A G E N D A JAMES CITY COUNTY CHESAPEAKE BAY BOARD REGULAR MEETING County Government Center, Building F 101 Mounts Bay Road, Williamsburg, Virginia 23185 January 13, 2021 5:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

1. Minutes from December 9, 2020, Regular Meeting

D. PUBLIC HEARINGS

- 1. Case No. CBPA 20-0142 : 8797 Pocahontas Trail
- 2. Case No. CBPA 20-0141 : 137 Westbury
- 3. Case No. CBPA 20-0140 : 244 William Barksdale
- 4. Case No. CBPA 20-0100 : 5520 North Mallard Run
- 5. Case No. CBPA 20-0139 : 289 Mill Stream Way

E. BOARD CONSIDERATIONS

1. Case No. CBPA 19-0141 : 2552 William Tankard Drive

F. MATTERS OF SPECIAL PRIVILEGE

1. 2020 Year in Review

G. ADJOURNMENT

ITEM SUMMARY

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Chesapeake Bay Board Secretary
SUBJECT:	Minutes from December 9, 2020, Regular Meeting

ATTACHMENTS:

	Description		Туре	
D	Minutes		Minutes	
REVIEWERS:				
Department	Reviewer	Action	Date	
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:35 PM	

M I N U T E S JAMES CITY COUNTY CHESAPEAKE BAY BOARD REGULAR MEETING County Government Center, Building F 101 Mounts Bay Road, Williamsburg, Virginia 23185 December 9, 2020 5:00 PM

A. CALL TO ORDER

The Chesapeake Bay Board meeting for December 9, 2020, was called to order.

The responsibility of this Board is to carry out locally the Commonwealth policy to protect against and minimize pollution and deposition of sediment in wetlands, streams, and lakes in James City County, which are tributaries of the Chesapeake Bay.

B. ROLL CALL

Board Members Present:

William Apperson, Vice Chair David Gussman, Remote Access Charles Roadley Halle Dunn

Board Members Absent:

Larry Waltrip

Other Staff Present:

Toni Small, Director, Stormwater and Resource Protection Liz Parman, Assistant County Attorney Michael Woolson, Senior Watershed Planner, Stormwater and Resource Protection Trevor Long, Watershed Planner, Stormwater and Resource Protection

C. MINUTES

1. Minutes from November 12, 2020, Regular Meeting

A Motion to Approve the minutes was made by Mr. Apperson. The minutes were approved on a voice vote.

D. PUBLIC HEARINGS

1. Case No. CBPA 20-0132 : 124 Four Mile Tree

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Brian and Mrs. Stacy Solano, for encroachments into the Resource Protection Area (RPA) buffer for the construction of two retaining walls located at 128 Four Mile Tree, within the Riverview Plantation Subdivision and the Skimino Creek watershed. The property is further identified as James City County Tax Map Parcel No. 1640500013. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley inquired if this would stabilize the area around the house.

Mr. Long replied that there was an erosion issue with current construction and deferred to the contractor for an answer.

Mr. Apperson opened the Public Hearing

A. Mr. Fred Nice, builder at 128 Four Mile Tree, outlined the project for the Board.

Mr. Roadley inquired if the retaining walls would provide water quality treatment themselves, was gravel to be used to intercept some of the sheet flow.

A. Mr. Fred Nice affirmatively replied.

Mr. Roadley inquired about the height of the retaining walls.

A. Mr. Nice replied the height would be 6 feet for the front, 40 foot long retaining wall and the back retaining wall would be 4 feet high and 10 feet long.

Mr. Apperson inquired of the location of the wall, inside or outside of the line of trees.

A. Mr. Nice answered the wall would be inside the line of trees.

Mr. Apperson stated that the retaining walls should be as close to the structures as possible.

Mr. Apperson closed the Public Hearing as no one else wished to speak.

Mr. Roadley made a motion to Adopt the resolution for Chesapeake Bay Board Case No. CBPA 20-0132 at 128 Four Mile tree.

A motion to Approve with Conditions was made by Mr. Roadley, the motion result was: AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1 AYES: Gussman, Apperson, Roadley, Dunn NAYS: None ABSENT: Waltrip

2. Case No. CBPA 20-0120 : 3468 Hunter's Ridge

Mr. Michael Woolson, Senior Watershed Planner, presented the exception request submitted by Mr. Michael Vergakis and Mrs. Linda Vergakis, for encroachments into the RPA buffer for the construction of a retaining wall, fill and a paver pad located at 3468 Hunter's Ridge, within the Powhatan Crossing Subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4621300024. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

The Board deliberated on the pros and cons of this application.

Mr. Roadley inquired about the impervious surfaces being the pavers and the retaining wall.

Mr. Woolson affirmatively replied.

Mr. Apperson opened the Public Hearing.

A. Mr. Michael Vergakis, owner, outlined the project for the Board.

Mr. Roadley inquired about the area of subsidence and if the tree was to be removed.

A. Mr. Vergakis replied that there was an underground spring contributing to the subsidence. Yes, the tree would be removed.

Mr. Roadley inquired about the spring, potential issues with the spring and asked if anyone had looked at the spring to determine the cause.

A. Mr. Vergakis replied that the James City Service Authority had come out and tested a hole that had developed under the sewer line.

Mr. Dunn inquired if pervious pavers could be used.

A. Mr. Vergakis replied that they were using pavers that matched the existing pavers on site.

Mr. Roadley suggested that a geotechnical engineer could do a site inspection to render an opinion concerning the spring.

Mr. Dunn made a motion to Adopt the resolution for Chesapeake Bay Board Case No. CBPA 20 -0120 at 3468 Hunter's Ridge.

A motion to Approve with Conditions was made by Mr. Dunn, the motion result was: AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1 AYES: Gussman, Apperson, Roadley, Dunn NAYS: None ABSENT: Waltrip

3. Case No. CBPA 20-0105 : 2148 Benomi Drive

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mrs. Tabitha and Mr. Robert Partlow, for encroachments into the RPA buffer for the construction of a shed located at 2148 Benomi Drive, within the Peleg's Point Subdivision and the Mill Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4741300084. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley inquired about potential locations for the shed outside of the RPA, such as the side yard to the left of the house.

Mr. Long answered that the HOA might allow the side yard location for the shed.

Mr. Dunn inquired about the conservation easement location.

Mr. Long replied that the conservation easement is within the area of the RPA and also shown on the site plan.

Mr. Apperson opened, then closed the Public Hearing, as no one wished to speak.

Mr. Roadley made a motion to Deny Chesapeake Bay Board Case No. CBPA 20-0105 at 2148 Benomi Drive.

A motion to deny was made by Mr. Roadley, the motion result was: AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 1 AYES: Apperson, Gussman, Roadley, Dunn NAYS: None ABSENT: Waltrip

E. BOARD CONSIDERATIONS

1. Michael Woolson stated there would be a Wetlands and Chesapeake Bay Board meeting for January 13, 2021. At that time, Carter's Grove will be proposing a living shoreline and some RPA modifications along the shoreline. If any Board member would like to go visit the site, please let staff know and they will arrange a visit.

Mr. Apperson and Mr. Roadley both said they would like to attend.

F. MATTERS OF SPECIAL PRIVILEGE

None

G. ADJOURNMENT

A Motion to Adjourn was made by Mr. Roadley and approved on a voice vote. The meeting adjourned at 5:52 p.m.

ITEM SUMMARY

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 20-0142 : 8797 Pocahontas Trail

VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

ATTACHMENTS:

	Description		Туре
D	Staff Report		Staff Report
D	Resolution		Resolution
D	Presentation		Presentation
D	Site Plan		Backup Material
D	Public Advertisement		Backup Material
D	APO Letter		Backup Material
۵	APO Mailing	List	Backup Material
REVIEWERS:			
Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:29 PM

Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:29 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:38 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:19 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0142. 8797 Pocahontas Trail Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant:	Carter's Grove Associates, LLC		
Agent:	Mr. Anthony Loubier, Vanasse Hangen Brustlin (VHB), Inc.	
Location:	8797 Pocahontas Trail		
Parcel Identification No.:	5910100030		
Parcel:	Carter's Grove		
Lot Size:	401 acres +/-		
Area of Lot in Resource Protection Area (RPA):	105 acres +/- (25%)		
Watershed:	Skiffes Creek (HUC JL 35)		
Floodplain:	Zone AE - Base flood elevation is determined to be at 9 feet mean sea level Zone VE - The special flood hazard area subject to 1% annual chance flood		
Proposed Activity:	Regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway		
Impervious Cover:	541 square feet		
RPA Encroachment:	5,182 square feet (0.12 acre), landward 50-foot RPA 240,857 square feet ((5.53 acres), seaward 50-foot RPA		
Staff Contact:	Trevor A. Long, Watershed Planner	Phone: 253-6789	

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Anthony Loubier, VHB, Inc., has applied for a Chesapeake Bay Exception on behalf of Carter's Grove Associates, LLC for encroachments into the RPA buffer for the regrading of a ravine, regrading of a shoreline, and the installation of outfall pipes and spillway on property located at 8797 Pocahontas Trail within the Skiffes Creek watershed. The property is further identified as James City County Tax Map Parcel No. 5910100030 and is otherwise referred to as Carter's Grove. The parcel was platted before the adoption of the Chesapeake Bay Ordinance in 1990.

The total area involved with this portion of the project equals approximately 15 acres, of which 100% is located within the RPA. This application request is in conjunction with the wetlands permit request WJPA 20-0038 to protect the James River shoreline bordering this property. The applicant is proposing to regrade the shoreline and a ravine, and to install outfall pipes and a spillway to an existing pond. The limits of work are proposed in three separate locations and is proposed to run concurrently with the shoreline stabilization project proposed in WJPA 20-0038.

There are two outfall pipes associated with this proposal. One outfall pipe is proposed in a degrading ravine currently transporting runoff towards the resource. The second outfall pipe is associated with an existing pond on the site. Total impacts associated with the proposed project equal 5,182 square feet of impacts to the landward 50-foot RPA and 240,857 square feet of impacts to the seaward 50-foot RPA. Total impervious impacts to the RPA associated with the installation of the pipes and spillway equal 541 square feet. There are also 22,075 square feet of steep slopes proposed to be impacted with this project. Required mitigation for this amount of impervious cover impact to the RPA equals one planting unit (one canopy tree, two understory trees, and three shrubs). However, the entire disturbed area within the RPA must be revegetated with the three trophic layers (canopy, understory, and shrub) per the Ordinance. While no mitigation plan has been submitted at this point, the applicant has expressed intentions of planting in excess of the required mitigation plantings. The applicant must coordinate with the Virginia Department of Forestry for this restoration effort.

STAFF EVALUATION

Staff has evaluated the application and exception request for regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the regrading efforts and stormwater conveyances are considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

- 1. The exception request is the minimum necessary to afford relief; and
- 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- 4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
- 5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff's view of this application is that it meets all five of the conditions presented above. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

- 1. The applicant must obtain all other necessary federal, state, and local permits as required for the project. Specifically, an Erosion and Sediment Control Plan and Land Disturbing Permit are required; and
- 2. A mitigation plan consisting of one canopy tree, two understory trees, and three shrubs be submitted to the Stormwater and Resource Protection Division; and
- 3. Coordination with the Virginia Department of Forestry on revegetating the total disturbed RPA (buffer restoration) in trees and shrubs suitable to that location; and

- 4. A surety of \$20,000 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the required planting mitigation and the RPA buffer restoration; and
- 5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- 6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/md CBPA20-142_8797PocTrl

Attachments:

1. Resolution

2. Site Plan

<u>RESOLUTION</u>

CASE NO. CBPA-20-0142. 8797 POCAHONTAS TRAIL

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. Samuel Mencoff (the "Applicant") has applied to the Chesapeake Bay Board of James City County (the "Board") on January 13, 2021, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 5910100030 and further identified as 8797 Pocahontas Trail (the "Property") as set forth in the application CBPA-20-0142 for the purpose of regrading of a ravine, regrading of the shoreline, and installation of outfall pipes and spillway; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
 - 1. The exception request is the minimum necessary to afford relief.
 - 2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
 - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
 - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
 - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
 - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
 - a. The applicant must obtain all other necessary federal, state, and local permits as required for the project. Specifically, an Erosion and Sediment Control Plan and Land Disturbing Permit are required; and
 - b. A mitigation plan consisting of one canopy tree, two understory trees, and three shrubs be submitted to the Stormwater and Resource Protection Division; and

- c. Coordination with the Virginia Department of Forestry on revegetating the total disturbed RPA (buffer restoration) in trees and shrubs suitable to that location; and
- d. A surety of \$20,000 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the required planting mitigation and the RPA buffer restoration; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-142_8797PocTrl-res



Chesapeake Bay Board of James City County, Virginia

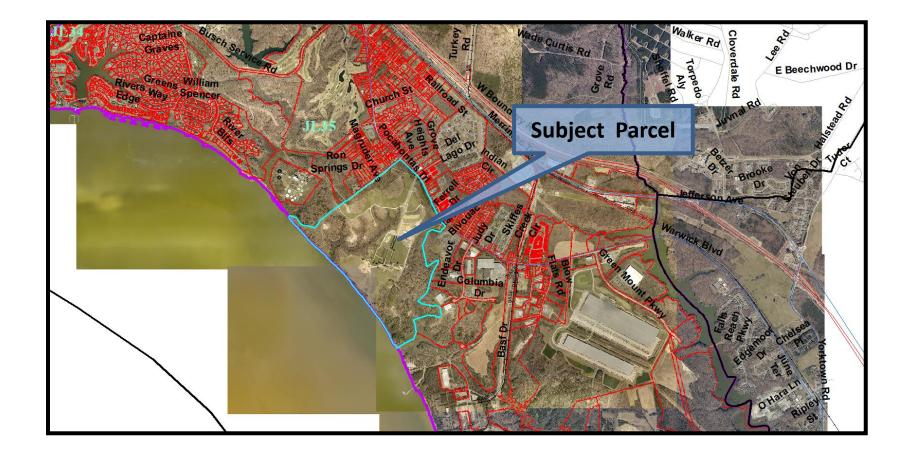
January 13, 2021

CBPA 20-0142 Carter's Grove Associates 8797 Pocahontas Trail



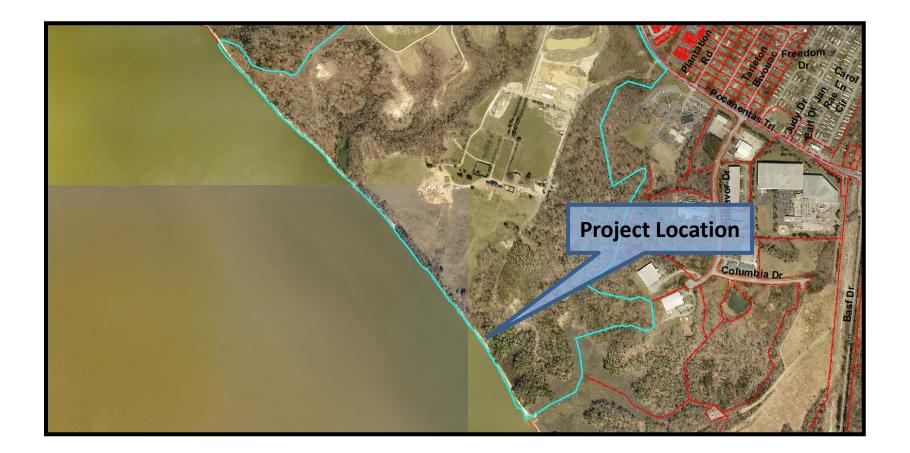
Applicant Request

 Regrading of a ravine, regrading of a shoreline, and installation of outfall pipes and spillway.



Vicinity Map

CBPA-20-0142



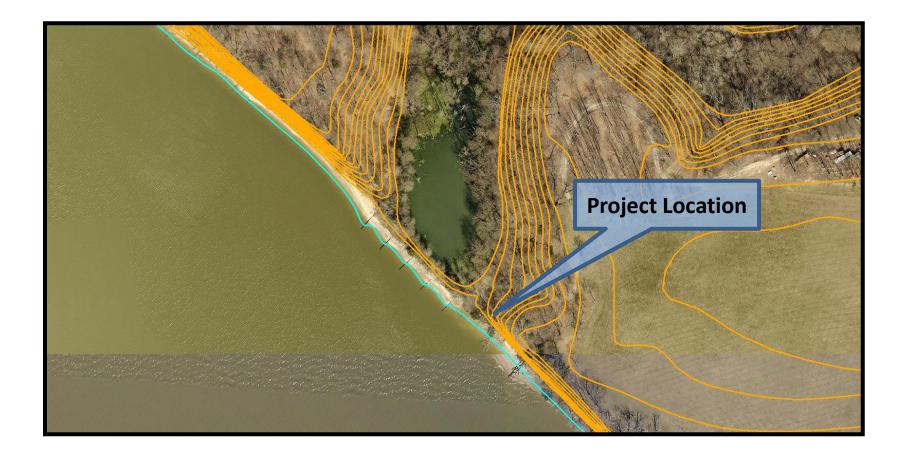
Aerial Photograph

CBPA-20-0142



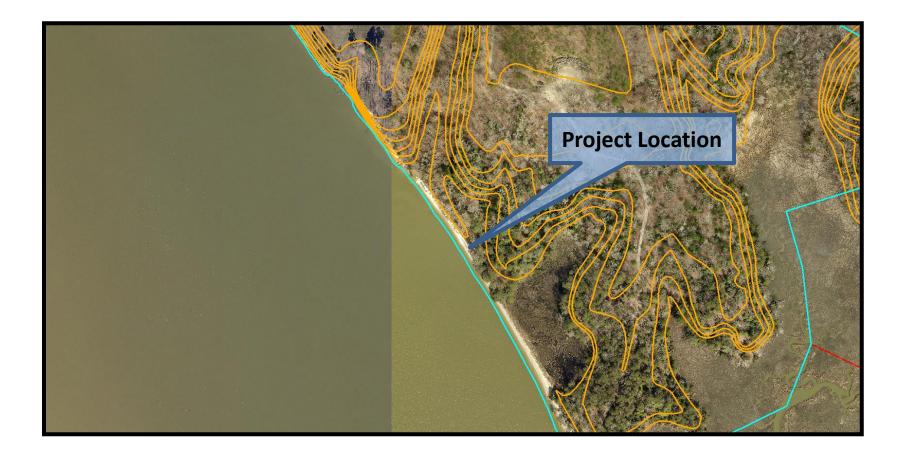
Topography

CBPA-20-0142



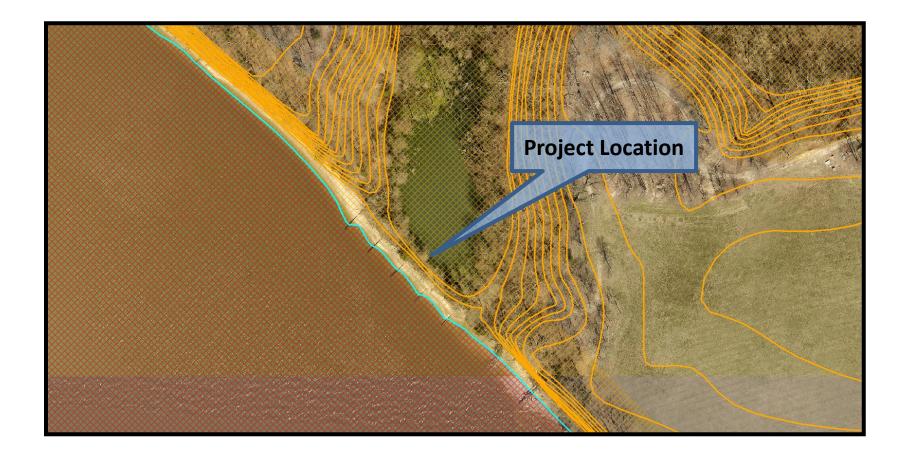
Topography 1

CBPA-20-0142



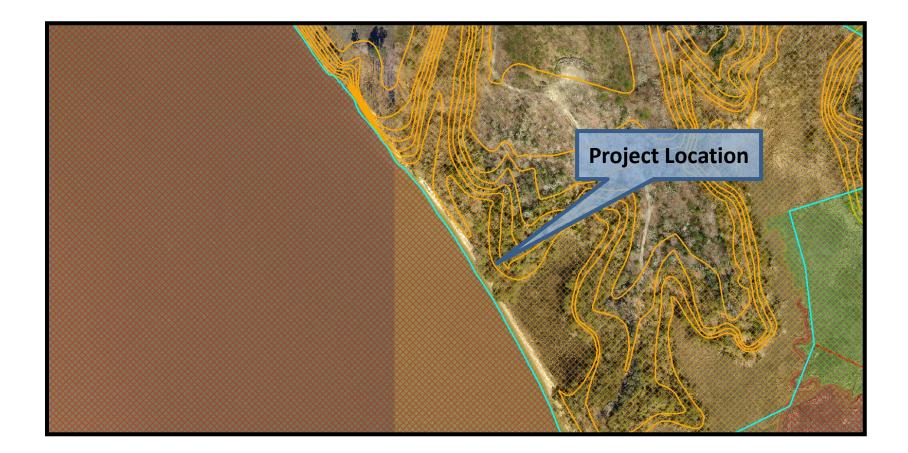
Topography 2

CBPA-20-0142



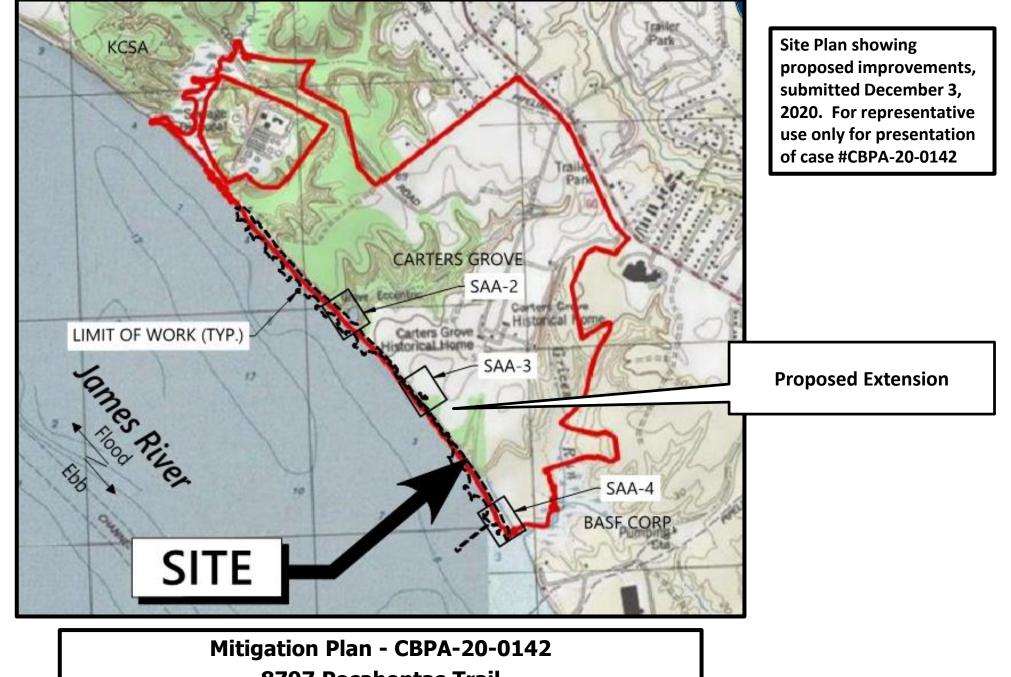
Resource Protection Area 1

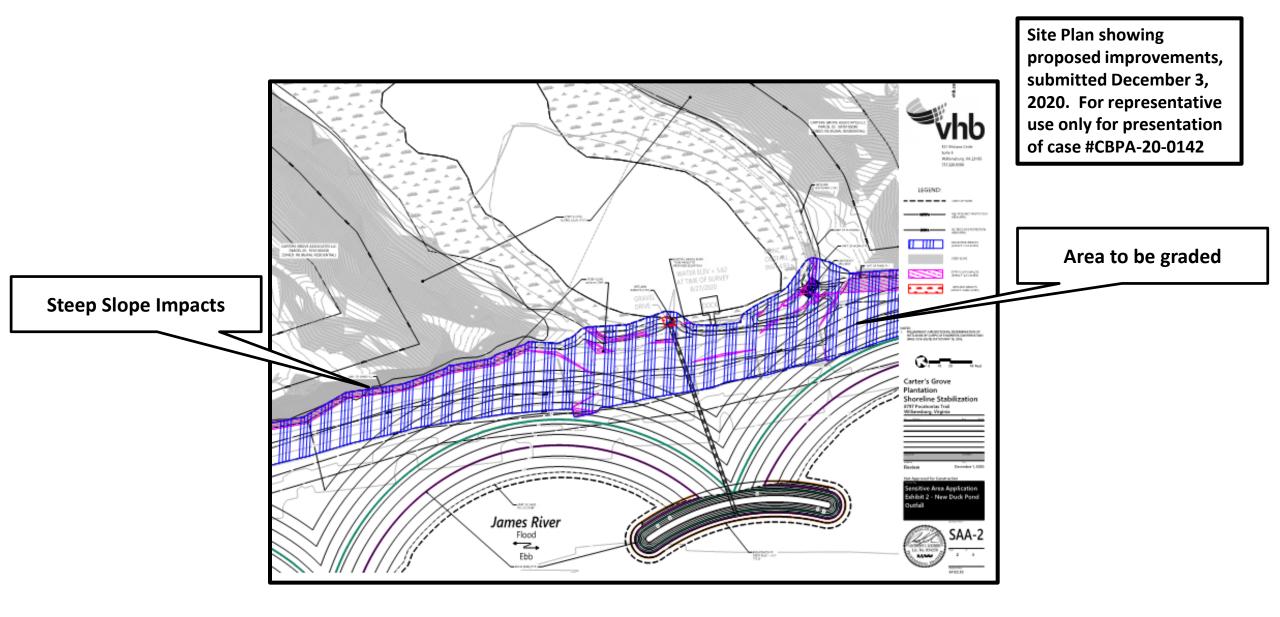
CBPA-20-0142



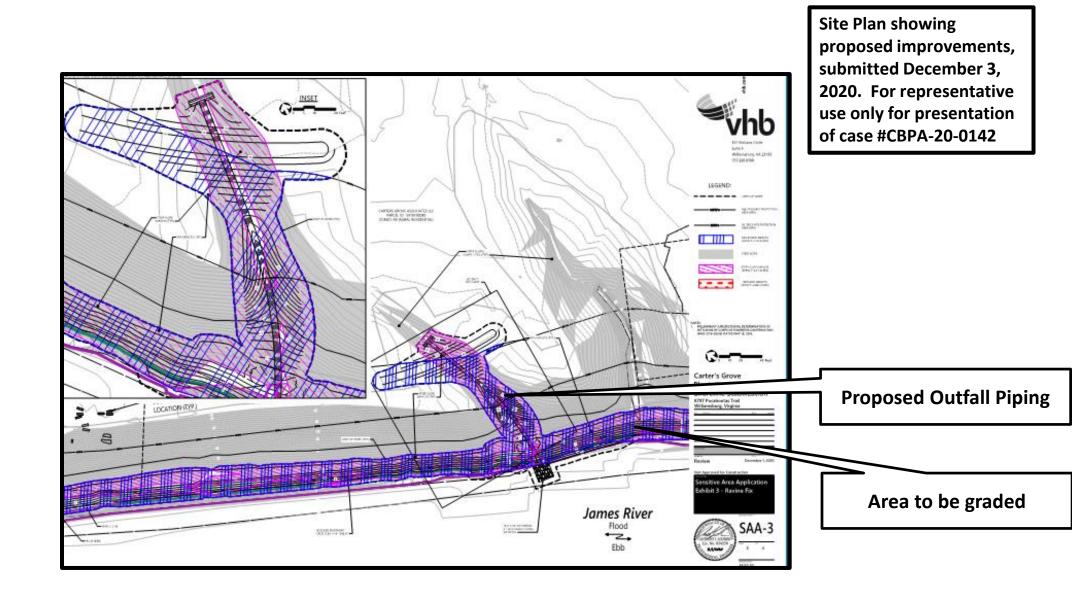
Resource Protection Area 1

CBPA-20-0142

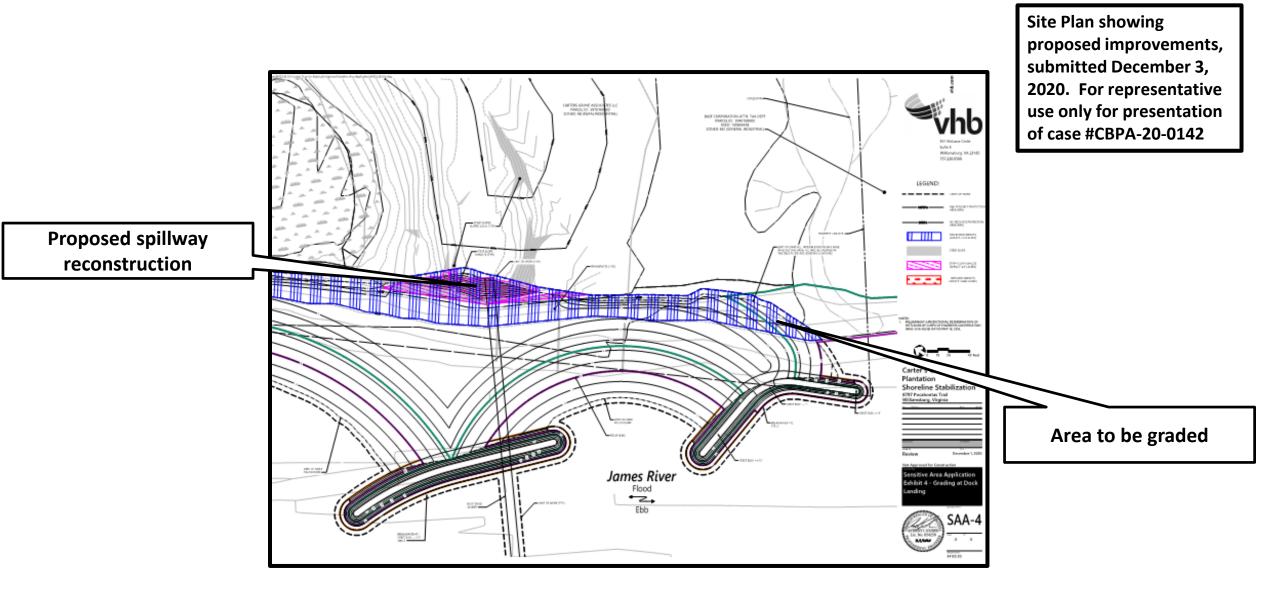




Section Plan 1 - CBPA-20-0142



Section Plan 2 - CBPA-20-0142



Section Plan 3 - CBPA-20-0142 8797 Pocahontas Trail



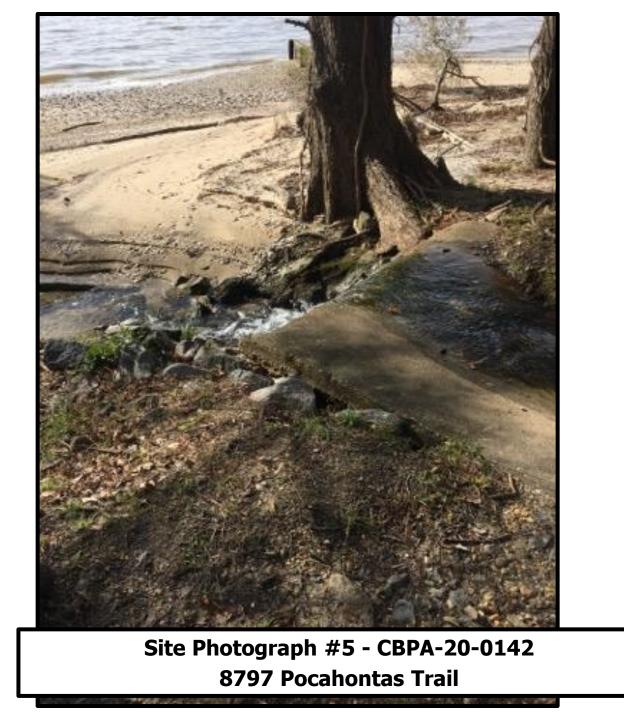


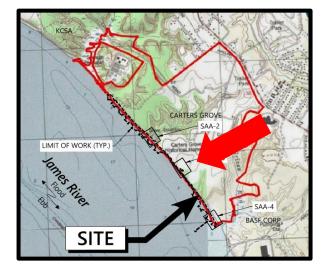


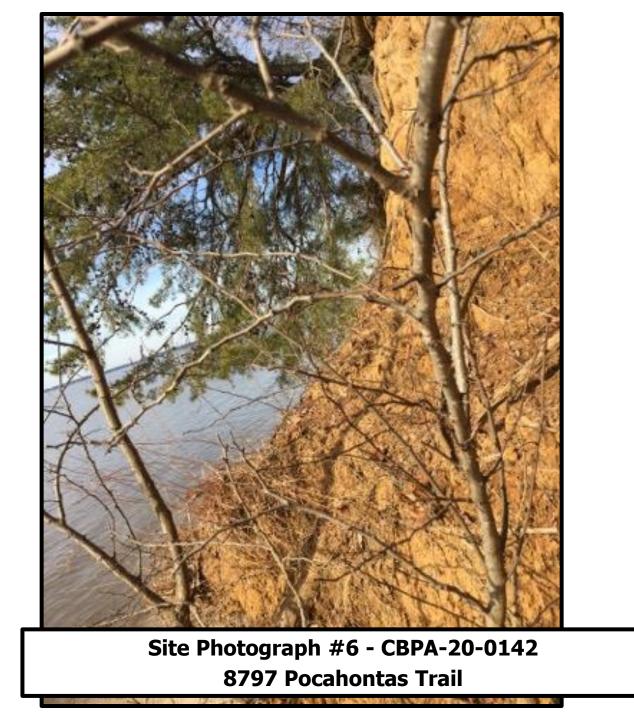














Permit Conditions



Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- A mitigation plan of 1 canopy tree, 2 understory trees, and 3 shrubs.
- Coordination with VADOF on revegetating the total disturbed RPA.

Permit Conditions



Staff Recommendation – Approval

- ✓ A surety of \$20,000
- This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- Written requests for extension submitted no later than December 2, 2021.





PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY

COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING WEDNESDAY JANUARY 13,

2020 AT 5 P.M. IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD,

JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021. ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING ASSISTANT COUNTY ATTORNEY WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



General Services 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

jamescitycountyva.gov

Capital Projects 107 Tewning Road Williamsburg, VA 23188 757-259-4080

Fleet 103 Tewning Road Williamsburg, VA 23188 757-259-4122 Stormwater and Resource Protection 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

Facilities & Grounds 113 Tewning Road Williamsburg, VA 23188 757-259-4080 Solid Waste 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971

December 23, 2020

RE: CBPA-20-0142 8797 Pocahontas Carter's Grove Living Shoreline

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Anthony Loubier of Vanasse Hangen Brustlin, Inc. on behalf of Carters Grove Associates, LLC for encroachment into the Resource Protection Area (RPA) buffer for the installation of a living shoreline and drainage improvements. The project is located at 8797 Pocahontas and further identified as JCC Parcel No. 5910100030.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Míchael D. Woolson

Michael D. Woolson Chesapeake Bay Board Secretary 757-253-6823 michael.woolson@jamescitycountyva.gov

cc: Vanasse Hangen Brustlin, Inc. Mr. Anthony Loubier

MDW: jep

Mailing List for: CBPA-20-0142 – 8797 Pocahontas Trail – Living Shoreline at Carter's Grove

<u>Owner - 5910100030</u> 5820100002 - 250 Ron Springs Dr Carters Grove Associates LLC 70 West Madison Ste 4600 Chicago, IL 60602-4215

VHB, Inc. Attn: Mr. Anthon Loubier 351 McLaws Circle, Suite 3 Williamsburg, VA 23185

5910200018I 5910200018D - 132 Ron Springs Dr Joshua C Palmer, Jr. 138 Ron Springs Drive Williamsburg, VA 23185-6014

5910200018F - 136 Ron Springs Dr 5910200018E - 134 Ron Springs Dr Joshua C Palmer, Sr. Estate 130 Ron Springs Drive Williamsburg, VA 23185-6014

5910200018A - 128 Ron Springs Dr 5910200018C - 126 Ron Springs Dr Ethelyn L Springs Estate c/o Springs, Ethelyn L

2915 Snuggles Court Toano, VA 23168-8943

5910200018K - 124 Ron Springs Dr Moser, Hans W 3023 Edgewood Avenue Parkville, MD 21234-4108

5910200018J Sumter, Anthony & Amanda 122 Ron Springs Drive Williamsburg, VA 23185-6014 <u>5910100028 – 200 Ron Springs Rd</u> Colonial Investors, Inc P.O. Box 1165 Williamsburg, VA 23187-1165

<u>5910100029 - 150 Ron Springs Dr</u> 150 Grove, LLC P.O. Box 1165 Williamsburg, VA 23187-1165

5910200018H - 140 Ron Springs Dr Remillard, Randy 16900 Holly Point Rd Williamsburg, VA 23185-7643

5910200019- 118 Ron Springs Dr Palmer, M Cornelius 69 Semple Farm Road Hampton, VA 23666-1456

5910200008- 114 Ron Springs Dr Cook, Milton, & Williams, Norrise 114 Magruder Avenue Williamsburg, VA 23185

5910200007A - 112 A Ron Springs Dr Colonial Pipeline Co, Inc P.O. Box 1624 Alpharetta, GA 30009-1624

5910200007D - 110 Ron Springs Dr Bannister, Marjorie Lee 606 Tam O'Shanter Boulevard Williamsburg, VA 23185-5922

5910200006 5910200006A - 8751 Pocahontas Tr Wallace, Alfred, Sr. & Sissie V 104 Ron Springs Drive Williamsburg, VA 23185-6007

5910200018

Smokstad, Taylor 120 Ron Springs Drive Williamsburg, VA 23185-6014

5910100020 - 8758 Pocahontas Tr Carters Cove, Inc c/o Hudgins, George M, Jr. 203 The Maine Williamsburg, VA 23185-1458

5910100021 - 8766 Pocahontas Tr 8766 Pocahontas, LLC 3625 Beech Down Drive Chantilly, VA 20151-3382

5920100001 - 10 Gray Gables Dr Newport Datsun c/o Crumpler, Jacquelyn Q. PO Box 1219 Kitty Hawk, NC 27949-1219

5910100023 Brennan, Rowsena & Seth 8774 Pocahontas Trail

Williamsburg, VA 23185-6026

5910100024A - 8776 Pocahontas Tr SEJ Asset Management & Investment Company 1722 Routh St, Suite 1000 Dallas, TX 75201-2506

5940100003 - 8961 Pocahontas Tr BASF Corporation Attn: Tax Department 100 Park Avenue Florham Park, NJ 07932-1049

5920100051 DYARRCC, Inc. 1708 Endeavor Drive Williamsburg, VA 23185-6239 5910100011 - 8732 Pocahontas Tr Wallace, George E, Jr., & Harrison, K & Addison, N 3 Colonnade Court Hampton, VA 23666-6025

<u>5910100017 - 8736 Pocahontas Tr</u> <u>5910100018 - 8744 Pocahontas Tr</u> Keenan Palmer P.O. Box 15356 Newport News, VA 23605-0026

5910100019 - 8750 Pocahontas Tr Scarborough, Margaret 8750 A Pocahontas Trail Williamsburg, VA 23185-6027

5920100003 - 8810 Pocahontas Tr Heritage Community, LLC 486 Seaport Court, Suite 101 Redwood City, CA 94063-2730

5910400001A - 1900 Algonquin Tr Pocahontas Square Townhouse Association, Inc 2310 Tower Place, Suite 105 Hampton, VA 23666-2481

<u>5910400001B - 1899 Algonquin Tr</u> Pocahontas Square Townhouse Association, Inc 15064 Carrollton Blvd, Suite H Carrollton, VA 23314-3577

<u>5920300001A – 6.29 A</u> Brookside Haven Homeowners Association, Inc. 8979 Pocahontas Trail Williamsburg, VA 23185-6243

5920100046 - 8901 Pocahontas Tr Williamsburg-James City County School Board 117 Ironbound Road Williamsburg, VA 23185-2616

5920100054 Montrose, LLC 1737 Endeavor Drive Williamsburg, VA 23185-6246

5920100052 - 1720 Endeavor Dr Tomco Williamsburg, LLC 4375 George Washington Memorial Hwy Hayes, VA 23072-2822

ITEM SUMMARY

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 20-0141 : 137 Westbury

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

ATTACHMENTS:

	Description	Туре
D	Staff Report	Staff Report
D	Resolution	Resolution
D	Presentation	Presentation
D	Site Plan	Backup Material
D	Public Advertisement	Backup Material
D	APO Letter	Backup Material
D	APO Mailing List	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:35 PM

CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0141. 137 Westbury Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicants:	Mr. John Murphy and Mrs. Teressa Murphy	
Agent:	Mr. Darrell Wahl, Wahl Builders, LLC	
Location:	137 Westbury	
Parcel Identification No.:	3720600053	
Parcel:	Lot 53, Section 13B, Ford's Colony	
Lot Size:	0.57 acres	
Area of Lot in Resource Protection Area (RPA):	0.40 acres +/- (70%)	
Watershed:	Powhatan Creek (HUC JL 31)	
Floodplain:	None	
Proposed Activity:	Construction of a deck extension	
Impervious Cover:	40 square feet	
RPA Encroachment:	40 square feet, landward 50-foot RPA	
Staff Contact:	Trevor A. Long, Watershed Planner	Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Darrell Wahl, Wahl Builders, LLC, has applied for a Chesapeake Bay Exception on behalf of Mr. John and Mrs. Teressa Murphy for encroachments into the RPA buffer for the construction of a deck extension on property located at 137 Westbury within the Ford's Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3720600053. The parcel was platted in 1997, before the adoption of the changes in the Chesapeake Bay Ordinance in 2004.

The total lot size of this property is 0.57 acres, of which 70% is located within the RPA. The applicants are proposing to construct an extension to an existing deck located on the property in order to make the deck more usable. Total impacts associated with the deck extension equal 40 square feet of impervious cover in the RPA. Required mitigation for this amount of impact to the RPA equals one half planting unit (three shrubs). While no mitigation plan has been submitted at this time, the applicants have expressed their intentions of planting in excess of the required mitigation plantings.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a deck extension. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the deck extension is accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

- 1. The exception request is the minimum necessary to afford relief; and
- 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- 4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
- 5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff's view of this application is that it meets all five of the conditions presented above and is approvable. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

- 1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
- 2. A mitigation plan consisting of three shrubs be submitted to the Stormwater and Resource Protection Division; and
- 3. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the plantings; and
- 4. This exception request approval shall become null and void if construction has not begun by January 3, 2022; and
- 5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/nb CBPA20-0141-137Wbury

Attachments: 1. Resolution

2. Site Plan

<u>RESOLUTION</u>

CASE NO. CBPA-20-0141. 137 WESTBURY

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. John and Mrs. Teressa Murphy (the "Applicants") have applied to the Chesapeake Bay Board of James City County (the "Board") on January 13, 2021, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3720600053 and further identified as 137 Westbury (the "Property") as set forth in the application CBPA-20-0141 for the purpose of constructing a deck extension; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
 - 1. The exception request is the minimum necessary to afford relief.
 - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
 - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
 - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
 - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
 - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
 - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
 - b. A mitigation plan consisting of three shrubs be submitted to the Stormwater and Resource Protection Division; and
 - c. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the plantings; and

- d. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- e. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-0141-137Wbury-res



Chesapeake Bay Board of James City County, Virginia

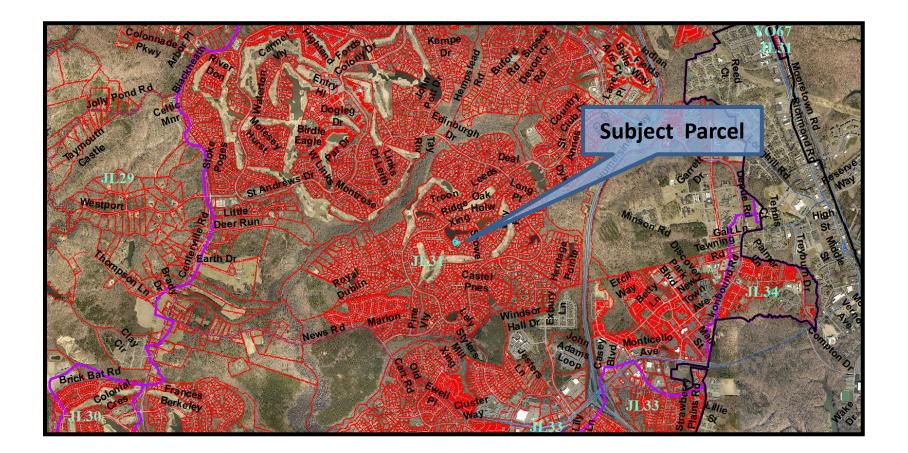
January 13, 2021

CBPA 20-0141 John and Teressa Murphy 137 Westbury



Applicant Request

✓ Construction of a deck extension.

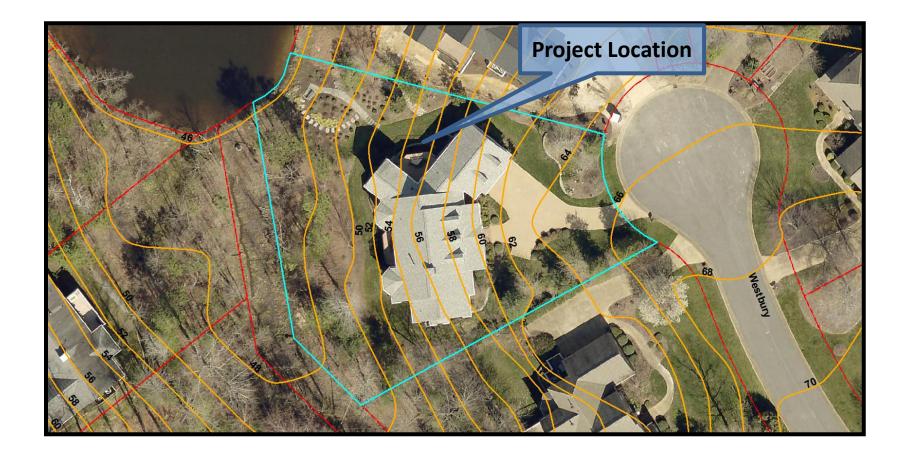


Vicinity Map CBPA-20-0141



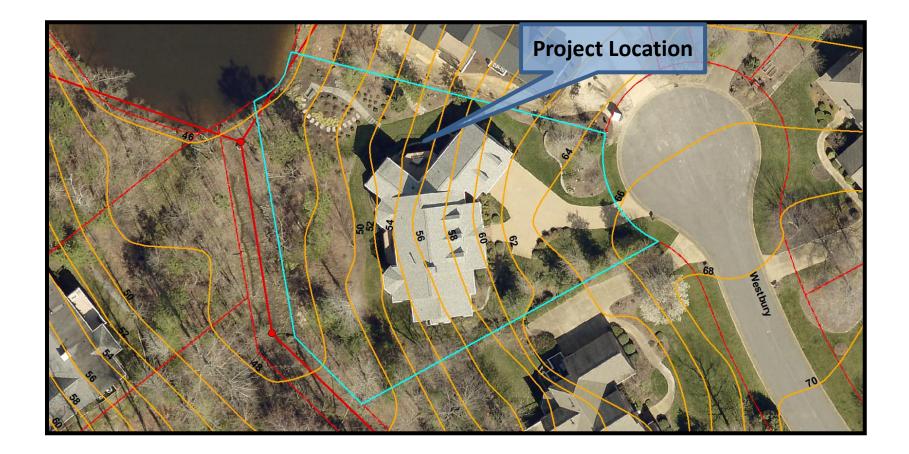
Aerial Photograph

CBPA-20-0141



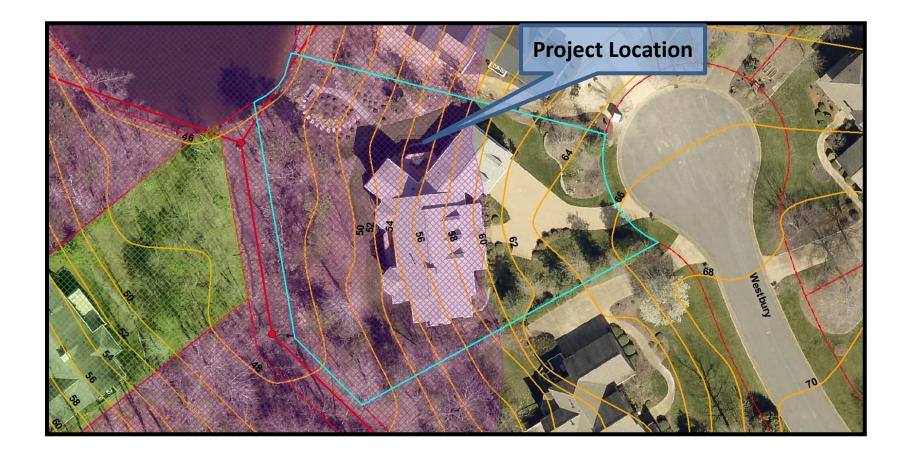
Topography

CBPA-20-0141



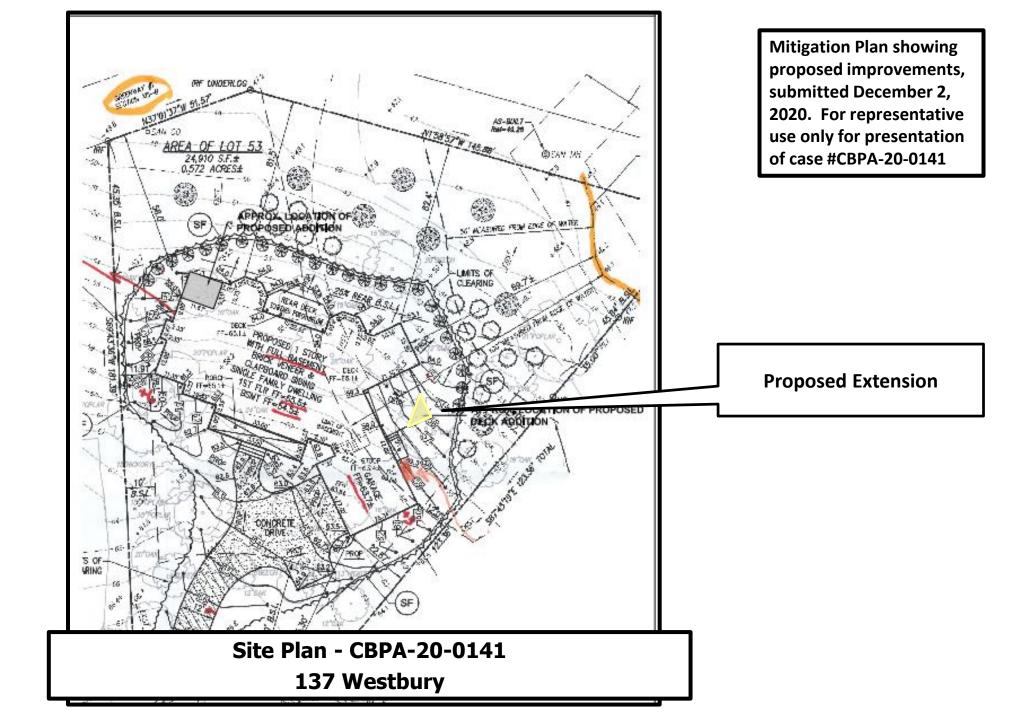
Sanitary Sewer

CBPA-20-0141

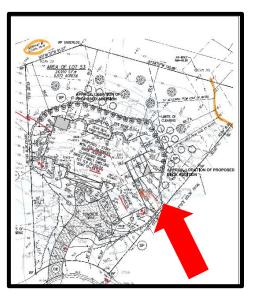


Resource Protection Area

CBPA-20-0141











Permit Conditions



Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- ✓ A mitigation plan of 3 shrubs.
- A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

Permit Conditions



Staff Recommendation – Approval

- This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.

MURPHY RESIDENCE ADDITION

ABBREVIATION II

FURN.

GALV.

GYP. BD.

HDWD.

HDR.

H.M.

HORIZ.

HGT.

INSUL.

I.D.

INT.

KIT

LAM.

LAV.

MAS.

MAX.

MECH.

MTL.

MFR.

MIN.

MISC.

М.О.

MTD.

N.I.C.

NOM.

N.T.S.

0.A.

0.C.

0.D.

OPNG.

OPT.

P.LAM.

PLUMB.

PLYWD.

PR

PROP.

P.S.F.

P.S.I.

PTD.

P.V.C.

NO.

GA

AND AT A/C AIR CONDITIONING AREA DRAIN A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMAT BOARD BLDG. BUILDING BEAM BSMT. BASEMENT BTWN. BETWEEN BOT. BOTTOM CENTER LINE C.T. CERAMIC TILE CLG. CEILING CLOS. CLOSET CONSTRUCTION MGR. CMU CONC. MASONRY UNIT COL. COLUMN CONC. CONCRETE CONT. CONTINUOUS CONST. CONSTRUCTION (D) BEAM DROP BEAM DEPT. DEPARTMENT DTL. DETAIL DRINKING FOUNTAIN DIA. DIAMETER DIMENSION DISPENSER DISP. DOWN DOOR DOWN SPOUT DWG. DRAWING EACH ELEVATION ELECTRICAL ELEC. EQUAL EQUIP. EQUIPMENT EXIST. EXISTING EXTERIOR EXT. (F) BEAM FLUSH BEAM FLOOR DRAIN F.D. FLOOR SINK FINISH FLOOR F.O. FACE OF

A.D.

BD.

BM.

C.L.

СМ

D.F.

DN.

D.S.

EA.

EQ.

F.S.

FIN.

FL.

NDEX
FOOT
FURNITURE
GAUGE
GALVANIZED
GYPSUM BOARD
HARDWOOD
HEADER
HOLLOW METAL
HORIZONTAL
HEIGHT
INSIDE DIAMETER
INSULATION
INTERIOR
JOINT
KITCHEN
LAMINATE
LAVATORY
LIGHT
MASONRY
MAXIMUM
MECHANICAL
METAL
MANUFACTURER
MINIMUM
MISCELLANEOUS
MASONRY OPENING
MOUNTED
NOT IN CONTRACT
NUMBER
NOMINAL
NOT TO SCALE
OVERALL
ON CENTER
OUTSIDE DIAMETER
OPENING
OPTIONAL
PLATE
PLASTIC LAMINATE
PLUMBING
PLYWOOD
PAIR
PROPERTY
PER SQUARE FOOT
PER SQUARE INCH
PAINTED
POLY VINYL CHLORIDE

Q.T.	QUARRY TILE
QTY.	QUANTITY
	ALLIED DOMECQ
	RADIUS
REF.	REFRIGERATOR
REINF.	REINFORCING
REV.	REVISION
REQ'D	REQUIRED
RESIL.	RESILIENT
RM.	ROOM
	ROUGH OPENING
	SCHEDULE
SEC.	SECTION
S.F.	SQUARE FOOT
SHT.	SHEET
	SIMILAR
	SPECIFICATION
SQ.	SQUARE
	STAINLESS STEEL
	STANDARD
STL.	STEEL
	STRUCTURAL
SUSP.	SUSPENDED
TEL.	TELEPHONE
THK.	THICK
THRU	THROUGH
	TOP OF PLATE
T.O.S.	TOP OF STEEL
T.O.SL.	TOP OF SLAB
TRT.	TREATED
TYP.	TYPICAL
V.C.B.	VINYL COMPOSITION BAS
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
	VINYL WALL COVERING
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT
WP.	WATERPROOFING
WT.	WEIGHT
WWM.	WELDED WIRE MESH

GRAPHIC SYMBOLS SECTION NUMBER A1 A1 SHEET SHOWN ON SHEET CUT ON DETAIL NUMBER <u>SECTION</u> DETAIL SHEET CUT ON SHEET SHOWN O <u>DETAIL</u> LEGEND

SYM.	DESCRIPTION	SYM.	DESCRIPTION
	EXIST. 2x4 STUD WALL	109	ROOM NUMBER
	2x4 STUD WALL		POST
	2x4 LOAD BEARING WALLS		POST (ABOVE)
	BRICK VENEER	\otimes	MECHANICAL VENTILATION
	CONCRETE MASONRY UNIT (CMU)		
	CONCRETE		

INDEX OF DRAWINGS

- COVER SHEET, BUILDING DATA & INDEXES
- GENERAL NOTES 2
- HOUSE ADDITION PLAN VIEWS
- ELEVATION & SECTIONAL VIEWS 4
- 5 DECK PLAN & ELEVATION VIEWS
- MISCELLANEOUS DETAILS 6

PROJECT DATA
DESCRIPTION
MASTER CLOSET ADDITION / RENOVATION:
DECK ADDITION:

TOTAL:

CLOSET ROOF VENTILATION

236_SQUARE FEET = 1.573 SQUARE FEET "REQUIRED"

PROVIDED MINIMUM OF FOLLOWING:

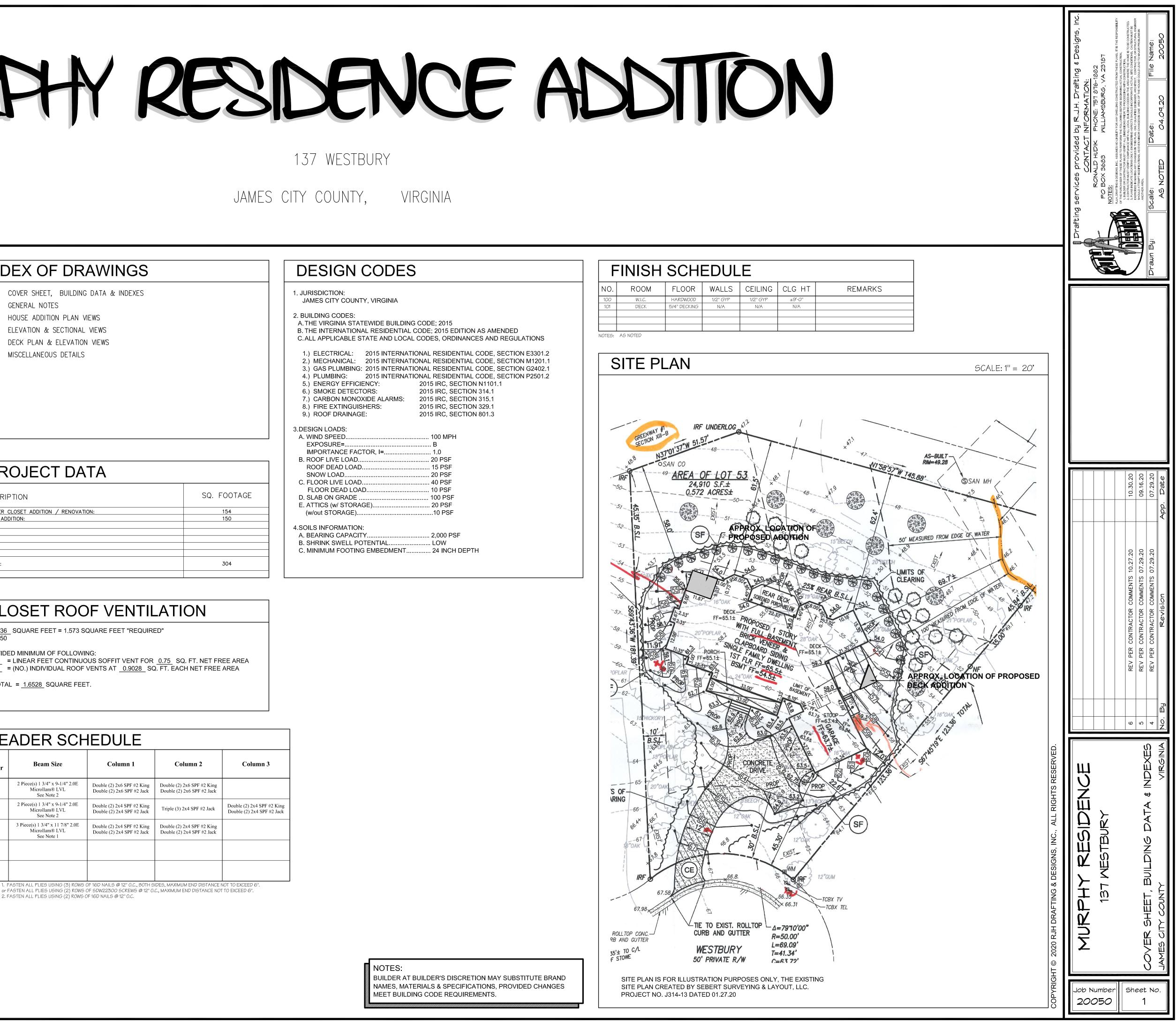
12.0 = LINEAR FEET CONTINUOUS SOFFIT VENT FOR 0.75 SQ. FT. NET FREE AREA 2.0 = (NO.) INDIVIDUAL ROOF VENTS AT 0.9028 SQ. FT. EACH NET FREE AREA

TOTAL = 1.6528 SQUARE FEET.

HEADER SCHEDULE

Beam Number	Beam Size	Column 1
200	2 Piece(s) 1 3/4" x 9-1/4" 2.0E Microllam® LVL See Note 2	Double (2) 2x6 SPF #2 King Double (2) 2x6 SPF #2 Jack
100	2 Piece(s) 1 3/4" x 9-1/4" 2.0E Microllam® LVL See Note 2	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack
101	3 Piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL See Note 1	Double (2) 2x4 SPF #2 King Double (2) 2x4 SPF #2 Jack
	FASTEN ALL PLIES USING (3) ROWS (

2. FASTEN ALL PLIES USING (2) ROWS OF 16D NAILS @ 12" O.C.



GENERAL NOTES AND REQUIREMENTS	
R.J.H. DRAFTING & DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION. ALL QUESTIONS PERTAINING TO THE ARCHITECTURAL AND STRUCTURAL ELEMENTS SHOWN ON THESE PLANS SHOULD BE ADDRESSED TO THE CONTRACTOR.	DESCRIPTION O
1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. 2. THESE PLANS MAY NOT COMPLY WITH SOME LOCAL CODES REGARDING THE SUPPORT OF MASONRY ON COMBUSTIBLE CONSTRUCTION. USE NON-COMBUSTIBLE SUPPORT WHERE REQUIRED BY CODE. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.	Blocking between joists or rafter
 THESE PLANS HAVE NOT BEEN SEALED BY A PROFESSIONAL ENGINEER. CONTACT A LOCAL PROFESSIONAL ENGINEER OR DESIGN TRADITIONS IF THIS IS REQUIRED. PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. CONTACT A PROFESSIONAL ENGINEER IF CHANGES ARE NECESSARY TO THESE DRAWINGS, WITH RESPECT TO SIZE, SPANS, HEIGHT, MATERIALS, CONFIGURATION, OR LOADING. 	Ceiling joists to plate
5. THE MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS SHALL ABIDE BY ALL LOCAL BUILDING CODES. CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR, OR STRUCTURAL ENGINEER SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE HOUSE COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.	Ceiling joists not attached to pa [see Sections R802.3.1, R802.3
FOUNDATION NOTES 1. FOUNDATIONS ARE DESIGNED TO BEAR ON RESIDUAL SOIL OR ENGINEERED COMPACTED FILL WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF. VERIFY SOIL CAPACITY AT TIME OF EXCAVATION. IF A LESSER CAPACITY IS DISCOVERED, THIS FOUNDATION SYSTEM IS VOID AND MUST BE RE-DESIGNED. 2. SOILS UNDER FOOTINGS TO BE AT 98 % STANDARD PROCTOR DENSITY; SOILS UNDER SLABS TO BE AT 95 % STANDARD PROCTOR DENSITY.	Ceiling joists attached to paralle [see Sections R802.3.1, R802.3 Collar tie rafter, face nail or 1-1/2
3. PROVIDE 12" MINIMUM COVER OVER FOOTINGS, UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH. ALL CONSTRUCTION ON FILL SOILS SHALL BE REVIEW BY A REGISTERED GEOTECHNICAL ENGINEER.	
GENERAL CONCRETE NOTES 1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ACI 318. ALL DETAILING, FABRICATION, ACCESSORIES, AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.	Rafter or roof truss to plate
2. CONCRETE FOR THE FOOTINGS SHALL BE NORMAL WEIGHT GRAY CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. CONCRETE FOR THE PORCHES SLABS AND GARAGE SLABS SHALL BE NORMAL WEIGHT GRAY CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. 3. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615: GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 AND LARGER BARS.	Roof rafters to ridge, valley or hi
 4. LAP ALL REINFORCING BARS 30 BAR DIAMETERS, MINIMUM. 5. WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A185. 6. LAB WIELDED WIRE FABRIC 6" MINIMUM AT ALL SPLICES. 	to minimum 2" ridge beam
6. LAP WELDED WIRE FABRIC 6" MINIMUM AT ALL SPLICES. 7. WHERE PIPE PASSES THROUGH A FOUNDATION WALL, DROP THE WALL FOOTING TO PASS BELOW THE PIPE (REFER TO STEPPED FOOTING DETAIL). PROVIDE 1" THICK COMPRESSIBLE MATERIAL AROUND PIPE.	
8. ALL CONSTRUCTION JOINTS SHALL BE ROUGH-SURFACE AND CLEANED BEFORE THE NEXT POUR. NO HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED IN WALLS OR SLABS.	Stud to stud (not at braced wa
9. USE SAWN OR FORMED CONTROL JOINTS IN ALL SLABS. LOCATE JOINTS SO THAT THE MAXIMUM AREA BOUNDED WITH THE JOINTS IS 600 SQUARE FEET, AND THE RATIO OF THE SIDES IS NOT MORE THAN 2:1. 10. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.	Stud to stud and abutting stu (at braced wall panels)
STRUCTURAL WOOD FRAMING NOTES 1. THE TERMITE METHOD THAT IS TO BE APPLIED TO THIS PROJECT WILL BE A WOOD BORATE APPLICATION.	Built-up header (2" to 2" header
2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.	Continuous header to stud
3. LUMBER FOR BEAMS, HEADERS, JOISTS, AND RAFTERS SHALL BE SOUTHERN PINE NO. 2, OR EQUAL, UNLESS NOTED OTHERWISE.	
 LAMINATED VENEER LUMBER BEAMS SHALL BE MICRO-LAM BEAMS, MANUFACTURED BY TRUS-JOIST MACMILIAN, OR EQUAL. FINAL DESIGN OF FLOOR SYSTEM TO BE PROVIDED BY FLOOR SYSTEM MANUFACTURE. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS. 	Top plate to top plate
6. DO NOT CUT FRAMING MEMBERS FOR PLUMBING, ELECTRICAL, OR MECHANICAL WITHOUT REINFORCING THE MEMBER TO ITS ORIGINAL CAPACITY. 7. LUMBER FOR THE 2 X 4 AND 2 X 6 STUDS SHALL BE STUD GRADE SPRUCE-PINE-FIR, OR EQUAL, UNLESS NOTED OTHERWISE.	Double top plates splice for SDC spacing less than 25'
 8. STUD WALLS SUPPORTING FLOORS, CEILING, AND ROOF LOADS SHALL BE 2 X 4 AT 16" ON CENTER; ALL OTHER WALLS TO BE 2 X 4 AT 16" ON CENTER, UNLESS OTHERWISE NOTED. STUD WALLS 9-2 OR TALLER TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS. 9. ALL HEADERS AND BEAMS TO BE SUPPORTED BY BUILT-UP 2 X'S OR COLUMNS AS SHOWN ON THE PLANS. SUPPORT TO BE CONTINUOUS TO FOUNDATION OR OTHER SUPPORT BELOW. 	Double top plates splice for SDC wall line spaceing greater than or equ
10. ALL COLUMN/JACK STUDS ARE TO NO. 2 SPF UNLESS NOTED OTHERWISE. 11. BEARING-TYPE CONNECTIONS MAY BE TOW-NAILED. ALL OTHER CONNECTIONS OF STRUCTURAL MEMBERS TO BE MADE USING METAL JOIST HANGERS.	Bottom plate to joist, rim joist, blocking (not at braced wall pane
 PROVIDE SIMPSON HURRICANE CLIPS MODEL# H2.5A ON EACH RAFTER TYP. PROVIDE BLIND FLASHING AT ALL HIPS, VALLEYS & ROOF CONNECTIONS TYP. ROOF AREAS WITH A PITCH OF 4/12 OR LESS WILL BE REQUIRE TO INSTALL AN ADDITIONAL 	Bottom plate to joist, rim joist,
LAYER OF UNDERLAYMENT PER R905.2.2 14. ICE AND WATER SHIELD TYPE MEMBRANE SHALL BE INSTALLED AT THE FIRST COURSE OF THE EAVES, RAKES VALLEYS AND WHERE A ROOF LINE MEETS A WALL. ROOF FLASHING SHALL BE INSTALLED PER THE 2015 IRC AND STATE WIDE BUILDING CODE AND ALSO PER MANUF. SPECS.	blocking (at braced wall panels)
15. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED. PROVIDE PRESSURE TREATED LUMBER AT ALL OTHER LOCATIONS SHOWN ON THE PLANS.	
16. THE FIRE BLOCKING MATERIALS FOR ALL PENETRATION OF CABLE WIRES, DUCTS AND PLUMBING WILL CONSIST OF 3M FIRE CAULK & DRAFT STOP OR FIRESTOP 814 PLUS. PROVIDE FIRE BLOCKING IN WALLS AT CEILING ELEVATION CHANGES WHERE DOUBLE TOP-PLATE IS NOT PRESENT, AT WALLS EXCEEDING 10'-0" IN HEIGHT, AND AT OTHER LOCATIONS NOTES IN R302.11.	Top or bottom plate to stud
STRUCTURAL DECKNOTES 1. ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACQ OR CA-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS FOR GROUND CONTACT. 2. ALL NAILS SHALL BE SPIRAL OR ANNULAR GROOVED.	
 3. BEARING-TYPE CONNECTIONS MAY BE TOE-NAILED. ALL OTHER CONNECTIONS OF STRUCTURAL MEMBERS TO BE MADE USING METAL JOIST HANGERS. 4. NEW PRESSURE TREATMENT METHODS USE CHEMICALS THAT WILL PREMATURELY CORRODE STANDARD FASTENERS. HARDWARE, AND FLASHING WHEN IN CONTACT WITH 	Top plates, laps at corners and i
PRESSURE TREATED LUMBER, AND, AS A RESULT, FASTENER AND HARDWARE REQUIREMENTS HAVE CHANGED; SEE BELOW. A. ALL SCREWS AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. B. ALL HARDWARE (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL. LOOK FOR PRODUCTS SUCH AS "ZMAX" FROM SIMPSON STRONG-TIE OR "TRIPLE ZINC" FROM USP.	1" brace to each stud and plate,
5. DECKS CONSTRUCTED ACCORDING TO THIS HAVE NOT BEEN DESIGNED FOR FUTURE HOT TUB INSTALLATIONS. 6. ANCHORS: FURNISH GALVANIZED ANCHORS REQUIRED FOR CARPENTRY WORK.	1" x 6" sheathing to each bearing
 POST BASES ALONG FOOTINGS SHALL BE SIMPSON ABU66Z, OR APPROVED EQUAL. PRE-MANUFACTURED POST ANCHORS SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL. ALL DECKING MATERIAL SHALL BE COMPOSED OF 2X6 OR 5/4 ("FIVE-QUARTER") BOARD. ATTACH DECKING TO EACH JOIST WITH 2-8D NAILS OR 2-#8 SCREWS. DECKING MAY BE 	
PLACED FROM AN ANGLE PERPENDICULAR TO THE JOISTS TO AN ANGLE OF 45 DEGREES TO THE JOISTS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF 4 JOISTS.	1"x8" and wider sheathing to eac
EVALUATION REPORT MUST BE ON THE JOBSITE AND AVAILABLE TO THE INSPECTOR DURING THE INSPECTION PROCESS. INSTALLATION AND SPAN LENGTHS OF THE SUBSTITUTED MATERIAL MUST BE IN STRICT CONFORMANCE WITH THE EVALUATION REPORT AND THE MANUFACTURER'S INSTRUCTIONS. 11. ATTACH A CONTINUOUS RIM JOIST TO THE ENDS OF JOISTS (5) #10 x 3" MIN. WOOD SCREWS. PLEASE NOTE: RIM JOISTS ARE REQUIRED AT BOTH ENDS OF JOISTS ASSOCIATED WITH FREE-STANDING DECKS. MINIMUM RIM JOIST DIMENSIONS SHALL BE EQUAL TO THE DIMENSIONS OF THE JOIST.	
12. THE POST-TO-BEAM CONNECTION MAY BE ACCOMPLISHED BY NOTCHING THE 6X6 POST OR BY USING SIMPSON AC6 OR ACE6 POST CAPS. ALL THRU-BOLTS SHALL HAVE WASHERS AT THE BOLT HEAD AND NUT. ALL POST SIZES SHALL BE 6X6, AND THE MAXIMUM HEIGHT SHALL BE 14'-0". 13. GUARD POSTS MAY BE ATTACHED TO THE OUTSIDE FACE OF THE RIM JOIST. HOWEVER, IN THIS CONDITION, GUARDS THAT RUN PERPENDICULAR TO THE DECK JOISTS	Joist to sill, top plate or girder
13. SUARD FOSTS MAY BE ATTACHED TO THE OUTSIDE FACE OF THE RIM JOIST. HOWEVER, IN THIS CONDITION, GOARDS THAT RON PERFENDICULAR TO THE DECR JOISTS SHALL BE ATTACHED TO THE RIM JOIST WITH A HOLD-DOWN ANCHOR. HOLD-DOWN ANCHORS MUST BE INSTALLED TO ATTACH THE GUARD POST AND RIM JOIST TO THE DECK JOIST. THERE SHALL BE A MINIMUM OF TWO 1/2" DIAMETER BOLTS AT THE HOLD-DOWNS ANCHORS' ATTACHMENT TO THE JOIST. ONLY HOLD-DOWN ANCHOR MODELS MEETING THESE MINIMUM REQUIREMENTS SHALL BE USED. 14. THRU-BOLTS SHALL HAVE A MINIMUM DIAMETER OF 1/2". LEAD (PILOT) HOLES FOR THRU-BOLTS SHALL BE 17/32" TO 9/16" IN DIAMETER. THRU-BOLTS MUST BE EQUIPPED	Rim joist, band joist or blocking t plate (roof applications also)
WITH WASHERS AT THE BOLT HEAD AS WELL AS THE NUT. INSULATION NOTES INSULATION CHANGER BY INSULATION CONTRACTOR	
CEILING - R38, VAULTED CEILING - R30, WALLS - R15, BLOWN - R38, CRAWL - R19, WALL CORNER CAVITIES - R3 THESE R FACTORS DO NOT INCLUDE A FACTOR PICKED UP IN FRAMING MATERIALS.	1' x 6" subfloor or less to each jo
	2" subfloor to joist or girder
	2" planks (plank & beam - floor &
	Band or rim joist to joist
	·

