

A G E N D A
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
REGULAR MEETING
County Government Center, Building F
November 9, 2022
5:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

D. PUBLIC HEARINGS

1. CBPA-22-0135 : 103 Cove Road
2. CBPA-22-0141 : 821 Arlington Island Road
3. CBPA-22-0086 : 9208 Candle Light Court
4. CBPA-22-0135 : 134 Swinley Forest
5. CBPA-22-0139 : 2800 Durfey's Mill Road

E. BOARD CONSIDERATIONS

1. 2023 Calendar
2. Election of Officers for 2023

F. MATTERS OF SPECIAL PRIVILEGE

G. ADJOURNMENT

ITEM SUMMARY

DATE: 11/9/2022
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: CBPA-22-0135 : 103 Cove Road

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Presentation	Presentation
☐	Site Plan	Exhibit
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:34 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:12 AM
Publication Management	Pobiak, Amanda	Approved	11/3/2022 - 8:21 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:39 AM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0132. 103 Cove Road
Staff Report for the November 9, 2022, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Christopher Tucker
Agent: Mr. Timothy Jones, Two Rivers Built
Location: 103 Cove Road
Parcel Identification No.: 4910240005
Parcel: Lot 5, Section 4, Kingspoint
Lot Size: 0.75 acres
Area of Lot in Resource Protection Area (RPA): 0.49 acres (65%)
Watershed: College Creek (JL34)
Floodplain: None
Proposed Activity: Construction of a sunroom and deck
Impervious Cover: 924 square feet
RPA Encroachment: 313 square feet, landward 50-foot RPA
Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Timothy Jones, Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Mr. Christopher Tucker for encroachments into the RPA buffer for the construction of a sunroom and deck located at 103 Cove Road within the Kingspoint subdivision and the College Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4910240005. The parcel was platted in 1967, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.75 acres, of which 65% is located within the RPA. Existing conditions of this project area include a failing sunroom, upper and lower deck. It is for this reason that the applicant is proposing to construct a new sunroom and deck to replace the failing structures. The new construction will extend outside of the existing footprint, therefore total impacts to the RPA associated with this proposal equate to 313 square feet in the landward 50-foot RPA. Required mitigation for this amount of impervious impacts equals one canopy tree, two understory trees, and three shrubs.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a sunroom and deck. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a sunroom and deck is considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be moderate for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The applicant must submit a mitigation plan equating to one canopy tree, two understory trees, and three shrubs to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$500 must be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. The applicant must place three inches of gravel over filter fabric under the footprint of the deck; and
5. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
6. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

TAL/ap
CBPA22-132_103CveRd

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0132. 103 COVE ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Timothy Jones, Two Rivers Built, on behalf of Mr. Christopher Tucker, (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4910240005, and further identified as 103 Cove Road, as set forth in the application CBPA-22-0132 for the purpose of the construction of a sunroom and deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0132, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to one canopy tree, two understory trees, and three shrubs to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$500 must be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. The Applicant must place three inches of gravel over filter fabric under the footprint of the deck; and
5. This exception request approval will become null and void if construction has not begun by November 9, 2023; and
6. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-132_103CveRdApp-res

RESOLUTION

CASE NO. CBPA-22-0132. 103 COVE ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Timothy Jones, Two Rivers Built, on behalf of Mr. Christopher Tucker, has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4910240005, and further identified as 103 Cove Road, as set forth in the application CBPA-22-0132 for the purpose of the construction of a sunroom and deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0132.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-132_103CveRdDny-res



Chesapeake Bay Board of James City County, Virginia

November 9, 2022

CBPA 22-0132

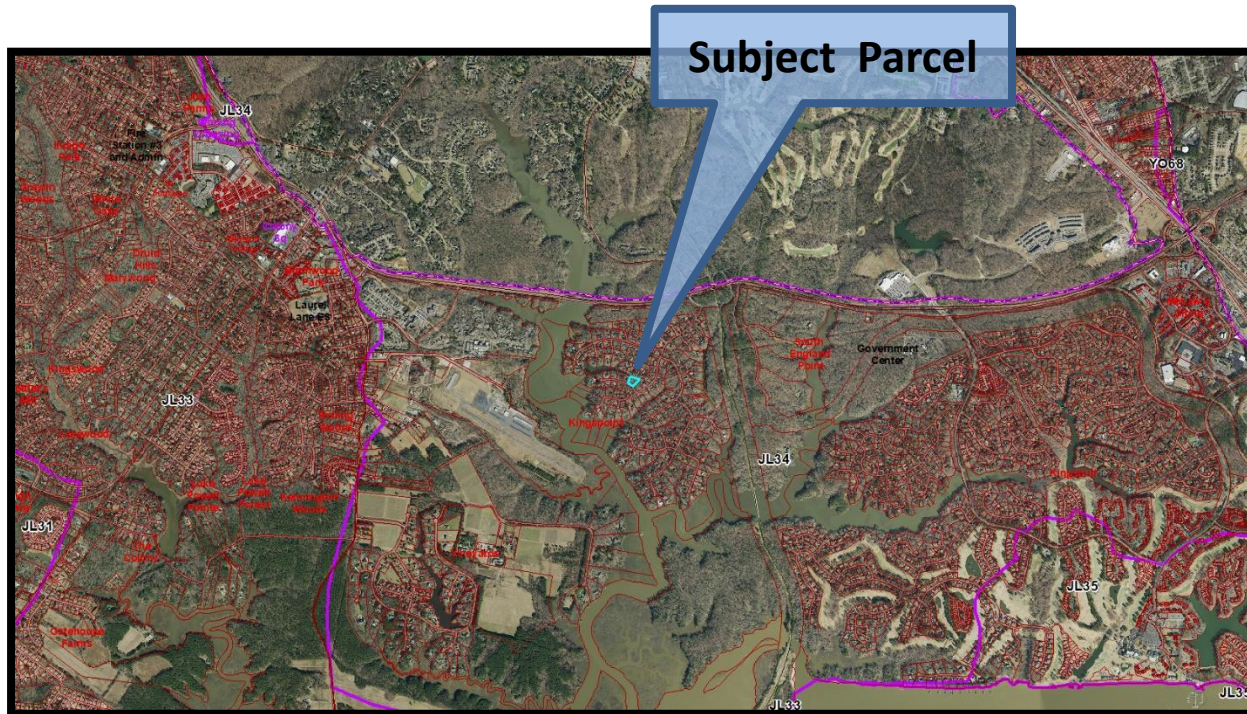
Christopher Tucker

103 Cove Road



Applicant Request

- ✓ Construction of a sunroom and deck.



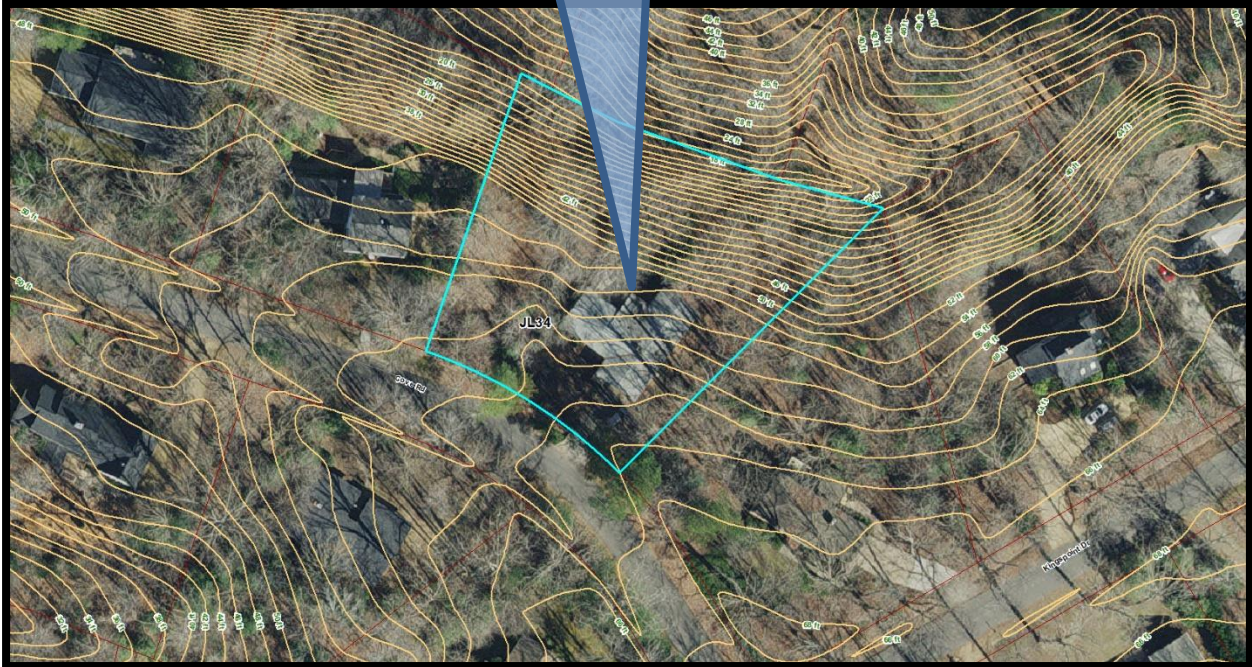
Vicinity Map
CBPA-22-0132
103 Cove Road

Project Location



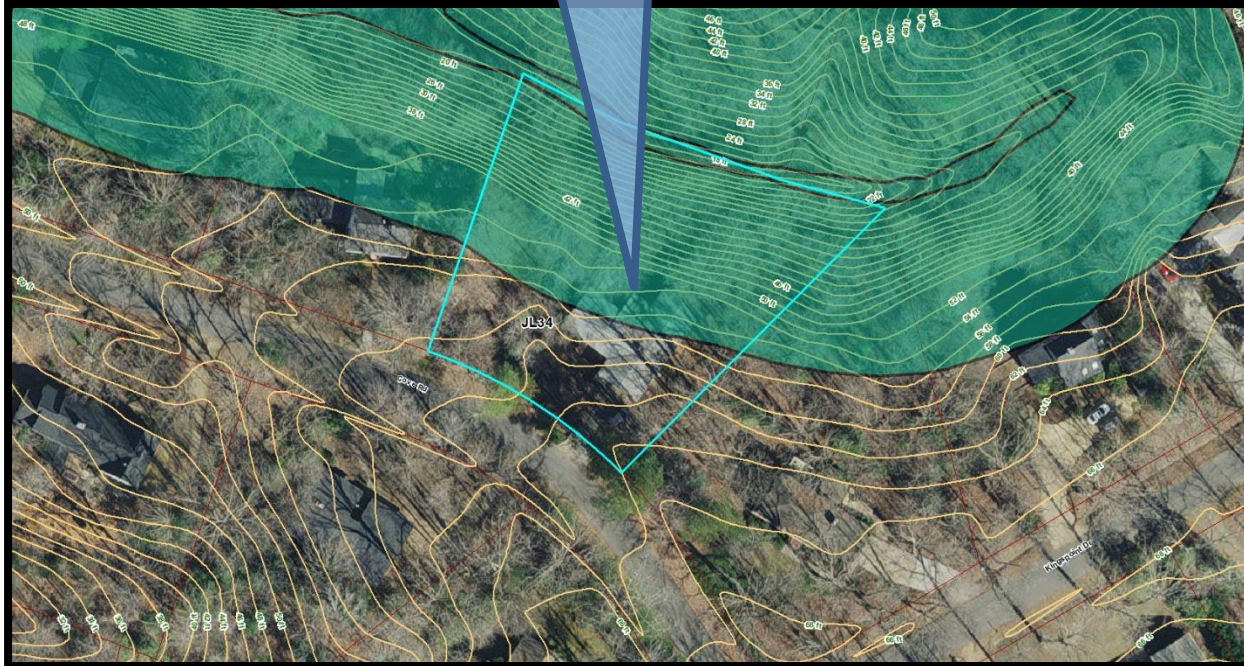
Aerial Photograph
CBPA-22-0132
103 Cove Road

