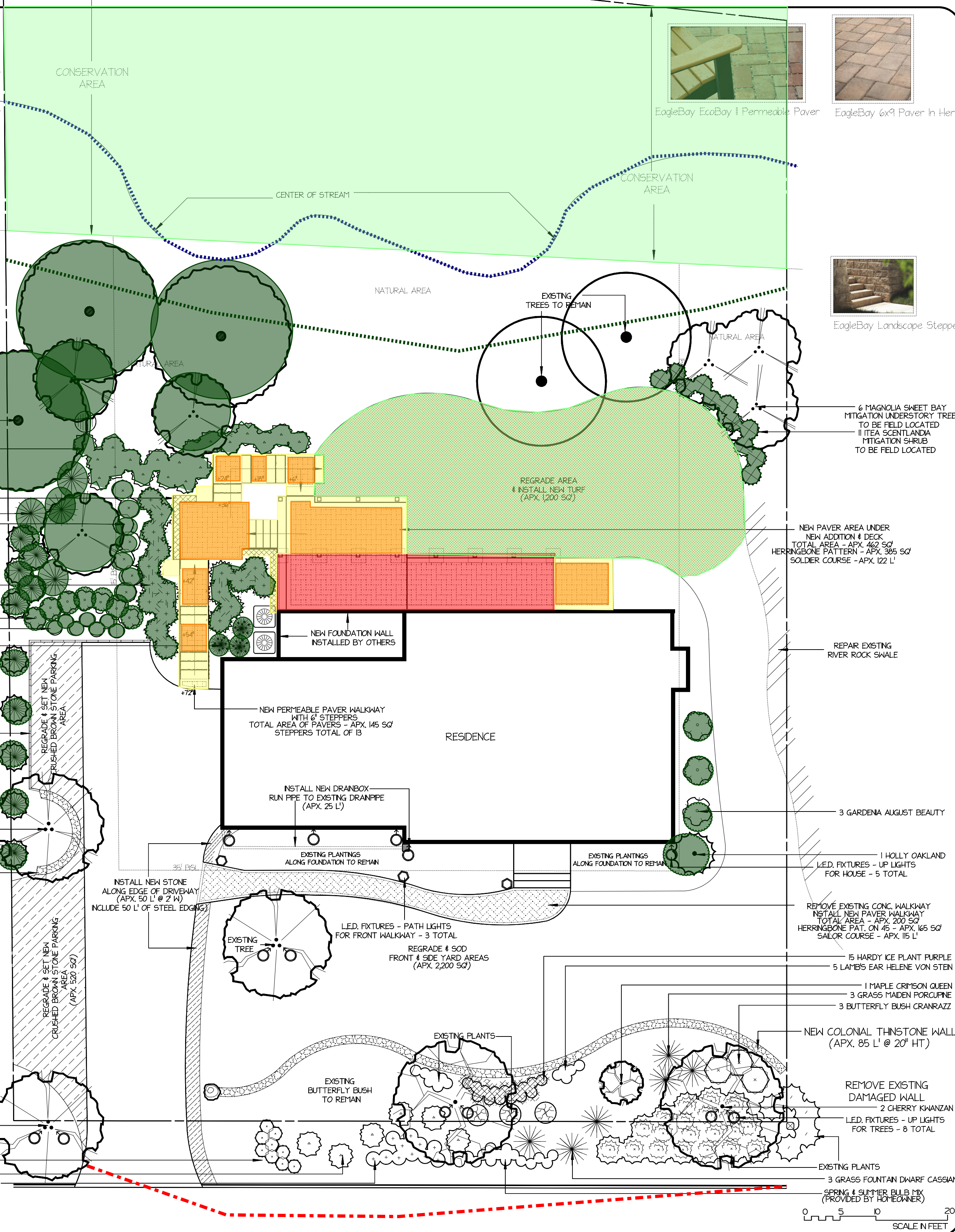
## Staff Recommendation – Approval

- ✓ The permeable paver walkways and landings shall be built to DEQ Stormwater Design Specification No. 7 and shall encompass at least 250 square feet of surface area.
- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
2	ACER PALMATUM DISSECTUM 'CRIMSON QUEEN'	MAPLE CRIMSON QUEEN	#7
2	ILEX X MAGLANT'	HOLLY OAKLAND	#25
6	MAGNOLIA VIRGINIANA	MAGNOLIA SWEET BAY	#15 12" CAL. @ 8' HT MITIGATION
4	PRUNUS SERRULATA 'KWANZAN'	CHERRY KWANZAN	B#B
20	THUJA OCCIDENTALIS 'SMARAGD'	ARBORVITAE EMERALD	#10
3	ULMUS AMERICANA 'VALLEY FORGE'	ELM AMERICAN VALLEY FORGE	#25 15" Z CAL @ 10' HT MITIGATION
<b>Shrubs</b>			
22	ABELIA X GRANDIFLORA 'ROSE CREEK'	ABELIA ROSE CREEK	#3
18	BUDDLEIA PUGSTER PINK	BUTTERFLY BUSH PUGSTER	None
6	BUDDLEIA X BOSCRANZ	BUTTERFLY BUSH CRANRAZZ	#3
3	CAMELLIA X WINTER'S SNOWMAN	CAM. X WINTER'S SNOWMAN- WHITE	#7
6	GARDENIA JASMINOIDES 'AUGUST BEAUTY'	GARDENIA AUGUST BEAUTY	#3
14	GARDENIA JASMINOIDES 'LEONE'	GARDENIA JUBILATION	#3
3	HYDRANGEA PANCULATA 'LIMELIGHT'	HYDRANGEA LIMELIGHT	#3
11	ITEA VIRGINICA 'SMINDFC'	ITEA SCENTLANDIA	#3 18" HT MITIGATION
18	JUNIPERUS X PFITZERIANA 'MONSANT'	JUNIPER SEA OF GOLD	#3
19	LEUCOTHOE KESKEI 'OPSTAL 50'	LEUCOTHOE BURNING LOVE	#3
12	NANDINA DOMESTICA 'GULF STREAM'	NANDINA GULF STREAM	#5
7	PIERIS JAPONICA 'CAVATINE'	PIERIS CAVATINE	#3
<b>Ornamental Grasses</b>			
10	MISCANTHUS SINENSIS 'STRICTUS'	GRASS MAIDEN PORCUPINE	#3
9	PENNISETUM ALOPECUROIDES 'CASSIAN'	GRASS FOUNTAIN DWARF CASSIAN	#3
<b>Perennials and Annuals</b>			
30	DELOSPERMA COOPERI	HARDY ICE PLANT PURPLE	#1
22	ECHINACEA 'PAS'	CONEFLOWER POWNOWN WILD BERRY	#1
10	STACHYS 'HELENE VON STEIN'	LAMB'S EAR HELENE VON STEIN	#1