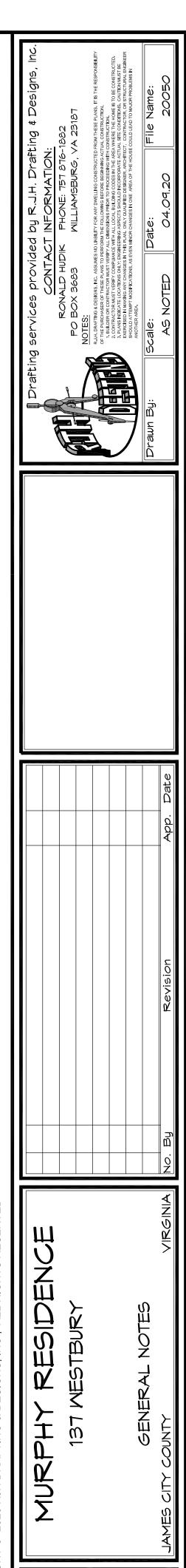
BUILDING ELEMENTS	NUMBER AND TYPE OF FASTNER a,b,c,d	SPACING OF FASTNERS
to top plate	4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
	4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joists, toe nail
allel rafter, laps over partitions 2 and Table R802.5.1(9)]	4-10d box (3" x 0.128"); or 3-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail
rafter (heel joint) 2 and Table R802.5.1(9)]	Table R802.5.1(9)	Face nail
x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail each rafter
	3-16d box nails (3-1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
rafters or roof rafter	4-16d (3-1/2" x 0.135"); or 3-10d common (3-1/2" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Toe nail
	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	End nail
Wo	1 11 16d common (3-1/2" × 0.162")	24" O.C. face nail
panels)	3-10d box (3" x 0.128"); or 3" x 0.131" nails	16" O.C. face nail
5 at intersecting wall corners	16d common (3-1/2" x 0.135"); or 3" x 0.131" nails	12" O.C. face nail
vith 1/2" spacer)	16d common (3-1/2" x 0.162") 16d common (3-1/2" x 0.162")	16" O.C. face nail 16" O.C. each edge face nail
пип пе эраны)	16d box (3-1/2" x 0.135") 5-8d box (3" x 0.113"); or	12" O.C. each edge face nail
	4-8d common (2-1/2" x 0.131"); or 4-10d box (3" x 0.128")	Toe nail
	16d common (3-1/2" x 0.162") 3-10d box (3" x 0.128"); or	16" O.C. face nail
A-D2 with seismic braced wall line	3" x 0.131" nails 8-16d common (3-1/2" x 0.162"); or 12-16d box (3-1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	12" O.C. face nail Face nail on each side of end joint (minimum 24" lap splice
DO, D1, or D2; and braced I to 25'	12-16d (3-1/2" x 0.135")	length each side of end joint
and joist or	16d common (3-1/2" x 0.162") 16d box (3" x 0.135"); or	16" O.C. face nail
)	3" x 0.131" nails	12" O.C. face nail
nd joist or	3-16d box (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" O.C. face nail 2 each 16" O.C. face nail 4 each 16" O.C. face nail
	4-8d box (2-1/2" × 0.113"); or 3-16d box (3-1/2" × 0.135"); or 4-8d common (2-1/2" × 0.131"); or 4-10d box (3" × 0.128"); or 2 staples 1-3/4	Face nail
	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	End nail
tersections, face nail	3-16d (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail
ace nail	3-8d box (2-1/2" x 0.113"); or 2-8d common (2-1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples 1-3/4"	Face nail
	3-8d box (2-1/2" x 0.113"); or 2-8d common (2-1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1-3/4" long	Face nail
	3-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3 staples, 1" crown, 16 ga., 1-3/4" long	
bearing	Wider than 1" x 8" 4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 4 staples, 1" crown, 16 ga., 1-3/4" long	Face nail
Flo		
	4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
sill or top	8d box (2-1/2" x 0.113") 8d common (2-1/2" x 0.131"); or 10d box (3" x 0.128"); or 2" x 0.131" noise	4" O.C. Toe nail 6" O.C. Toe nail
t	3" x 0.131" nails 3-8d box (2-1/2" x 0.113"); or 2-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1-3/4" long	Face nail
	2 staples, 1° crown, 16 ga., 1-3/4° long 3-10d box (3" × 0.128"); or 2-16d common (3-1/2" × 0.162")	Blind and face nail
roof)	3-10d box (3" × 0.128"); or 2-16d common (3-1/2" × 0.162")	At each bearing , face nail
	3-16d common (3-1/2" × 0.162"); or 4-10d box (3" × 0.128"); or	

<u> </u>	Floo	or continued		Nail each layer as follows:				T	ABLE R60	2.3 (2)	_			
		20d common (4" x 0.19	92"); or	Nall each layer as follows: 32" O.C. at top and bottom and staggered.				ALTEF	NATE AT	ACHMENTS		SPACING		ASTENERS
				24" O.C. face nail at top and	MATERIAL	THICKNESS thes)	DESC	RIPTION a,b	OF FASTEN (inches)	ER AND LEN	NGTH	Edges (inches)		rmediate sup (inches)
puilt-up girders and beams, 2	-inch lumber	10d box (3" x 0.128") 3" x 0.131" nails		bottom staggered on opposite sides		,	subfloor, root	f and wall s	heathing to	framing and	d particleb	. ,	l heathing	. ,
ayers		And:		opposito siacs	t	o 1/2"	Staple 15 g 0.097 - 0.	ga. 1-3/4" 099 Nail 2-1/4"				4		8
		2-20d common (4" x 0.1		Face nail at ends and at each			Staple 16	ga. 1-3/4"				3		6
		3-10d box (3" x 0.128 3-3" x 0.131" naile		splice	19/32"	and 5/8"	0.113 Nail 2 Staple 15 a	2" and 16 ga. 2"				3 4		6 8
		4-16d box (3-1/2" x 0.13					0.097 - 0. Staple 14 d	099 Nail 2-1/4" a. 2"				4		8 8
edger strip supporting joists.	or rafters	3-16d common (3-1/2" x C 4-10d box (3" x 0.128		At each joist or rafter, face nail	23/32"	and 3/4"	Staple 15 g	ga. 1-3/4"				3		6
		4-3" x 0.131" naile	ō				0.097 - 0. Staple 16 (099 Nail 2-1/4" ga. 2"				4		8 8
Bridging to joist		2-10d (3" x 0.128'	')	Each end, toe nail			Staple 14 g 0.113 Nail 2					4 3		8
						1"	Staple 15 g	ga. 2-1/4''				4		8
	TABLE R60 FASTENER SCHEDULE)2.3 (1)—CONTINUED E FOR STRUCTURAL M	EMBERS			INAL	DECO	099 Nail 2-1/2"	OF FASTEN	ER AND LEN	IGTH	4 SPACING	c OF F	8 ASTENERS
ESCRIPTION OF BUILDIN				CING OF FASTENERS		THICKNESS ches)	5200		(inches)			Edges (inches)	6	Body of pane (inches)
MATERIALS			Edge (inche	c,e (inches) icleboard wall sheathing to			For ur	nderlayment;		ardboard—pa	rticleboard	f		
	e R602.3(3) for wood str	ructural panel exterior wal						ion-resistant, r	5	nent		3		6
3/8"-1/2"	6d common (2" x 0.113") 8d common (2-1/2" x 0.1		6	12f			`	ooring other th ga., 7/8" long, 1,						-
9/32"-1"	8d common nail (3" x 0.	131")	6	12f	1	/4"		ooring other th x .121" shank x .		eter corrosion-1	resistant	3		6
1/8"-1 1/4"	10d common (3" x 0.148 8d (2-1/2" x 0.131") defo		6	12			(galvanized	l or stainless s	ceel) roofing na	ls (for tile finisk obed wafer-head	1)	8		8
/ <u>////////////////////////////////////</u>		wall sheathing g					(for tile fin		Plywoo			8		8
/2" structural cellulosic iberboard sheathing	1" crown staple 16 ga., 1-1/	3	3	6			ů	or screw shank	nail - minimum	.		3		6
25/32" structural cellulosic iberboard sheathing	1-3/4" galvanized roofing r 1" crown staple 16 ga., 1-1/	nail, 7/16" head diameter, or /2" long	3	6	1/4" ar	1d 5/16''		(0.099") shank ga., 7/8", 3/16"				2		5
/2" gypsum sheathing d	1-1/2" galvanized roofing n	ail; staple galvanized,	7	7	11/32", 3/8", 1	15/32" and 1/2	, 1-1/4" ring	or screw shank (0.099'') shank	nail - minimum			6		8e
	1-1/2" long; 1-1/4" screws, ⁻ 1-3/4" galvanized roofing r	nail; staple galvanized,				08/201 -	1-1/2" ring	or screw shank	nail - minimum			6		8
5/8 gypsum sheathing d	1-5/8" long; 1-5/8" screws	s, Type W or S	7	7	19/32", 5/8", 2	20102" and 3/	12-1/2 ga. (Staple 16 g	(0.099'') shank ga. 1-1/2''	alameter			6		8
Wood 3/4" and less	6d deformed (2" x 0.120		ent to fro	12			1-1/2" 1000	ring-grooved un	Hardboar derlavment nai			6		6
	8d common (2-1/2" x 0.1 8d common (2-1/2" x 0.1	,			0.2	200"	4d cement	-coated sinker	nail			6		6
7/8" - 1"	8d deformed (2-1/2" x 0	0.12Ó")nail	6	12			Staple 18 g	ga., 7/8" long (p	lastic coated) Porticlebo	bard	[3		6
1-1/8" - 1-1/4"	10d common (3" x 0.148 8d deformed (2-1/2" x 0		6	12	1	/4"		ooved underlayn ga., 7/8" long, 3				3 3		6
		· · · · ·				/8"		oved underlayr				6		10
For SI:1 inch= 25.4 mm, 1 foot				used for framing and sheathing			,	ga., 1-1/8" long, poved underlayr				3		6 10
c. Nails shall be spaced at no d. Four-foot-by-8-foot or 4-fo e. Spacing for fasteners not i f. Where the ultimate design v end wall framing shall be spac attaching panel roof sheathir	ot more than 6 inches on ce oot-by-9-foot panels shall b included in this table shall b wind speeds of 130 mph or l ced 6 inches on center. Whe ng to intermediate support	h on diameter crown width. enter at all supports where e be applied vertically. be based on Table R602.3(2) ess, nails for attaching woo re the ultimate design wind is shall be spaced 6 inches o	opans are 4). d structur speed is gr on center fc	al panel roof sheathing to gable eater than 130 mph, nails for	a. Nail is a gener. b. Staples shall ł c. Nails or staple Mails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard una Specified alter Fasteners att	nave a minimun es shall be spa es shall be spa all be placed in Is, intermedia: derlayment sha mate attachm caching wood e	n crown width of 7 ced at not more ced at not more - a grid pattern th ie nails shall be sp ill conform to CPA ents for roof she. tructural panel ro	7/16-inch on dia than 6 inches o than 12 inches o roughout the bo paced not more A/ANSI A135.4 athing shall be poof sheathing to	meter except a on center at all on center at int ody of the pane than 12 inches permitted when o gable end wall	s noted. supports where ermediate suppo on center each e the ultimate d framing shall be	spans are 48 orts for floors. way. lesign wind spa	ed is less that	n 130 mph	
c. Nail's shall be spaced at no d. Four-foot-by-8-foot or 4-fo e. Spacing for fasteners not i f. Where the ultimate design w end wall framing shall be spac attaching panel roof sheathir from ridges, eaves and gable g. Gypsum sheathing shall con shall conform to ASTM C 208 h. Spacing of fasteners on floo	nd have a minimum 7/16-incl ot more than 6 inches on ce oot-by-9-foot panels shall b included in this table shall b wind speeds of 130 mph or lo ced 6 inches on center. When ng to intermediate support end walls; and 4 inches on c nform to ASTM C 1396 and 3. or sheathing panel edges ap	h on diameter crown width. enter at all supports where a be applied vertically. be based on Table R602.3(2) ess, nails for attaching woo re the ultimate design wind s shall be spaced 6 inches o center to gable end wall fram d shall be installed in accord pplies to panel edges suppor	5pans are 4). d structura speed is gr on center fo ning. lance with (rted by frar	r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for r minimum 48-inch distance GA 253. Fiberboard sheathing ning members and at all floor	a. Nail is a gener b. Staples shall h c. Nails or staple Nails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard und g. Specified alter	al description nave a minimu es shall be spa s shall be spa all be placed in ls, intermedia derlayment sha nate attachn caching wood e	n crown width of 7 ced at not more ced at not more a grid pattern th ce nails shall be sp all conform to CPA ents for roof she. tructural panel ro shall conform to A REQUII	7/16-inch on dia than 6 inches of than 12 inches of roughout the bo paced not more AVANSI A135.4 athing shall be poof sheathing to ASTM C 1288 of T REMENTS	meter except a on center at all on center at int ody of the pane than 12 inches permitted when o gable end wall of SO 8336, Ca ABLE R60 FOR WOOD	s noted. supports where ermediate suppo on center each e the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU	spans are 48 orts for floors. way. lesign wind spa e installed usin RAL PAN	eed is less than ig the spacing EL	n 130 mph	
end wall framing shall be space attaching panel roof sheathing from ridges, eaves and gable g. Gypsum sheathing shall con- shall conform to ASTM C 2028 h. Spacing of fasteners on flow perimeter only. Spacing of fast at all roof plane perimeter. Blow required except at intersection	nd have a minimum 7/16-incl ot more than 6 inches on ce oot-by-9-foot panels shall b wind speeds of 130 mph or lo ced 6 inches on center. When ng to intermediate support end walls; and 4 inches on c nform to ASTM C 1396 and 3. For sheathing panel edges ap steners on roof sheathing pa ocking of roof or floor sheat	h on diameter crown width. enter at all supports where e be applied vertically. be based on Table R602.3(2) ess, nails for attaching woo re the ultimate design wind to shall be spaced 6 inches o center to gable end wall fram d shall be installed in accord pplies to panel edges suppor anel edges applies to panel o thing panel edges perpendicu	opans are 4). d structura speed is gr on center fo ning. lance with (rted by fran edges supp ular to the	r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for or minimum 48-inch distance 3A 253. Fiberboard sheathing ning members and at all floor orted by framing members and framing members shall not be	a. Nail is a gener. b. Staples shall ł c. Nails or staple Mails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard una Specified alter Fasteners att	al description nave a minimu es shall be spa es shall be spa all be placed in ls, intermedia derlayment sha nate attachn rate attach eaching wood e underlayment	n crown width of 5 ced at not more ced at not more - a grid pattern th ie nails shall be sp ill conform to CPA ents for roof she. tructural panel ro shall conform to A REQUIF WALL SHEA MINIMUM	7/16-inch on dia than 6 inches o than 12 inches o roughout the b baced not more VANSI A135.4 athing shall be bof sheathing tr ASTM C 1288 o T REMENTS	meter except a on center at all on center at int ody of the pane than 12 inches permitted when ogable end wall of S0 8336, Ca ABLE R60 FOR WOOD ED TO RE MAXIMUM	s noted. supports where ermediate suppo on center each e the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU	spans are 48 orts for floors. way. lesign wind spa e installed usin PRESSUF	EL RES 0.b.c	n 130 mph listed for IMUM W	panel edges.
c. Nails shall be spaced at no d. Four-foot-by-8-foot or 4-fo e. Spacing for fasteners not if f. Where the ultimate design we end wall framing shall be space attaching panel roof sheathir from ridges, eaves and gable g. Gypsum sheathing shall con shall conform to ASTM C 2028 h. Spacing of fasteners on flow perimeter only. Spacing of fase at all roof plane perimeter. Blow required except at intersection solid blocking. i. Where a rafter is fastened to	nd have a minimum 7/16-incl ot more than 6 inches on ce oot-by-9-foot panels shall b wind speeds of 130 mph or lo ced 6 inches on center. When ng to intermediate support end walls; and 4 inches on c nform to ASTM C 1396 and 3. or sheathing panel edges ap oteners on roof sheathing pa ocking of roof or floor sheat on of adjacent roof planes. F	h on diameter crown width. enter at all supports where e be applied vertically. be based on Table R602.3(2) ess, nails for attaching woo re the ultimate design wind is shall be spaced 6 inches o center to gable end wall fram d shall be installed in accord pplies to panel edges suppor anel edges applies to panel of thing panel edges perpendicu Floor and roof perimeter sha	opans are 4). d structura speed is gr on center fo ning. lance with (rted by fran edges supp ular to the all be suppo this schedu	r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for or minimum 48-inch distance 3A 253. Fiberboard sheathing ning members and at all floor orted by framing members and framing members shall not be rted by framing members or le, provide two toe nails on one	a. Nail is a gener. b. Staples shall ł c. Nails or staple Mails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard una g. Specified alter Fasteners att h. Fiber-cement u	al description nave a minimu es shall be spa es shall be spa es shall be spa es placed in ls, intermedia: nate attachm nate attachm aching wood e underlayment NAIL Penetrotion	n crown width of 5 ced at not more ced at not more a grid pattern th ie nails shall be sp ill conform to CP/ ents for roof she. tructural panel ro shall conform to A REQUI WALL SHEA MINIMUM WOOD STRUCTURAL PANEL SPAN	7/16-inch on dia than 6 inches than 12 inches toughout the b baced not more VANSI A135.4 athing shall be of sheathing to ASTM C 1288 o T REMENTS THING US MINIMUM NOMINAL PANEL THICKNESS	meter except a on center at all on center at int ody of the pane than 12 inches permitted when 0 gable end wall 0 100 8336, Ca ABLE R60 FOR WOOD ED TO RE MAXIMUM WALL STUD SPACING	s noted. supports where ermediate supports on center each e the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU SIST WIND PANEL NA Edges	spans are 48 orts for floors. way. lesign wind spa e installed usin PRESSUF IL SPACING Field	EL RES o.b.c Wind	n 130 mph listed for (IMUM W (mp	panel edges.
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CUPIED SP	r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for or minimum 48-inch distance 3A 253. Fiberboard sheathing ning members and at all floor orted by framing members and framing members shall not be rted by framing members or le, provide two toe nails on one fulle. The toe nail on the <u>joints in stroight walls</u> <u>ite size</u> <u>Minimum noils</u> <u>each side of joint</u> 0.036" (12) 8d box (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (0.036" (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (18) 8d box Than 6'-0" FROM A DAMAGE, GUARDS OR THAN 6'-0" FROM A DM. ALL MATERIALS AND FINAL ACCEPTANCE. CE WITH 2015 VIRGINIA NATURAL GAS E MANUFACTURER'S ICE WITHOUT REMAINING	a. Nail is a gener. b. Staples shall I c. Nails or staple Nails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard und g. Specified alter Fasteners att h. Fiber-cement u MINIMUM Size 6d common (2" × 0.113") 8d common (2.5" × 0.131") For SI: 1 in a. Panel strengtl applied with pane b. Table is based accordance with c. Wood Structu rated 16 oc or 2 ² spaced a maximu For SI: 1 in a. 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c. Nails shall be spaced at no d. Four-foot-by-8-foot or 4-fo e. Spacing for fasteners not if f. Where the ultimate design w end wall framing shall be space attaching panel roof sheathin from ridges, eaves and gable g. Gypsum sheathing shall con- shall conform to ASTM C 2028 h. Spacing of fasteners on floo perimeter only. Spacing of fas- at all roof plane perimeter. Blo required except at intersection solid blocking. i. Where a rafter is fastened to side of the rafter and toe nai opposite side of the rafter sh Structures in SDC A-C; and in SDC DO, D1, and D2 with brace wall line spacing less than 25 feet Structures in SDC DO, D1, and D2, with braced wall line spacin greater than or equal to 25 fe MEEP NOC RESIDENTIAL ELECTRICAL 1. ELECTRICAL INSTALLAT 2. ALL ELECTRICAL MATE LABELED FOR THE APPLIC 3. IN LOCATIONS WHERE ENCLOSURES SHALL BE P 4. RECEPTACLES SHALL BE RECEPTACLES SHALL BE RESIDENTIAL MECHANICA 1. GAS PIPING: GAS WOR INTERNATIONAL RESIDEN 2. 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CONT.	r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for or minimum 48-inch distance 3A 253. Fiberboard sheathing ning members and at all floor orted by framing members and framing members shall not be rted by framing members or le, provide two toe nails on one hule. The toe nail on the <u>joints in straight walls</u> <u>te size minimum nails</u> <u>each side of joint</u> 0.036" (12) 8d box (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (2-1/2" x 0.113") nails (2-1/2" x 0.113") nails (2-1/2" x 0.113") nails (3-2-1/2" x 0.113") nails	a. Nail is a gener. b. Staples shall I c. Nails or staple Nails or staple d. Fasteners sha e. For 5-ply pane f. Hardboard und g. Specified alter Fasteners att h. Fiber-cement u MINIMUM Size 6d common (2" × 0.113") 8d common (2.5" × 0.131") For SI: 1 in a. Panel strengtl applied with pane b. 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Wall sheathing	Al description have a minimules shall be spate is constant of the meter and the mate attacher taching wood e underlayment NAIL Penetration (inches) 1.5 1.75 ch = 25.4 mm on wind preses Section RGO2 ral Panels with to c shall be p um of 16 incher A KNESS ches) 5/8 1/2 ch = 25.4 mm a not exposed	n crown width of 5 ced at not more ced at not more a grid pattern th e nails shall be sp ill conform to CP/ ents for roof she. tructural panel rc shall conform to A REQUIF WALL SHEA MINIMUM WOOD STRUCTURAL PANEL SPAN RATING 24/0 24/16 1 mile per hour = or perpendicular to perpendicular to span ratings of V ermitted as an alto on center.	7/16-inch on dia than 6 inches of than 12 inches of than 12 inches of than 12 inches of than 12 inches of the shart of the state of the shart of the the shart of the shart of the shart of the share the shart of the share the share of the share the share of the share the share of the share of the share of the share the share of the share of the share of the share of the share the share of the share of	meter except a on center at all on center at int ody of the pane than 12 inches permitted when o gable end wall of 08336, Ca ABLE R602 FOR WOOD ED TO RE MAXIMUM WALL STUD SPACING (inches) 16 16 24 ee-ply plywood n building surfa 24 shall be perrise is with a 24/16 ABLE R602 R PARTICL ue ue ue	s noted. supports where ermediate supports on center each e the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU SIST WIND PANEL NA Edges (inches 0.C.) 6 6 6 5 sheathing with s ces per Section nitted as an alt span rating. 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	Flo	pr continued		Nail each layer as follows:				ABLE R602	2.3(2)			
		20d common (4" x 0.19	92"); or	32" O.C. at top and bottom and staggered.					ACHMÉNTS ER AND LENG	тн	SPACING c	OF FASTENER
2	ta ala lumate en	10d box (3" x 0.128"	'); or 🛛 📋	24" O.C. face nail at top and bottom staggered on	MATERIAL THICK (inches)	INE 35		(inches)			Edges (inches)	Intermediate su (inches)
Built-up girders and beams, 2- ayers	IIIGH IUMBET	3" x 0.131" nails		opposite sides	Wood structural po	Staple 15	ga. 1-3/4''	neathing to	traming and	particleboar	4	8
		And: 2-20d common (4" x 0.1	192"); or	Face nail at ends and at each	up to 1/2"		.099 Nail 2-1/4" ga. 1-3/4"				3 3	6
		3-10d box (3" x 0.128 3-3" x 0.131" nail	3"); or	splice	19/32" and 5/8	0.113 Nail Staple 15	2" and 16 ga. 2"				3 4	6
		4-16d box (3-1/2" x 0.13				0.097 - C Staple 14	.099 Nail 2-1/4" aa. 2"				4	8
edger strip supporting joists	or rafters	3-16d common (3-1/2" x 0 4-10d box (3" x 0.128	3"); or	At each joist or rafter, face nail	23/32" and 3/4	t" Staple 15	ga. 1-3/4" .099 Nail 2-1/4"				3	6
2 • 1 • • •		4-3" x 0.131" nail				Staple 16	ga. 2"				4	8
bridging to joist		2-10d (3" × 0.128	»")	Each end, toe nail	1 ⁿ	Staple 14 0.113 Nail	2-1/4"				4 3	8
	TABLE R60	2.3 (1)-CONTINUED				1	ga. 2-1/4" .099 Nail 2-1/2"				4	8
ESCRIPTION OF BUILDIN		FOR STRUCTURAL M	-	CING OF FASTENERS	NOMINAL MATERIAL THICK (inches)	NESS DES	CRIPTION a,b	OF FASTEN (inches)	ER AND LENG	тн	SPACING c Edges (inches)	OF FASTENER: Body of pan (inches)
MATERIALS	DESCRIPTION C		Edge (inche	c,e (inches)		For u	nderlayment;	plywood-ho	rdboard-part	icleboard f	(inches)	(incres)
		wall sheathing to framing ructural panel exterior wa		icleboard wall sheathing to g to wall framing]		3d, corros	ion-resistant, ri	Fiber-cem	ent		77	
b/8"-1/2"	6d common (2" x 0.113" 8d common (2-1/2" x 0.		6	12f		Staple 18	looring other tha ga., 7/8" long, 1/	1" crown			33	6
9/32"-1"	8d common nail (3" x 0.	,	6	12f	1/4"	1-1/4" long		75" head diam	eter corrosion-re	əistant	8	8
1/8"-1 1/4"	10d common (3" x 0.148 8d (2-1/2" x 0.131") defc	rmed nail	6	12		1-1/4" long		, .	s (for tile finish) bed wafer-head e	ocrewo	8	8
'2" structural cellulosic	1/2" galvanized roofing na	wall sheathing g 1, 7/16" head diameter, or	3	6		(for tile fi	,	Plywood	1		-	
iberboard sheathing 25/32" structural cellulosic	1" crown staple 16 ga., 1-1/ 1-3/4" galvanized roofing	'4" long nail, 7/16" head diameter, or		-	1/4" and 5/16'	-	or screw shank i (0.099'') shank				3	6
berboard sheathing	1" crown staple 16 ga., 1-1/ 1-1/2" galvanized roofing n	'2" long	3	6	11/2011 2 1011 45 12011	Staple 18 1-1/4" ring	ga., 7/8", 3/16" (or screw shank i	rown width Iail - minimum	_		2	5
/2" gypsum sheathing d	1-1/2" long; 1-1/4" screws,	Type W or S	7	7	11/32", 3/8", 15/32" a	12-1/2 ga.	(0.099") shank or screw shank i	diameter			6	
/8 gypsum sheathing d	1-3/4" galvanized roofing 1-5/8" long; 1-5/8" screwe	, Type W or S	7	7	19/32", 5/8", 23/32" a	5	(0.099") shank				6	8
Wood	6d deformed (2" x 0.120					1	ring-grooved un	Hordboor erlayment nail	d f	 	6	6
	8d common (2-1/2" x 0. 8d common (2-1/2" x 0.	,	6	12	0.200"	4d cemen	ring-groovea und t-coated sinker r ga., 7/8" long (pl	ail			6 3	6
7/8" - 1"	8d deformed (2-1/2" x C 10d common (3" x 0.148	.12Ó")nail	6	12				Particlebo	ard		-	
-1/8" - 1-1/4"	8d deformed (2-1/2" x C		6	12	1/4"		ooved underlaym ga., 7/8" long, 3,				3 3	6
For SI:1 inch= 25.4 mm, 1 foot:	= 304.8 mm, 1 mile per hou	r= 0.447 m/s; 1ksi = 6.895	5 MPa.		3/8"	0.0	ooved underlayn ga., 1-1/8" long, 3				6 3	10
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Fiberboard sheathing ming members and at all floor orted by framing members and framing members shall not be rted by framing members or ile, provide two toe nails on one aule. The toe nail on the <u>joints in straight walls</u> <u>the size mail on the</u> <u>joints in straight walls</u> (2.1/2" x 0.113") nails (0.036" (12) 8d box (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (0.036" (2-1/2" x 0.113") nails (2.1/2" x 0.113") nails (2.1/2" x 0.113") nails CO36" ed steel quivalent (2-1/2" x 0.113") nails CO36" et steel quivalent (2.1/2" x 0.113") nails CO36" CE WITH 2015 VIRGINIA NATURAL GAS E MANUFACTURER'S	For SI: 1 inch = 25 a. Nail is a general descr b. Staples shall have a m c. Nails or staples shall Nails or staples shall d. Fasteners shall be pla e. For 5-ply panels, inter f. Hardboard underlayme g. Specified alternate at g. Specified alternate at Fasteners attaching u h. 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connections shall have minimu (20d common nail). 90 ksi (6 (689 MPa) for shank diamete b. Staples are 16 gage wire an c. Nails shall be spaced at not d. Four-foot-by-8-foot or 4-fc e. Spacing for fasteners not i f. Where the ultimate design w end wall framing shall be space attaching panel roof sheathin from ridges, eaves and gable of g. Gypsum sheathing shall cor shall conform to ASTM C 208 h. Spacing of fasteners on floc perimeter only. Spacing of fas- at all roof plane perimeter. Bloc required except at intersectio solid blocking. i. Where a rafter is fastened t side of the rafter and toe nail opposite side of the rafter sha CONDITION Btructures in SDC A-C; and in SDC DO, D1, and D2 with brace wall line spacing less than 25 feet Btructures in SDC DO, D1, and D2, with braced wall line spacir greater than or equal to 25 fe MEEP NOC RESIDENTIAL ELECTRICAL 1. ELECTRICAL INSTALLAT 2. ALL ELECTRICAL MATEL LABELED FOR THE APPLIC 3. IN LOCATIONS WHERE I ENCLOSURES SHALL BE PI 4. RECEPTACLES SHALL BE RECEPTACLES. 5. AT LEAST ONE (1) WALL 6. THE ELECTRICAL CONT WORKMANSHIP ARE FREE RESIDENTIAL MECHANICAI 1. GAS PIPING: GAS WOR INTERNATIONAL RESIDENT 2. THE CONTRACTOR SHA REPRESENTATIVE PRIOR 3. ALL MECHANICAL EQUIL NAMEPLATE. 4. SUFFICIENT ACCESS SH	m average bending yield st 20 MPa) for shank diamet r of 0.142 inch or less. d have a minimum 7/16-inc t more than 6 inches on ca tot-by-9-foot panels shall f included in this table shall f ind speeds of 130 mph or I ed 6 inches on center. Whe g to intermediate support end walls; and 4 inches on or form to ASTM C 1396 and or sheathing panel edges a teners on roof sheathing p boking of roof or floor sheath n of adjacent parallel ceili s from the ceiling joist to all not be required. 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(20d common nail). 90 ksi (6 (689 MPa) for shank diamete b. Staples are 16 gage wire an c. Nails shall be spaced at not d. Four-foot-by-8-foot or 4-fc e. Spacing for fasteners not i f. Where the ultimate design w end wall framing shall be space attaching panel roof sheathin from ridges, eaves and gable of g. Gypsum sheathing shall cor shall conform to ASTM C 208 h. Spacing of fasteners on floc perimeter only. Spacing of fas- at all roof plane perimeter. Bloc required except at intersectio solid blocking. i. Where a rafter is fastened t side of the rafter and toe nail opposite side of the rafter sha BC DO, D1, and D2 with brace wall line spacing less than 25 feet Structures in SDC A-C; and in SDC DO, D1, and D2 with brace wall line spacing less than 25 feet Structures in SDC DO, D1, and D2, with braced wall line spacir greater than or equal to 25 fe EXECUTIONS WHERE I ENCLOSURES SHALL BE PI A. RECEPTACLES SHALL BE PI A. RESIDENTIAL MECHANICAI D. 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CCUPIED SP	ar shank diameter of 0.192 inch r than 0.177 inch, and 100 ksi & inches or greater. al panel roof sheathing to gable eater than 130 mph, nails for or minimum 48-inch distance GA 253. Fiberboard sheathing ning members and at all floor orted by framing members and framing members shall not be rted by framing members or le, provide two toe nails on one tule. The toe nail on the <u>joints in straight walls</u> <u>ite size Minimum nalls</u> <u>each side of joint</u> 0.036" (12) 8d box (2-1/2" x 0.113") nails (0.036" (12) 8d box (2-1/2" x 0.113") nails (0.036" (18) 8d box (2-1/2" x 0.113") nails (0.036" ed steel quivalent (2-1/2" x 0.113") nails ENTES AL CODE. LL BE LISTED AND DAMAGE, GUARDS OR E THAN 6-0" FROM A OM. ALL MATERIALS AND FINAL ACCEPTANCE. CE WITH 2015 VIRGINIA NATURAL GAS E MANUFACTURER'S ICE WITHOUT REMAINING	For SI: 1 inch = 25 a. Nail is a general descr b. Staples shall have a m c. Nails or staples shall Nails or staples shall d. Fasteners shall be pla e. 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ALLOWABLE MALLOWABLE MALLOWABLE MALLOWABLE	hitted to be T-he 7/16-inch on diau than 6 inches c than 12 inches o proughout the bc paced not more A/ANSI A135.4 Pathing shall be p of sheathing to ASTM C 1288 or TAREMENTS F ATHING USI MINIMUM NOMINAL PANEL THICKNESS (inches) 3/8 7/16 C.447 m/s. to supports. Thr o suppor	ad, modified rou neter except ae n center at all e n center at inte dy of the panel. chan 12 inches of ermitted where gable end wall 1 150 8336, Cat NBLE R602 OR WOOD ED TO RES MAXIMUM WALL STUD SPACING (inches) 16 16 24 ee-ply plywood e n building surfac 4 shall be perm s with a 24/16 NBLE R602 PARTICL	noted. 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	Floo	or continued					Т	ABLE R60	2.3 (2)			
		20d common (4" x 0.192	2"); or	Nail each layer as follows: 32" O.C. at top and bottom					ACHMENTS	5	00.100	
				and staggered.	NOMINAL MATERIAL THICKNES	5 DESC	RIPTION a,b	OF FASTEN (inches)	ER AND LEN	GTH	Edges	OF FASTENERS
Built-up girders and beams, 2-	inch lumber	10d box (3" x 0.128"); 3" x 0.131" nails	;or	24" O.C. face nail at top and bottom staggered on	(inches) Wood structural panels	subfloor. roo	f and wall s	· · ·	framina and	l particlebo	(inches)	(inches)
yers				opposite sides		Staple 15	ga. 1-3/4''	,	,		4	8
		And: 2-20d common (4" x 0.19	92"); or	Face nail at ends and at each	up to 1/2"	0.097 - 0 Staple 16	.099 Nail 2-1/4" ga. 1-3/4"				3 3	6
		3-10d box (3" x 0.128") 3-3" x 0.131" nails		splice	19/32" and 5/8"	0.113 Nail Staple 15	2" and 16 ga. 2"				3	6
		4-16d box (3-1/2" × 0.135	5"): or			0.097 - 0	.099 Nail 2-1/4"				4	8
edger strip supporting joists.	or rafters	3-16d common (3-1/2" x 0.1 4-10d box (3" x 0.128"	162"); or	At each joist or rafter, face nail	23/32" and 3/4"	Staple 14 Staple 15	5				4 3	<u> </u>
		4-3" x 0.131" nails		Tace nail	25152° ana 514°	0.097 - 0 Staple 16	.099 Nail 2-1/4"				4	8
Bridging to joist		2-10d (3" × 0.128"))	Each end, toe nail		Staple 14	ga. 2-1/4"				4	8
					1"	0.113 Nail Staple 15					3 4	6 8
	TABLE R60	02.3 (1)—CONTINUED E FOR STRUCTURAL ME	INBERS		NOMINAL		.099 Nail 2-1/2"				4 SPACING	OF FASTENERS
ESCRIPTION OF BUILDIN	G			CING OF FASTENERS	MATERIAL THICKNES (inches)	S DESC	RIPTION a,b	OF FASTEN (inches)	ER AND LEN	GTH	Edges (inches)	Body of pane (inches)
MATERIALS			dge (inch	c,e (inches)		For u	nderlayment;	plywood-h	ardboard-pa	rticleboard	f	
		wall sheathing to framing, ructural panel exterior wall		ticleboard wall sheathing to ng to wall framing]		3d, corros	ion-resistant, ri	Fiber-cer	nent			
3/8"-1/2"	6d common (2" x 0.113") 8d common (2-1/2" x 0.1		6	12f		(finished f	looring other the ga., 7/8" long, 1/	an tile)			3	6
9/32"-1"	8d common nail (3" x 0.	.131")	6	12f	1/4"	(finished f	looring other the x .121" shank x .2	an tile)	eter corrosion	esistant.	3	6
1/8"-1 1/4"	10d common (3" x 0.148 8d (2-1/2" x 0.131") defo		6	12		(galvanize	d or stainless st No. 8 x .375 he	eel) roofing na	ls (for tile finisł)	8	8
	Other	wall sheathing g				(for tile fir				5010119	8	8
/2" structural cellulosic berboard sheathing	1/2" galvanized roofing na 1" crown staple 16 ga., 1-1/	il, 7/16" head diameter, or /4" long	3	6		1-1/4" ring	or screw shank	Plywoo nail - minimum	a		77	
5/32" structural cellulosic berboard sheathing	1-3/4" galvanized roofing 1" 1" crown staple 16 ga., 1-1/	nail, 7/16" head diameter, or /2" lona	3	6	1/4" and 5/16"	12-1/2 ga.	(0.099") shank ga., 7/8", 3/16"	diameter			3	5
lberboara sheathing /2" gypsum sheathing d	1-1/2" galvanized roofing n	nail; staple galvanized,	7	7	11/32", 3/8", 15/32" and 1/	,	or screw shank	1ail - minimum			6	5 8e
	1-1/2" long; 1-1/4" screws, ⁻ 1-3/4" galvanized roofing			, , , , , , , , , , , , , , , , , , ,		12-1/2 ga. 1-1/2" ring	(0.099") shank or screw shank	nail - minimum			6	8
5/8 gypsum sheathing d	1-5/8" long; 1-5/8" screws	5, Type W or S	7	7	19/32", 5/8", 23/32" and 3	'4'' 12-1/2 ga. Staple 16	(0.099'') shank ga. 1-1/2''	diameter			6	8
	structural panels, combined 6d deformed (2" x 0.120	ination subfloor underlayme D") nail or					5	Hardboar		I	<u>^</u>	
3/4" and less	8d common (2-1/2" x 0.1	131") nail	6	12	0.200"	4d cement	ring-grooved un -coated sinker	ıail			6	6
7/8" - 1"	8d common (2-1/2" × 0.1 8d deformed (2-1/2" × 0).12Ó")nail	6	12		Staple 18	ga., 7/8" long (p	lastic coated) Porticlebo	oard		3	6
-1/8" - 1-1/4"	10d common (3" x 0.148 8d deformed (2-1/2" x 0		6	12	1/4"		ooved underlayn	ent nail			3	6
		,		I			ga., 7/8" long, 3 ooved underlayn				3 6	6 10
For SI:1 inch= 25.4 mm, 1 foot	= 304.8 mm, 1 mile per hou	ır= 0.447 m/s; 1ksi = 6.895 l	MPa.		3/8"		ga., 1-1/8" long, : ooved underlayn				3	6
689 MPa) for shank diamete b. Staples are 16 gage wire an c. Nails shall be spaced at no d. Four-foot-by-8-foot or 4-fc e. Spacing for fasteners not i f. Where the ultimate design w end wall framing shall be spac attaching panel roof sheathir	20 MPa) for shank diamet r of 0.142 inch or less. d have a minimum 7/16-inc t more than 6 inches on ce ot-by-9-foot panels shall b ncluded in this table shall b ind speeds of 130 mph or I ed 6 inches on center. Whe g to intermediate support	ter larger than 0.142 inch but th on diameter crown width. enter at all supports where sp be applied vertically. be based on Table R602.3(2). less, nails for attaching wood the ultimate design wind e ts shall be spaced 6 inches or	pans are pans are d structur speed is g n center f	ral panel roof sheathing to gable reater than 130 mph, nails for	For SI: 1 inch = 25.4 mm a. Nail is a general description b. Staples shall have a minimu c. Nails or staples shall be sp Nails or staples shall be sp d. Fasteners shall be placed in e. For 5-ply panels, intermedia f. Hardboard underlayment si g. Specified alternate attach Fasteners attaching wood h. Fiber-cement underlayment	and shall be perm m crown width of aced at not more aced at not more a grid pattern th te nails shall be s all conform to CP, nents for roof she structural panel r	hitted to be T-he 7/16-inch on dia than 6 inches o than 12 inches o roughout the bo paced not more 4/ANSI A135.4 athing shall be p poof sheathing to	ad, modified ro neter except a n center at all n center at int dy of the pane than 12 inches permitted wher gable end wall	5 noted. Supports where ermediate suppo on center each the ultimate d framing shall be	spans are 48 in rts for floors. vay. esign wind spea	d is less than '	30 mph.
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Supports where ermediate supports on center each a the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU SIST WIND PANEL NA Edges (inches 0.C.) 6 6 6 5 sheathing with s ces per Section nitted as an alt span rating. Wa 2.3 (4) EBOARD V Mhen siding is 14 14 14 14 14 14 14 14 14 14	spans are 48 in rts for floors. way. esign wind spee installed using RAL PANE PRESSUR IL SPACING (inches 0.C.) 12 12 12 12 12 12 12 12 12 12 12 12 12	ATHING a Dispacing 16 octoor of siding 16 octo	A model of the second s
(689 MPa) for shank diamete b. Staples are 16 gage wire an c. Nails shall be spaced at no d. Four-foot-by-8-foot or 4-fc e. Spacing for fasteners not i f. Where the ultimate design w end wall framing shall be space attaching panel roof sheathin from ridges, eaves and gable of g. Gypsum sheathing shall cor shall conform to ASTM C 208 h. Spacing of fasteners on floo perimeter only. Spacing of fas at all roof plane perimeter. Blo required except at intersectio solid blocking. i. Where a rafter is fastened t side of the rafter and toe nai opposite side of the rafter sh. Structures in SDC A-C; and in SDC DO, D1, and D2 with brace wall line spacing less than 25 feet Structures in SDC DO, D1, and D2, with braced wall line spacin greater than or equal to 25 fe NEEP NOC RESIDENTIAL ELECTRICAL 1. ELECTRICAL INSTALLAT 2. ALL ELECTRICAL MATEL LABELED FOR THE APPLIC 3. IN LOCATIONS WHERE ENCLOSURES SHALL BE PI 4. RECEPTACLES SHALL BE RECEPTACLES SHALL BE RECEPTACLES SHALL BE RECEPTACLES. 5. AT LEAST ONE (1) WALL 6. THE ELECTRICAL CONT WORKMANSHIP ARE FREE RESIDENTIAL MECHANICA 1. GAS PIPING: GAS WOR INTERNATIONAL RESIDEN' 2. THE CONTRACTOR SHALL BE RECEPTACLES. 5. AT LEAST ONE (1) WALL 6. THE ELECTRICAL CONT WORKMANSHIP ARE FREE RESIDENTIAL MECHANICA 1. GAS PIPING: GAS WOR INTERNATIONAL RESIDEN' 2. THE CONTRACTOR SHALL BE RECEPTACLES. 5. AT LEAST ONE (1) WALL 6. THE ELECTRICAL EQUINAMEPLATE. 4. SUFFICIENT ACCESS SI PERMIT CONSTRUCTION. 5. HVAC: ALL WORK SHALL 6. PROVIDE AUXILIARY DE LINE SHALL BE EXTENDED RESIDENTIAL PLUMBING G	20 MPa) for shank diamet r of 0.142 inch or less. d have a minimum 7/16-inc t more than 6 inches on ca tot-by-9-foot panels shall b ind speeds of 130 mph or I ed 6 inches on center. Whe g to intermediate support end walls; and 4 inches on c form to ASTM C 1396 and or sheathing panel edges at teners on roof sheathing p. ocking of roof or floor sheat n of adjacent parallel ceili s from the ceiling joist to all not be required. TAE SINGLE TOP-PLATE corners and in Splice plate size d 3" x 6" x 0.036" galvanized steel plate or equivalent d 3" x 8" x 0.036" galvanized steel plate or equivalent d 3" x 8" x 0.036" galvanized steel plate or equivalent Corners and in Splice plate size d 3" x 8" x 0.036" galvanized steel plate or equivalent d 4 d 4 d 4 d 4 d 4 d 4 d 4 d	ter larger than 0.142 inch but th on diameter crown width. enter at all supports where sp be applied vertically. be based on Table R602.3(2). less, nails for attaching wood the ultimate design wind end to shall be spaced 6 inches or center to gable end wall frami d shall be installed in accordance polies to panel edges support anel edges applies to panel end thing panel edges perpendicul Floor and roof perimeter shall ing joist in accordance with the top plate in accordance with the top plate in accordance with the (6) 8d box (2-1/2" x 0.113") nails (9) 8d box (2-1/2" x 0.113") nails (9) 8d box (2-1/2" x 0.113") nails (10) 8d box (2-1/2" x 0.113") nails ED BY 2015 INTERNATIONAL FE VICES, FIXTURES AND EQUIPT LIKELY TO BE EXPOSED TO P OINT ALONG THE FLOOR LINE TLET SHALL BE PROVIDED IN A WRITTEN WARRANTY STATE ENDO OF 12 MONTHS FROM UPPORTED, AND TESTED IN A WRITTEN WARRANTY STATE ENDO OF 12 MONTHS FROM UPPORTED, AND TESTED IN A WRITTEN WARRANTY STATE ENDO OF 12 MONTHS FROM UPPORTED, AND TESTED IN A WRITTEN WARRANTY STATE ENDO OF 12 MONTHS FROM UPPORTED, AND TESTED IN A WRITTEN WARRANTY STATE ENDO OF 12 MONTHS FROM	E not large pans are d structur speed is g n center f ance with ted by fra dges sup lar to the libe supp his sched this s	er than 0.177 inch, and 100 ksi 48 inches or greater. ral panel roof sheathing to gable reater than 130 mph, nails for or minimum 48-inch distance GA 253. Fiberboard sheathing aming members and at all floor ported by framing members and traming members shall not be orted by framing members or ule, provide two toe nails on one idule. The toe nail on the t joints in straight walls ate size Minimum nails each side of joint (0.036" (12) 8d box (2-1/2" x 0.113") nails x 0.036" (18) 8d box (2-1/2" x 0.113") nails x 0.036" (18) 8d box (2-1/2" x 0.113") nails x 0.036" (18) 8d box (2-1/2" x 0.113") nails x 0.036" Cal steel equivalent (2-1/2" x 0.113") nails TAL CODE. ALL BE LISTED AND DAMAGE, GUARDS OR E THAN 6'-0" FROM A DOM. T ALL MATERIALS AND FINAL ACCEPTANCE. NCE WITH 2015 S VIRGINIA NATURAL GAS HE MANUFACTURER'S VICE WITHOUT REMAINING PACE. A SEPARATE DRAIN	a. Nail is a general description b. Staples shall have a minimu c. Nails or staples shall be sp Nails or staples shall be sp d. Fasteners shall be placed in e. For 5-ply panels, intermedia f. Hardboard underlayment sl g. Specified alternate attach Fasteners attaching wood h. Fiber-cement underlayment MINIMUM NAIL Size Penetrotion (inches) 6 d common (2.5" × 0.113") 1.5 8 d common (2.5" × 0.131") 1.75 For SI: 1 inch = 25.4 mr a. Panel strength axis paralle applied with panel strength axis b. Table is based on wind pres accordance with Section R60 c. Wood Structural Panels wit rated 16 oc or 24 oc shall be spaced a maximum of 16 inch 7 HICKNESS (inches) 3 /8 1/2 For SI: 1 inch = 25.4 mr a. Wall sheathing not exposed	And shall be perm m crown width of aced at not more a grid pattern th te nails shall be s all conform to CP, nents for roof she structural panel r shall conform to CP MINIMUM WALL SHEC MINIMUM WOOD STRUCTURAL PANEL SPAN RATING 24/0 24/16 a, 1 mile per hour = or perpendicular t is perpendicular t sures acting towas 2.10. h span ratings of remtted as an all so on center.	hitted to be T-he 7/16-inch on dia than 6 inches of than 12 inches of paced not more A/ANSI A135.4 athing shall be p oof sheathing to ASTM C 1288 on T, REMENTS I ATHING US MINIMUM NOMINAL PANEL THICKNESS (inches) 3/8 7/16 0.447 m/s. to supports. Thr o suppo	ad, modified ro neter except a in center at all n center at int dy of the pane than 12 inches permitted when gable end wall 160 8336, Ca ABLE R602 FOR WOOD ED TO RE MAXIMUM WALL STUD SPACING (inches) 16 16 24 ee-ply plywood n building surfa 24 shall be perr ls with a 24/16 ABLE R602 R PARTICL	a noted. Supports where ermediate supports on center each a the ultimate d framing shall be tegory C. 2.3 (3) STRUCTU SIST WIND PANEL NA Edges (inches 0.C.) 6 6 6 5 sheathing with s ces per Section nitted as an alt span rating. Wa 2.3 (4) EBOARD V Mhen siding is 14 14 14 14 14 14 14 14 14 14	spans are 48 in rts for floors. way. esign wind spee installed using RAL PANE PRESSUR IL SPACING (inches 0.C.) 12 12 12 12 12 12 12 12 12 12 12 12 12	ATHING a Dispacing 16 octoor of siding 16 octo	A model of the second s