Project Location



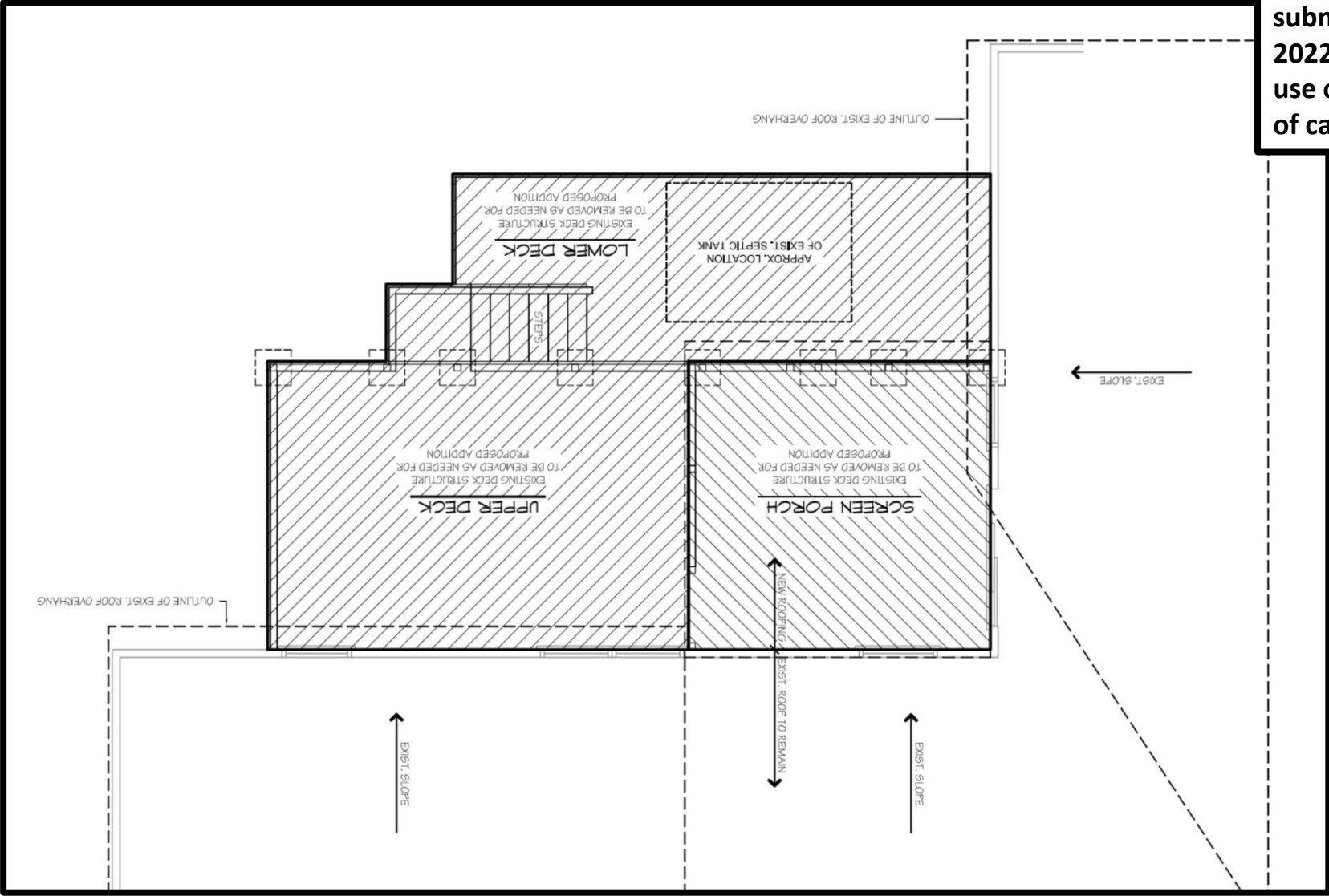
Topography
CBPA-22-0132
103 Cove Road

Project Location



Resource Protection Area
CBPA-22-0132
103 Cove Road

Site Plan showing proposed improvements, submitted September 20, 2022. For representative use only for presentation of case #CBPA-22-0132.



**Existing Conditions- CBPA-22-0132
103 Cove Road**

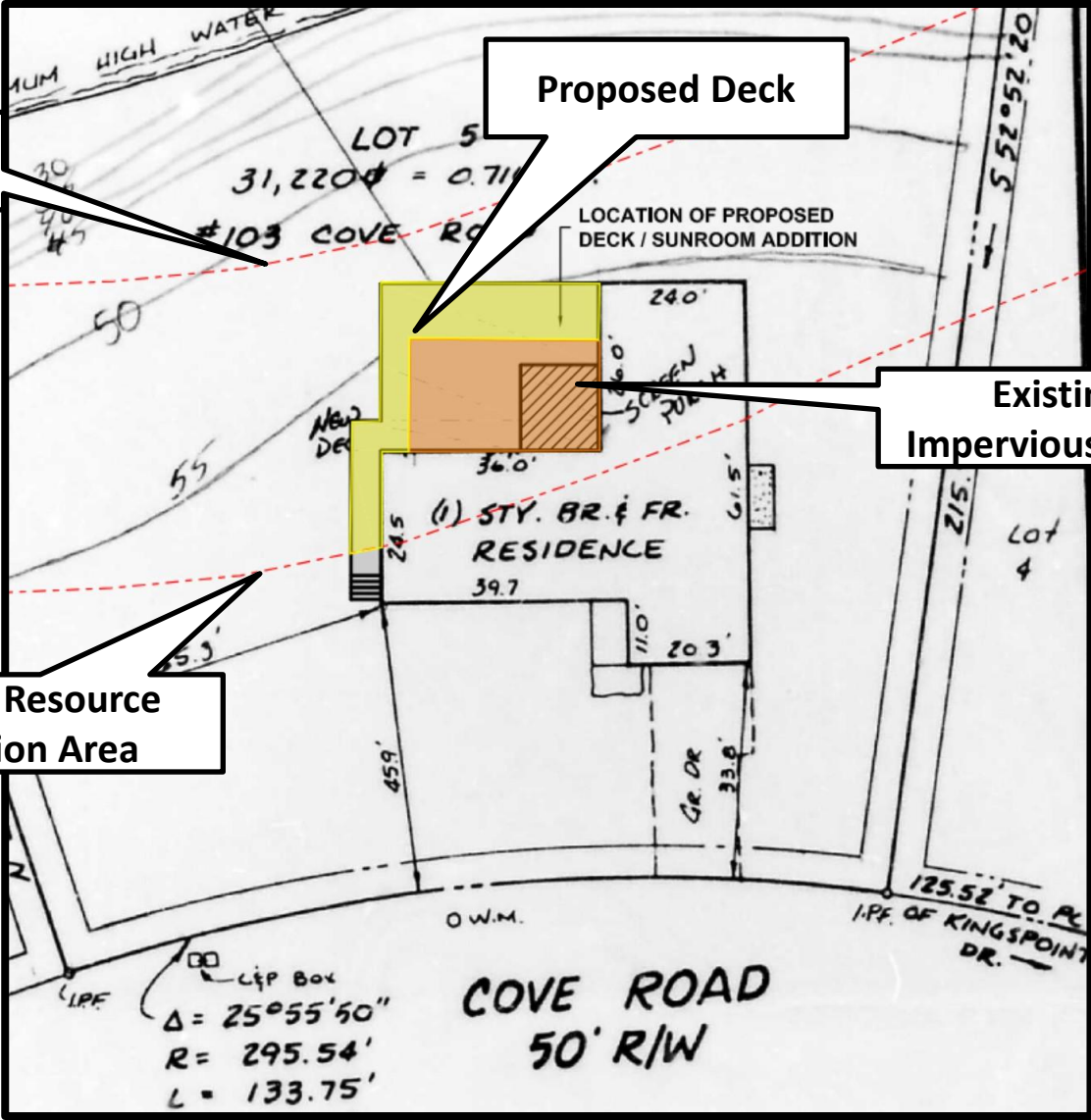
50-foot Resource Protection Area

100-foot Resource Protection Area

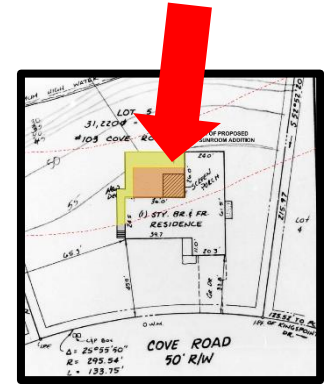
Proposed Deck

Existing Impervious Cover

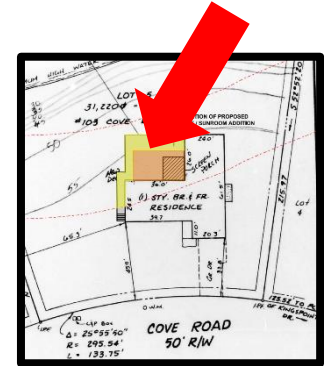
Site Plan showing proposed improvements, submitted September 20, 2022. For representative use only for presentation of case #CBPA-22-0132.



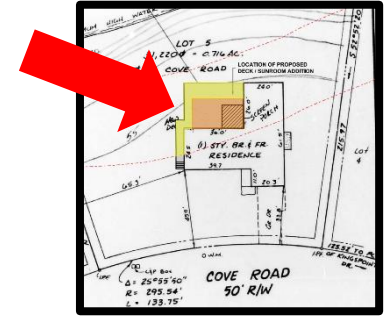
Site Plan - CBPA-22-0132
103 Cove Road



Site Photograph #1 - CBPA-22-0132
103 Cove Road



Site Photograph #2 - CBPA-22-0132
103 Cove Road



Site Photograph #3 - CBPA-22-0132
103 Cove Road

Considerations



The Board may grant exceptions to Section 23-7 if the applications meets the following five conditions:

- ✓ The exception request is the minimum necessary to afford relief; and
- ✓ Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- ✓ The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- ✓ The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
- ✓ Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

Permit Conditions

Staff Recommendation – Approval



- ✓ All other necessary local, state and federal permits
- ✓ A mitigation plan equating to 1 canopy tree, 2 understory trees, and 3 shrubs
- ✓ A surety of \$500 to guarantee plantings
- ✓ Placement of 3 inches of gravel over filter fabric
- ✓ This exception request approval shall become null and void if construction has not begun by November 9, 2023
- ✓ Written requests for extension submitted no later than September 28, 2023

TUCKER SUNROOM & DECK ADDITION

103 COVE ROAD - KING'S POINT
 JAMES CITY COUNTY VIRGINIA

ABBREVIATION INDEX

∅	AND	FT.	FOOT	Q.T.	QUARRY TILE
AT	AT	FURN.	FURNITURE	QTY.	QUANTITY
A/C	AIR CONDITIONING	GA.	GALVANIZED	R.A.	RADIUS
A.D.	AREA DRAIN	GALV.	GALVANIZED	REF.	REFRIGERATOR
A.F.F.	ABOVE FINISH FLOOR	GYP. BD.	GYP. BOARD	REIN.	REINFORCING
ALUM.	ALUMINUM	H.W.D.	HARDWOOD	REV.	REVISION
ALT.	ALTERNATE	HDR.	HEADER	REQ'D	REQUIRED
APPROX.	APPROXIMATE	H.M.	HOLLOW METAL	RESL.	RESILIENT
BD.	BOARD	HORIZ.	HORIZONTAL	RM.	ROOM
BLDG.	BUILDING	HGT.	HEIGHT	R.O.	ROUGH OPENING
BM.	BEAM	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE
BSMT.	BASEMENT	INSUL.	INSULATION	SEC.	SECTION
BTWN.	BETWEEN	INT.	INTERIOR	S.F.	SQUARE FOOT
BOT.	BOTTOM	JT.	JOINT	SH.T.	SHEET
C.L.	CENTER LINE	KIT.	KITCHEN	SIM.	SIMILAR
C.T.	CERAMIC TILE	LAM.	LAMINATE	SPEC.	SPECIFICATION
CLG.	CEILING	LAV.	LAVATORY	SO.	SQUARE
CLOS.	CLOSET	LT.	LIGHT	S.S.	STAINLESS STEEL
CM	CONSTRUCTION MGR.	MAS.	MASONRY	STD.	STANDARD
CMU	CONC. MASONRY UNIT	MAX.	MAXIMUM	STL.	STEEL
COL.	COLUMN	MECH.	MECHANICAL	STRUC.	STRUCTURAL
CONC.	CONCRETE	MTL.	METAL	SUSP.	SUSPENDED
CONT.	CONTINUOUS	MFR.	MANUFACTURER	TEL.	TELEPHONE
CONST.	CONSTRUCTION	MIN.	MINIMUM	THK.	THICK
(D) BEAM	DROP BEAM	MISC.	MISCELLANEOUS	THRU	THROUGH
DEPT.	DEPARTMENT	M.O.	MASONRY OPENING	T.O.P.	TOP OF PLATE
DTL.	DETAIL	MTD.	MOUNTED	T.O.S.	TOP OF STEEL
D.F.	DRINKING FOUNTAIN	N.I.C.	NOT IN CONTRACT	T.O.SL.	TOP OF SLAB
DIA.	DIAMETER	NO.	NUMBER	TRT.	TREATED
DIM.	DIMENSION	NOM.	NOMINAL	TYP.	TYPICAL
DISP.	DISPENSER	N.T.S.	NOT TO SCALE	V.C.B.	VINYL COMPOSITION BASE
DN.	DOWN	O.A.	OVERALL	V.C.T.	VINYL COMPOSITION TILE
DR.	DOOR	O.C.	ON CENTER	VERT.	VERTICAL
D.S.	DOWN SPOUT	O.D.	OUTSIDE DIAMETER	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	OPNG.	OPENING	V.W.C.	VINYL WALL COVERING
EA.	EACH	OPT.	OPTIONAL	W/	WITH
EL.	ELEVATION	PL.	PLATE	W.C.	WATER CLOSET
ELEC.	ELECTRICAL	PLAM.	PLASTIC LAMINATE	WD.	WOOD
EQ.	EQUAL	PLUMB.	PLUMBING	W/O	WITHOUT
EQUIP.	EQUIPMENT	PLYMD.	PLYWOOD	WP.	WATERPROOFING
EXST.	EXISTING	PR.	PAIR	WT.	WEIGHT
EXT.	EXTERIOR	PROP.	PROPERTY	W.M.	WELDED WIRE MESH
(F) BEAM	FLUSH BEAM	P.S.F.	PER SQUARE FOOT		
F.D.	FLOOR DRAIN	P.S.I.	PER SQUARE INCH		
F.S.	FLOOR SINK	PTD.	PAINTED		
FIN.	FINISH	P.V.C.	POLY VINYL CHLORIDE		
FL.	FLOOR				
F.O.	FACE OF				

INDEX OF DRAWINGS

1	COVER SHEET, BUILDING DATA, & INDEXES
2	GENERAL NOTES
3	DEMOLITION & FOUNDATION PLAN VIEWS
4	LAYOUT PLAN VIEWS
5	FRAMING PLAN VIEWS
6	ELEVATIONS & SECTIONAL VIEW
7	MISCELLANEOUS DETAILS