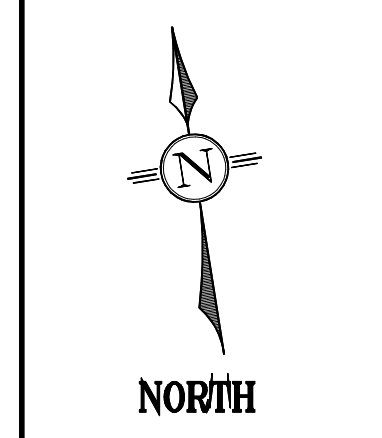
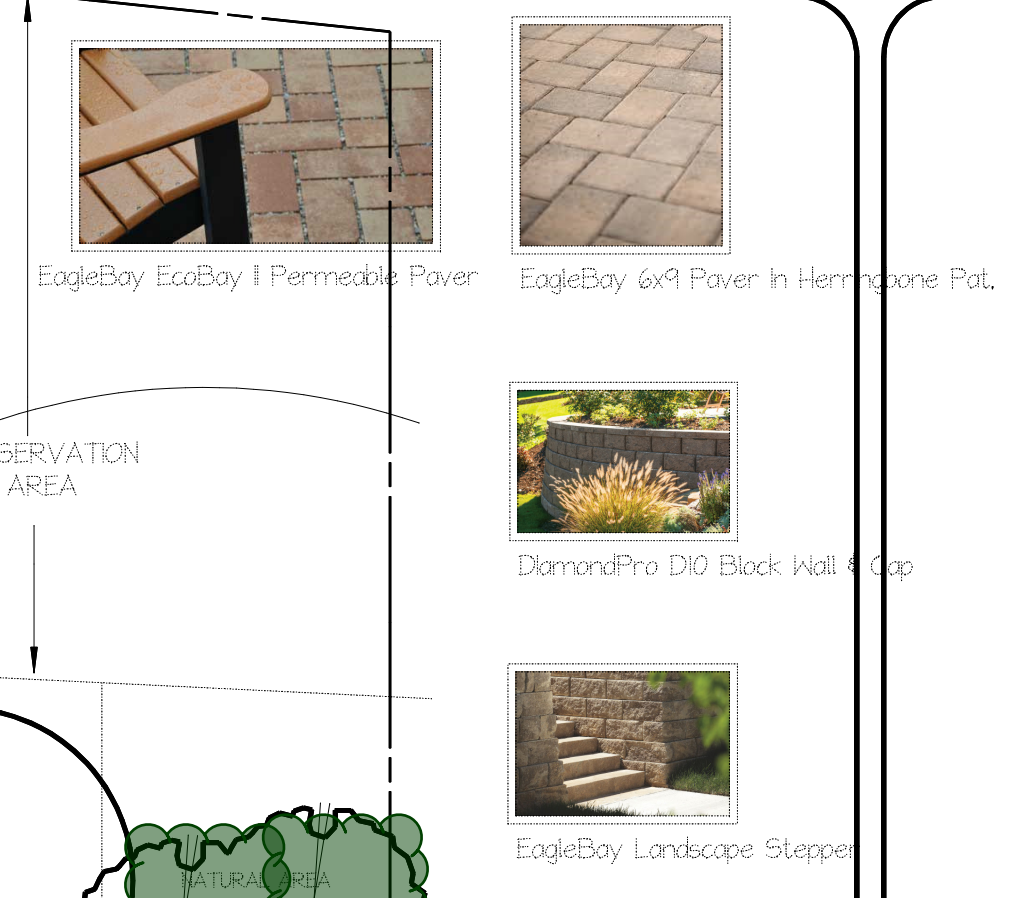
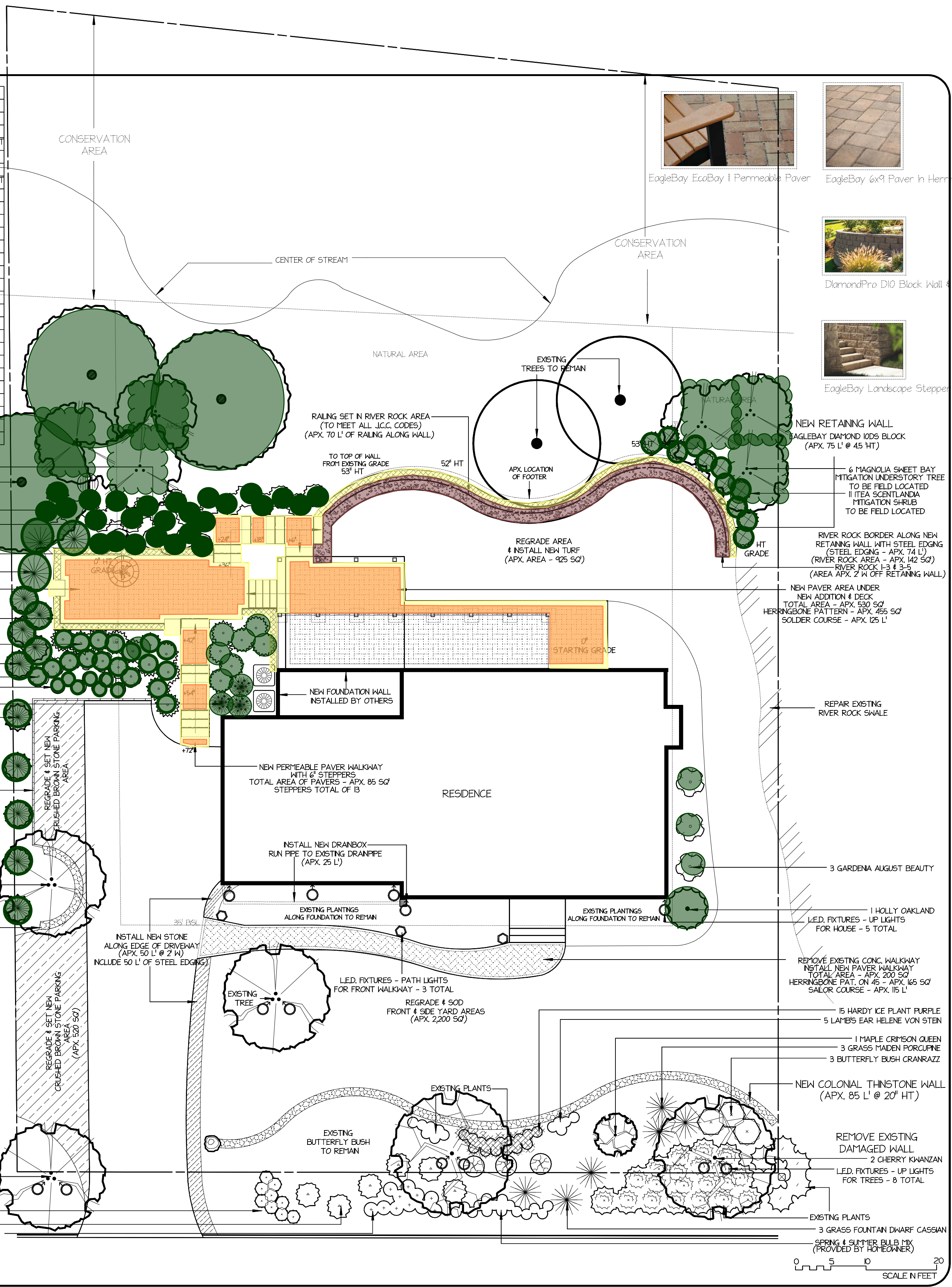
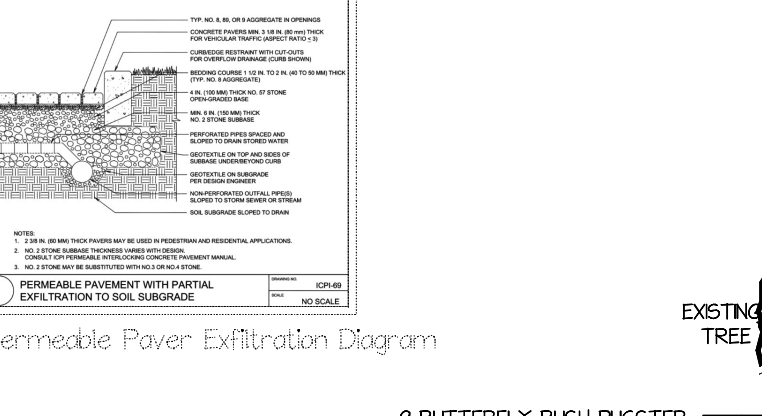
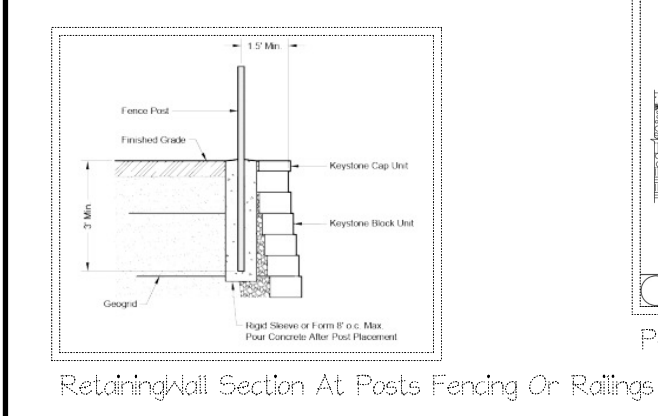
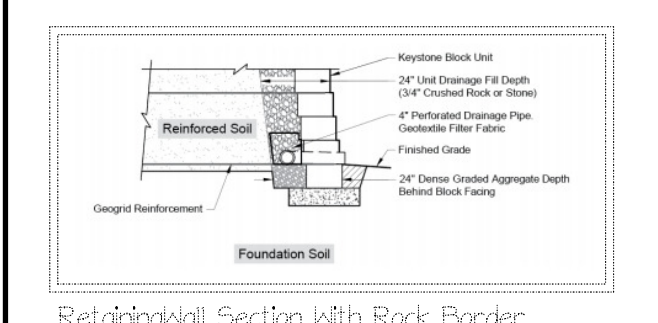
- 3 ELM AMERICAN VALLEY FORGE MITIGATION SHADE TREE TO BE FIELD LOCATED
- 19 LEUCOTHOE BURNING LOVE
- RETAINING WALL TO LEVEL AREA (APX. 13 L' @ 1 FT HT) 2 - PILLARS @ EACH END OF RETAINING WALL - 24" HT