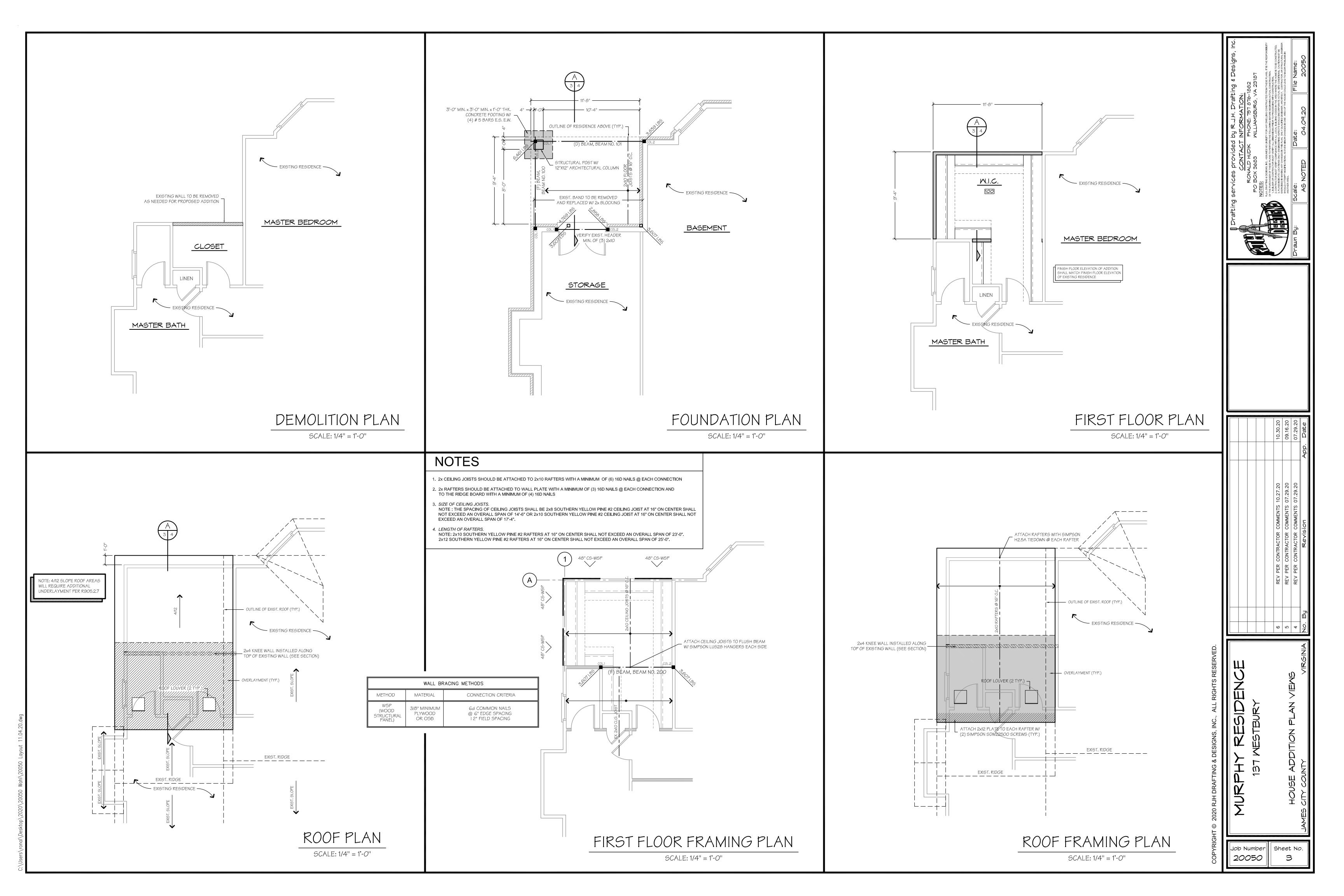
PROVIDED IN 2015 INTERNATIONAL RESIDENTIAL CODE.

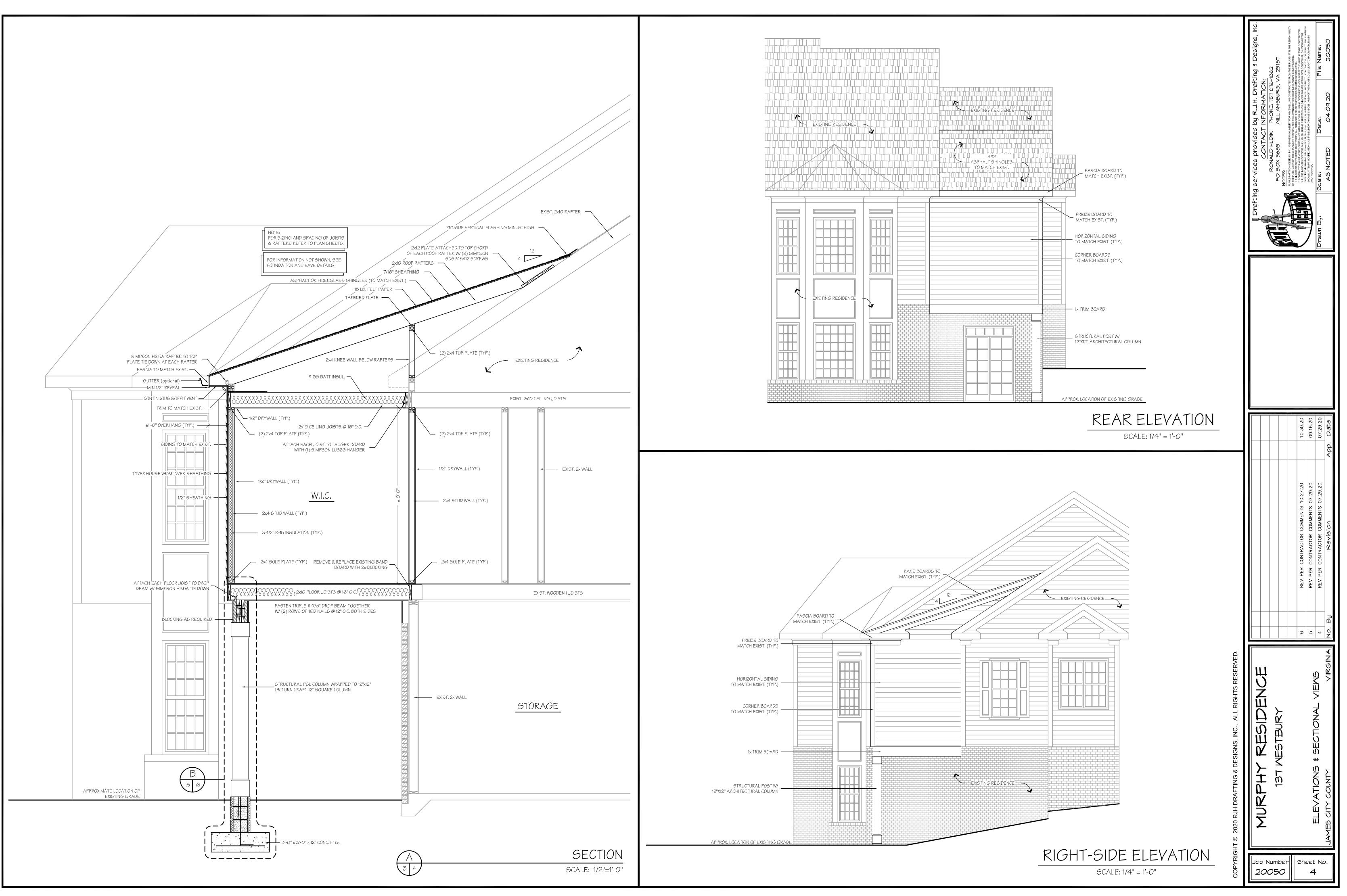


Job Number Sheet No.

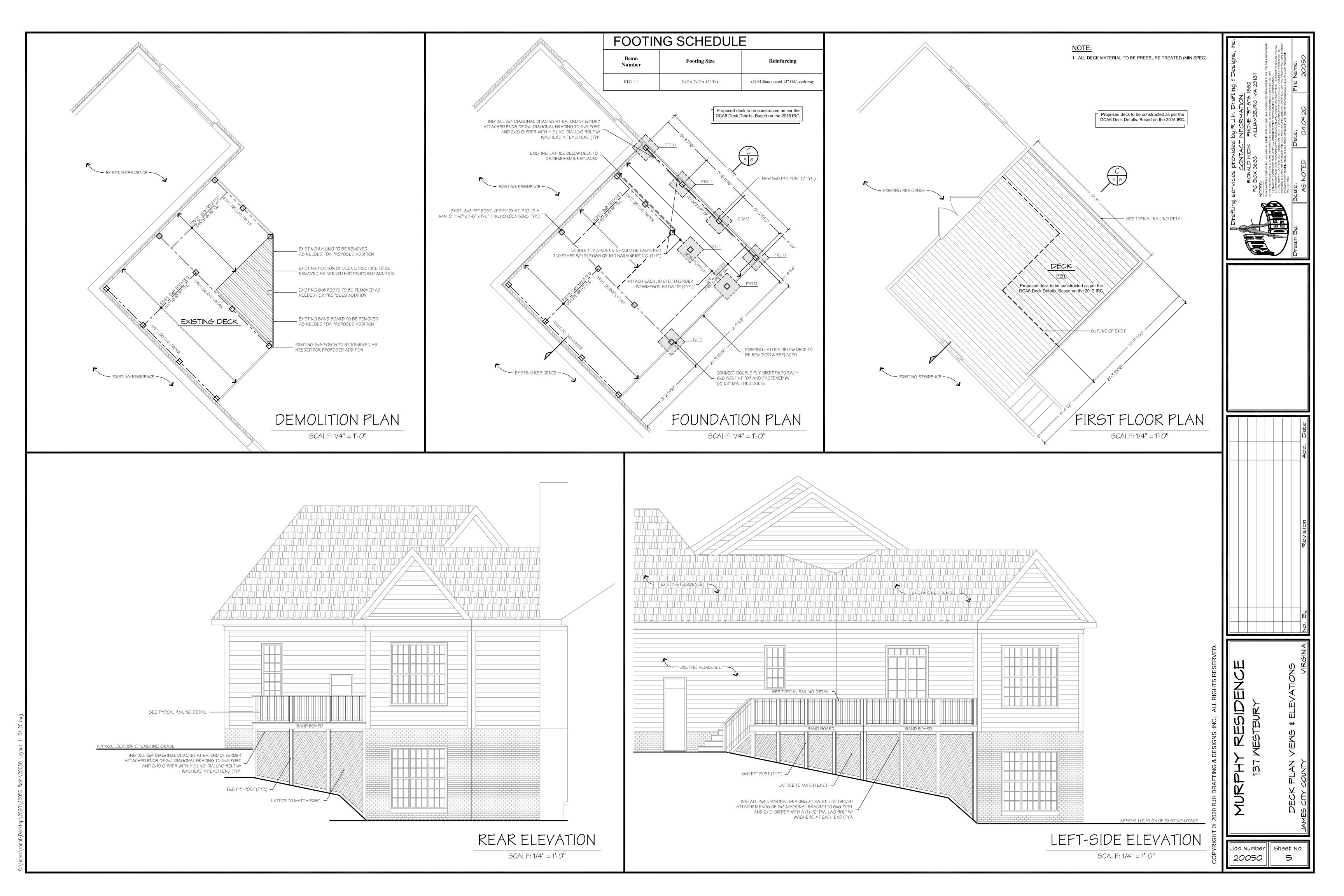
2

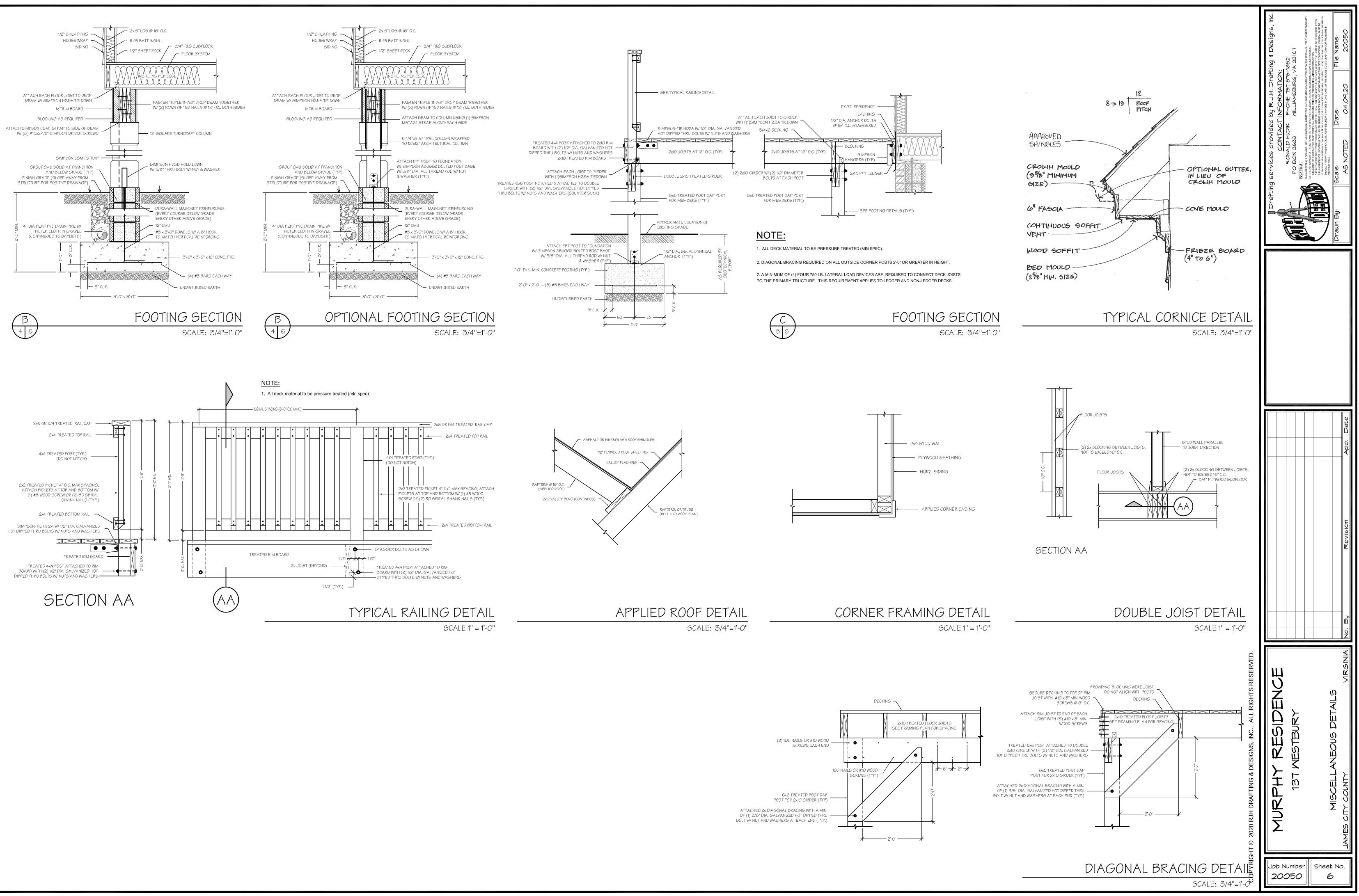
20050





Jsers/ronal/Desktop/2020/20050 Wahl/20050 Layout 11.04.20







Classic Wall Bracing Worksheet

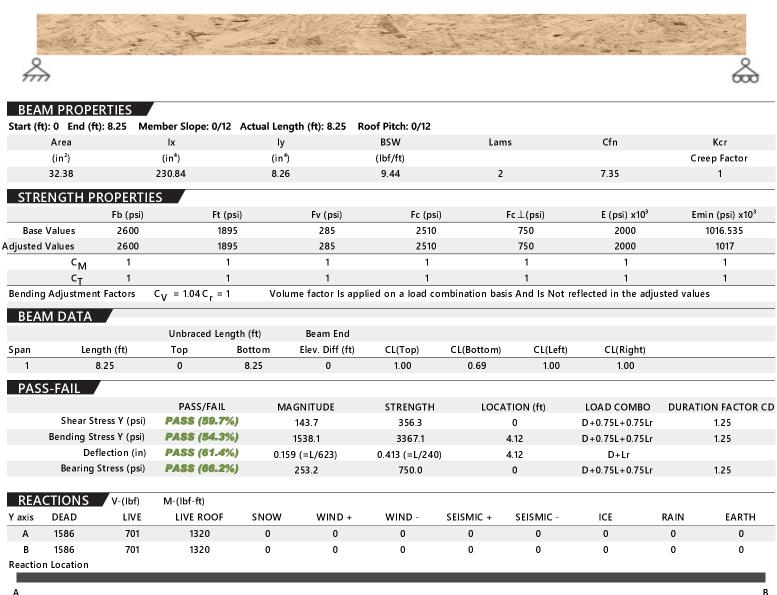
per 2015 Virginia Residential Code Section R602.10