PROJECT DATA

DESCRIPTION	SQ. FOOTAGE
SUNROOM:	187
DECK:	395
TOTAL PROJECT:	582

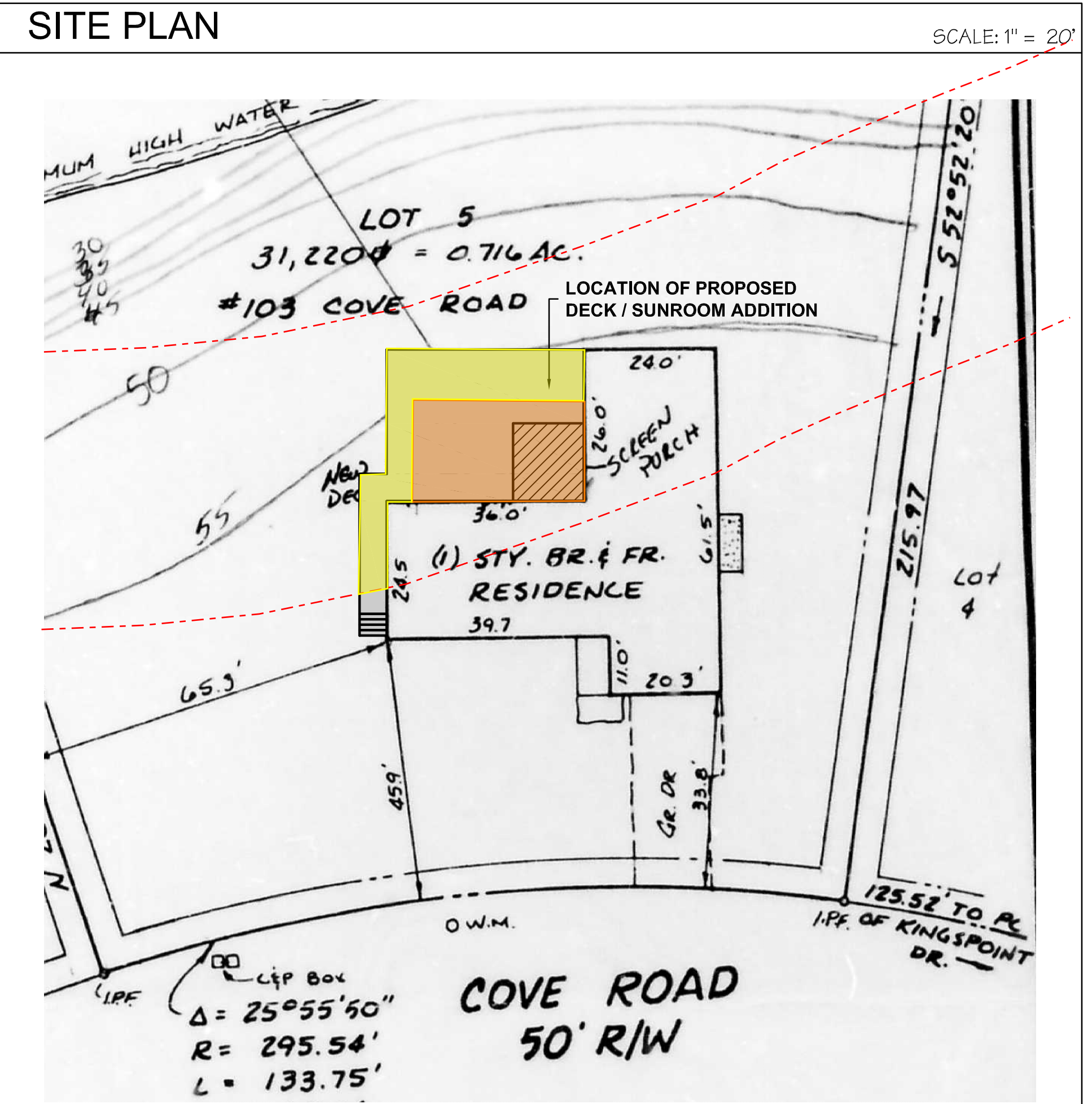
DESIGN CODES

- JURISDICTION: JAMES CITY COUNTY, VIRGINIA
- BUILDING CODES:
 - THE VIRGINIA STATEWIDE BUILDING CODE; 2018
 - THE INTERNATIONAL RESIDENTIAL CODE; 2018 EDITION AS AMENDED
 - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS
- DESIGN LOADS:
 - ULTIMATE WIND SPEED: 115 MPH
 - EXPOSURE: B
 - IMPORTANCE FACTOR, I_e: 1.0
 - ROOF LIVE LOAD: 20 PSF
 - ROOF DEAD LOAD: 15 PSF
 - SNOW LOAD: 20 PSF
 - FLOOR LIVE LOAD: 40 PSF
 - FLOOR DEAD LOAD: 10 PSF
 - SLAB ON GRADE: 100 PSF
 - ATTICS (w/ STORAGE): 20 PSF
 - ATTICS (w/out STORAGE): 10 PSF
- SOILS INFORMATION:
 - BEARING CAPACITY: 2,000 PSF
 - SHRINK SWELL POTENTIAL: LOW
 - MINIMUM FOOTING EMBEDMENT: 24 INCH DEPTH

FINISH SCHEDULE

NO.	ROOM	FLOOR	WALLS	CEILING	CLG HT	REMARKS
100	SUNROOM	HARDWOOD	1/2" GYP.	1/2" GYP.	7'-2" TO 9'-0"	VAULTED CEILING
101	DECK	DECKING	N/A	N/A	N/A	COMPOSITE DECKING

NOTES: AS NOTED



GRAPHIC SYMBOLS

SECTION: SHEET CUT ON (A1) SHEET SHOWN ON (A1)

DETAIL: SHEET CUT ON (A1) SHEET SHOWN ON (A1)

LEGEND

SYM.	DESCRIPTION	SYM.	DESCRIPTION
---	EXIST. 2x4 STUD WALL	202	ROOM NUMBER
---	2x4 STUD WALL	○	DOOR NUMBER
---	2x4 LOAD BEARING WALLS	⊙	WINDOW MARK
▨	BRICK VENEER	■	POST
▩	CONCRETE MASONRY UNIT (CMU)	□	POST (ABOVE)
▭	CONCRETE	⊖	MECHANICAL VENTILATION

NOTES:
 BUILDER AT BUILDER'S DISCRETION MAY SUBSTITUTE BRAND NAMES, MATERIALS & SPECIFICATIONS, PROVIDED CHANGES MEET BUILDING CODE REQUIREMENTS.

SITE PLAN IS FOR ILLUSTRATION PURPOSES ONLY. THE EXISTING SITE PLAN CREATED BY DJG ENGINEERS PROJECT NO. 2031 DATED 05.16.1985

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDIK PHONE: 757.876-1882
 PO BOX 3683 WILLIAMSBURG, VA 23187

NOTES:
 THE INFORMATION ON THIS DRAWING WAS OBTAINED FROM THE CLIENT AND IS ASSUMED TO BE CORRECT. THE ENGINEER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE. THE ENGINEER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE.

DATE: 04/22/22
 SCALE: AS NOTED
 FILE NAME: 22020

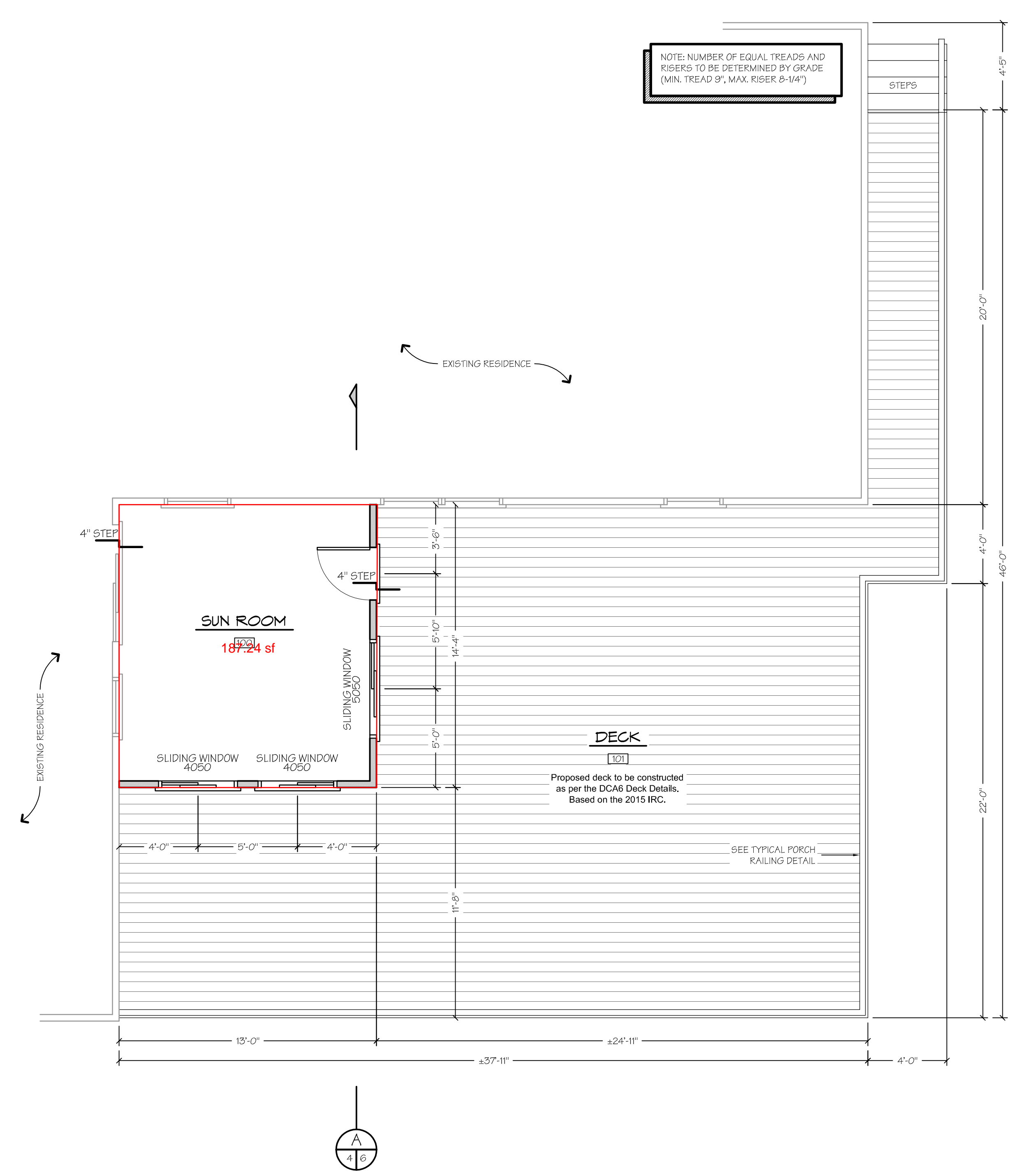
No.	By	Revision	App.	Date
1		REV PER OWNER COMMENTS DATED 02.16.21		02/17/21
2		REV PER STRUCTURAL ENGINEER LETTER DATED 07.14.22		07/19/22

TUCKER ADDITION
 103 COVE ROAD
 KING'S POINT
 COVER SHEET, BUILDING DATA & INDEXES
 JAMES CITY COUNTY VIRGINIA

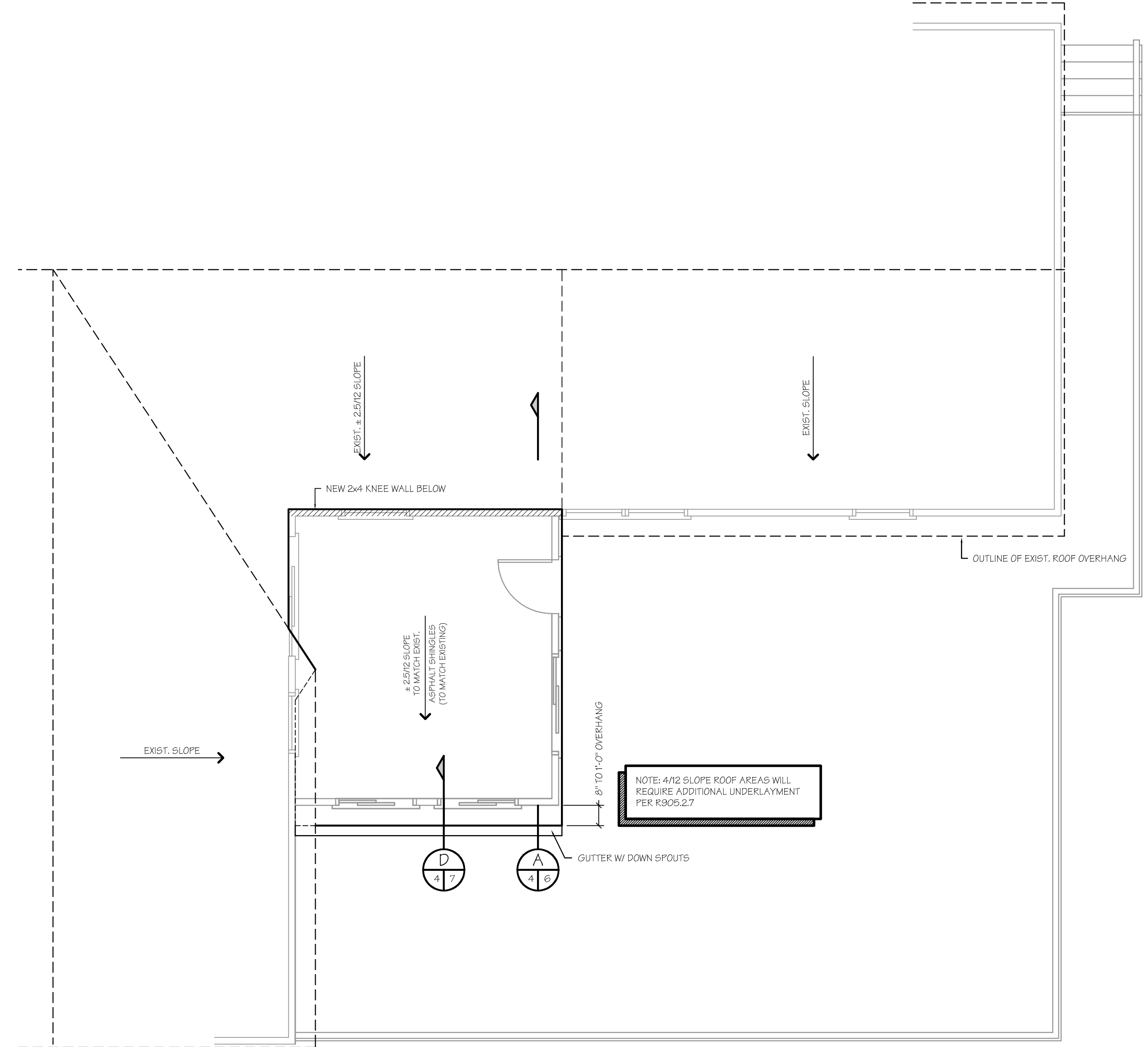
Job Number: 22020
 Sheet No.: 1

C:\Users\ronal\Desktop\2022\22020 Tuo Rivers\22020 Layouts\07.19.22.dwg

C:\Users\jrcm\Desktop\2022\22020_Twp Rivers\22020_Layouts\06.10.22.dwg



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"