- 4 GRASS MAIDEN PORCUPINE
- 7 PIERIS CAVATINE
- 18 JUNIPER SEA OF GOLD
- 10 ARBORVITAE EMERALD
- 7 GARDENIA JUBILATION PEONY (PROVIDED BY HOMEOWNER)
- 3 GRASS FOUNTAIN DWARF CASSIAN
- 5 ARBORVITAE EMERALD
- INSTALL NEW CURBSTONE EDGING ALONG GRAVEL AREA OF DRIVEWAY - APX. 40 L'
- REGRADE & SET NEW CRUSHED BROWN STONE PARKING AREA
- REGRADE & SET NEW CRUSHED BROWN STONE PARKING AREA (APX. 500 SQ')
- INSTALL NEW STONE ALONG EDGE OF DRIVEWAY (APX. 50 L' @ 2" W) INCLUDE 50 L' OF STEEL EDGING
- LED. FIXTURES - PATH LIGHTS FOR FRONT WALKWAY - 3 TOTAL
- REGRADE # SOD FRONT & SIDE YARD AREAS (APX. 2,200 SQ')
- NEW COLONIAL THINSTONE WALL SET AROUND BASE OF EXISTING TREE (APX. 20 L' @ 12" HT)
- EXISTING TREE
- EXISTING TREE
- 9 BUTTERFLY BUSH PUGSTER
- 6 NANDINA GULF STREAM
- 11 CONEFLOWER POWNOWN WILD BERRY