Ult	mate Wind Speed	(mph)	1	15																		
	BWL Designati	on	é	а				1														
N	o. of Floors above I	BWL	()			()														
	BWP Method		CS-	WSP			CS-	NSP														
A١	erage BWL Spacin	ıg (ft)	9	.5			1	0														
-	abular Requiremen		2.	00			2.	00														
	Exposure		В	1.00			В	1.00														
	Eave-to-Ridge H	t. (ft)	7.00	0.82			7.00	0.82														
	Max. Wall Ht.	(ft)	9.00	0.95			9.00	0.95														
nents	No. of BWLs	3	2	1.00			2	1.00														
Adjustments	Omit Interior Fin	ish?	No	1.00			No	1.00														
A	Added Hold-dov	vns?	No	1.00			No	1.00														
	Joints Blocker	1?	Yes	1.00			Yes	1.00														
	Fasteners @ 4"	o.c.?	No	1.00			No	1.00														
Re	equired BWP Lengt	:h (ft)	1.	56			1.	56														
		BWP	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length
	Contributing	1	CS-WSP	4.00			CS-WSP	4.00														
s	Length (ft)	2	CS-WSP	4.00			CS-WSP	4.00														
Actual BWPs	WSP=actual SFB=actual	3																				
Actual	GB(ss)=0.5xactual GB(ds)=actual	4																				
	CS-PF=1.5xactual PFG=1.5xactual PFH=4'	5																				
	ABW=4'	6																				
		7																				
/	Actual BWP Length	(ft)	8.	00			8.	00														
	Actual ≥ Required	?	PA	SS			PA	SS														
	BWPs ≤ 20' Apar	t?	Y	es			Y	es														
	≥ 2 Panels in BWI	?	Y	es			Y	es														
	BWP 10' from End			es				es														
	Continuous Sheath End Conditions	ing	End 1	End 2 3	End 1	End 2	End 1	End 2 3	End 1	End 2												
	BWL Compliance	9	PA				PA	SS														

PASS

DATE:	11/4/2020)	COMPANY:	RJH	Designs	
VITRUVIUS BUILD:	Base		DESIGNED BY:	Rona	ald Hudik	
CUSTOMER:			REVIEWED BY:	Rona	ald Hudik	
PROJECT LOCATION:						
	,					
LEVEL:	Roof		LOADING:	ASD		
LOCATION:	Flush Bea	m 200	CODE:	2015	International Buildin	g Code
TYPE:	ROOF BE	AM	NDS:	2015	NDS	
<u>MATERIAL:</u>	STRUCTU	RAL COMPOSITE LUN	/IBER			
Weyerhaeuser 2.0E Micr	olam LVL	(2) 1.75 X 9.25	DRY			

Flush Beam 200 DIAGRAM



А

Page 1

LOAD LIST						Page 2
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lbf/ft)	140	140	0	8.25	Roof Live	Y
Uniform (lbf/ft)	105	105	0	8.25	Dead	Y
Uniform (lbf/ft)	120	120	0	8.25	Live	Y
Uniform (lbf/ft)	60	60	0	8.25	Dead	Y
Uniform (lbf/ft)	180	180	0	8.25	Roof Live	Y
Uniform (lbf/ft)	135	135	0	8.25	Dead	Y
Uniform (lbf/ft)	50	50	0	8.25	Dead	Y
Uniform (lbf/ft)	50	50	0	8.25	Live	Y
Uniform (lbf/ft)	25	25	0	8.25	Dead	Y
Self Weight (Ibf/ft)	9.44	9.44	0	8.25	Dead	Y

NOTES

PASS

DATE:	11/4/2020)	COMPANY:	RJH	Designs	
VITRUVIUS BUILD:	Base		DESIGNED BY:	Rona	ald Hudik	
CUSTOMER:			REVIEWED BY:	Rona	ald Hudik	
PROJECT LOCATION:						
	,					
LEVEL:	Main Floo	or	LOADING:	ASD		
LOCATION:	Flush Bea	im 100	CODE:	2015	International Buildin	ig Code
TYPE:	FLOOR B	EAM	NDS:	2015	NDS	
MATERIAL:	STRUCTU	RAL COMPOSITE LUN	/IBER			
Weyerhaeuser 2.0E Micr	olam LVL	(2) 1.5 X 9.25	DRY			

Flush Beam 100 DIAGRAM

	Martine :	13				A CONTRACTOR			1 4 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1	and and
	>										$\stackrel{\circ}{\Longrightarrow}$
					(4). 10						
	Area): IU Mem	iber Slope: 0/12 Act	luar Lengtri ly	I (ft): 10	BSW	Lam	c	Cfn		Kcr
	(in ²)		(in ⁴)	ون (in⁴)		(lbf/ft)	Lain	3	em	Cr	eep Factor
	27.75		197.86	5.2		8.09	2		7.35	CI	1
STRE	NGTH P	ROPERTI	S								
		Fb (psi)	Ft (psi)		Fv (psi)	Fc (psi)		Fc⊥(psi)	E (psi) x10 ³	En	nin (psi) x10³
Base	Values	2600	1895		285	2510		750	2000		1016.535
justed '	Values	2600	1895		285	2510		750	2000		1017
	с _М	1	1		1	1		1	1		1
	с _т	1	1		1	1		1	1		1
3ending			$1 ext{C}_{V} = 1.04 ext{C}_{r} = 1$	Volur			nbination basi		1 eflected in the adju	sted valu	
-	с _т			Volur			nbination basi			sted valu	
-	C _T Adjustmen						nbination basi			sted valu	
BEAN	C _T Adjustmen VI DATA		$C_V = 1.04 C_r = 1$ Unbraced Length		ne factor Is app		nbination basi CL(Bottom)			sted valu	
BEAN	C _T Adjustmen VI DATA	t Factors	$C_V = 1.04 C_r = 1$ Unbraced Length	(ft)	ne factor Is app Beam End	lied on a load cor		s And Is Not re	eflected in the adju	isted valu	
BEAN pan 1	C _T Adjustmen VI DATA	t Factors gth (ft)	C _V = 1.04 C _r = 1 Unbraced Length Top Bo	(ft) ottom	ne factor Is app Beam End Elev. Diff (ft)	lied on a load cor CL(Top)	CL(Bottom)	s And Is Not re CL(Left)	eflected in the adju CL(Right)	sted valu	
BEAN pan 1	C _T Adjustmen VI DATA Len	t Factors gth (ft)	C _V = 1.04 C _r = 1 Unbraced Length Top Bo	o (ft) ottom 10	ne factor Is app Beam End Elev. Diff (ft)	lied on a load cor CL(Top)	CL(Bottom) 0.55	s And Is Not re CL(Left)	eflected in the adju CL(Right)		
BEAN pan 1	C _T Adjustmen M DATA Len	t Factors gth (ft)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0	o (ft) ottom 10	ne factor Is app Beam End Elev. Diff (ft) 0	lied on a load cor CL(Top) 1.00	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00	eflected in the adju CL(Right) 1.00		es
BEAN pan 1	C _T Adjustmen M DATA Len	t Factors gth (ft) 10 ress Y (psi)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0 PASS/FAIL	o (ft) ottom 10 MA	ne factor Is app Beam End Elev. Diff (ft) 0 GNITUDE	lied on a load cor CL(Top) 1.00 STRENGTH	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00 TION (ft)	Eflected in the adju CL(Right) 1.00 LOAD COMBO		es ION FACTOR (
BEAN Span 1	C _T Adjustmen M DATA Len S-FAIL Shear St Bending St	t Factors gth (ft) 10 ress Y (psi)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0 PASS/FA IL PASS (70.4%)	ottom 10 MA	Beam End Elev. Diff (ft) 0 GNITUDE 84.3	lied on a load cor CL(Top) 1.00 STRENGTH 285.0	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00 TION (ft) 10	CL(Right) CL(Right) 1.00 LOAD COMBO D+L		es ION FACTOR (1
BEAN Span 1	C _T Adjustmen M DATA Lenn S-FAIL Shear St Bending St Def	t Factors gth (ft) 10 ress Y (psi) ress Y (psi)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0 PASS/FAIL PASS (70.4%) PASS (60.0%)	(ft) ottom 10 MA 0.17!	Beam End Elev. Diff (ft) 0 GN ITUDE 84.3 1076.7	CL(Top) 1.00 STRENGTH 285.0 2693.7	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00 TION (ft) 5	CL(Right) CL(Right) 1.00 LOAD COMBO D+L D+L		es ION FACTOR (1
BEAN Span 1 PASS	C _T Adjustmen M DATA Len S-FAIL Shear St Bending St Def Bearing S	t Factors gth (ft) 10 ress Y (psi) ress Y (psi) lection (in) Stress (psi)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0 PASS/FAIL PASS (70.4%) PASS (60.0%) PASS (65.1%) PASS (86.6%)	(ft) ottom 10 MA 0.17!	Beam End Elev. Diff (ft) 0 GNITUDE 84.3 1076.7 5 (=L/687)	CL(Top) 1.00 STRENGTH 285.0 2693.7 0.500 (=L/240)	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00 TION (ft) 10 5 5	CL(Right) CL(Right) 1.00 LOAD COMBO D+L D+L D+L		es ION FACTOR (1 1
pan 1 PASS	C _T Adjustmen M DATA Lenn S-FAIL Shear St Bending St Def	t Factors gth (ft) 10 ress Y (psi) ress Y (psi) lection (in)	C _V = 1.04 C _r = 1 Unbraced Length Top Be 0 PASS/FAIL PASS (70.4%) PASS (60.0%) PASS (65.1%)	(ft) ottom 10 MA 0.17!	Beam End Elev. Diff (ft) 0 GNITUDE 84.3 1076.7 5 (=L/687)	CL(Top) 1.00 STRENGTH 285.0 2693.7 0.500 (=L/240)	CL(Bottom) 0.55	s And Is Not re CL(Left) 1.00 TION (ft) 10 5 5	CL(Right) CL(Right) 1.00 LOAD COMBO D+L D+L D+L		es ION FACTOR 1 1
BEAN pan 1 PASS	CTIONS	t Factors gth (ft) 10 ress Y (psi) ress Y (psi) ilection (in) Stress (psi) V-(Ibf)	C _V = 1.04 C _r = 1 Unbraced Length Top Br 0 PASS/FA IL PASS (70.4%) PASS (60.0%) PASS (65.1%) PASS (86.6%)	(ft) ottom 10 MA 0.17	Beam End Elev. Diff (ft) 0 GN ITUDE 84.3 1076.7 5 (=L/687) 100.7	CL(Top) 1.00 STRENGTH 285.0 2693.7 0.500 (=L/240) 750.0	CL(Bottom) 0.55 LOCA	s And Is Not re CL(Left) 1.00 TION (ft) 10 5 5 10	CL(Right) 1.00 LOAD COMBO D+L D+L D+L D+L D+0.75L+0.75Lr	DURAT	es ION FACTOR 1 1 1.25
BEAN pan 1 PASS REAC axis	CTIONS DEAD	t Factors gth (ft) 10 ress Y (psi) ress Y (psi) ilection (in) Stress (psi) V-(lbf) LIVE	C _V = 1.04 C _r = 1 Unbraced Length Top Bi 0 PASS/FA IL PASS (70.4%) PASS (60.0%) PASS (65.1%) PASS (65.1%) PASS (66.6%) M-(libf-ft) LIVE ROOF	(ft) ottom 10 MA 0.17 SNOW	Beam End Elev. Diff (ft) 0 GNITUDE 84.3 1076.7 5 (=L/687) 100.7 WIND +	lied on a load cor CL(Top) 1.00 STRENGTH 285.0 2693.7 0.500 (=L/240) 750.0 WIND -	CL(Bottom) 0.55 LOCA SEISMIC +	s And Is Not re CL(Left) 1.00 TION (ft) 10 5 5 10 SEISMIC -	CL(Right) CL(Right) 1.00 LOAD COMBO D+L D+L D+L D+L D+L D+0.75L+0.75Lr ICE	DURAT	es ION FACTOR 1 1.25 EARTH

Page 3

LOAD LIST						Page 4
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lbf/ft)	80	80	0	10	Live	Y
Uniform (lbf/ft)	24	24	0	10	Dead	Y
Uniform (lbf/ft)	20	20	0	10	Live	Y
Uniform (lbf/ft)	10	10	0	10	Dead	Y
Uniform (lbf/ft)	40	40	0	10	Roof Live	Y
Uniform (lbf/ft)	30	30	0	10	Dead	Y
Trapezoidal (lbf/ft)	120	150	0	10	Dead	Y
Self Weight (Ibf/ft)	8.09	8.09	0	10	Dead	Y
			-			

NOTES

PASS

DATE:	11/4/2020	COMPANY:	RJH Designs
VITRUVIUS BUILD:	Base	DESIGNED BY:	Ronald Hudik
CUSTOMER:		REVIEWED BY:	Ronald Hudik
PROJECT LOCATION:			
	,		
LEVEL:	Main Floor	LOADING:	ASD
LOCATION:	Drop Beam 101	CODE:	2015 International Building Code
TYPE:	FLOOR BEAM	NDS:	2015 NDS
MATERIAL:	STRUCTURAL COMPOSITE LUN	/IBER	
Weyerhaeuser 2.0E Micr	olam LVL (3) 1.75 X 11.875	DRY	

Drop Beam 101 DIAGRAM



Start (ft): 0 End (ft): 12.49	9 Member Slope	e: 0/12 Actual Length (ft): 12.5				
Area	lx	ly	BSW	Lams	Cfn	Kcr
(in ²)	(in ⁴)	(in⁴)	(lbf/ft)			Creep Factor
62.34	732.62	15.91	18.18	3	7.35	1
STRENGTH PROPE	RTIES					

	Fb (psi)	Ft (psi)	Fv (psi)	Fc (psi)	Fc⊥(psi)	E (psi) x10 ³	Emin (psi) x10 ³
Base Values	2600	1895	285	2510	750	2000	1016.535
Adjusted Values	2600	1895	285	2510	750	2000	1017
с _М	1	1	1	1	1	1	1
с _т	1	1	1	1	1	1	1
Developer Addition	• Fastana C	1 C 1 V		تغمينا والمترجم المحمل مرير المر	a u la asta Aural Ia Nia Aur	معميناهم مطعمتا اممعم ماعت	al

Volume factor Is applied on a load combination basis And Is Not reflected in the adjusted values Bending Adjustment Factors $C_V = 1 C_r = 1$

BEAM	DATA			
		Unbraced	Length (ft)	Beam End
Span	Lenath (ft)	Тор	Bottom	Elev. Diff (1

		Unbraced	l Length (ft)	Beam End				
Span	Length (ft)	Тор	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	0.833	0	0.833	0	1.00	0.51	1.00	1.00
2	11.6664	0	11.6664	0	1.00	1.00	1.00	1.00
DASS	EAU							

PAS	S-FAIL										
			PASS/FAIL	MAG	SNITUDE	STRENGTH	LOC	CATION (ft)	LOAD COMBO	DURAT	ION FACTOR C
	Shear Str	ess Y (psi)	PASS (71.4%)		81.6	285.0		0.87	D+L		1
	Bending Stress Y (psi)		PASS (66.9%)	8	860.5			6.87	D+L		1
	Defle	ection (in)	PASS (63.4%)	0.031	0.031 (=L/655)		0.083 (=L/240)		D+L		
	Bearing S	tress (psi)	PASS (75.6%)	1	195.8	801.1		0.83	D+0.75L+0.75Lr		1.25
REA	ACTIONS	V-(Ibf)	M-(lbf-ft)								
Y axis	DEAD	LIVE	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
А	0	0	0	0	0	0	0	0	0	0	0
В	3233	2210	1018	0	0	0	0	0	0	0	0
С	1742	1415	682	0	0	0	0	0	0	0	0
Reactio	on Location										
А	В										С

LOAD LIST						Page 6
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lbf/ft)	120	120	0	12.4994	Roof Live	Y
Uniform (lbf/ft)	90	90	0	12.4994	Dead	Y
Uniform (lbf/ft)	50	50	0	12.4994	Live	Y
Uniform (lbf/ft)	25	25	0	12.4994	Dead	Y
Uniform (lbf/ft)	200	200	0	12.4994	Live	Y
Uniform (lbf/ft)	60	60	0	12.4994	Dead	Y
Uniform (lbf/ft)	120	120	0	12.4994	Dead	Y
Self Weight (Ibf/ft)	18.18	18.18	0	12.4994	Dead	Y
LINKED LOAD LI	ST					
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (Ibf)	1060.469	-	0.1666	-	Dead	Y
Point (Ibf)	500	-	0.1666	-	Live	Y
Point (lbf)	200	_	0.1666	_	Roof Live	Ŷ

PASS

DATE:	11/4/2020)	COMPANY:	RJH Designs				
VITRUVIUS BUILD:	Base		DESIGNED BY:	Ron				
CUSTOMER:		REVIEWED BY:			Ronald Hudik			
PROJECT LOCATION:								
	,							
LEVEL:	Main Floo	or	LOADING:	ASD				
LOCATION:	Existing E	Drop Header	CODE:	2015 International Building Code				
TYPE:	FLOOR B	EAM	NDS:	2015 NDS				
MATERIAL:	SOLID SA	WN						
Southern Pine N	o. 2	(3) 1.5 X 9.25	DRY					

Existing Drop Header DIAGRAM



BEAM PROPERTIES						
Start (ft): 0 End (ft): 5.666	Member Slope: 0/12	Actual Length (ft): 5.67				
Area	lx	ly	BSW	Lams	G	
(in²)	(in ⁴)	(in⁴)	(lbf/ft)			
41.62	296.79	7.8	10.4	3	0.55	
STRENGTH PROPER	TIES					

	Fb (psi)	Ft (psi)	Fv (psi)	Fc (psi)	Fc⊥(psi)	E (psi) x10 ³	Emin (psi) x10 ³
Base Values	800	475	175	1300	565	1400	510
Adjusted Values	800	475	175	1300	565	1400	510
с _М	1	1	1	1	1	1	1
с _т	1	1	1	1	1	1	1
c _i	1	1	1	1	1	1	1
C _F	1	1	1	1	1	1	1

Bending Adjustment Factors C_{fu} = 1 C_r = 1

BEAM DATA

		Unbraced Lengt	h (ft)	Beam End						
Span	Length (ft)	Тор В	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)		
1	5.6664	0	5.6664	0	1.00	0.94	1.00	1.00		
PAS	S-FAIL									
		PASS/FAIL	MA	GNITUDE	STRENGTH	LOCA	ATION (ft)	LOAD COMBO	DURATI	ON FACTOR CD
	Shear Stress Y (psi)	PASS (30.8%)		121.2	175.0		0	D+L		1
	Bending Stress Y (psi)	PASS (5.0%)		760.0	800.0		1.87	D+L		1
	Deflection (in)	PASS (78.5%)	0.06	1 (=L/1116)	0.283 (=L/240)		2.66	D+Lr		
	Bearing Stress (psi)	PASS (53.1%)		264.7	565.0		0	D+0.75L+0.75Lr		1.25
REA	CTIONS V-(lbf)	M-(lbf-ft)								
Y axis	DEAD LIVE	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
Α	2373 990	1406	0	0	0	0	0	0	0	0
В	1533 618	707	0	0	0	0	0	0	0	0
Reactio	n Location									
А										В

Page 7

Kcr Creep Factor 1

LOAD LIST Page 8 Direction Left Magnitude **Right Magnitude** Load Start (ft) Load End (ft) Туре Load Type Uniform (lbf/ft) 140 140 0 5.6664 Roof Live Y Uniform (lbf/ft) 105 105 0 5.6664 Dead Y Y Uniform (lbf/ft) 80 80 0 5.6664 Live 40 40 0 γ Uniform (lbf/ft) 5.6664 Dead Uniform (lbf/ft) 80 80 0 5.6664 Live γ Uniform (lbf/ft) 24 24 0 5.6664 Dead Y Y Uniform (lbf/ft) 150 150 0 5.6664 Dead Uniform (lbf/ft) 80 80 0 5.6664 γ Dead Self Weight (Ibf/ft) 10.4 10.4 0 5.6664 Dead γ LINKED LOAD LIST **Right Magnitude** Туре Left Magnitude Load Start (ft) Load End (ft) Load Type Direction 1585.826 Dead Point (lbf) 1.3332 γ _ Point (lbf) 701.25 1.3332 Live Y -1320 Y Point (lbf) 1.3332 **Roof Live** --NOTES

PASS

DATE:	11/4/2020		COMPANY:	RJH Designs			
VITRUVIUS BUILD:	Base		DESIGNED BY:	Ronald Hudik			
CUSTOMER:		REVIEWED BY: Ronald Hudik					
PROJECT LOCATION:							
	,						
LEVEL:	Basemen	t	LOADING:	ASD			
LOCATION:	Column		CODE:	2015 International Building Code			
TYPE:	COLUMN NDS:				2015 NDS		
MATERIAL:	STRUCTU	RAL COMPOSITE LUN	/IBER				
Weyerhaeuser 1.8E Para	llam PSL	(1) 5.25 X 5.25	DRY				

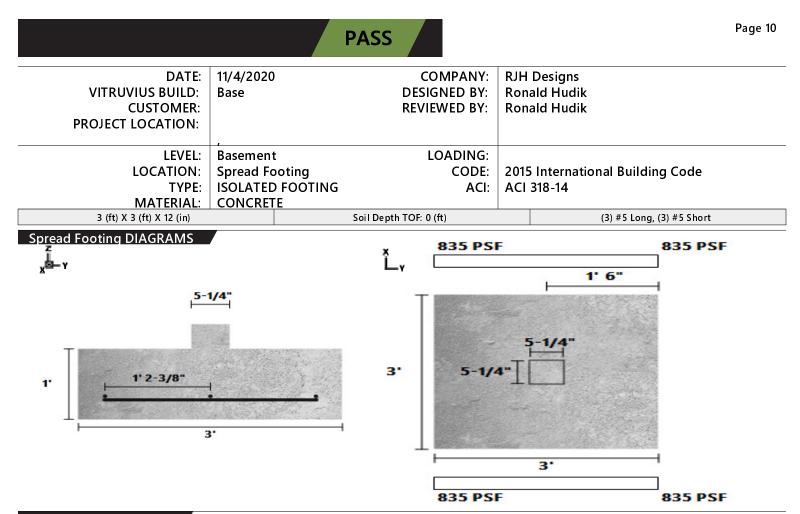
Column DIAGRAM



	ι). Ο Επά (π).	9 Memi	per Slope: 0/12 Act	ual Length ((ft): 9						
	Area		lx	ly		BSW	Lam	S	Cfn		Kcr
	(in²)		(in ⁴)	(in⁴)		(lbf/ft)				Cr	eep Factor
	27.56		63.31	63.31		8.61	1		9		1
STR	ENGTH PR				F ₁₁ (12 - 1 ['])	F = (')			F (E.,	
	e Values	Fb (psi)	Ft (psi)		Fv (psi)	Fc (psi)		Fc⊥(psi)	E (psi) x10 ³	En	nin (psi) x10 ³
		2500	1995		230	2500		545	1800		914.88
Justec	l Values	2500	1995		230	2500		545	1800		915
	с _М	1	1		1	1		1	1		1
	C _T	1	1		1	1	11	1	1		1
	g Adjustment		C _V = 1.1 C _r = 1	Volun	ne factor Is ap	plied on a load cor	nbination bas	is And Is Not re	flected in the adju	sted valu	es
COL	UMN DAT	A		(5)	<u> </u>						
			Unbraced Length		Column End						
pan		th (ft)	X	Y	Offset	СР	Ke(X Axis)	Ke(YAxis)	KeL/d (X Axis)	KeL/d (
1		9	0	0	0	1.00	1.00	1.00	0	C)
PAS	S-FAIL										
	- 4		PASS/FAIL		GNITUDE	STRENGTH	LOCA	TION (ft)	LOAD COMBO	DURAT	ION FACTOR
		ection (in)	PASS (97.9%)		(=L/22500)	0.225 (=L/480)		9	L		
(Compressive St	ress (psi)	PASS (92.0%)		200.3	2500.0		0	D+L		1
REA	CTIONS	V-(Ibf)	M-(lbf-ft)								
axis	DEAD	LIVE	LIVE ROOF	SNOW	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
А	3311	2210	1018	0	0	0	0	0	0	0	0
в	0	0	0	0	0	0	0	0	0	0	0
eactic	n Location										
A.											
LOA	D LIST										
	Туре	Let	ft Magnitude	Right Mag	nitude	Load Start (ft)	Load	End (ft)	Load Type		Direction
Self	Weight (lbf/ft)		8.61	8.61		0		9	Dead		Z
LIN	KED LOAD										
	Туре		ft Magnitude	Right Mag	nitude	Load Start (ft)	Load	End (ft)	Load Type		Direction
	Point (lbf)		-3233.231	-		9		-	Dead		Z
	Point (lbf)		-2209.675	-		9		-	Live		Z
	Point (lbf)		-1017.796	-		9		-	Roof Live		Z

Project Name: 20050 Murphy

Page 9



MATERIAL PROP	RTIES						
FOOTING							
fc' (psi)	Ec (psi)	Density (lbf/ft³)	Width (ft)		Length (ft)	Depth (in)	Volume (ft³)
2500	2880952	145	3		3	12	9
CALCULATION VARIABLE	ES						
Bo (in)	Φ-Χ	Φ-Υ					
54.5	0.9	0.9					
COLUMN							
Width (in)	Length (in)	Material	Offset (in)				
5.25	5.25	Concrete	0				
SOIL							
Bearing Strength (lbf/ft²)	Density (lbf/ft³)	Cohesion	Friction Angle		Depth (ft)	Rankine Coefficient (Kp)	
1500	140	0	30		0	3	
REBAR							
Bar Size #	# Bars Long	# Bars Short	fy (psi)		Es (psi)		
5	3	3	40000		2.9E+07		
PASS-FAIL							
		PASS/FAIL	MAGNITUDE	STRENGTH	LOAD	СОМВО	
Soil Bearing	g Pressure (lbf/ft²)	PASS (44.3%)	835.6	1500.0		D+L	
Two-Way Shea	ar (Punching) (lbf)	PASS (83.6%)	11217.3	68465.6	1.2D+1	.6L+0.5Lr	
One	-Way Shear X (lbf)	PASS (90.4%)	2181.1	22612.5	1.2D+1	.6L+0.5Lr	
	Moment X (lbf-ft)	PASS (86.5%)	3069.1	22687.9	1.2D+1	.6L+0.5Lr	
One	-Way Shear Y (lbf)	PASS (90.4%)	2181.1	22612.5	1.2D+1	.6L+0.5Lr	
	Moment Y (lbf-ft)	PASS (86.5%)	3069.1	22687.9	1.2D+1	.6L+0.5Lr	
	Crushing (lbf)	PASS (70.5%)	407.0	1381.3	1.2D+1	.6L+0.5Lr	

LOAD LIST						Page 11
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	2000	-	0	-	Live	Z
LINKED LOAD L	IST					
Туре	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Point (lbf)	3310.75	-	0	-	Dead	Z
Point (lbf)	2209.675	-	0	-	Live	Z
Point (lbf)	1017.796	-	0	-	Roof Live	Z

NOTES

The footing requires a minimum area of dowel bars equal to 0.1378125 in² into the column ACI 16.3.4.1



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY

COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING WEDNESDAY JANUARY 13,

2020 AT 5 P.M. IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD,

JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021. ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING ASSISTANT COUNTY ATTORNEY WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



General Services 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

jamescitycountyva.gov

Capital Projects 107 Tewning Road Williamsburg, VA 23188 Williamsburg, VA 23188 757-259-4080

Fleet 103 Tewning Road 757-259-4122

Stormwater and **Resource Protection** 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

Facilities & Grounds 113 Tewning Road Williamsburg, VA 23188 757-259-4080

Solid Waste 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971

December 23, 2020

RE: CBPA-20-0141 137 Westbury Deck

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Darrell Wahl of Wahl Builders, LLC, on behalf of Murphy, John T, Trustee and Teressa E, Trustee for encroachment into the Resource Protection Area (RPA) buffer for the construction of a deck. The project is located at 137 Westbury and further identified as JCC Parcel No. 3720600053.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on Wednesday, January 13, 2021 at 5:00 p.m., in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Michael D. Woolson

Michael D. Woolson Chesapeake Bay Board Secretary 757-253-6823 michael.woolson@jamescitycountyva.gov

Wahl Builders, LLC cc: Mr. Darrell Wahl

MDW: jep

Mailing List for: CBPA-20-0141-137 Westbury - Deck

<u>Owner: 3720600053</u> Murphy, John T, Trustee &Teressa E, Trustee 137 Westbury Williamsburg, VA 23188-8912

3720600054 Wightman, Eric N, Trustee & Kach, Patricia L, Trustee 133 Westbury Williamsburg, VA 23189-8912 <u>Contractor:</u> Wahl Builders, LLC Attn: Mr. Darrell Wahl 133 Waller Mill Road Williamsburg, VA 23185

<u>3810800001A- 1.75 A, Greenways S-13B</u>

<u>3810100004</u> <u>141 A Westbury-5.04 A, Parcel A</u> Fords Colony at Williamsburg Homeowners Association 100 Manchester Williamsburg, VA 23188-7404

<u>3720600052 – 141 Westbury</u> Lebolt, Scot Alan, Trustee & Wendy Rilling, Trustee 11230 Sandhill Preserve Drive Sarasota, FL 34238-1404

3720600050

Beck, Terry M, Trustee & Beck, Maria C 136 Westbury Williamsburg, VA 23188-8912

ITEM SUMMARY

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 20-0140 : 244 William Barksdale

Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

ATTACHMENTS:

	Description		Туре
۵	Staff Report		Staff Report
D	Resolutio	n	Resolution
D	Presentat	ion	Presentation
D	Site Plan		Backup Material
D	Public Advertisement		Backup Material
D	APO Letter		Backup Material
D	APO Mailing List		Backup Material
REVIEWERS:			
Department	Reviewer	Action	Date

Department	ICCVICWCI	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:15 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:18 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:18 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0140. 244 William Barksdale Staff Report for the January 13, 2021, Chesapeake Bay Board Public Hearing

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicants:	Mr. Michael and Mrs. Catherine Hoyt	
Agent:	Mr. Mathew Roth, Roth Environmental, LLC	
Location:	244 William Barksdale	
Parcel Identification No.:	4940300097	
Parcel:	Lot 97, Phase 2, Fairfax Woods	
Lot Size:	0.45 acres	
Area of Lot in Resource Protection Area (RPA):	0.18 acres +/- (40%)	
Watershed:	College Creek (HUC JL 34)	
Floodplain:	None	
Proposed Activity:	Construction of two retaining walls	
Impervious Cover:	130 square feet	
RPA Encroachment:	130 square feet, Landward 50-foot RPA	
Staff Contact:	Trevor A. Long, Watershed Planner	Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Mathew Roth, Roth Environmental, LLC has applied for a Chesapeake Bay Exception on behalf of Mr. Michael and Mrs. Catherine Hoyt for encroachments into the RPA buffer for the construction of two retaining walls on property located at 244 William Barksdale within the Kingsmill subdivision and the College Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4940300097. The parcel was platted in 1985, before the adoption of the Chesapeake Bay Ordinance in 1990.

The total lot size of this property is 0.45 acres, of which 40% is located within the RPA. The applicants are experiencing erosion towards the rear of the property and near the foundation adjacent to the side of the existing house. For this reason, two separate retaining walls are being proposed, addressing the issues existing on this property. The two retaining walls equal a total of 130 square feet of impervious cover impacts to the landward 50-foot RPA. Required mitigation for this amount of impervious cover equals one half planting unit (three shrubs). The applicants have proposed planting 11 shrubs, therefore exceeding the required mitigation.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of two retaining walls. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the retaining walls are accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

- 1. The exception request is the minimum necessary to afford relief; and
- 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- 4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
- 5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff's view of this application is that it meets all five of the conditions presented above and is approvable. Should the Board also find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

- 1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
- 2. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the planting mitigation (11 shrubs); and
- 3. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- 4. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

TAL/md CBPA20-140_244WBksdl

Attachments:

1. Resolution

2. Site Plan

<u>RESOLUTION</u>

CASE NO. CBPA-20-0140. 244 WILLIAM BARKSDALE

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. Michael and Mrs. Catherine Hoyt (the "Applicants") have applied to the Chesapeake Bay Board of James City County (the "Board") on January 13, 2021, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4940300097 and further identified as 244 William Barksdale (the "Property") as set forth in the application CBPA-20-0140 for the purpose of constructing a two retaining walls; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
 - 1. The exception request is the minimum necessary to afford relief.
 - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
 - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
 - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
 - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
 - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
 - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
 - b. A surety of \$250 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the planting mitigation (11 shrubs); and
 - c. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and

d. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-140_244WBsdl-res



Chesapeake Bay Board of James City County, Virginia

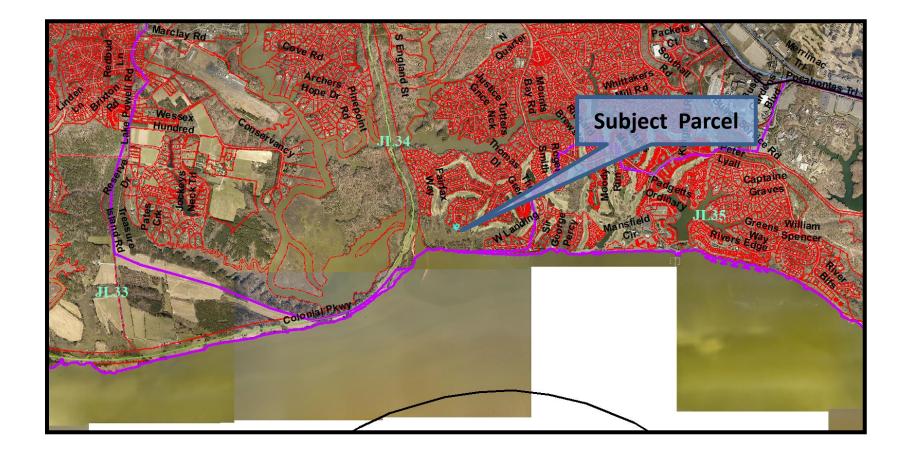
January 13, 2020

CBPA 20-0140 Michael and Catherine Hoyt 244 William Barksdale



Applicant Request

✓ Construction of two retaining walls.