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TUCKER ADDITION
103 COVE ROAD
KING'S POINT

LAYOUT PLAN VIEWS

JAMES CITY COUNTY VIRGINIA

Job Number 22020	Sheet No. 4
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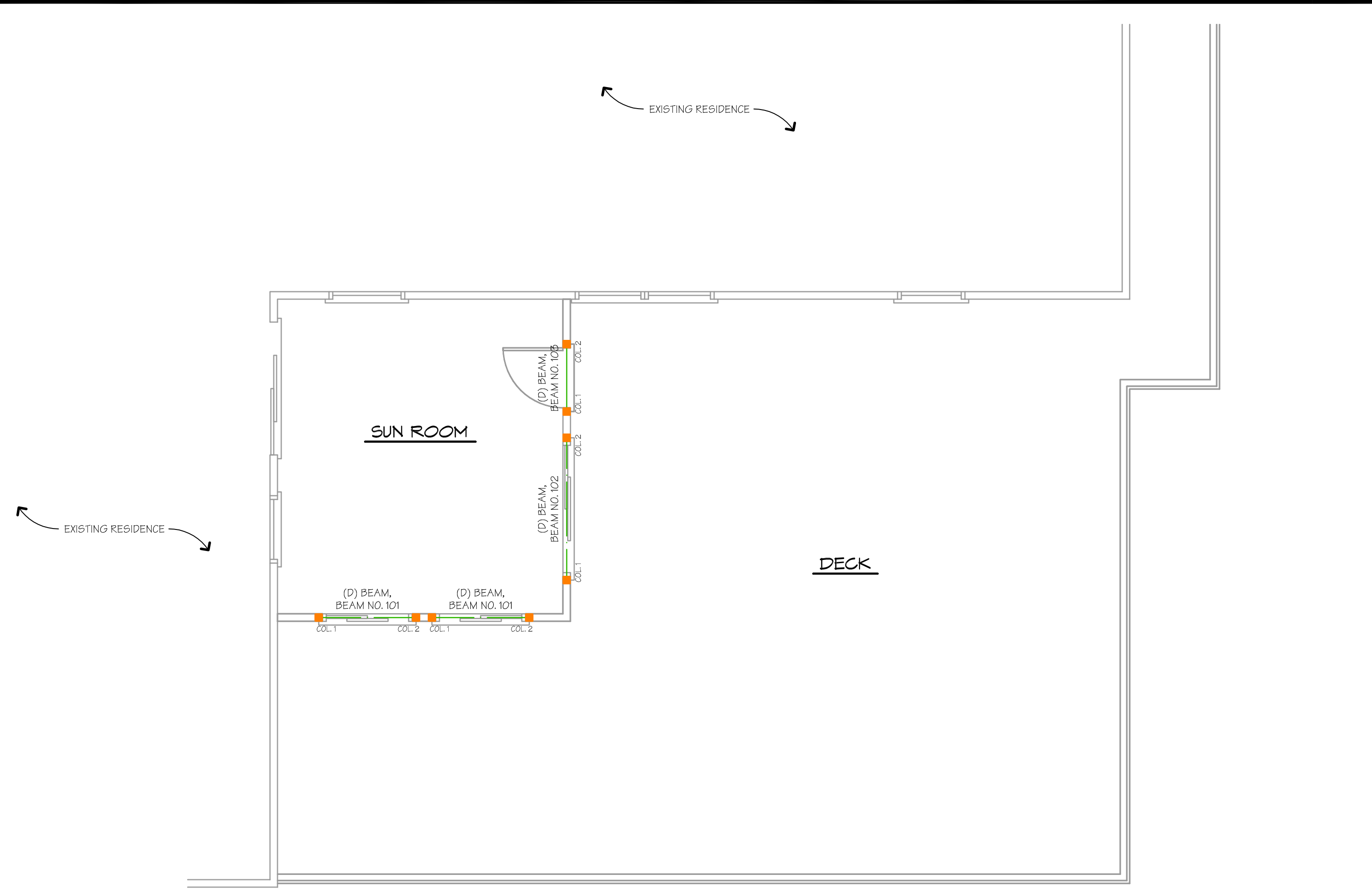
No. By	Revision	App.	Date

Drafting services provided by R.J.H. Drafting & Designs, Inc.

CONTACT INFORMATION:
RONALD HUDIK PHONE: 757 876-1882
PO BOX 3663 WILLIAMSBURG, VA 23187

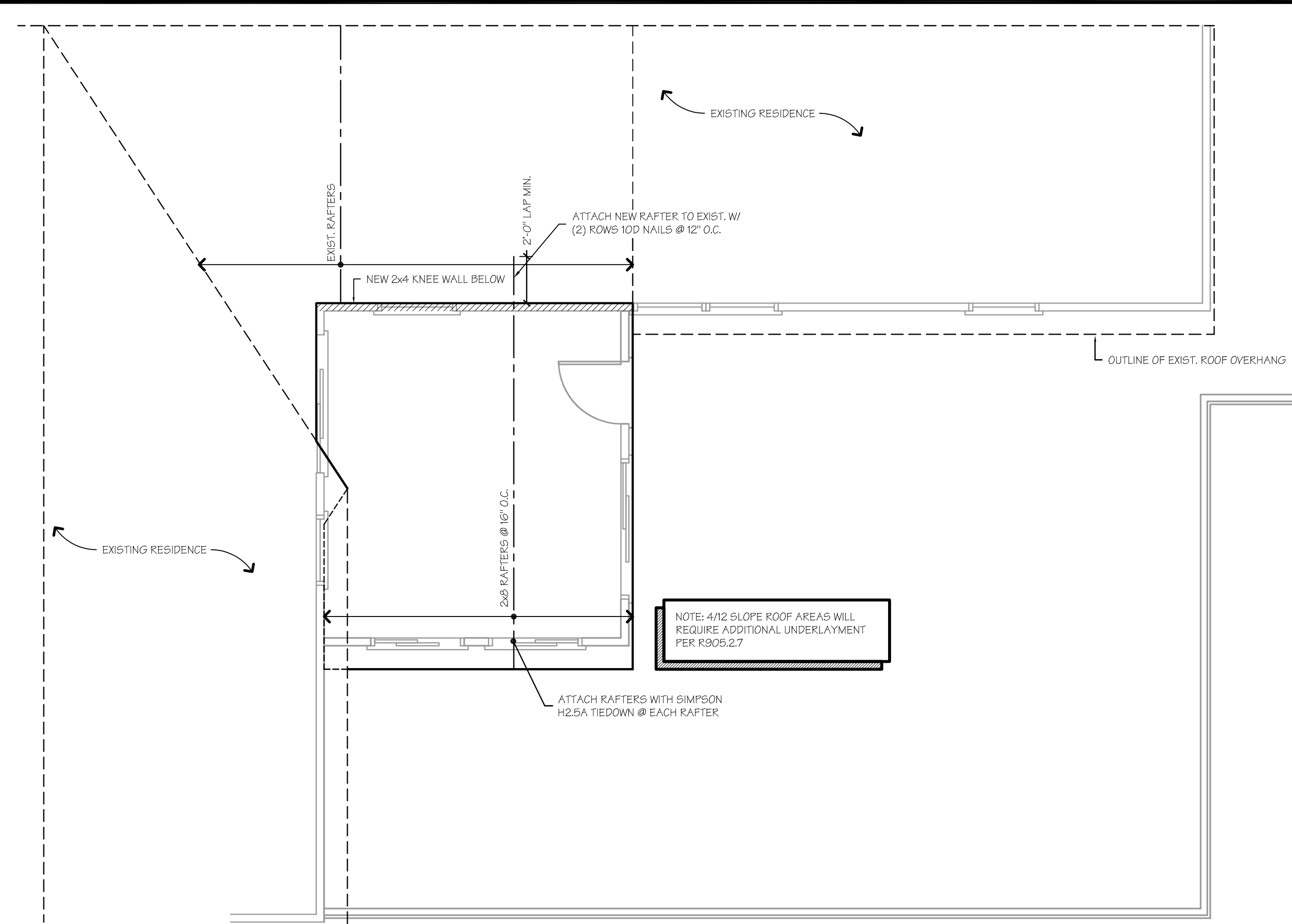
NOTES:
THE INFORMATION ON THESE PLANS IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION AND CONDITIONS ON THE JOB SITE. ANY CHANGES TO THE PLANS MUST BE APPROVED BY THE ARCHITECT IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS ON THE JOB SITE AND FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY AGENCIES.

Drawn By: AS NOTED
Scale: AS NOTED
Date: 04/22/22
File Name: 22020



CEILING FRAMING PLAN

SCALE 1/4" = 1'-0"



ROOF FRAMING PLAN

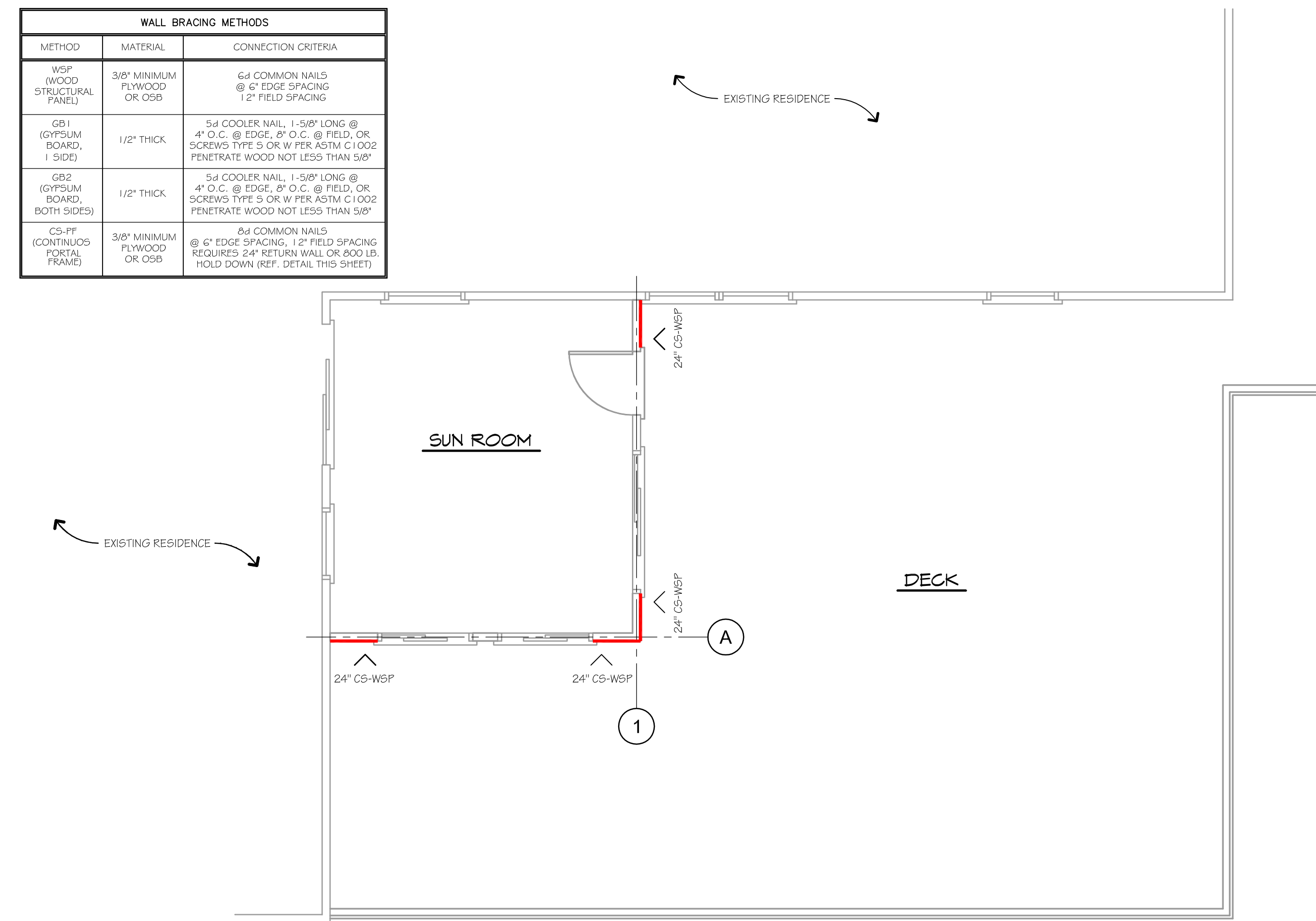
SCALE 1/4" = 1'-0"