**POTTER RESIDENCE**

289 MILLSTREAM WAY  
WILLIAMSBURG, VA.  
DATE 8/19  
SCALE 1/8"=1'  
DRAWING # LANDSCAPE PLAN : MASTER  
PRJ # -04  
RVSN : 11/2020

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
2	ACER PALMATUM DISSECTUM 'CRIMSON QUEEN'	MAPLE CRIMSON QUEEN	#7
2	LEX X 'MAGLAND'	HOLLY OAKLAND	#25
6	MAGNOLIA VIRGINIANA	MAGNOLIA SWEET BAY	#15 @ 25' CAL. P. HT. MITIGATION
4	PRUNUS SERRULATA 'KWANZAN'	CHERRY KWANZAN	#8@
20	THUNJA OCCIDENTALIS 'SMARAGD'	ARBORVITAE EMERALD	#10
3	ULMUS AMERICANA 'VALLEY FORGE'	ELM AMERICAN VALLEY FORGE	#25 @ 25' CAL. P. HT. MITIGATION
<b>Shrubs</b>			
22	ABELIA X 'GRANDIFLORA ROSE CREEK'	ABELIA ROSE CREEK	#3
18	BUDDLEIA PUGSTER PINK	BUTTERFLY BUSH PUGSTER	None
6	BUDDLEIA X BOSCRANZ	BUTTERFLY BUSH CRANRAZZ	#3
3	CAMELLIA X WINTER'S SNOWMAN	CAM. X WINTER'S SNOWMAN- WHITE	#7
6	GARDENIA JASMINODES 'AUGUST BEAUTY'	GARDENIA AUGUST BEAUTY	#3
14	GARDENIA 'JUBELATION'	GARDENIA 'JUBELATION'	#3
3	HYDRANGEA PANCULATA 'LIMELIGHT'	HYDRANGEA 'LIMELIGHT'	#3
11	ITEA VIRGINICA 'SPIN/DFC'	ITEA SCENTLANDIA	#3
18	JUNIPERUS X PFITZERIANA 'MONSANT'	JUNIPER SEA OF GOLD	#3
14	LEUCOTHOE KEGGII 'OPSTAL 50'	LEUCOTHOE BURNING LOVE	#3
12	NANDINA DOMESTICA 'GULF STREAM'	NANDINA GULF STREAM	#5
7	PERIS JAPONICA 'CAVATINE'	PERIS CAVATINE	#3
<b>Ornamental Grasses</b>			
3	MISCANTHUS SINENSIS 'STRICTUS'	GRASS MAIDEN PORCUPINE	#3
1	PENNSETUM ALOPECUROIDES 'CASSIAN'	GRASS FOUNTAIN DWARF CASSIAN	#3
<b>Perennials and Annuals</b>			
30	DELOSPERMA COOPERI	HARDY ICE PLANT PURPLE	#11
22	ECHINACEA 'PAS'	CONEFLOWER POWANON WILD BERRY	#11
10	STACHYS HELENE VON STEN	LAMBS EAR HELENE VON STEN	#11