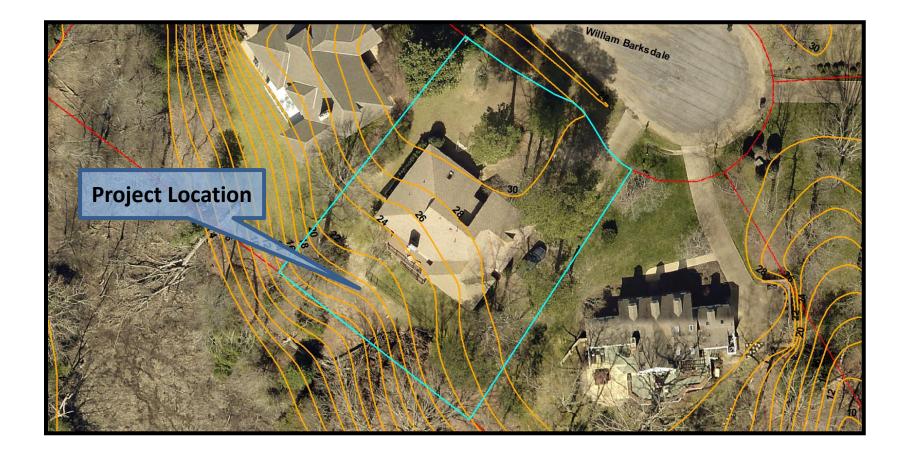
Vicinity Map

CBPA-20-0140



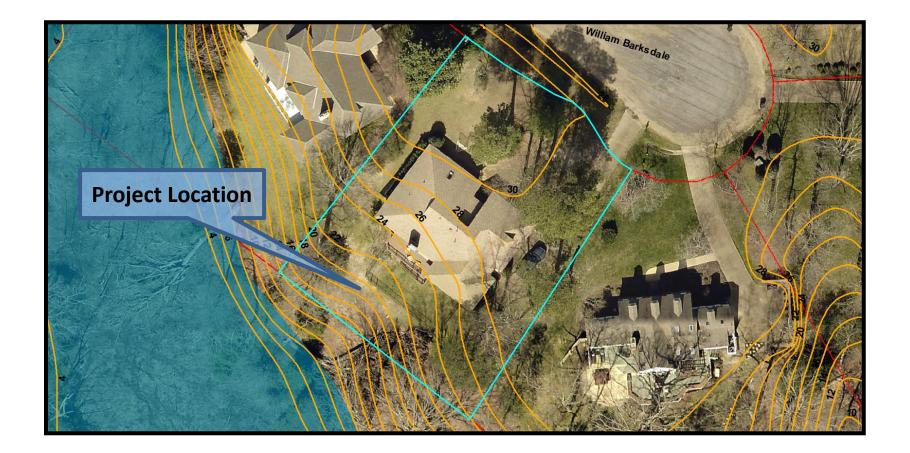
Aerial Photograph

CBPA-20-0140



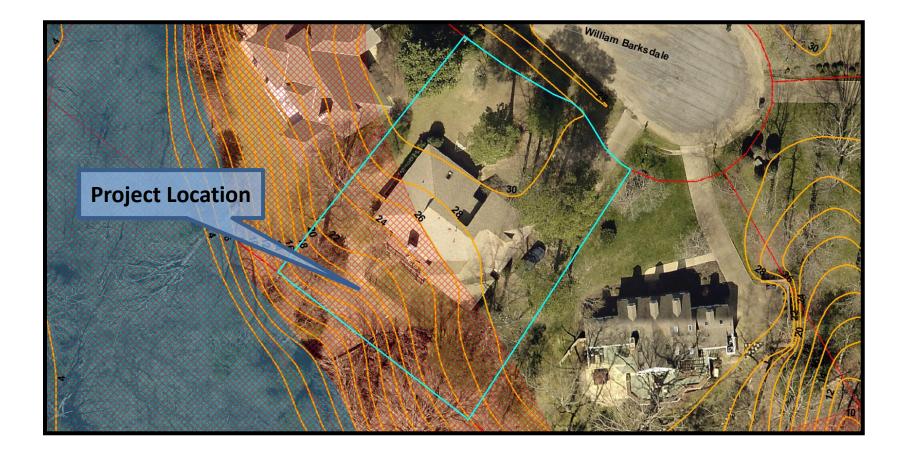
Topography

CBPA-20-0140



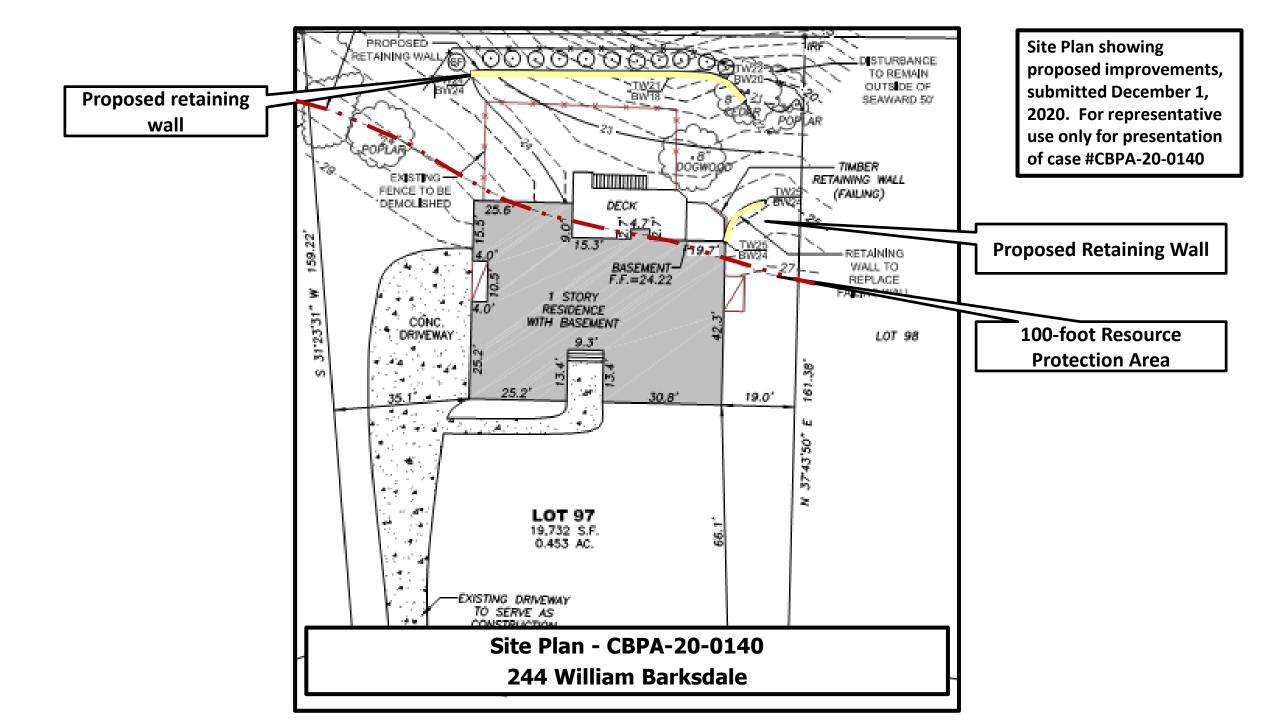
Floodplain

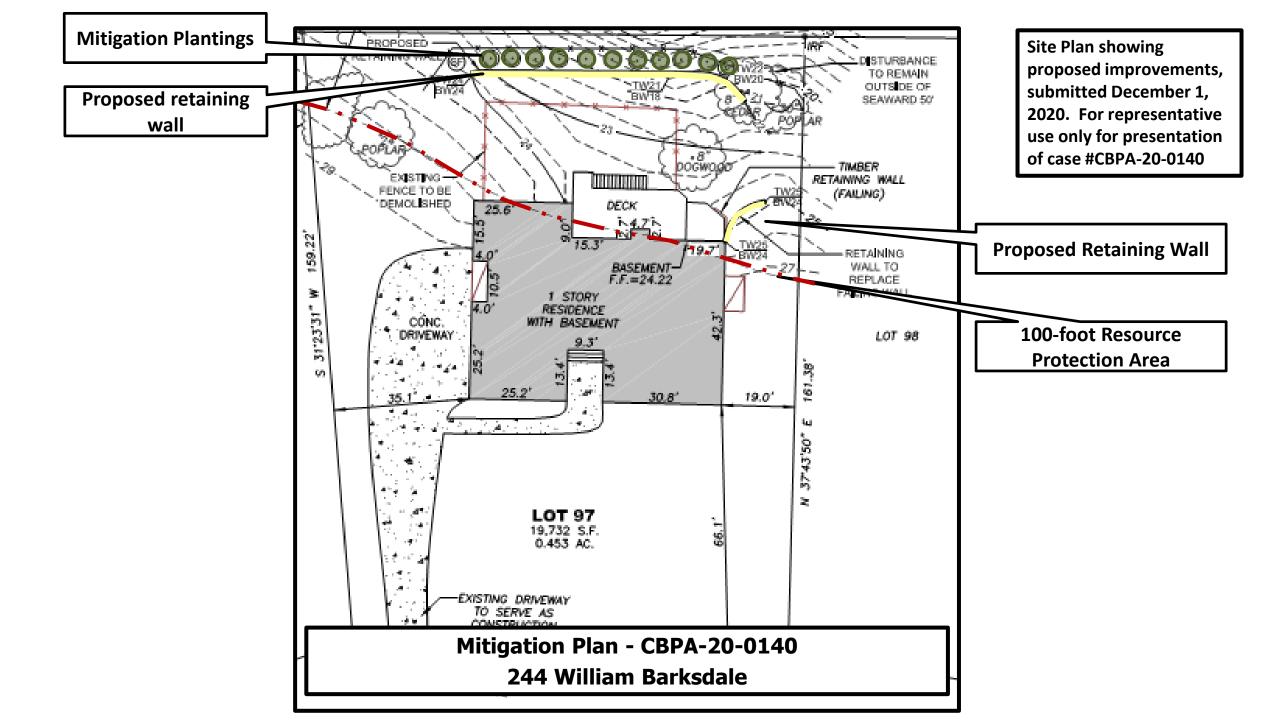
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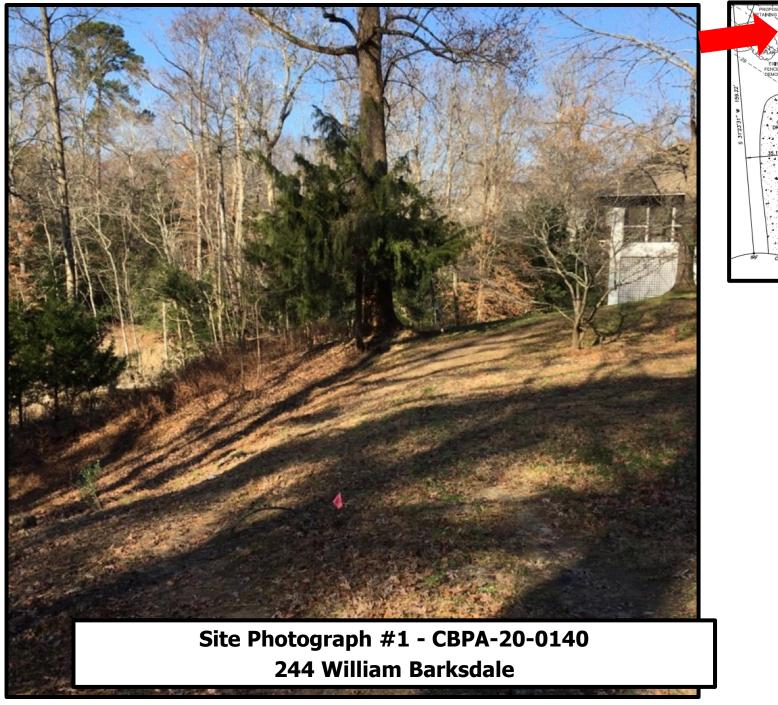


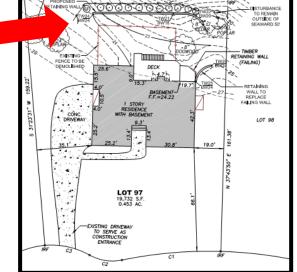
Resource Protection Area

CBPA-20-0140

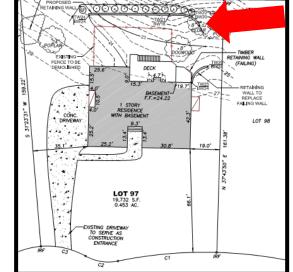




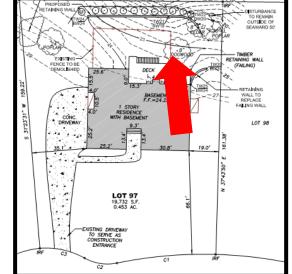




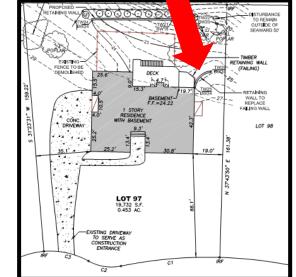












Permit Conditions



Staff Recommendation – Approval

- ✓ All other necessary local, state and federal permits.
- A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.
- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- Written requests for extension submitted no later than December 2, 2021.

GENERAL NOTES

- A TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM. 1.
- 2. WETLANDS, IF ANY, WERE NOT LOCATED FOR THIS PLAT.
- 3. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES. PARCEL LIES IN F.I.R.M. ZONE "X" ACCORDING TO COMMUNITY PANEL 4
- #51095C0202D, DATED DECEMBER 16, 2015. LOT SERVED BY PUBLIC WATER AND SEWER. 5.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM 6.
- BUILDINGS SHOWN HEREON. ELEVATION AS SHOWN HEREON ARE IN FEET AND ARE CLOSELY 7. RELATED TO JCC GIS.
- CONTRACTOR TO INSTALL ORANGE SAFETY FENCE AROUND 8. PERIMETER OF CONSTRUCTION SITE.
- A 7.5' DRAINAGE EASEMENT DEDICATED TO BUSCH PROPERTIES IS 9. PARALLEL TO AND ALONG ALL PROPERTY LINES.

NOTE TO CONTRACTOR

- ALL DISTURBED AREAS ARE TO BE SEEDED, SODDED, OR MULCHED WITHIN 7 DAYS OF REACHING FINAL GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" @ 2. 1-800-552-7001 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL REPORT ANY ERRORS, OMISSIONS, - 3. CONFLICTS, OR DISCREPANCIES TO THE DEVELOPER FOR RESOLUTION BEFORE CONTINUING WITH THE WORK.
- EROSIONS AND SEDIMENT CONTROL SHALL CONFORM TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO UTILITIES, PUBLIC OR PRIVATE, THAT MAY OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH 6. MATCHING MATERIALS, ANY PAVEMENT, DRIVEWAYS, SHOULDERS, WALKS, LAWNS, SHRUBS, DITCHES, ETC. THAT MAY BE CUT OR DAMAGED DURING OR AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ORANGE SAFETY FENCE AROUND LIMITS OF CONSTRUCTION CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION.

MITIGATION LEGEND

 (\cdot) NATIVE SHRUB

MITIGATION TABLE

MITIGATION MEASURE	QTY.(NEEDED)	QTY. (PROPOSED)
NATIVE CANOPY TREES	1	0
NATIVE UNDERSTORY TREES	2	0
NATIVE SHRUBS	3	11

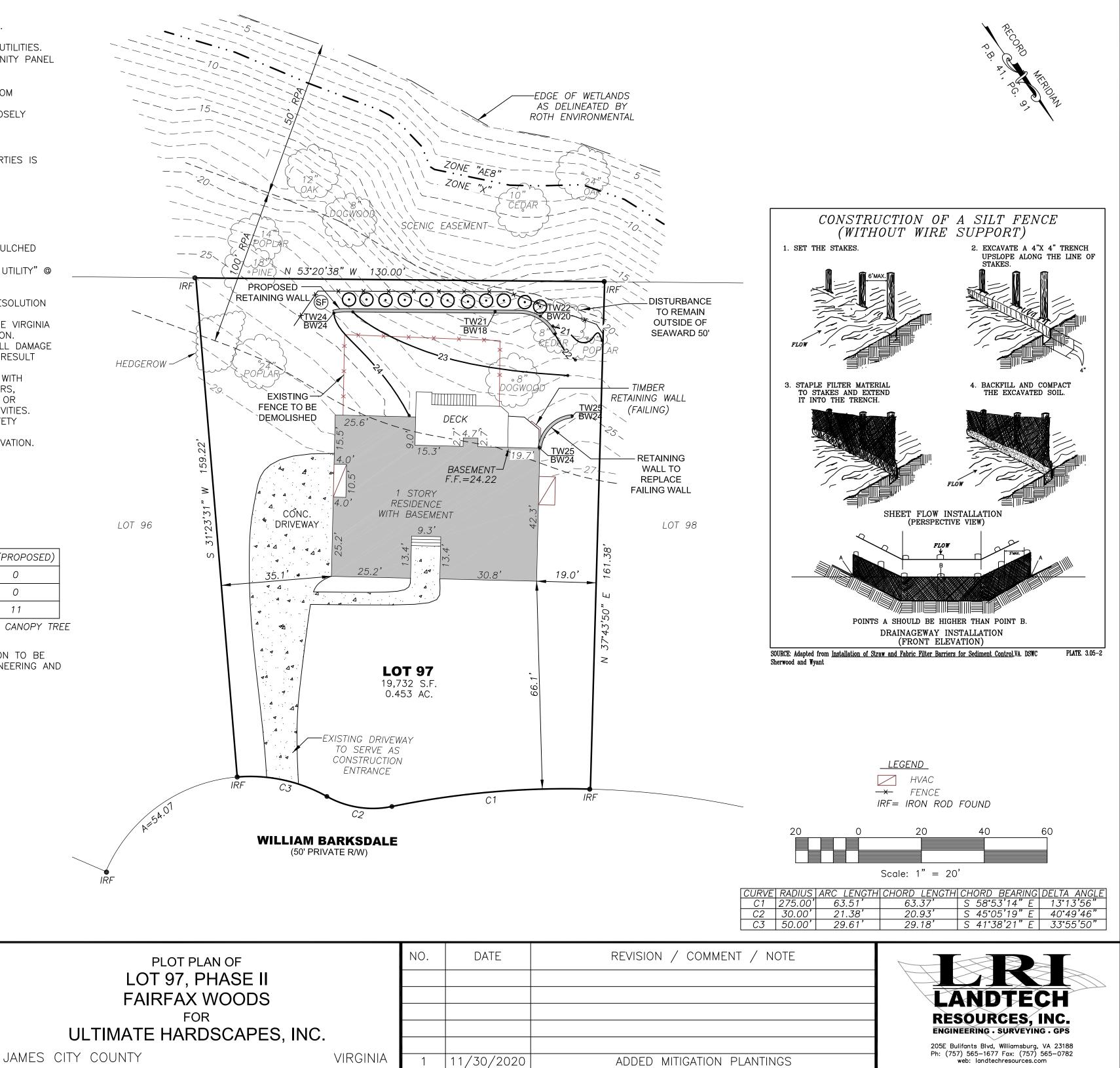
2 SHRUBS PER UNDERSTORY TREE AND 4 SHRUBS PER CANOPY TREE

LANDSCAPING NOTES

SPECIES OF PLANTS AND EXACT PLANTING LOCATION TO BE COORDINATED WITH THE JAMES CITY COUNTY ENGINEERING AND RESOURCE PROTECTION DIVISION.

SITE INFORMATION

TOTAL AREA: 19,732 S.F. / 0.453 AC. DISTURBED AREA: 4,729 S.F. / 0.109 AC. PROPOSED IMPERVIOUS: 130 S.F. / 0.003 AC. PARCEL ID: 49403000097 ZONING DISTRICT: R4 RESIDENTIAL PLANNED COMMUNITY EXISTING SITE IS PARTIALLY WOODED AS SHOWN



EXISTING ADDRESS:

244 WILLIAM BARKSDALE JAMES CITY COUNTY, VIRGINIA

SWEALTH OF	
Eller U.S. War	
MATTHEW H. CONNOLL	•
Lic. No. 2053 11/30/2020	
11/30/2020	
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	

DATE: 11/24/2020 DRAWN BY: AEQ PROJECT No. 20-395 FILE NAME: 20-395.DWG **REFERENCES**: P.B. 41, PG. 91

PLOT PLAN OF		NO.
LOT 97, PHASE II		
FAIRFAX WOODS		
FOR		
ULTIMATE HARDSCAPES, INC.		
CITY COUNTY	VIRGINIA	1



#### PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY

COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING WEDNESDAY JANUARY 13,

2020 AT 5 P.M. IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD,

JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

#### **NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021. ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING ASSISTANT COUNTY ATTORNEY WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



General Services 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

#### jamescitycountyva.gov

Capital Projects 107 Tewning Road Williamsburg, VA 23188 757-259-4080 Fleet 103 Tewning Road Williamsburg, VA 23188 757-259-4122 Stormwater and Resource Protection 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

Facilities & Grounds 113 Tewning Road Williamsburg, VA 23188 757-259-4080 Solid Waste 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971

December 23, 2020

RE: CBPA-20-0140 244 William Barksdale Retaining Wall

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Roth of Roth Environmental, LLC. on behalf of Michael and Catherine Hoyt, for encroachment into the Resource Protection Area (RPA) buffer for the construction of a retaining wall. The project is located at 244 William Barksdale and further identified as JCC Parcel No. 4940300097.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Míchael D. Woolson

Michael D. Woolson Chesapeake Bay Board Secretary 757-253-6823 michael.woolson@jamescitycountyva.gov

cc: Roth Environmental, LLC., Mr. Matthew Roth

MDW: jep

#### Mailing List for: CBPA-20-0140-244 William Barksdale - Retaining Wall

Owner: 4940300097 Hoyt, Michael J & Catherine J 244 William Barksdale Williamsburg, VA 23185-8208

<u>4930300098</u> Knight, Harry D & Leland K 240 William Barksdale Williamsburg, VA 23185-8210

<u>4930300096</u> Magee, Kimberly K 248 William Barksdale Williamsburg, VA 23185-8208

<u>4930300093:</u> Erickson, Alice M, Trustee & John C, Trustee 241 William Barksdale Williamsburg, VA 23185-8210 <u>Contractor:</u> Roth Environmental, LLC Attn: Mr. Matthew Roth 700 Prescott Newport News, VA 23602-7019

<u>4930300094</u> Brooks, Brian C & Rebecca C 245 William Barksdale Williamsburg, VA 23185-8210

5030100001- 300 Mounts Bay Rd

Escalante Kingsmill Resort, LLC 2930 Bledsoe Street, Suite 124 Fort Worth, TX 76107-2942

#### AGENDA ITEM NO. D.4.

#### **ITEM SUMMARY**

DATE:	11/11/2020
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 20-0100 : 5520 North Mallard Run

Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

#### **ATTACHMENTS:**

	Description	Туре
D	Staff Report	Staff Report
D	Resolution	Resolution
D	Presentation	Presentation
D	Site Plan	Backup Material
D	Public Advertisement	Backup Material
D	APO Letter	Backup Material
D	APO Mailing List	Backup Material
DEVIEW/EDS.		

<b>REVIEWERS:</b>	
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Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 11:18 AM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 11:23 AM
Publication Management	Daniel, Martha	Approved	1/11/2021 - 12:09 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 12:38 PM

### CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0010. 5520 North Mallard Run Staff Report for the January 13, 2021. Chesapeake Bay Board Public Hearing

This staff report is prepared by James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

#### EXISTING SITE DATA AND INFORMATION

Applicant:	Mr. Emanuel Greenspon		
Agent:	Mr. Aaron Williams, Williams Landscape & Design, Inc.		
Location:	5520 North Mallard Run		
Parcel Identification No.:	3120300039		
Parcel:	Lot 39, Section 1, Warhill		
Lot Size:	0.61 acres		
Area of Lot in Resource Protection Area (RPA):	0.57 acres +/- (95%)		
Watershed:	Powhatan Creek (HUC JL 31)		
Floodplain:	Zone AE - The special flood hazard area subject to 1% annual chance flood Base elevation approximately 43 feet Mean Sea Level (MSL)		
Proposed Activity:	Construction of a retaining wall and river rock area		
Impervious Cover:	693 square feet (+/-)		
RPA Encroachment:	693 square feet (+/-)		
Staff Contact:	Michael D. Woolson, Senior Watershed Planner Phone: 253-6823		

#### **BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Aaron Williams, Williams Landscaping & Design, Inc., has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer on behalf of Mr. Emanuel Greenspon for the construction of a retaining wall and a river rock area on property located at 5520 North Mallard Run within the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3120300039. The parcel was platted in 1991 prior to the changes to the Chesapeake Bay Preservation Ordinance in 2004.

The property is characterized by sloping topography affecting half of the yard behind the existing house. The other half of the yard is stable and encompassed by a fence. The property is within the Powhatan Creek floodway with a 100-year flood elevation of approximately 43 feet MSL. Erosion is occurring on the half of the property affected by the sloping topography and it is for this reason that the applicant is proposing to construct a 48-linear-foot retaining wall. The applicant has proposed to fill the area between the house and retaining wall with rock in order to provide further stabilization. Total impacts to the RPA equate to 693 square feet. Required mitigation for this amount of impervious impacts equals two mitigation units (two canopy trees, four understory trees, and six shrubs).

#### **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a retaining wall and river rock area. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the retaining wall is considered accessory in nature.

#### CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

- 1. The exception request is the minimum necessary to afford relief; and
- 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- 4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels; and
- 5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

#### **STAFF RECOMMENDATIONS**

Staff's view of this application is that the request does meet all five of the conditions as presented above and is approvable. Should the Board find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

- 1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
- 2. The retaining wall may not be built within the Powhatan Creek floodway; and
- 3. A mitigation plan equating to the plantings of two canopy trees, four understory trees, and six shrubs be submitted to the James City County Stormwater and Resource Protection Division; and
- 4. A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office; and
- 5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- 6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

MDW/nb CBPA20-10-5520NMallardRn

Attachments:

- 1. Resolution
- 2. Site Plan

#### <u>RESOLUTION</u>

#### CASE NO. CBPA-20-0100. 5520 NORTH MALLARD RUN

#### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. Emanuel Greenspon (the "Applicant") has applied to the Chesapeake Bay Board of James City County (the "Board") on January 13, 2021, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3120300039 and further identified as 5520 North Mallard Run (the "Property") as set forth in the application CBPA-20-0100 for the purpose of constructing a retaining wall with a river rock area; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
  - 1. The exception request is the minimum necessary to afford relief.
  - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
  - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
  - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
  - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
  - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
    - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
    - b. The retaining wall may not be built within the Powhatan Creek floodway; and
    - c. A mitigation plan equating to the plantings of two canopy trees, four understory trees, and six shrubs be submitted to the James City County Stormwater and Resource Protection Division; and

- d. A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-10-5520NMallardRn-res



# Chesapeake Bay Board of James City County, Virginia

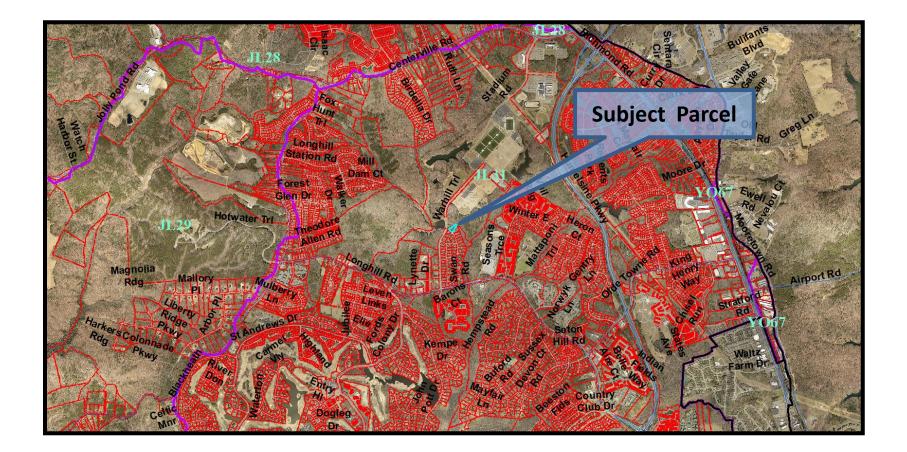
January 13, 2020

CBPA 20-0100 Emanuel Greenspon 5520 North Mallard Run

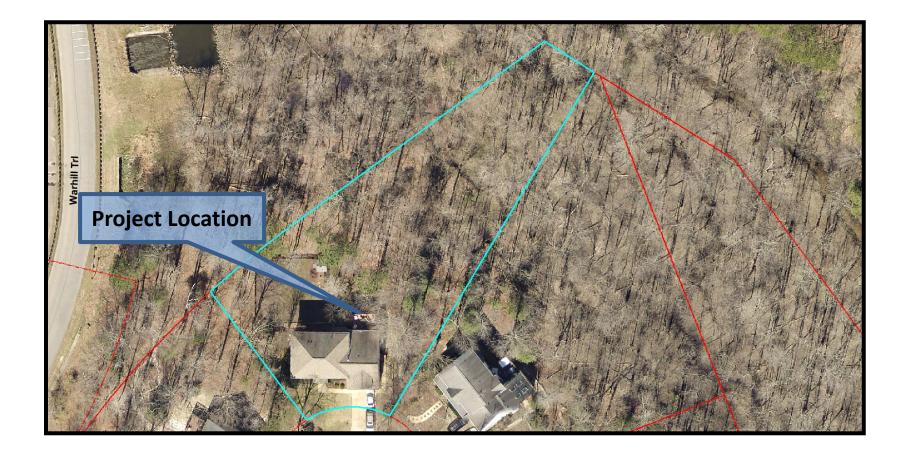


# **Applicant Request**

Construction of a retaining wall and river rock area.