BEAM SCHEDULE						
Beam Number	Beam Size	Column 1	Column 2	Column 3	Column 4	Remarks
101	Double (2) 2x6 Southern Yellow Pine No. 2	Single (1) 2x4 SPF #2 Jack Double (2) 2x4 SPF #2 King	Single (1) 2x4 SPF #2 Jack Double (2) 2x4 SPF #2 King			
102	Double (2) 2x6 Southern Yellow Pine No. 2	Single (1) 2x4 SPF #2 Jack Double (2) 2x4 SPF #2 King	Single (1) 2x4 SPF #2 Jack Double (2) 2x4 SPF #2 King			
103	Double (2) 2x6 Southern Yellow Pine No. 2	Single (1) 2x4 SPF #2 Jack Single (1) 2x4 SPF #2 King	Single (1) 2x4 SPF #2 Jack Single (1) 2x4 SPF #2 King			

Classic Wall Bracing Worksheet																	
per 2015 Virginia Residential Code Section R602.10																	
Ultimate Wind Speed (mph)	115																
BWL Designation	A																
No. of Floors above BWL	0																
BWP Method	CS-WSP																
Average BWL Spacing (ft)	13																
Tabular Requirement (R)	2.46																
Exposure	B																
Roof-to-Ridge H. (ft)	2.50																
Max. Wall H. (ft)	8.00																
No. of BWLs	2																
Open Interior Fills?	No																
Added Hold-downs?	No																
Joints Blocked?	Yes																
Fasteners @ 4' o.c.?	No																
Required BWP Length (ft)	1.54																
Actual BWP Length (ft)	2.00																
Actual BWP Method	PASS																
2' Panels in BWL?	Yes																
BWP 10' from Edge?	Yes																
Continued Sheathing Exp. Conditions	1																
BWL Compliance	PASS																

GENERAL NOTES

- ALL MULTI-PLY JOISTS AND POST MEMBERS SHALL BE NAILED TOGETHER WITH A MIN. OF (2) ROWS OF 16d NAILS SPACED @ 16" O.C.
- HEADERS - UNLESS INDICATED OTHERWISE, THE INSTALLATION OF HEADERS ABOVE ALL WINDOW AND DOOR OPENINGS PER THE CHART PROVIDED IN THE ATTACHED GENERAL NOTES. ALL MULTI-PLY SOLID SAWN HEADERS SHOULD BE CONSTRUCTED WITH CONTINUOUS 1/2" SOLID PLYWOOD FILLER BETWEEN PLYS. HEADERS SHOULD ALSO BE SUPPORTED AT THEIR BEARING ENDS BY A MINIMUM OF ONE (1) 2 X 4 JACK STUD WITH ONE (1) 2 X 4 KING STUD GANG-NAILED TOGETHER, UNLESS INDICATED OTHERWISE.
- 2x RAFTERS SHOULD BE ATTACHED TO WALL PLATE WITH A MINIMUM OF (3) 16d NAILS @ EACH CONNECTION. ALSO EACH RAFTER SHOULD BE ATTACHED TO THE DOUBLE (2) TOP PLATE WITH A SIMPSON H2.5A HURRICANE TIE.



WALL BRACING PLAN

SCALE 1/4" = 1'-0"

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No.	By	Revision	Date

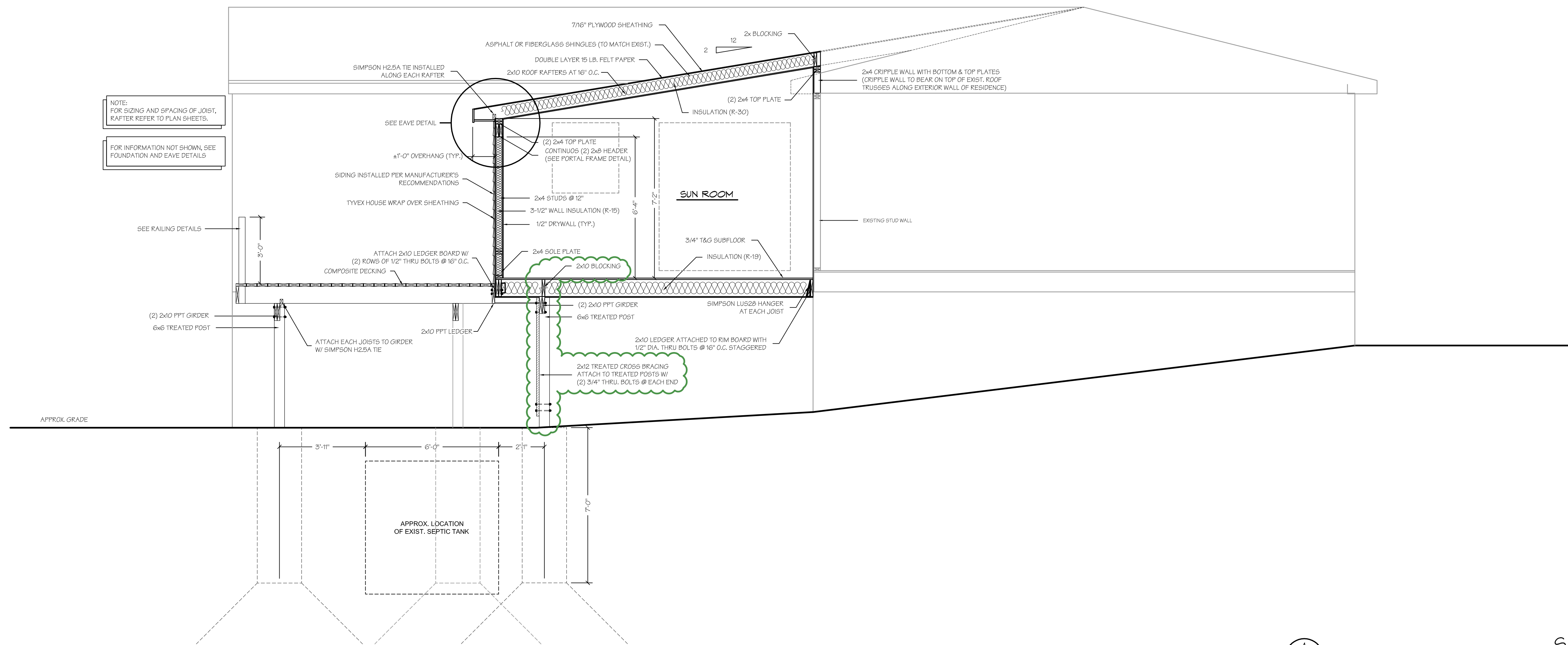
No.	By	Revision	Date

TUCKER ADDITION
 103 COVE ROAD
 KING'S POINT
 FRAMING PLAN VIEWS
 JAMES CITY COUNTY VIRGINIA

Job Number 22020	Sheet No. 5
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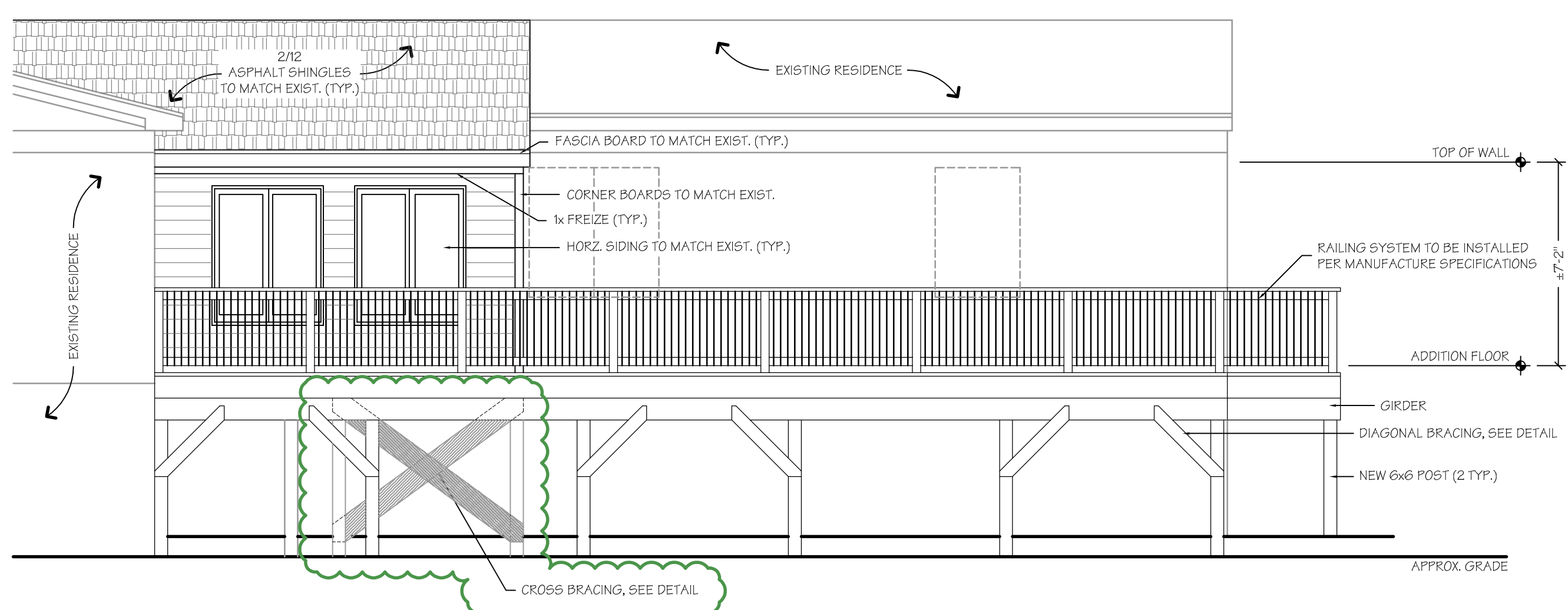
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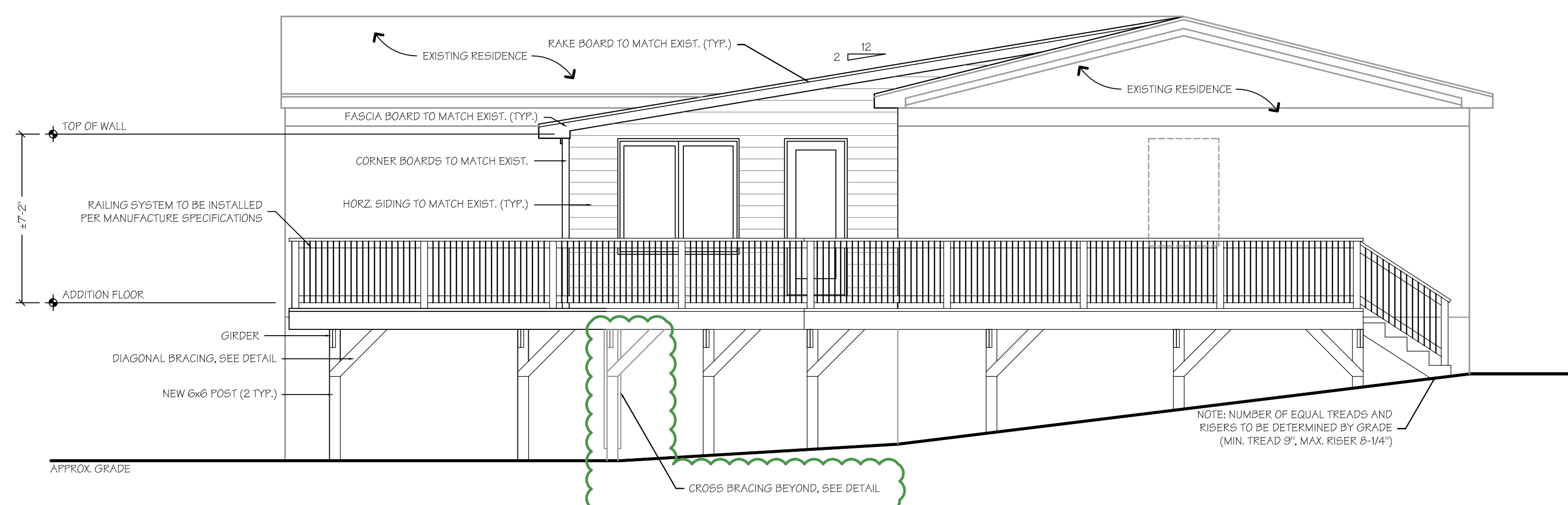


A
3/6

SECTION
SCALE: 3/8" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

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Drawn By: AS NOTED Date: 04/22/22 File Name: 22020