**POTTER RESIDENCE**  
 288 MILLSTREAM WAY  
 WILLIAMSBURG, VA  
 SCALE 1/8"=1'-0"  
 DATE 8/18  
 DRAWING # LANDSCAPE PLAN - MASTER  
 PRJ # 04  
 RVS/N : 10.22.20

Prepared by Williams



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING **WEDNESDAY JANUARY 13, 2020 AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

**NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021.  
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES:        PLANNING  
                  ASSISTANT COUNTY ATTORNEY  
                  WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-253-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

December 23, 2020

RE: CBPA-20-0139  
289 Mill Stream Way  
Landscape work, steps, landings, lawn and patio

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Aaron Williams of Williams Landscaping and Design, Inc. on behalf of Kevin B & Tami Potter for encroachment into the Resource Protection Area (RPA) buffer for landscape work, which includes steps, landings, lawn and patio. The project is located at 289 Mill Stream Way and further identified as JCC Parcel No. 4711800040.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Michael D. Woolson*

Michael D. Woolson  
Chesapeake Bay Board Secretary  
757-253-6823  
michael.woolson@jamescitycountyva.gov

cc: Williams Landscaping & Design, Inc.  
Mr. Aaron Williams

MDW: jep

Mailing List for: CBPA-20-0139–289 Mil Stream Way – Landscape work- steps, landings, lawn and patio

Owner: 4711800040

Potter, Kevin B & Tami  
289 Mill Stream Way  
Williamsburg, VA 23185-3187

4711800039

Treacy, Jonathan T & Debra J  
285 Mill Stream Way  
Williamsburg, VA 23185-3187

4711900001

Larkin, Wilbur D, Trustee & Madelyn B  
293 Mill Stream Way  
Williamsburg, VA 23185-3187

4711800016

Nett, John O, Trustee & Kathie J, Trustee  
211 Lakewood Drive  
Williamsburg, VA 23185-3189

Contractor:

Williamsburg Landscape & Design, Inc.  
Attn: Mr. Aaron Williams  
1554 Penniman Road  
Williamsburg, VA 23185-5821

4711800041

Clarke, Christopher V, Trustee & Annette D,  
Trustee  
208 Lakewood Drive  
Williamsburg, VA 23185-3189

4711800001A-2/52 A, Common Area

4711900001A- 7.81 A, Common  
Area/Conservation Easement  
Settlers Mill Association  
P.O. Box 1295  
Williamsburg, VA 23187-1295



**ITEM SUMMARY**

DATE: 1/13/2021

TO: Chesapeake Bay Board

FROM: Michael Woolson, Senior Watershed Planner

SUBJECT: Case No. CBPA 19-0141 : 2552 William Tankard Drive

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Mr. Rob Fetter has requested a one-year extension to the previously approved exception granted on January 15, 2020.

**ATTACHMENTS:**

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Resolution, Previously Approved	Resolution
☐	Extension Request	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/12/2021 - 2:29 PM

## MEMORANDUM

DATE: January 13, 2021

TO: The Chesapeake Bay Board

FROM: Michael Woolson, Senior Watershed Planner

SUBJECT: Chesapeake Bay Board Exception No. CBPA 19-0141. 2552 William Tankard

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Mr. Rob Fetter is requesting a one-year extension to CBPA 19-0141, originally granted on January 20, 2020. The request will provide him more time to evaluate the project and to explore other options to fulfil the permit requirements. Staff concurs with this request, with the stipulation that all permit conditions, except for the expiration date, be reauthorized and that the new date of expiration be January 13, 2022.