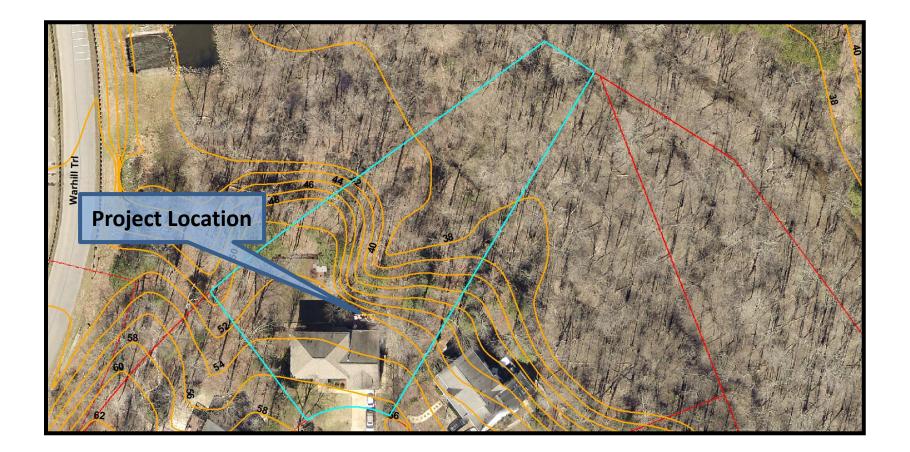


Vicinity Map CBPA-20-0100



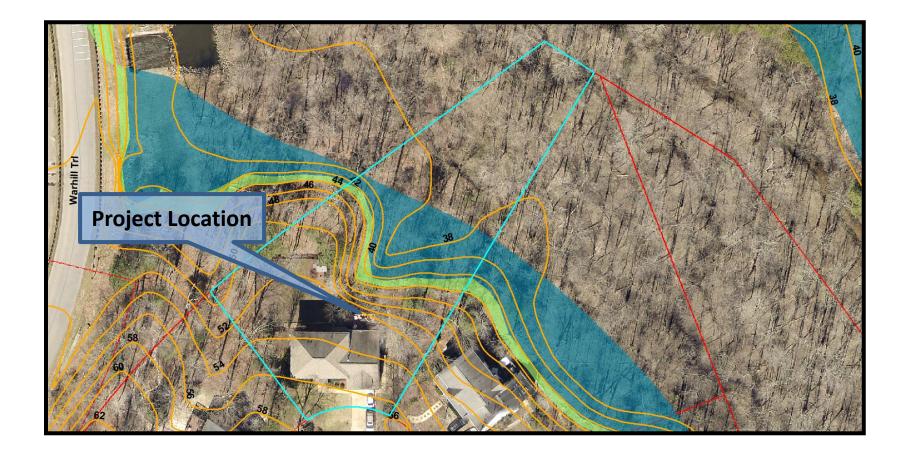
Aerial Photograph

CBPA-20-0100



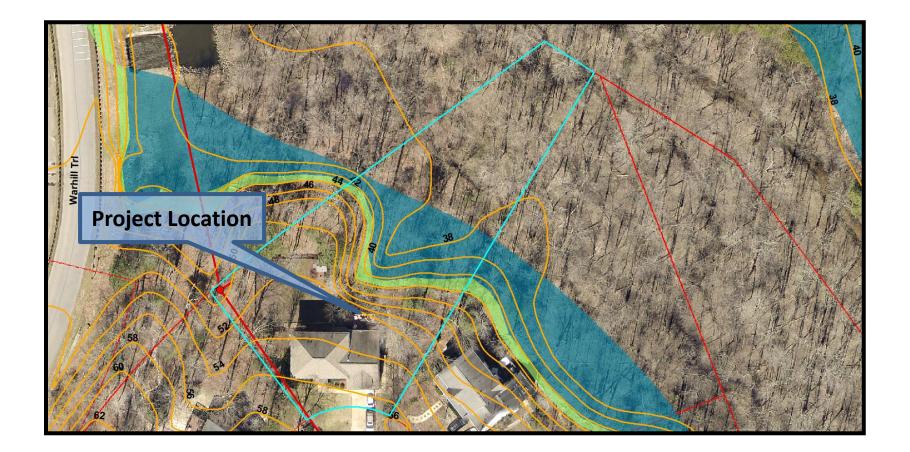
**Topography** 

CBPA-20-0100



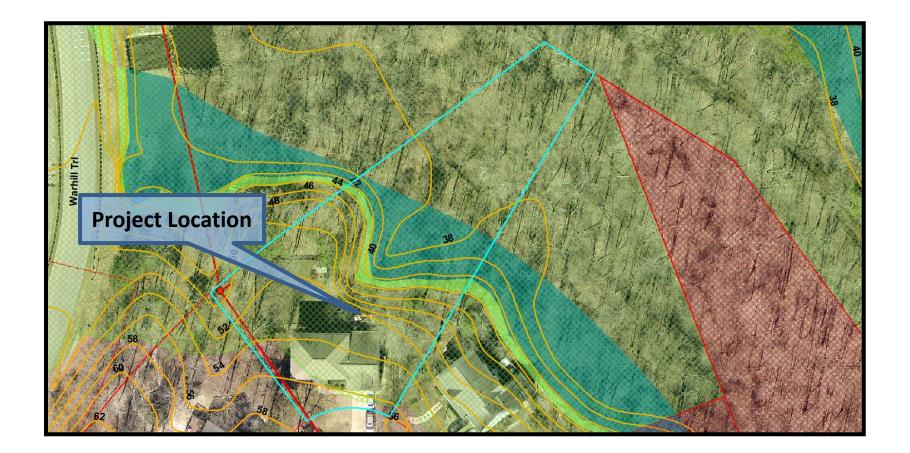
<u>Floodplain</u>

CBPA-20-0100



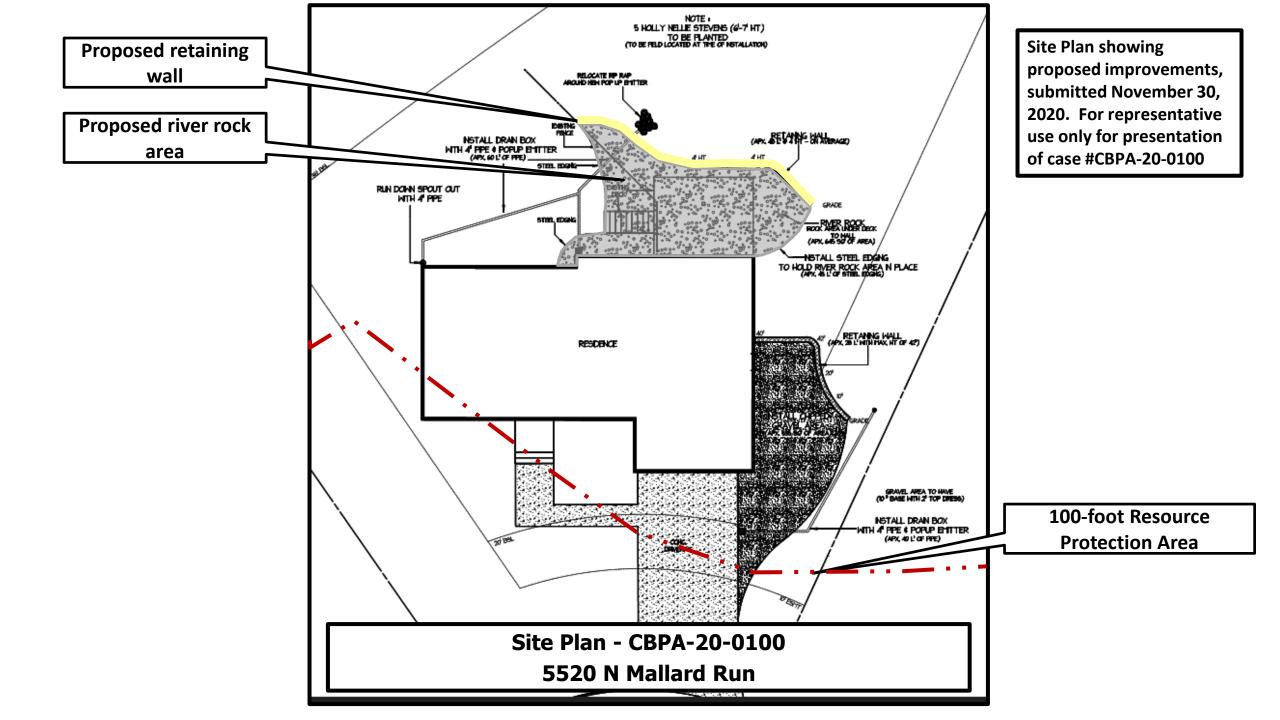
**Sanitary Sewer** 

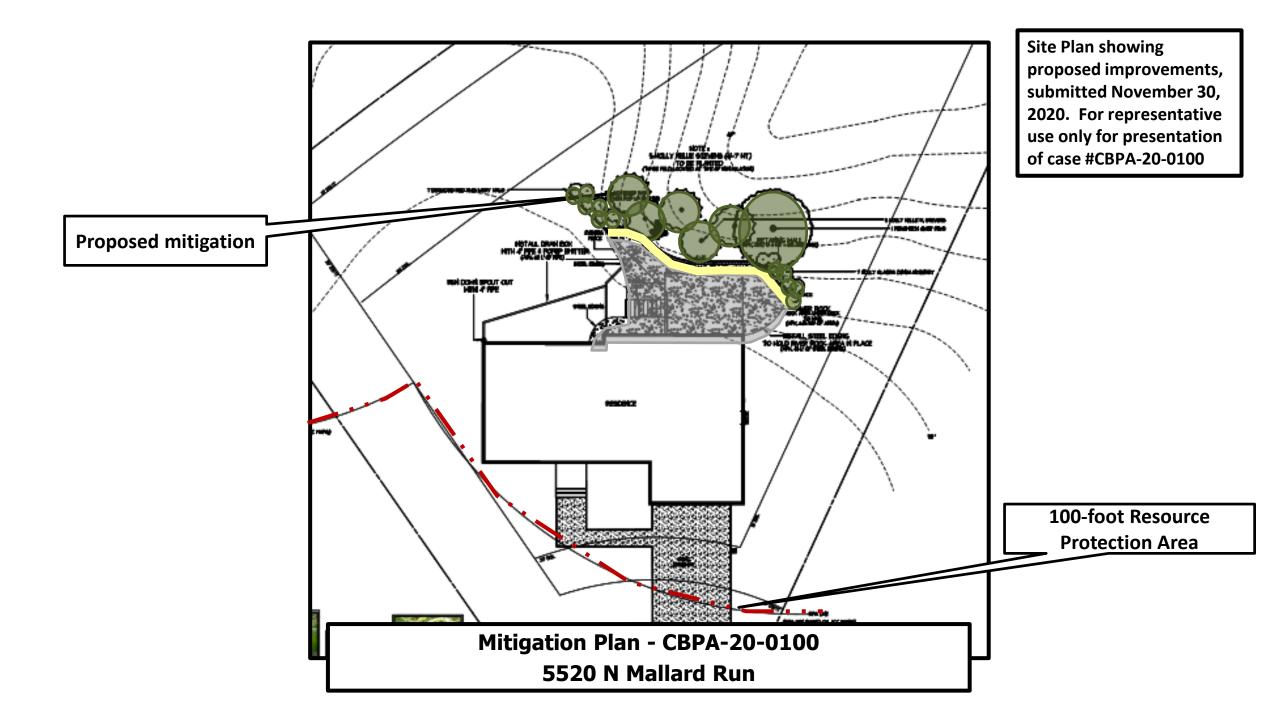
CBPA-20-0100



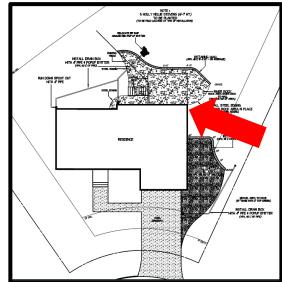
**Resource Protection Area** 

CBPA-20-0100

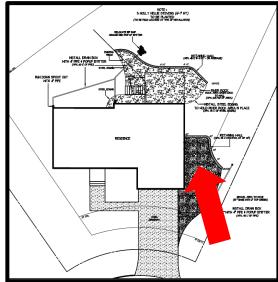




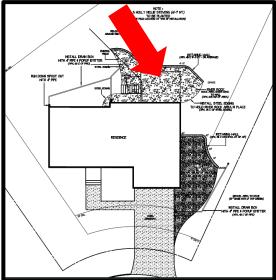




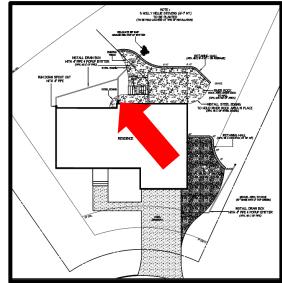












# **Permit Conditions**



## **Staff Recommendation – Approval**

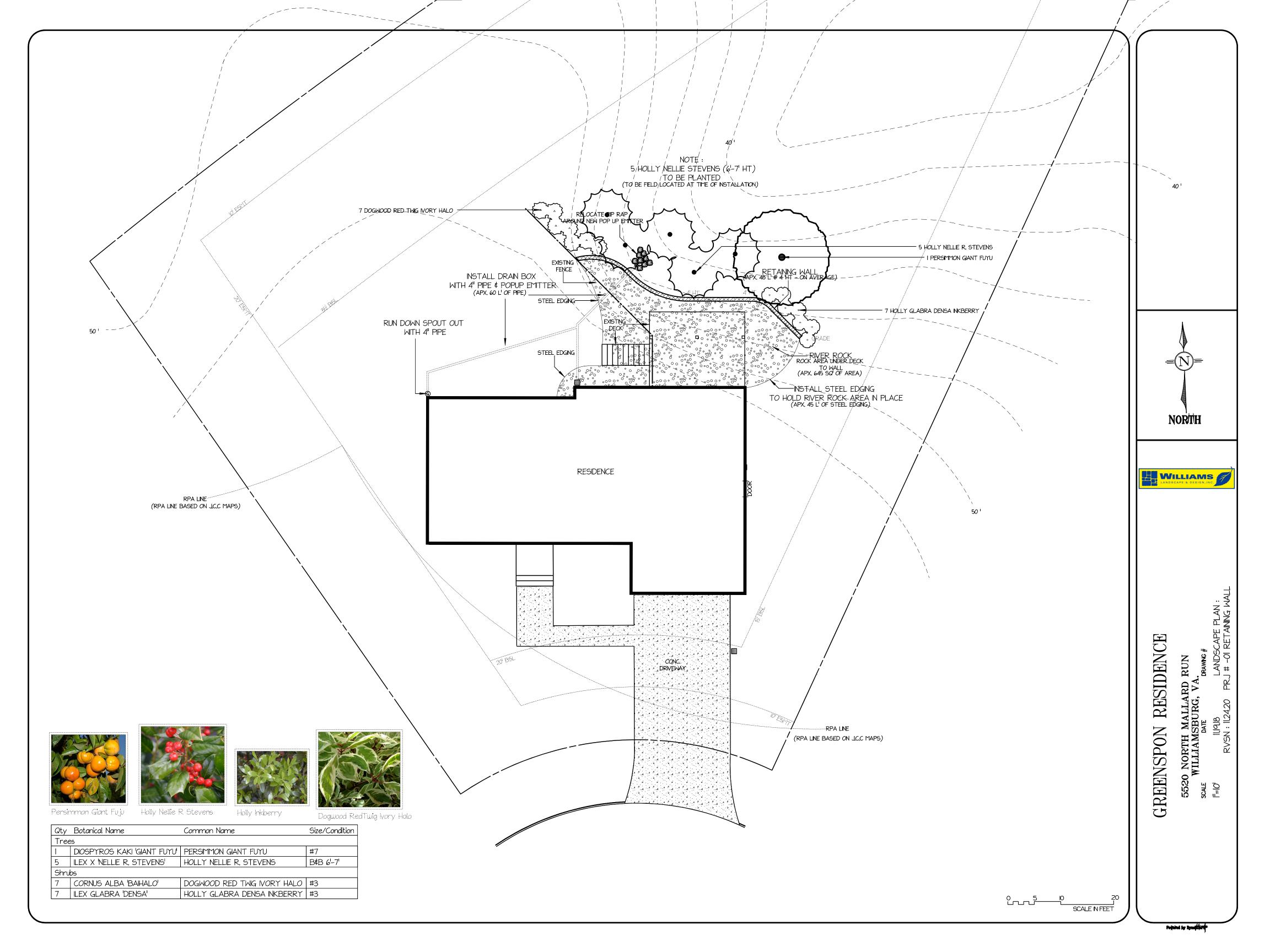
- ✓ All other necessary local, state and federal permits.
- A surety of \$1,000 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

# **Permit Conditions**



## **Staff Recommendation – Approval**

- This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- ✓ Written requests for extension submitted no later than December 2, 2021.





#### PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY

COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING WEDNESDAY JANUARY 13,

2020 AT 5 P.M. IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD,

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THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

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The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

#### **NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021. ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING ASSISTANT COUNTY ATTORNEY WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



General Services 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

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Fleet 103 Tewning Road Williamsburg, VA 23188 757-259-4122 Stormwater and Resource Protection 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

Facilities & Grounds 113 Tewning Road Williamsburg, VA 23188 757-259-4080 Solid Waste 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971

December 23, 2020

RE: CBPA-20-0100 5520 North Mallard Run Retaining Wall

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Aaron Williams of Williams Landscaping and Design, Inc. on behalf of Emanuel Greenspon for encroachment into the Resource Protection Area (RPA) buffer for the construction of two retaining walls and gravel pads. The project is located at 5520 North Mallard Run and further identified as JCC Parcel No. 3120300039.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, January 13, 2021 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Míchael D. Woolson

Michael D. Woolson Chesapeake Bay Board Secretary 757-253-6823 michael.woolson@jamescitycountyva.gov

cc: Williams Landscaping & Design, Inc. Mr. Aaron Williams

MDW: jep

#### Mailing List for: CBPA-20-0100-5520 North Mallard Run - Two Retaining Walls and Gravel Pads

Owner: 3120300039 Greenspon, Emanuel 5520 North Mallard Run Williamsburg, VA 23188-9415

<u>3120300038</u> Carpenter, Gregory A & Joyce E

5516 North Mallard Run Williamsburg, VA 23188-9415

3120300040 Bell, David L & Janet O 5517 North Mallard Run Williamsburg, VA 23188-9415

<u>3120300041:</u> Selby, Kenneth H 5513 N Mallard Run Williamsburg, VA 23188-9415 <u>Contractor:</u> Williamsburg Landscape & Design, Inc. Attn: Mr. Aaron Williams 1554 Penniman Road Williamsburg, VA 23185-5821

<u>3120300042-5509 North Mallard Run</u> Carbajal, Todd PSC 851 Box 50 FPO, AE 098340001

3210100012-4900 Stadium Road James City County Attn: Mr. Scott Stevens P.O. Box 8784 Williamsburg, VA 23187-8784

#### **ITEM SUMMARY**

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 20-0139 : 289 Mill Stream Way

Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

#### **ATTACHMENTS:**

	Description	on	Туре	
D	staff report		Cover Memo	
D	resolution	resolution		
D	Presentation		Presentation	
D	Site Plan		Backup Material	
D	Site Plan, November 2020		Backup Material	
D	Public Advertisement		Backup Material	
D	APO Letter		Backup Material	
D	APO Mailing List		Backup Material	
<b>REVIEWERS:</b>				
Department	Reviewer	Action	Date	

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:21 PM
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 12:26 PM
Publication Management	Burcham, Nan	Approved	1/11/2021 - 1:32 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 1:52 PM

### CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-20-0139. 289 Mill Stream Way Staff Report for the January 13, 2020, Chesapeake Bay Board Public Hearing

This staff report is prepared by James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

#### EXISTING SITE DATA AND INFORMATION

Applicants:	Mr. Kevin and Mrs. Tami Potter	
Agent:	Mr. Aaron Williams, Williams Landscaping & Design, Inc.	
Location:	289 Mill Stream Way	
Parcel Identification No.:	4711800040	
Parcel:	Lot 40, Section 5, Settlers Mill	
Lot Size:	0.40 acres	
Area of Lot in Resource Protection Area (RPA):	0.33 acres +/- (83%)	
Watershed:	Mill Creek (HUC JL 33)	
Floodplain:	None affecting this property	
Proposed Activity:	Construction of a patio, two retaining walls, deck, and steps with paver landings	
Impervious Cover:	492 square feet (+/-)	
RPA Encroachment:	492 square feet (+/-)	
Staff Contact:	Michael D. Woolson, Senior Watershed Planner Phone: 253-6823	

#### **BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Aaron Williams, Williams Landscaping & Design, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. Kevin and Mrs. Tami Potter for encroachments into the RPA buffer for the construction of a patio, two retaining walls, deck, and steps with paver landings on property located at 289 Mill Stream Way within the Mill Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4711800040. The parcel was platted in 1995, prior to the 2004 changes in the Ordinance.

The total lot size of this property is 0.40 acres, of which 83% is located within the RPA. In June of 2020, the applicants obtained an administrative exception to convert a deck into a house addition. A separate application was later submitted for the construction of a patio, three retaining walls, deck, and steps with landings. This application was deferred at the October 14, 2020 meeting, so that some adjustments could be made to the plan. The application was then denied at the November 11, 2020 meeting. The applicant has now amended the site plan to reduce impervious impacts to the RPA. This proposal includes the construction of a patio, two retaining walls, deck, and steps with paver landings equal approximately 492 square feet of impervious surface. The site plan denied in November, 2020, equaled approximately 830 square feet of impacts to the RPA. Since then, the applicants have removed the serpentine wall encompassing the back of the property and have reduced the patio area significantly, cutting the total

impacts in half. Required mitigation for this amount of impact to the RPA equals one planting unit (one canopy tree, two understory trees, and three shrubs). Proposed plantings within the RPA equal five canopy trees, 22 understory trees and 140 shrubs, which are more than five times the required plantings.

#### STAFF EVALUATION

Staff has evaluated the application and exception request for the proposed construction of a patio, two retaining walls, deck, and steps with paver landings. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the walls, deck, and patios are considered accessory in nature.

#### CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

- 1. The exception request is the minimum necessary to afford relief; and
- 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- 4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels; and
- 5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

#### STAFF RECOMMENDATIONS

Staff's view of this application is that it meets all five of the conditions as presented above. Should the Board find that the exception request meets all five of the conditions above, staff suggests the following conditions be incorporated into the approval:

- 1. The applicant must obtain all other necessary federal, state, and local permits as required for the project, this includes an Erosion and Sediment Control plan, a land disturbing permit, and a building permit; and
- 2. The Turf Love program be implemented for the property; and
- 3. The permeable paver walkways and landings shall be built to the Department of Environmental Quality Stormwater Design Specification No. 7, Permeable Pavement, current version, and shall encompass at least 250 square feet of surface area; and
- 4. A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office to guarantee the required mitigation plantings; and
- 5. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and

6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

MDW/nb CBPA20-139-289MillSWay

Attachments:

1. Resolution

2. Site Plan

#### <u>RESOLUTION</u>

#### CASE NO. CBPA-20-0139. 289 MILL STREAM WAY

#### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. Kevin and Mrs. Tami Potter (the "Applicants") have applied to the Chesapeake Bay Board of James City County (the "Board") on January 13, 2021, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4711800040 and further identified as 289 Mill Stream Way (the "Property") as set forth in the application CBPA-20-0139 for the purpose of constructing a patio, two retaining walls, deck, and steps with paver landings; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
  - 1. The exception request is the minimum necessary to afford relief.
  - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
  - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
  - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
  - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
  - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
    - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
    - b. The Turf Love program be implemented for the property; and
    - c. The permeable paver walkways and landings shall be built to the Department of Environmental Quality Stormwater Design Specification No. 7, Permeable

Pavement, current version, and shall encompass at least 250 square feet of surface area; and

- d. A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney's Office to guarantee the required mitigation plantings; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

CBPA20-139-289MillSWay-re



# Chesapeake Bay Board of James City County, Virginia

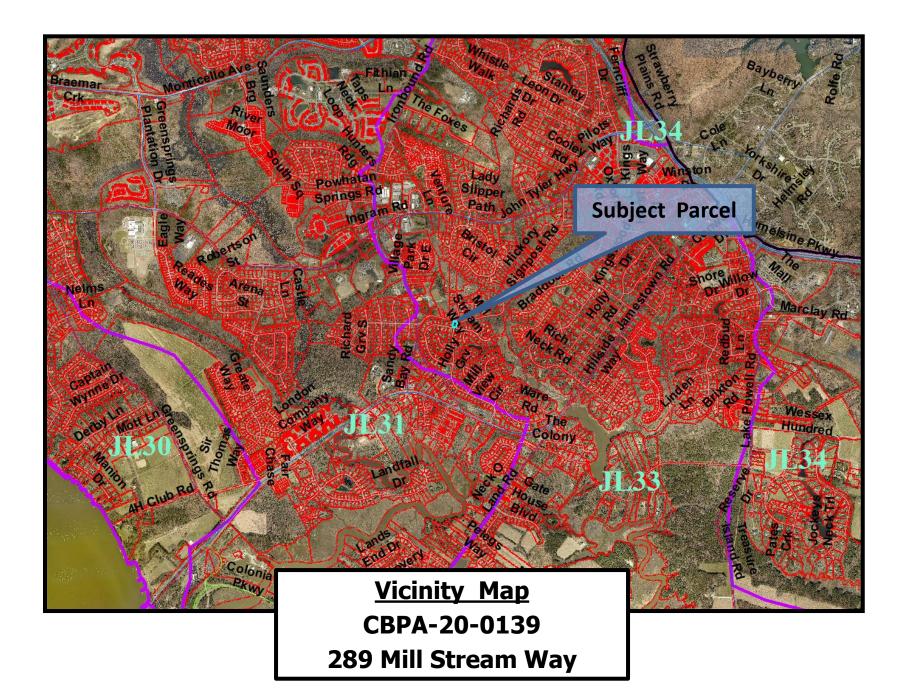
January 13, 2021

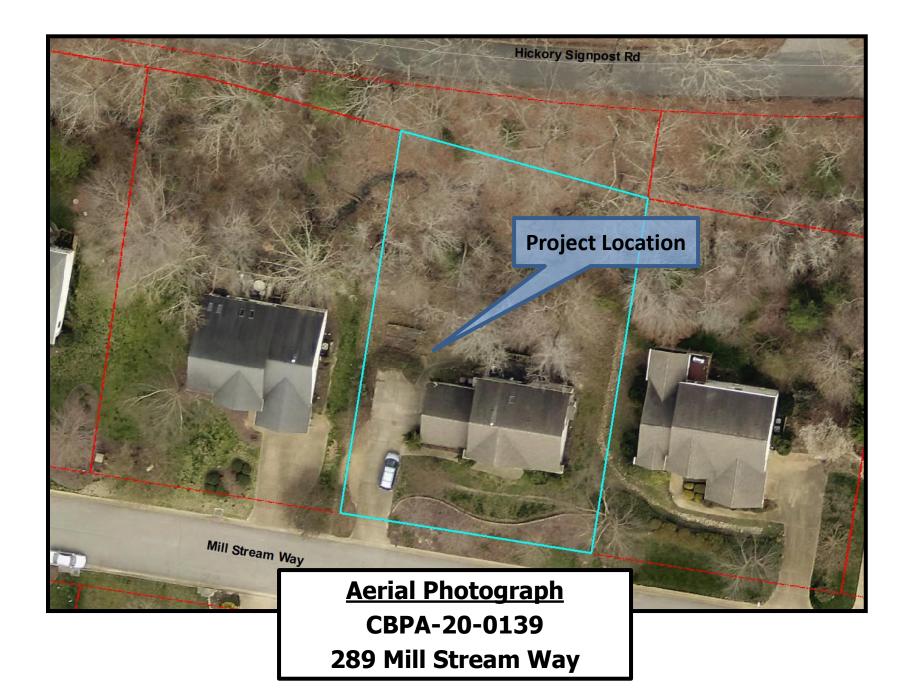
CBPA 20-0139 Kevin and Tami Potter 289 Mill Stream Way

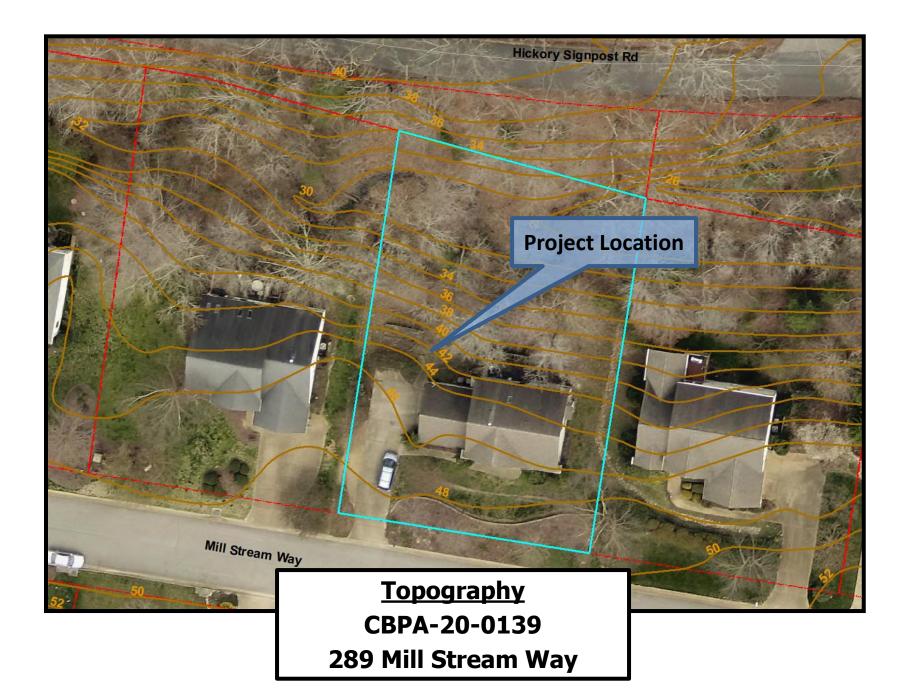


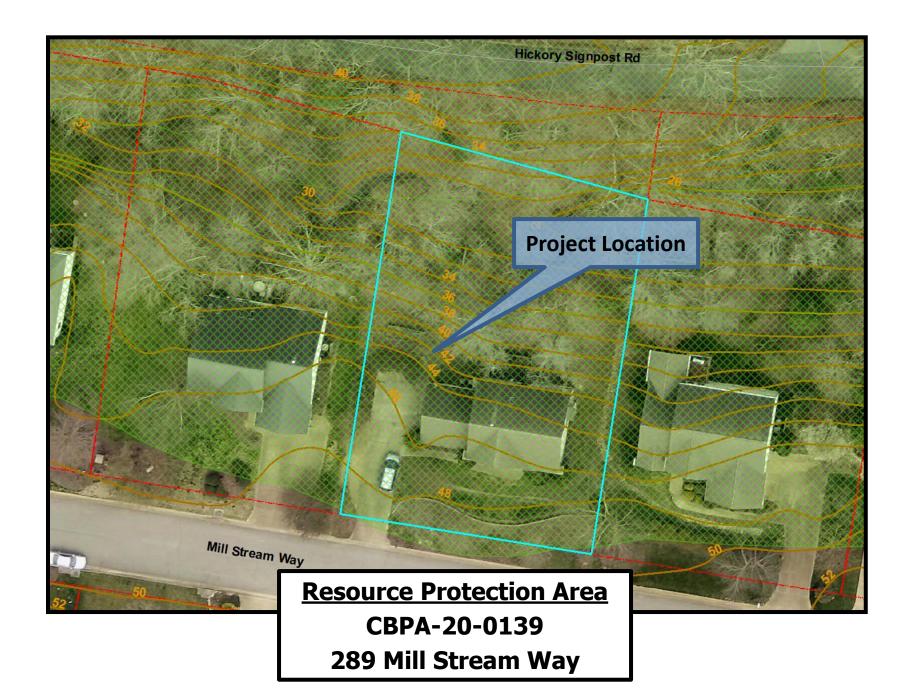
# **Applicant Request**

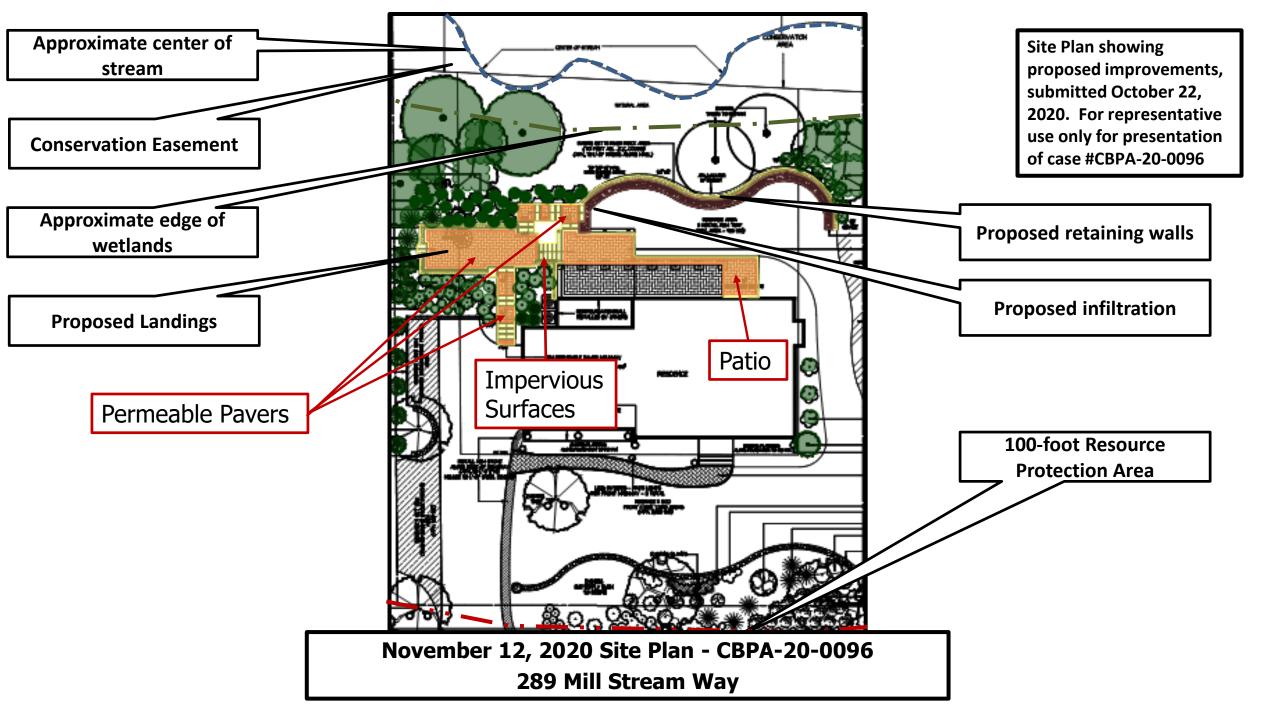
 Construction of a patio, two retaining walls, and steps with landings.