No.	By	Revision	Date
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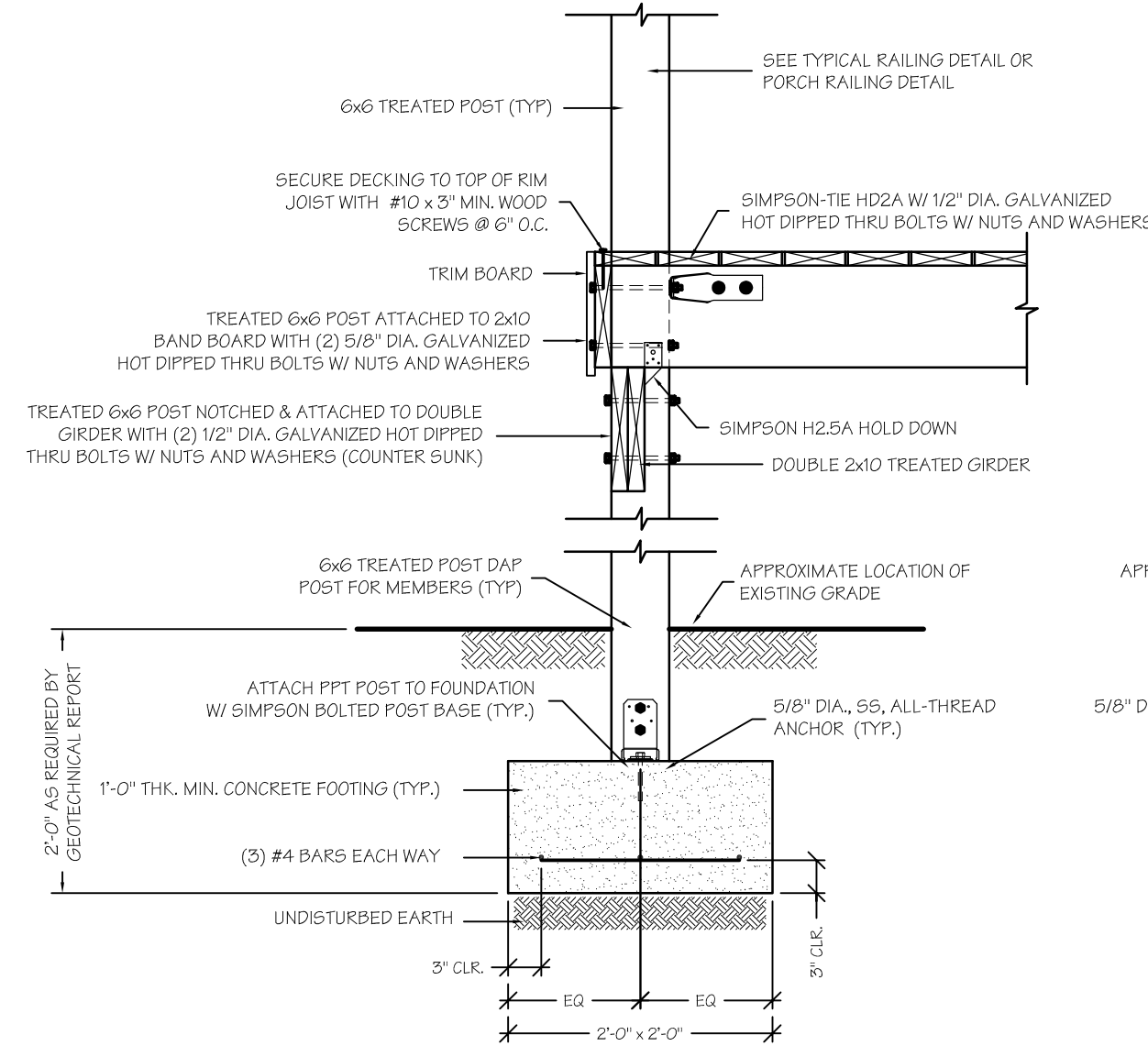
No.	By	Revision	Date
2	REV PER STRUCTURAL ENGINEER LETTER DATED 07/14/22		07/19/22

TUCKER ADDITION
103 COVE ROAD
KING'S POINT
ELEVATIONS & SECTIONAL VIEW
JAMES CITY COUNTY VIRGINIA

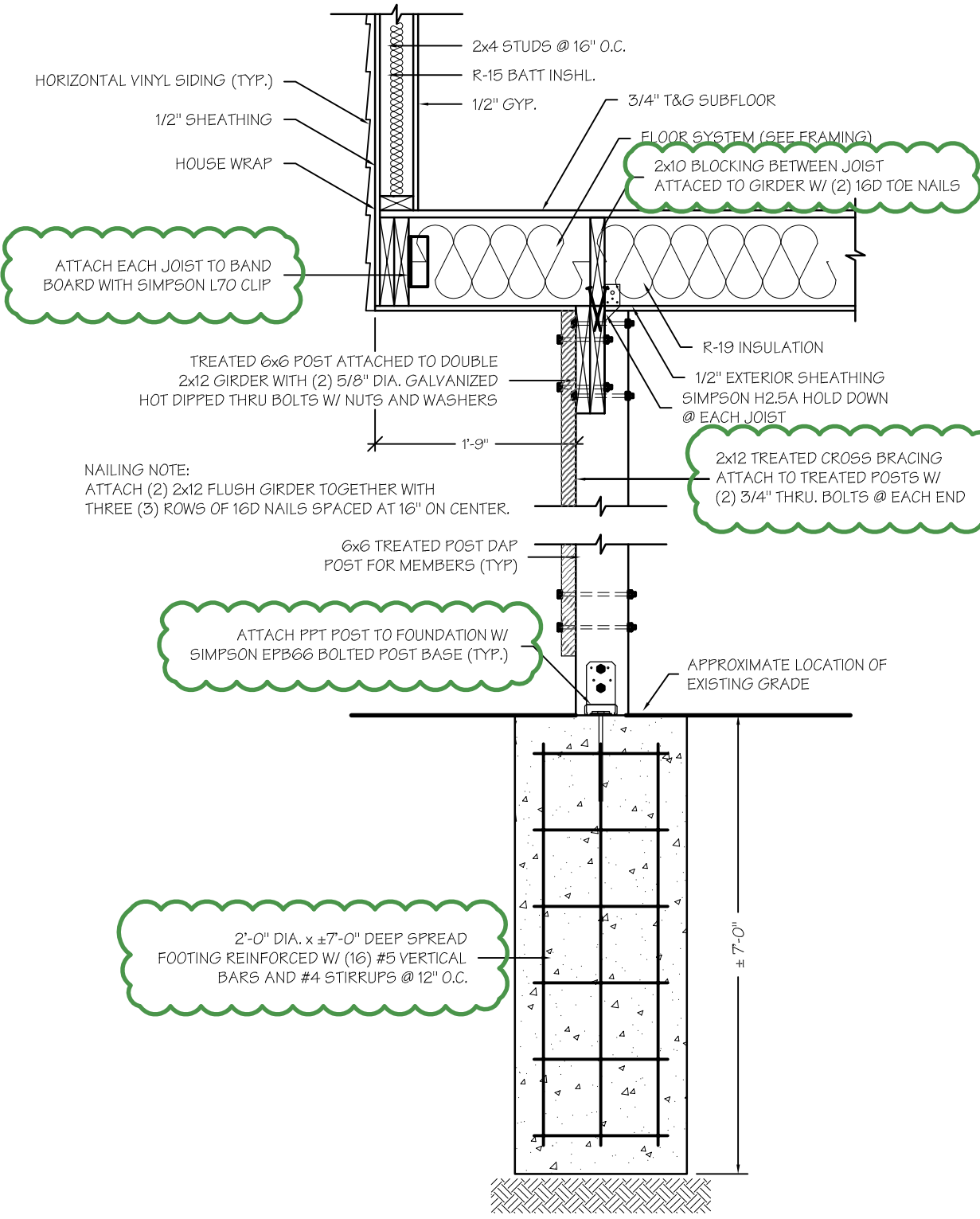
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Sheet No.: 6

NOTE:

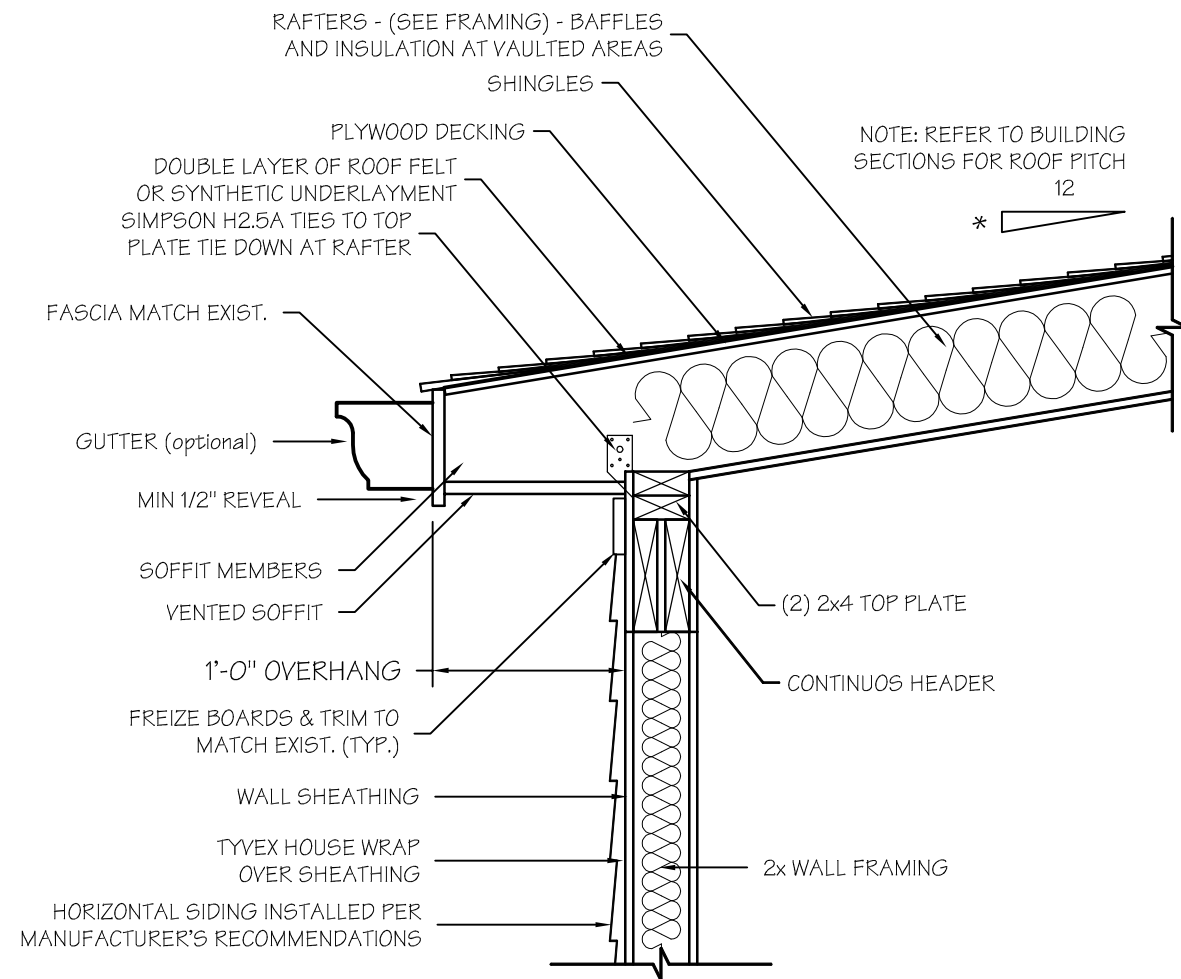
1. ALL DECK MATERIAL TO BE PRESSURE TREATED (MIN SPEC).
2. DIAGONAL BRACING REQUIRED ON ALL OUTSIDE CORNER POSTS 2'-0" OR GREATER IN HEIGHT.
3. A MINIMUM OF (4) FOUR 750 LB. LATERAL LOAD DEVICES ARE REQUIRED TO CONNECT DECK JOISTS TO THE PRIMARY STRUCTURE. THIS REQUIREMENT APPLIES TO LEDGER AND NON-LEDGER DECKS.



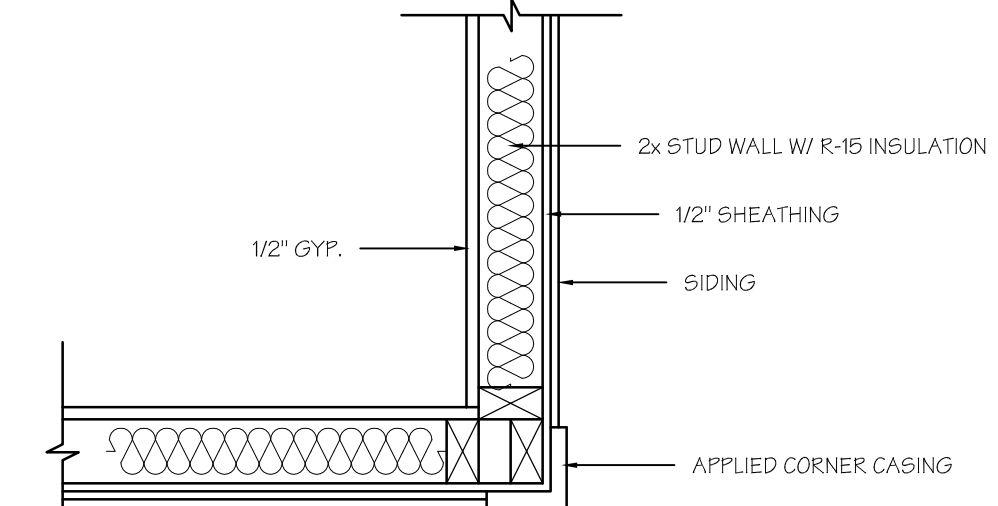
B
3/7
FOOTING DETAIL
SCALE: 3/4"=1'-0"