## RESOLUTION

CASE NO. CBPA 19-0141. 2552 WILLIAM TANKARD DRIVE

### GRANTING AN EXTENSION OF AN EXCEPTION

WHEREAS, Mr. Robert Fetter (the “Applicant”) has requested an extension for the exception granted by the Chesapeake Bay Board of James City County (the “Board”) on January 15, 2020. The exception request is for the use of the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4640800009 and further identified as 2552 William Tankard Drive (the “Property”) as set forth in the application CBPA 19-0141 for the purpose of constructing a shed; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities; and

- c. Written permission from the easement holder to place the structure within the conservation easement shall be provided prior to commencement of such activities; and
- d. A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney to guarantee the planting mitigation; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

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David Gussman  
Chair, Chesapeake Bay Board

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Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

## RESOLUTION

CASE NO. CBPA 19-0141. 2552 WILLIAM TANKARD DRIVE

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Robert Fetter (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 15, 2020, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4640800009 and further identified as 2552 William Tankard Drive (the “Property”) as set forth in the application CBPA 19-0141 for the purpose of constructing a shed; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The exception request is the minimum necessary to afford relief.
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
  - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
  - b. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities; and

- c. Written permission from the easement holder to place the structure within the conservation easement shall be provided prior to commencement of such activities; and
- d. A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney to guarantee the planting mitigation; and
- e. This exception request approval shall become null and void if construction has not begun by January 15, 2021; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 4, 2020, six weeks prior to the expiration date.



David Gussman  
Chair, Chesapeake Bay Board



Michael D. Woolson  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 15th day of January, 2020.

CBPA19-0141WTnkrdDr-res

## Michael Woolson

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**From:** Rob and Caroline Fetter <rcfetter94@gmail.com>  
**Sent:** Friday, December 18, 2020 7:57 PM  
**To:** Michael Woolson  
**Subject:** [External] Fwd: Chesapeake Bay Resolution CBPA-19-0141 2552 William Tankard Drive  
**Attachments:** image001.jpg; CBPA19-0141\_2552WTnkrdDr\_Resolution.pdf

Sir,

A one year extension of CBPA-19-0141 is requested in order to provide more time to evaluate this project and also explore other options to fulfill this requirement.

If there are any questions, please do not hesitate to contact me.

Thank you for your assistance!

V/r, Rob

757-633-7874

----- Forwarded message -----

**From:** Janice Petty <[Janice.Petty@jamescitycountyva.gov](mailto:Janice.Petty@jamescitycountyva.gov)>  
**Date:** Thu, Feb 20, 2020 at 11:29 AM  
**Subject:** Chesapeake Bay Resolution CBPA-19-0141 2552 William Tankard Drive  
**To:** [rcfetter94@gmail.com](mailto:rcfetter94@gmail.com) <[rcfetter94@gmail.com](mailto:rcfetter94@gmail.com)>

Mr. Fetter,

The January 15, 2020 Chesapeake Bay Board granted CBPA-19-0141, for the purpose of reconstruction of a shed at 2552 William Tankard Drive. **All conditions of the attached Resolution are required before starting this project including:**

1. Submittal of a \$250.00 surety, in the form of a company or personal check payable to the James City County Treasurer is required before starting this project.
2. Written permission from the easement holder to place the structures within the conservation easement shall be provided prior to commencement of such activities.

Please contact Trevor Long, Stormwater Planning, telephone number 757-253-6789 or email, [Trevor.Long@jamescitycountyva.gov](mailto:Trevor.Long@jamescitycountyva.gov) or Michael Woolson, telephone number 757-253-6823 or email, [Michael.Woolson@jamescitycountyva.gov](mailto:Michael.Woolson@jamescitycountyva.gov), if you have any questions.