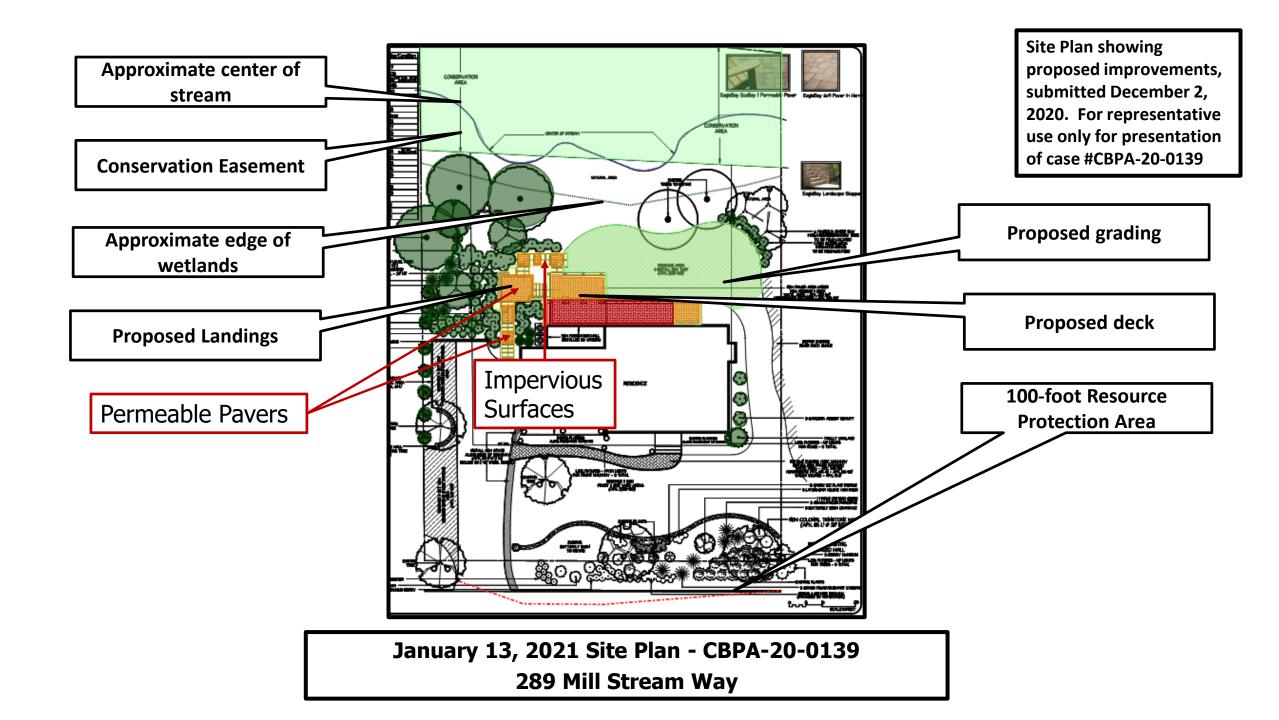


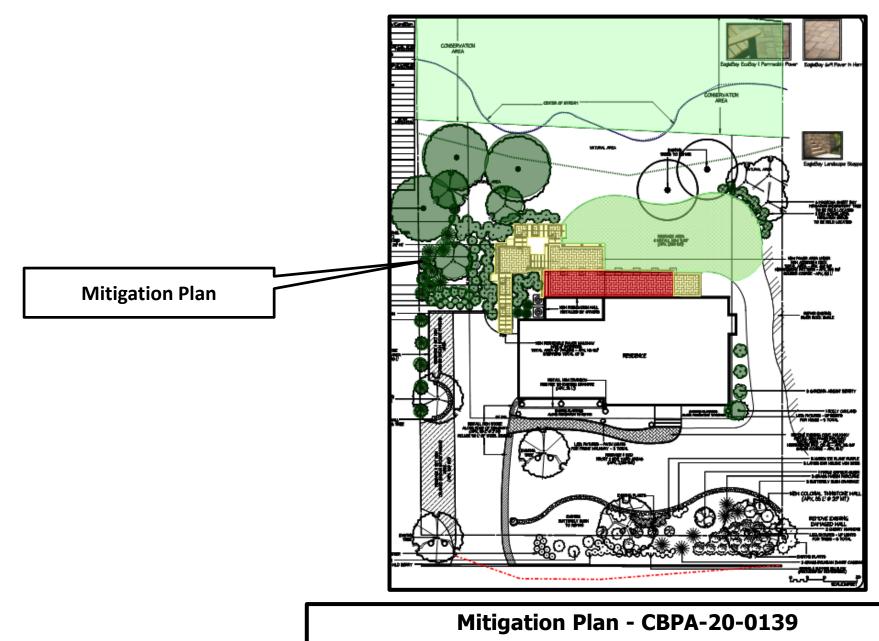






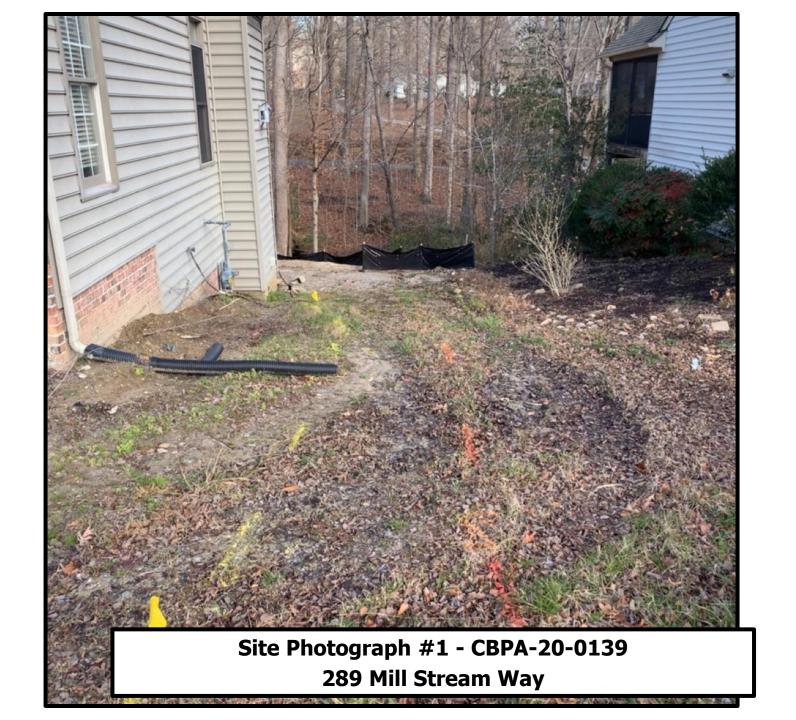


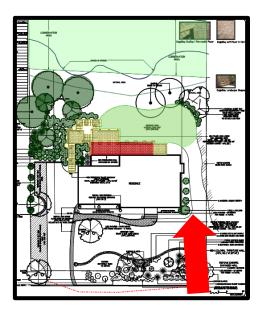


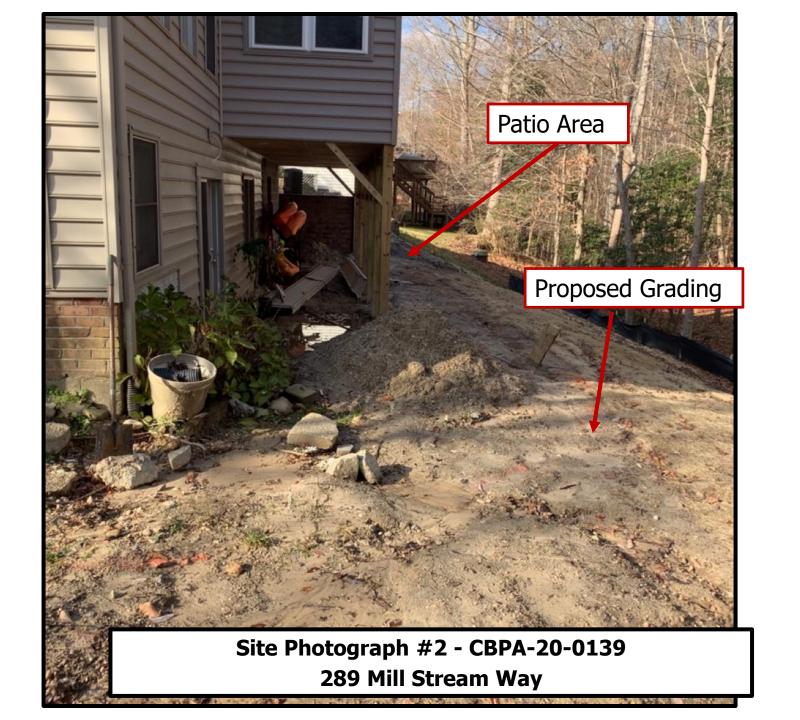


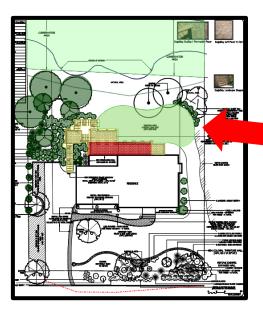
Mitigation Plan showing proposed improvements, submitted December 2, 2020. For representative use only for presentation of case #CBPA-20-0139

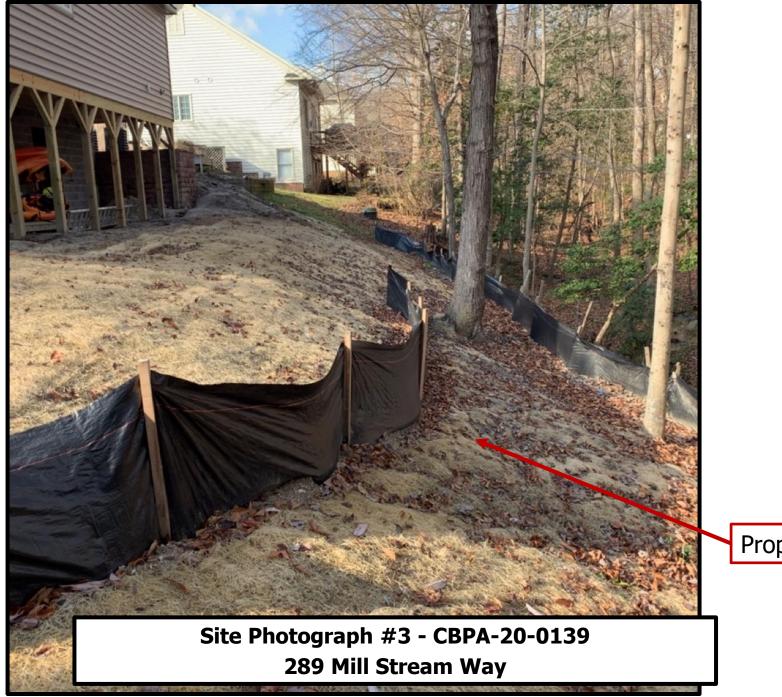
289 Mill Stream Way

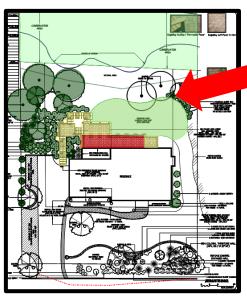




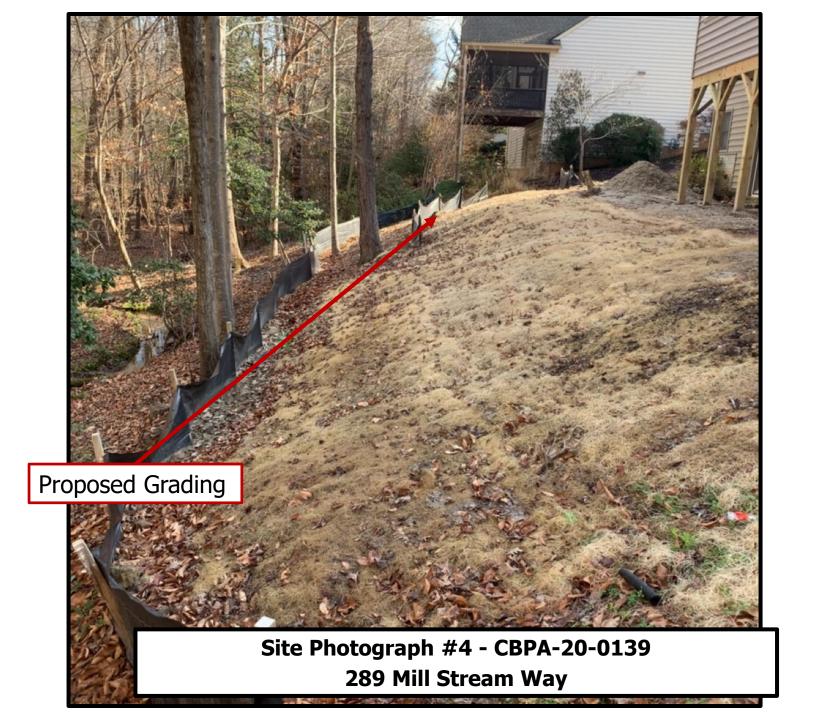


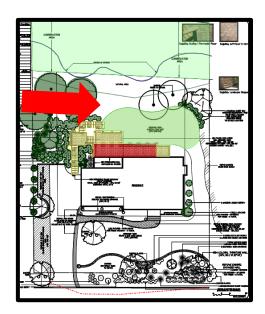


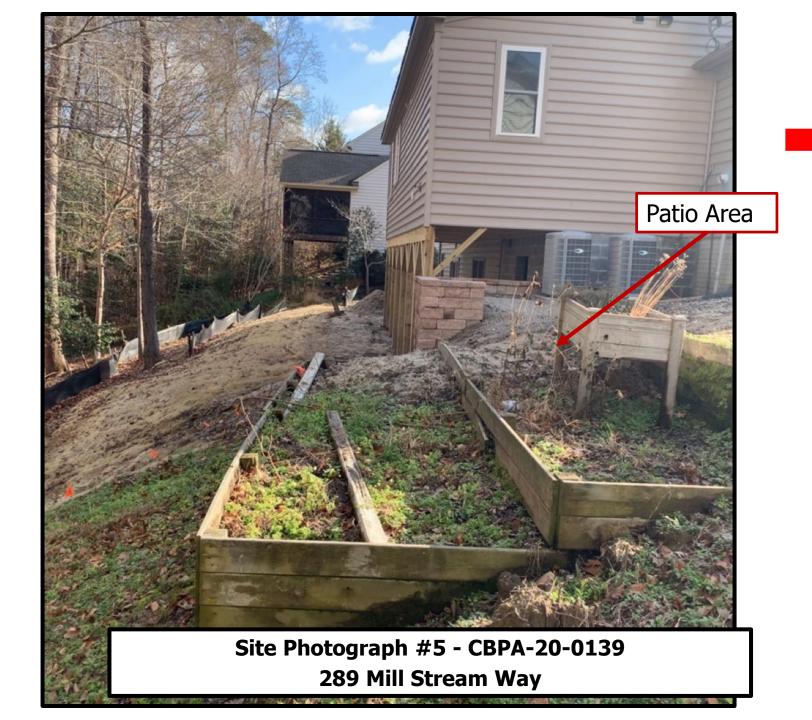


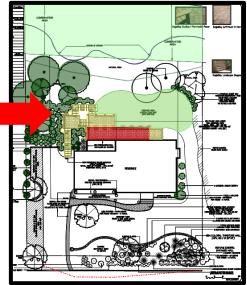


Proposed Grading

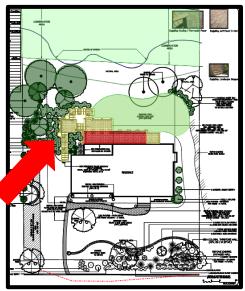




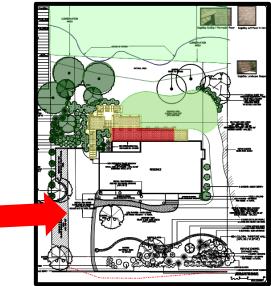




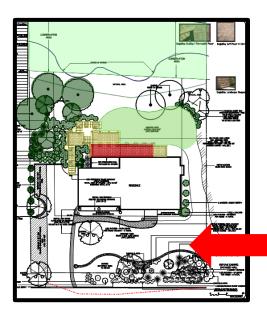




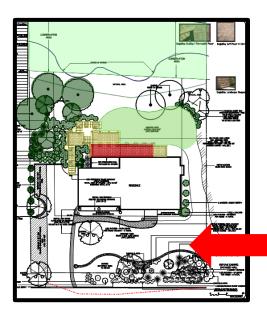












## **Permit Conditions**



### **Staff Recommendation – Approval**

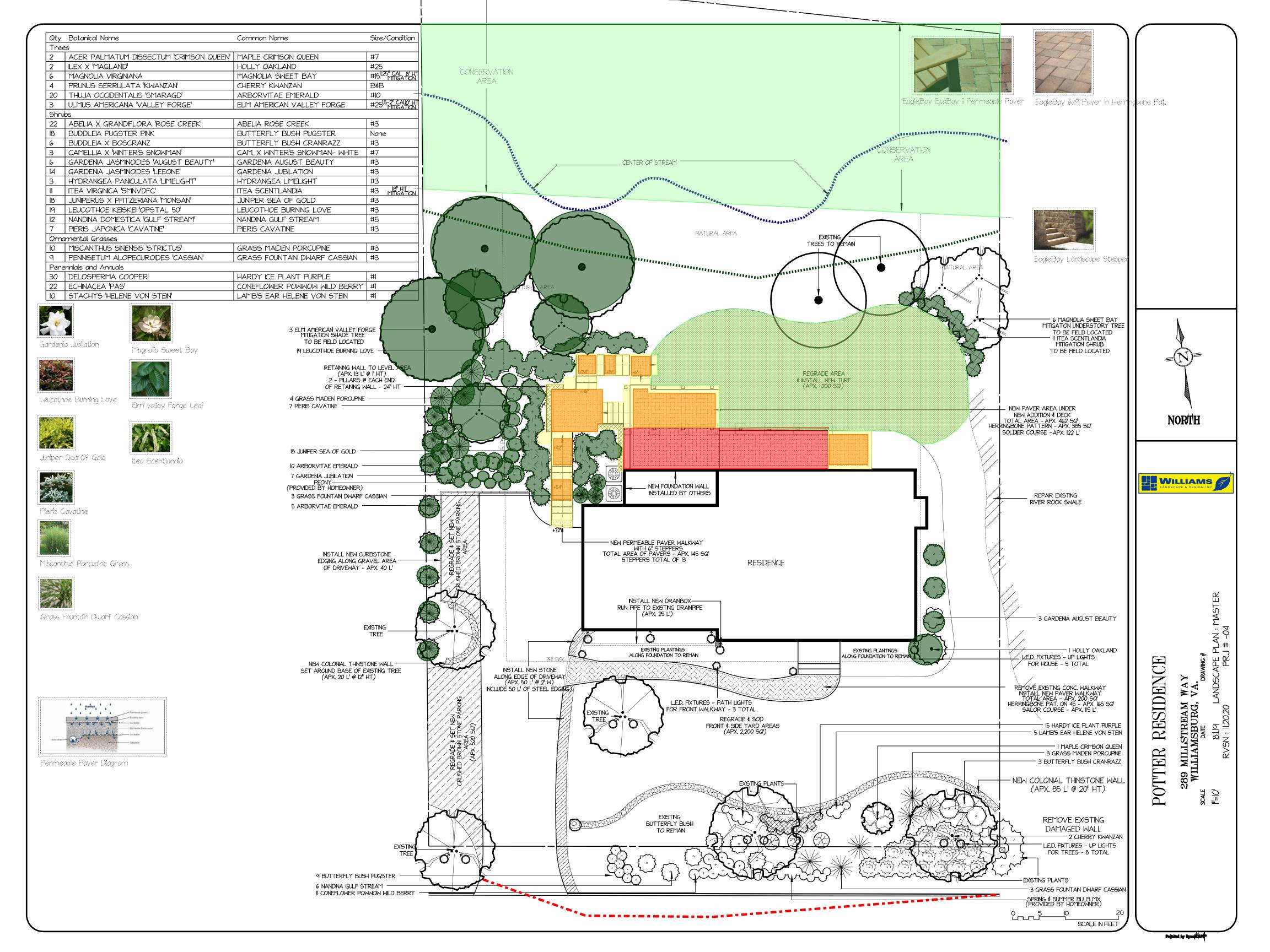
- ✓ All other necessary local, state and federal permits.
- ✓ Turf Love enrollment.
- A surety of \$500 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney.

## **Permit Conditions**

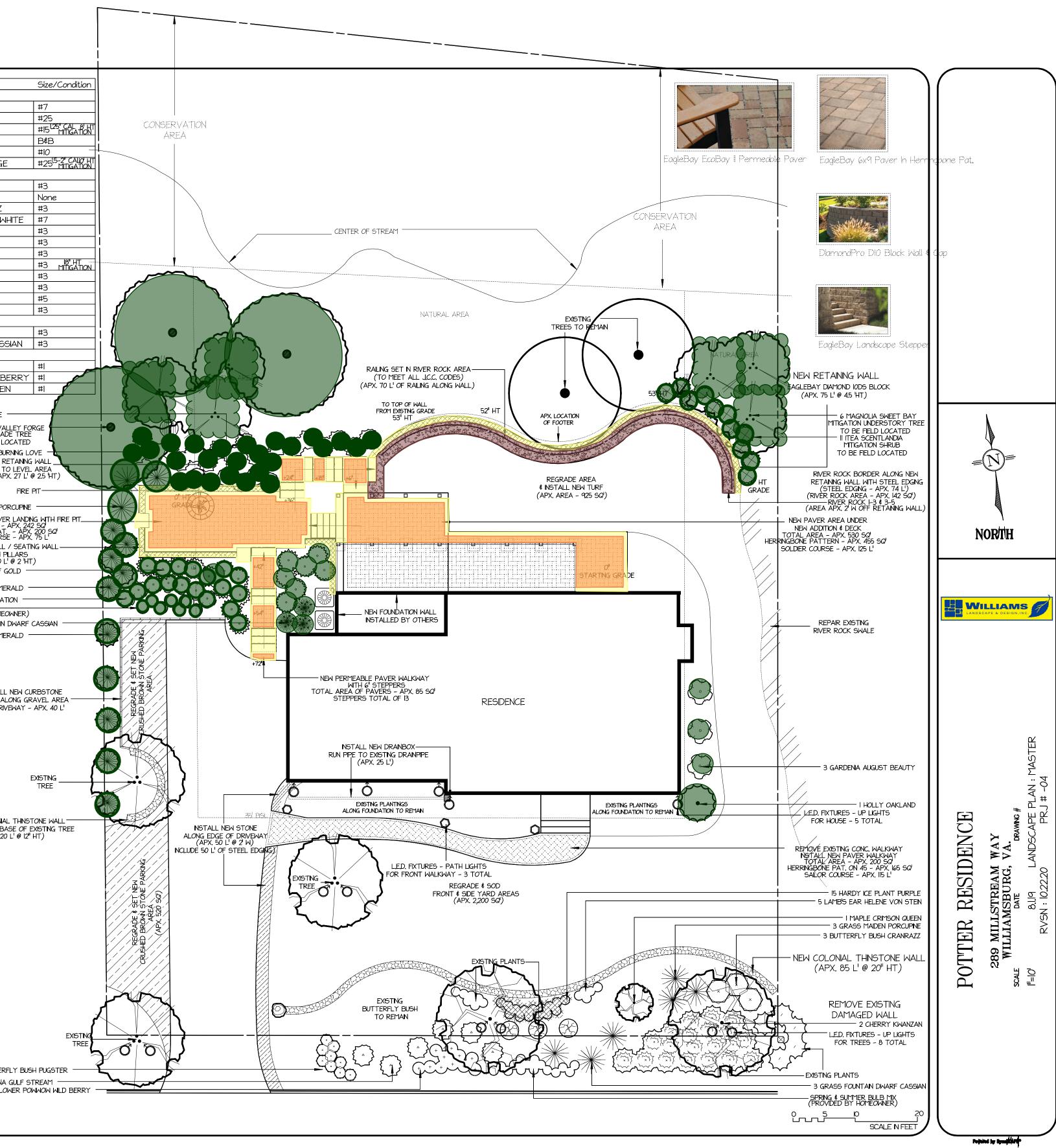


### **Staff Recommendation – Approval**

- The permeable paver walkways and landings shall be built to DEQ Stormwater Design Specification No. 7 and shall encompass at least 250 square feet of surface area.
- ✓ This exception request approval shall become null and void if construction has not begun by January 13, 2022.
- Written requests for extension submitted no later than December 2, 2021.



Qty	Botanical Name	Common Name
Tree		
2	ACER PALMATUM DISSECTUM 'CRIMSON QUEE	
2	ILEX X 'MAGLAND' MAGNOLIA VIRGINIANA	HOLLY OAKLAND MAGNOLIA SWEET BAY
4	PRUNUS SERRULATA 'KWANZAN'	CHERRY KWANZAN
4 20	THUJA OCCIDENTALIS 'SMARAGD'	ARBORVITAE EMERALD
3	ULMUS AMERICANA 'VALLEY FORGE'	ELM AMERICAN VALLEY FORG
<u> </u>		
22	ABELIA X GRANDIFLORA 'ROSE CREEK'	ABELIA ROSE CREEK
18	BUDDLEIA PUGSTER PINK	BUTTERFLY BUSH PUGSTER
6	BUDDLEIA X BOSCRANZ	BUTTERFLY BUSH CRANRAZZ
3	CAMELLIA X 'WINTER'S SNOWMAN'	CAM. X WINTER'S SNOWMAN-
6	GARDENIA JASMINOIDES 'AUGUST BEAUTY'	GARDENIA AUGUST BEAUTY
14	GARDENIA JASMINOIDES 'LEEONE'	GARDENIA JUBILATION
3	HYDRANGEA PANICULATA 'LIMELIGHT'	HYDRANGEA LIMELIGHT
11	ITEA VIRGINICA 'SMNVDFC'	ITEA SCENTLANDIA
18 19	JUNIPERUS X PFITZERIANA 'MONSAN' LEUCOTHOE KEISKEI 'OPSTAL 50'	JUNIPER SEA OF GOLD LEUCOTHOE BURNING LOVE
19	NANDINA DOMESTICA 'GULF STREAM'	NANDINA GULF STREAM
7	PIERIS JAPONICA 'CAVATINE'	PERIS CAVATINE
	mental Grasses	
9	MISCANTHUS SINENSIS 'STRICTUS'	GRASS MAIDEN PORCUPINE
9	PENNISETUM ALOPECUROIDES 'CASSIAN'	GRASS FOUNTAIN DWARF CAS
	mnials and Annuals	
30	DELOSPERMA COOPERI	HARDY ICE PLANT PURPLE
22	ECHINACEA 'PAS'	CONEFLOWER POWWOW WILD
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#### PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY

COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING WEDNESDAY JANUARY 13,

2020 AT 5 P.M. IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD,

JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 20-0038: VHB, on behalf of Carters Grove Associates LLC, has applied for a wetlands permit for the installation of 12 breakwaters, beach nourishment, backshore plantings, a revetment and the refurbishment of an existing revetment at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 20-0100: Williams Landscape and Design, Inc., on behalf of Emanuel Grenspon, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall and river rock at 5520 North Mallard Run, JCC Parcel No. 3120300039.

CBPA 20-0139: Williams Landscape and Design, Inc., on behalf of Kevin and Tami Potter, has filed an exception request for encroachments into the RPA buffer for the construction of steps and landings, a retaining wall, deck, patio and lawn at 289 Mill Stream Way, JCC Parcel No. 4711800040.

CBPA 20-0140: Roth Environmental, on behalf of Michael and Catherine Hoyt, has filed an exception request for encroachments into the RPA buffer for the construction of a retaining wall at 244 William Barksdale, JCC Parcel No. 4940300097.

CBPA 20-0141: Wahl Builders, Inc., on behalf of John and Teressa Murphy, has filed an exception request for encroachments into the RPA buffer for the construction of a deck at 137 Westbury, JCC Parcel No. 3720600053.

CBPA 20-0142: VHB, on behalf of Carters Grove Associates LLC, has filed an exception request for encroachments into the RPA buffer for the replacement of a failed concrete drainage channel, the replacement of a failing pond spillway and associated grading at 8797 Pocahontas Trail, JCC Parcel No. 5910100030.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

All interested parties are invited to attend the meetings. There is also a call-in option for the public hearings. To participate, call 757-253-6772 to record a comment that will be played during the meeting. Recorded comments must be submitted no later than noon on the day of the meeting. Please give your name and address for the public record and limit comments to five minutes or less. Questions? Call 757-253-6823.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

#### **NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – December 30, 2020 and January 6, 2021. ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING ASSISTANT COUNTY ATTORNEY WETLANDS/CHESAPEAKE BAY BOARD MEMBERS



**General Services** 107 Tewning Road Williamsburg, VA 23188 P: 757-259-4080 General.Services@jamescitycountyva.gov

#### jamescitycountyva.gov

**Capital Projects** 107 Tewning Road Williamsburg, VA 23188 Williamsburg, VA 23188 757-259-4080

Fleet 103 Tewning Road 757-259-4122

Stormwater and **Resource Protection** 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670

**Facilities & Grounds** 113 Tewning Road Williamsburg, VA 23188 757-259-4080

Solid Waste 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971

December 23, 2020

RE: CBPA-20-0139 289 Mill Stream Way Landscape work, steps, landings, lawn and patio

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Aaron Williams of Williams Landscaping and Design, Inc. on behalf of Kevin B & Tami Potter for encroachment into the Resource Protection Area (RPA) buffer for landscape work, which includes steps, landings, lawn and patio. The project is located at 289 Mill Stream Way and further identified as JCC Parcel No. 4711800040.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on Wednesday, January 13, 2021 at 5:00 p.m., in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Michael D. Woolson

Michael D. Woolson Chesapeake Bay Board Secretary 757-253-6823 michael.woolson@jamescitycountyva.gov

Williams Landscaping & Design, Inc. cc: Mr. Aaron Williams

MDW: jep

### Mailing List for: CBPA-20-0139–289 Mil Stream Way – Landscape work- steps, landings, lawn and patio

Owner: 4711800040 Potter, Kevin B & Tami 289 Mill Stream Way Williamsburg, VA 23185-3187

<u>4711800039</u> Treacy, Jonathan T & Debra J 285 Mill Stream Way Williamsburg, VA 23185-3187

4711900001 Larkin, Wilbur D, Trustee & Madelyn B 293 Mill Stream Way Williamsburg, VA 23185-3187

<u>4711800016</u> Nett, John O, Trustee & Kathie J, Trustee 211 Lakewood Drive Williamsburg, VA 23185-3189 <u>Contractor:</u> Williamsburg Landscape & Design, Inc. Attn: Mr. Aaron Williams 1554 Penniman Road Williamsburg, VA 23185-5821

<u>4711800041</u> Clarke, Christoper V, Trustee & Annette D, Trustee 208 Lakewood Drive Williamsburg, VA 23185-3189

4711800001A-2/52 A, Common Area 4711900001A- 7.81 A, Common Area/Conservation Easement Settlers Mill Association P.O. Box 1295 Williamsburg, VA 23187-1295

#### AGENDA ITEM NO. E.1.

#### **ITEM SUMMARY**

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Case No. CBPA 19-0141 : 2552 William Tankard Drive

Mr. Rob Fetter has requested a one-year extension to the previously approved exception granted on January 15, 2020.

#### **ATTACHMENTS:**

	Description	Туре
D	Staff Report	Staff Report
D	Resolution	Resolution
D	Resolution, Previously Approved	Resolution
D	Extension Request	Backup Material

#### **REVIEWERS:**

Department	Reviewer	Action	Date
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/12/2021 - 2:29 PM

#### **MEMORANDUM**

DATE:	January 13, 2021
TO:	The Chesapeake Bay Board
FROM:	Michael Woolson, Senior Watershed Planner
SUBJECT:	Chesapeake Bay Board Exception No. CBPA 19-0141. 2552 William Tankard

Mr. Rob Fetter is requesting a one-year extension to CBPA 19-0141, originally granted on January 20, 2020. The request will provide him more time to evaluate the project and to explore other options to fulfil the permit requirements. Staff concurs with this request, with the stipulation that all permit conditions, except for the expiration date, be reauthorized and that the new date of expiration be January 13, 2022.

#### <u>RESOLUTION</u>

#### CASE NO. CBPA 19-0141. 2552 WILLIAM TANKARD DRIVE

#### **GRANTING AN EXTENSION OF AN EXCEPTION**

- WHEREAS, Mr. Robert Fetter (the "Applicant") has requested an extension for the exception granted by the Chesapeake Bay Board of James City County (the "Board") on January 15, 2020. The exception request is for the use of the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4640800009 and further identified as 2552 William Tankard Drive (the "Property") as set forth in the application CBPA 19-0141 for the purpose of constructing a shed; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
  - 1. The exception request is the minimum necessary to afford relief.
  - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
  - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
  - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
  - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
  - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
    - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
    - b. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities; and

- c. Written permission from the easement holder to place the structure within the conservation easement shall be provided prior to commencement of such activities; and
- d. A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney to guarantee the planting mitigation; and
- e. This exception request approval shall become null and void if construction has not begun by January 13, 2022; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 2, 2021, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of January, 2021.

#### **RESOLUTION**

#### CASE NO. CBPA 19-0141. 2552 WILLIAM TANKARD DRIVE

#### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

- WHEREAS, Mr. Robert Fetter (the "Applicant") has applied to the Chesapeake Bay Board of James City County (the "Board") on January 15, 2020, to request an exception to use the Resource Protection Area (the "RPA") on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4640800009 and further identified as 2552 William Tankard Drive (the "Property") as set forth in the application CBPA 19-0141 for the purpose of constructing a shed; and
- WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.
- NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:
  - 1. The exception request is the minimum necessary to afford relief.
  - 2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity.
  - 3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality.
  - 4. The exception request is not based on conditions or circumstances that are selfcreated or self-imposed, nor does the request arise from conditions or circumstances either permitted or non-conforming that are related to adjacent parcels.
  - 5. Reasonable and appropriate conditions are hereby imposed, as set forth below, which will prevent the exception request from causing a degradation of water quality.
  - 6. In granting this exception, the following conditions are hereby imposed to prevent this exception request from causing degradation of water quality:
    - a. The applicant must obtain all other necessary federal, state, and local permits required for the project; and
    - b. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities; and

- c. Written permission from the easement holder to place the structure within the conservation easement shall be provided prior to commencement of such activities; and
- d. A surety of \$250 be paid and in place prior to the commencement of work, in a form acceptable to the James City County Attorney to guarantee the planting mitigation; and
- e. This exception request approval shall become null and void if construction has not begun by January 15, 2021; and
- f. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than December 4, 2020, six weeks prior to the expiration date.

David Gussman Chair, Chesapeake Bay Board

Michael D. Woolson Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 15th day of January, 2020.

CBPA19-0141WTnkrdDr-res

#### **Michael Woolson**

From:	Rob and Caroline Fetter <rcfetter94@gmail.com></rcfetter94@gmail.com>
Sent:	Friday, December 18, 2020 7:57 PM
То:	Michael Woolson
Subject:	[External] Fwd: Chesapeake Bay Resolution CBPA-19-0141 2552 William Tankard Drive
Attachments:	image001.jpg; CBPA19-0141_2552WTnkrdDr_Resolution.pdf

Sir,

A one year extension of CBPA-19-0141 is requested in order to provide more time to evaluate this project and also explore other options to fulfill this requirement.

If there are any questions, please do not hesitate to contact me.

Thank you for your assistance!

V/r, Rob

757-633-7874

----- Forwarded message ------From: Janice Petty <Janice.Petty@jamescitycountyva.gov> Date: Thu, Feb 20, 2020 at 11:29 AM Subject: Chesapeake Bay Resolution CBPA-19-0141 2552 William Tankard Drive To: rcfetter94@gmail.com <rcfetter94@gmail.com>

Mr. Fetter,

The January 15, 2020 Chesapeake Bay Board granted CBPA-19-0141, for the purpose of reconstruction of a shed at 2552 William Tankard Drive. All conditions of the attached Resolution are required before starting this project including:

1. Submittal of a \$250.00 surety, in the form of a company or personal check payable to the James City County Treasurer is required before starting this project.

2. Written permission from the easement holder to place the structures within the conservation easement shall be provided prior to commencement of such activities.

Please contact Trevor Long, Stormwater Planning, telephone number 757-253-6789 or email, <u>Trevor.Long@jamescitycountyva.gov</u> or Michael Woolson, telephone number 757-253-6823 or email, <u>Michael.Woolson@jamescitycountyva.gov</u>, if you have any questions. Best regards,

Janíce Petty

**Janice Petty** 

**Stormwater Assistant** 



101-E Mounts Bay Road Williamsburg, VA 23185 P: 757-253-6790

F: 757-259-4032

jamescitycountyva.gov

Most permit requests and inquiries can now be handled online

Visit JCC Permitlink: http://www.jamescitycountyva.gov/permitlink

#### **ITEM SUMMARY**

DATE:	1/13/2021
TO:	Chesapeake Bay Board
FROM:	Michael Woolson, Chesapeake Bay Board Secretary
SUBJECT:	2020 Year in Review

#### ATTACHMENTS:

	Description		Туре	
۵	Presentation		Presentation	
<b>REVIEWERS:</b>				
Department	Reviewer	Action	Date	
Chesapeake Bay Group	Woolson, Michael	Approved	1/11/2021 - 12:42 PM	
Chesapeake Bay Group	Small, Toni	Approved	1/11/2021 - 2:15 PM	
Publication Management	Daniel, Martha	Approved	1/11/2021 - 2:34 PM	
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/11/2021 - 3:30 PM	



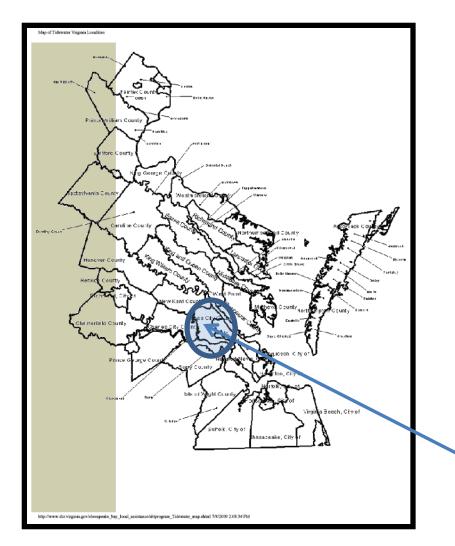
# Chesapeake Bay Board of James City County, Virginia

January 13, 2021

End of Year Summary

## Local Bay Act Program





James City County is one of 84 Virginia jurisdictions subject to the provisions of Virginia's Chesapeake Bay Preservation Act and the Chesapeake Bay Preservation Area Designation and Management Regulations.

On August 6th 1990 the County became the first Virginia locality to adopt a local Chesapeake Bay Preservation Ordinance.

James City County

# CBPA Program



<u>Calendar Year 2020</u>			
CHESAPEAKE BAY BOARD CASES	36		
EXTENSIONS	10		
APPEALS	4		
TOTAL		50	
CBPA - ADMINISTRATIVE CASES		89	
Grand Total			139
<u>Calendar Year 2019</u>			
CHESAPEAKE BAY BOARD CASES	39		
EXTENSIONS	6		
APPEALS	0		
TOTAL		45	
CBPA - ADMINISTRATIVE CASES		101	
Grand Total			146

# End of Report