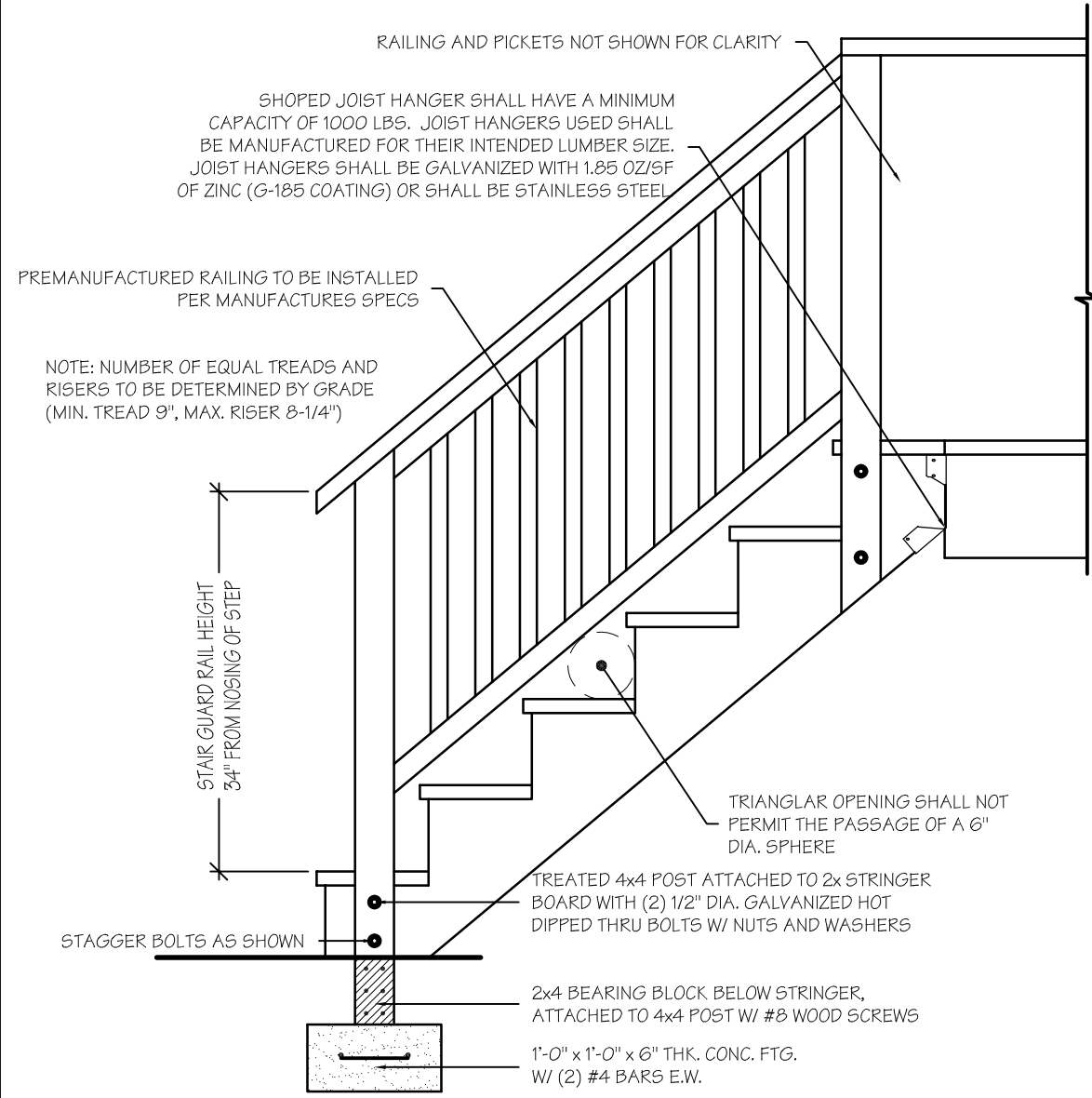
C
3/7
FOOTING DETAIL
SCALE: 3/4"=1'-0"



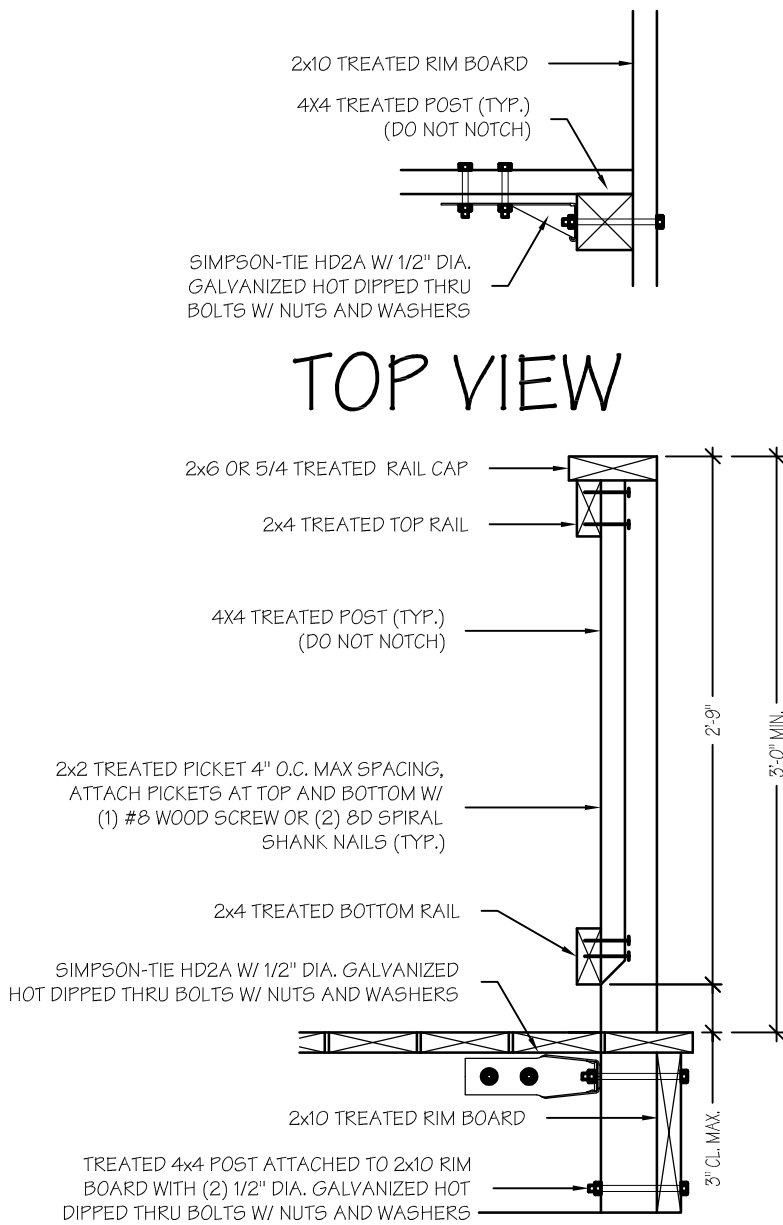
D
4/7
CORNICE SECTION
SCALE: 1"=1'-0"



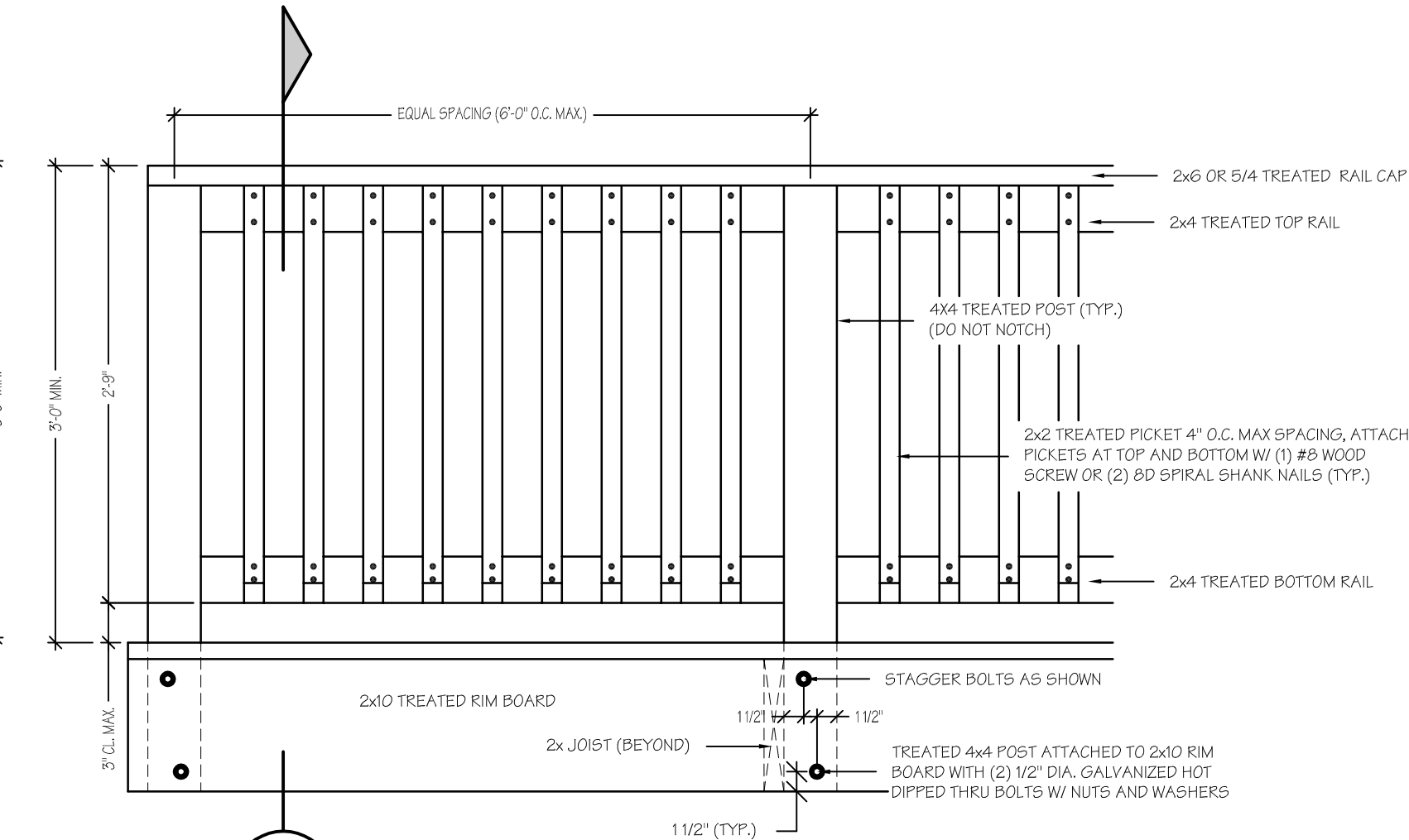
TYPICAL CORNER FRAMING DETAIL
SCALE: 1"=1'-0"



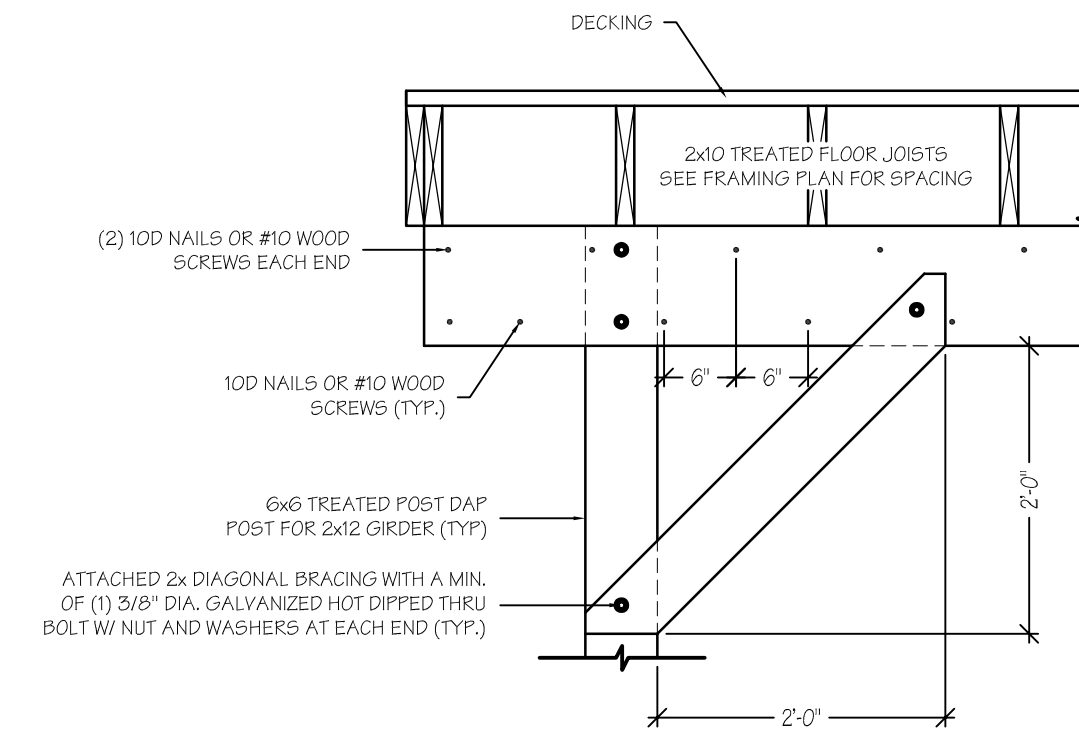
TYPICAL RISER DETAIL
SCALE: 3/4"=1'-0"



SECTION AA



PORCH RAILING DETAIL
SCALE: 1"=1'-0"



DIAGONAL BRACING DETAIL
SCALE: 3/4"=1'-0"

- NOTE:**
1. ALL DECK MATERIAL TO BE PRESSURE TREATED (MIN SPEC).