Best regards,

*Janice Petty*

**Janice Petty**

**Stormwater Assistant**



**101-E Mounts Bay Road  
Williamsburg, VA 23185  
P: 757-253-6790**

**F: 757-259-4032**

**[jamescitycountyva.gov](http://www.jamescitycountyva.gov)**

Most permit requests and inquiries can now be handled online

Visit JCC Permitlink: <http://www.jamescitycountyva.gov/permitlink>



**ITEM SUMMARY**

DATE: 1/13/2021  
TO: Chesapeake Bay Board  
FROM: Michael Woolson, Chesapeake Bay Board Secretary  
SUBJECT: 2020 Year in Review

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**ATTACHMENTS:**

	Description	Type
📎	Presentation	Presentation

**REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:42 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 2:15 PM
Publication Management	Daniel, Martha	Approved	1/11/2021 - 2:34 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:30 PM

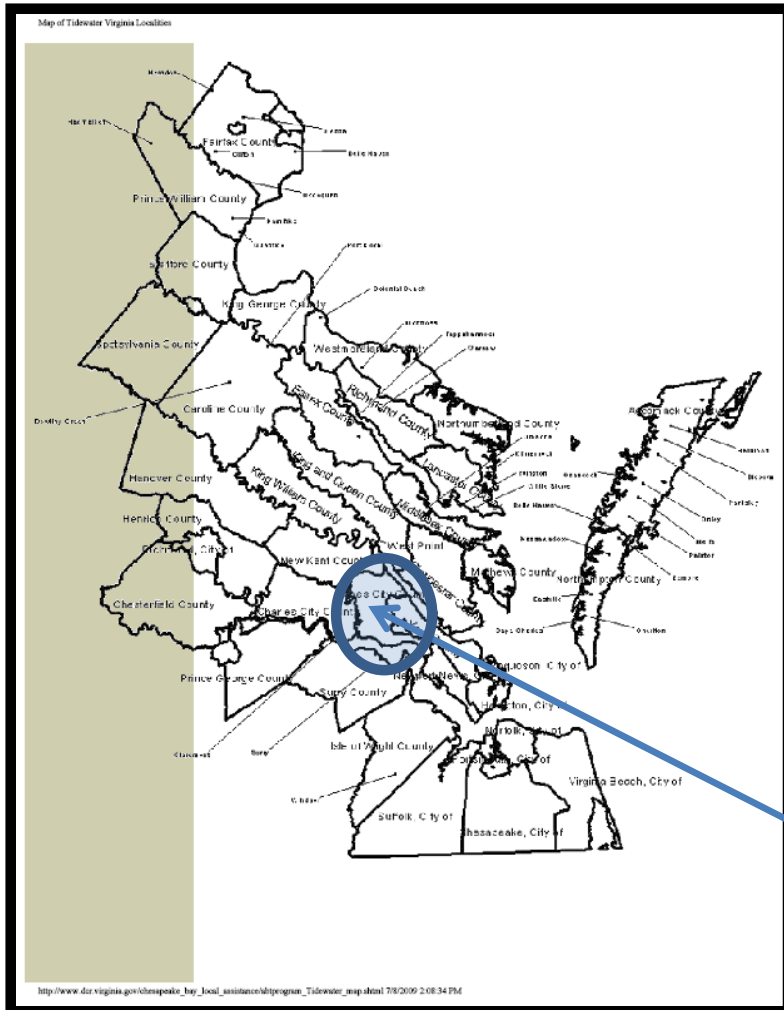


# **Chesapeake Bay Board of James City County, Virginia**

*January 13, 2021*

*End of Year Summary*

# Local Bay Act Program



**James City County is one of 84 Virginia jurisdictions subject to the provisions of Virginia's Chesapeake Bay Preservation Act and the Chesapeake Bay Preservation Area Designation and Management Regulations.**

**On August 6<sup>th</sup> 1990 the County became the first Virginia locality to adopt a local Chesapeake Bay Preservation Ordinance.**

**James City County**

# CBPA Program



## Calendar Year 2020

CHESAPEAKE BAY BOARD CASES	36	
EXTENSIONS	10	
APPEALS	4	
TOTAL		<b>50</b>
CBPA - ADMINISTRATIVE CASES		89
<b>Grand Total</b>		<b>139</b>

## Calendar Year 2019

CHESAPEAKE BAY BOARD CASES	39	
EXTENSIONS	6	
APPEALS	0	
TOTAL		<b>45</b>
CBPA - ADMINISTRATIVE CASES		101
<b>Grand Total</b>		<b>146</b>

End of Report