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Scale: AS NOTED Date: 04/22/22 File Name: 22020

Drawn By: Revision App. Date

2	REV PER STRUCTURAL ENGINEER LETTER DATED 07.14.22	07.19.22
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TUCKER ADDITION
 103 COVE ROAD
 KING'S POINT
 MISCCELLANEOUS DETAILS
 JAMES CITY COUNTY VIRGINIA

Job Number: 22020 Sheet No.: 7

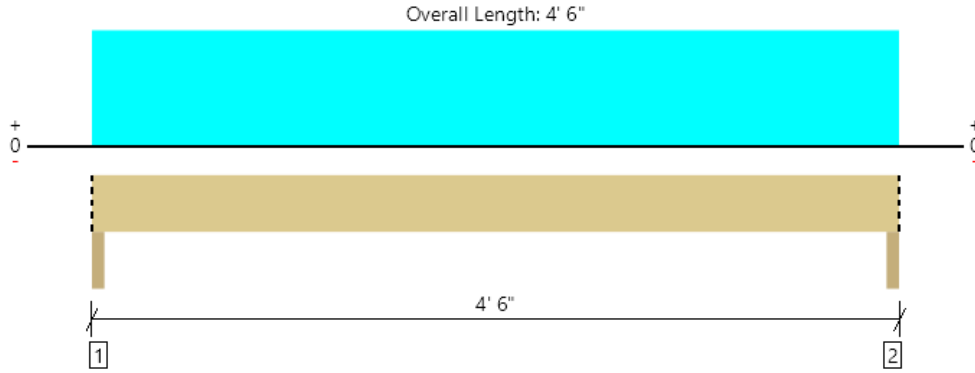
C:\Users\ronal\Desktop\2022\22020 Tucker Additions\22020.dwg Layouts 07.19.22.dwg

Level			
Member Name	Results	Current Solution	Comments
Drop Beam 101	Passed	2 piece(s) 2 x 6 SP No.2	
Drop Beam 102	Passed	2 piece(s) 2 x 6 SP No.2	
Girder 1	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 2	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 3	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 4	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 5	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 6	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 7	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 8	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 9	Passed	2 piece(s) 2 x 10 SP No.2	
Girder 10	Passed	2 piece(s) 2 x 10 SP No.2	
Sunroom Floor: Joist	Passed	1 piece(s) 2 x 10 SP No.2 @ 16" OC	
Girder 11	Passed	3 piece(s) 2 x 12 SP No.2	

ForteWEB Software Operator RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	Job Notes
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Level, Drop Beam 101
2 piece(s) 2 x 6 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	774 @ 1 1/2"	5085 (3.00")	Passed (15%)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Shear (lbs)	531 @ 8 1/2"	2406	Passed (22%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Moment (Ft-lbs)	777 @ 2' 3"	1575	Passed (49%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Live Load Defl. (in)	0.023 @ 2' 3"	0.106	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Total Load Defl. (in)	0.043 @ 2' 3"	0.213	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Total	
1 - Column - SPF	3.00"	3.00"	1.50"	369	180	360	909	Blocking
2 - Column - SPF	3.00"	3.00"	1.50"	369	180	360	909	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' 6" o/c	
Bottom Edge (Lu)	4' 6" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 4' 6"	N/A	4.2	--	--	
1 - Uniform (PSF)	0 to 4' 6" (Top)	8'	5.0	10.0	-	Default Load
2 - Uniform (PSF)	0 to 4' 6" (Top)	8'	15.0	-	20.0	Default Load

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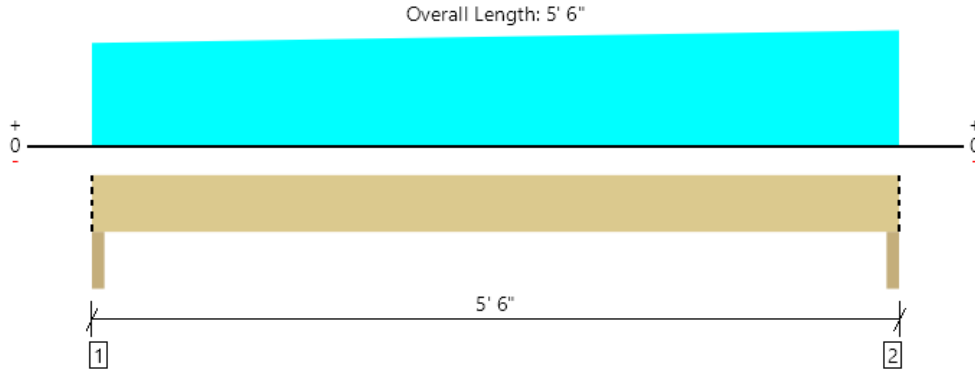
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

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Level, Drop Beam 102
2 piece(s) 2 x 6 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	227 @ 5' 4 1/2"	5085 (3.00")	Passed (4%)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Shear (lbs)	167 @ 4' 9 1/2"	2406	Passed (7%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Moment (Ft-lbs)	279 @ 2' 9 5/16"	1575	Passed (18%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Live Load Defl. (in)	0.009 @ 2' 9"	0.131	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Total Load Defl. (in)	0.024 @ 2' 9 1/16"	0.262	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Total	
1 - Column - SPF	3.00"	3.00"	1.50"	135	37	73	245	Blocking
2 - Column - SPF	3.00"	3.00"	1.50"	145	37	73	255	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	5' 6" o/c	
Bottom Edge (Lu)	5' 6" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 5' 6"	N/A	4.2	--	--	
1 - Uniform (PSF)	0 to 5' 6" (Top)	1' 4"	5.0	10.0	-	Default Load
2 - Uniform (PSF)	0 to 5' 6" (Top)	1' 4"	15.0	-	20.0	Default Load
3 - Tapered (PSF)	0 to 5' 6" (Top)	1' 6" to 2' 6"	10.0	-	-	Default Load

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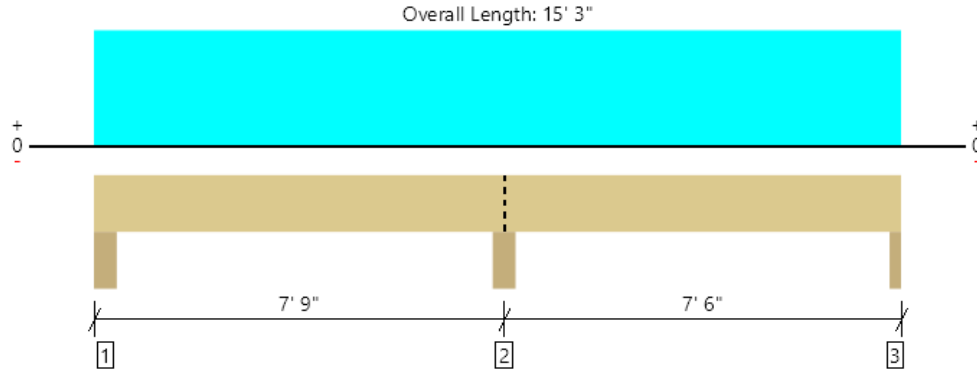
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Level, Girder 1
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2472 @ 7' 9"	9323 (5.50")	Passed (27%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	970 @ 6' 9"	3238	Passed (30%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-1831 @ 7' 9"	2853	Passed (64%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.035 @ 3' 10 1/4"	0.185	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.041 @ 3' 9 1/2"	0.371	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	209	715/-92	924/-92	None
2 - Column - SYP	5.50"	5.50"	1.50"	621	1852	2473	Blocking
3 - Column - SYP	2.75"	2.75"	1.50"	193	668/-93	861/-93	None

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	15' 3" o/c	
Bottom Edge (Lu)	15' 3" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 15' 3"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 15' 3" (Front)	5'	12.0	40.0	Default Load

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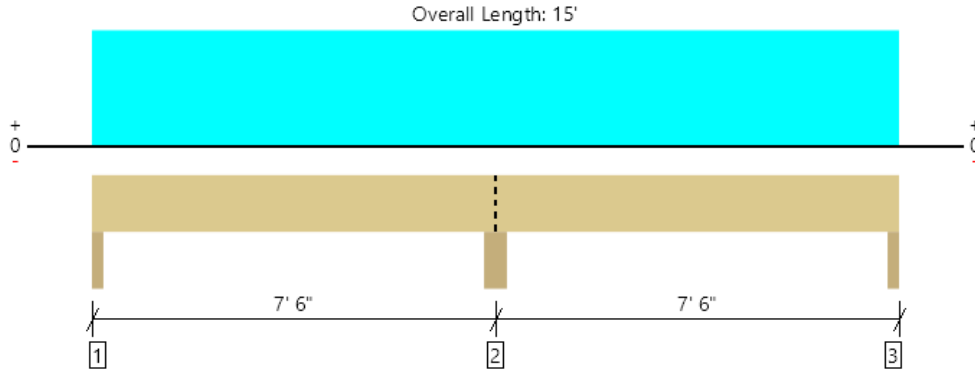
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Level, Girder 2
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2469 @ 7' 6"	9323 (5.50")	Passed (26%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	967 @ 8' 6"	3238	Passed (30%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-1826 @ 7' 6"	2853	Passed (64%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.034 @ 3' 7 7/16"	0.185	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.041 @ 3' 6 5/8"	0.370	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	2.75"	2.75"	1.50"	193	668/-92	861/-92	None
2 - Column - SYP	5.50"	5.50"	1.50"	620	1849	2469	Blocking
3 - Column - SYP	2.75"	2.75"	1.50"	193	668/-92	861/-92	None

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	15' o/c	
Bottom Edge (Lu)	15' o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 15'	N/A	7.0	--	
1 - Uniform (PSF)	0 to 15' (Top)	5'	12.0	40.0	Default Load

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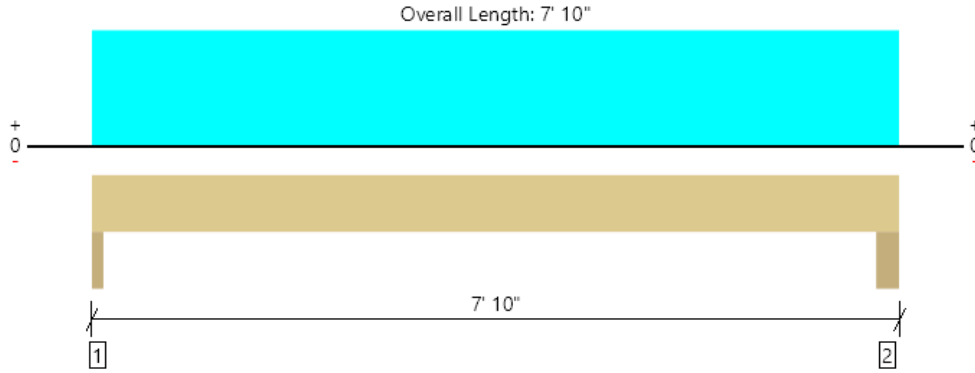
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcxmail.com	



Level, Girder 3
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1015 @ 1 1/4"	4661 (2.75")	Passed (22%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	748 @ 1'	3238	Passed (23%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1826 @ 3' 9 5/8"	2853	Passed (64%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.049 @ 3' 9 5/8"	0.185	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.065 @ 3' 9 5/8"	0.370	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	2.75"	2.75"	1.50"	255	760	1015	None
2 - Column - SYP	5.50"	5.50"	1.50"	270	806	1076	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	7' 10" o/c	
Bottom Edge (Lu)	7' 10" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 7' 10"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 7' 10" (Top)	5'	12.0	40.0	Default Load

Weyerhaeuser Notes

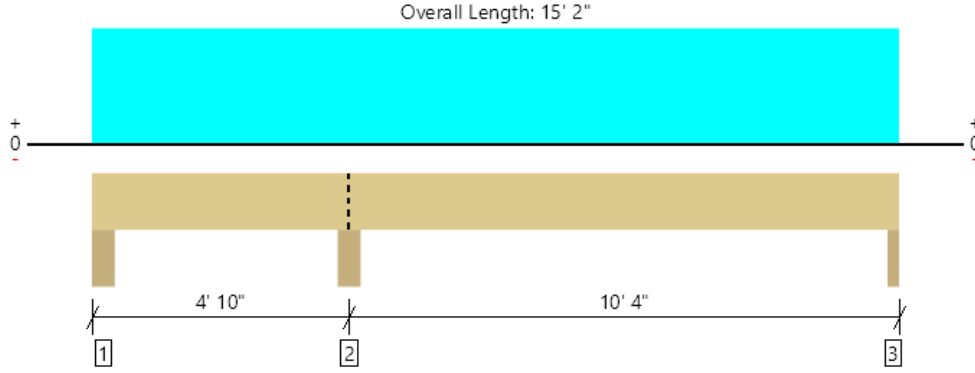
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Girder 4
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2809 @ 4' 10"	9323 (5.50")	Passed (30%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	1356 @ 5' 10"	3238	Passed (42%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-2632 @ 4' 10"	2853	Passed (92%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.105 @ 10' 4 5/8"	0.256	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.138 @ 10' 4 13/16"	0.511	Passed (L/890)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- -377 lbs uplift at support located at 4". Strapping or other restraint may be required.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	26	482/-404	508/-404	None
2 - Column - SYP	5.50"	5.50"	1.66"	705	2104	2809	Blocking
3 - Column - SYP	2.75"	2.75"	1.50"	285	866/-15	1151/-15	None

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	13' o/c	
Bottom Edge (Lu)	8' 10" o/c	

- Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 15' 2"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 15' 2" (Front)	5'	12.0	40.0	Default Load

Weyerhaeuser Notes

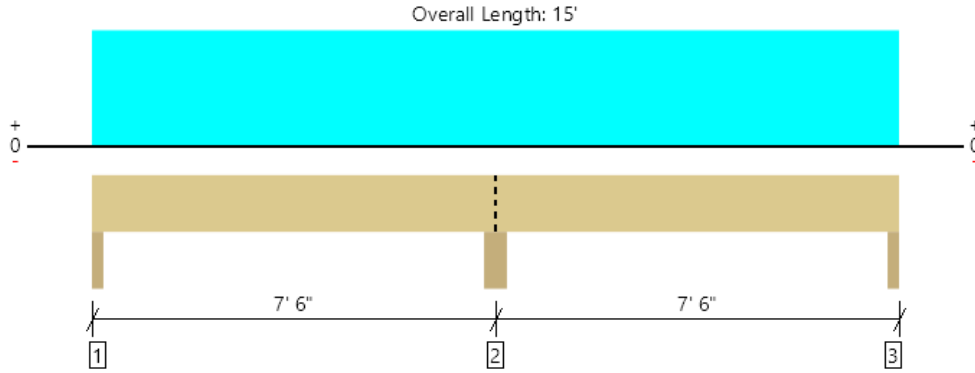
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ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcxmail.com	



Level, Girder 5
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	3911 @ 7' 6"	9323 (5.50")	Passed (42%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	1532 @ 8' 6"	3238	Passed (47%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-2892 @ 7' 6"	2853	Passed (101%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.055 @ 3' 7 7/16"	0.185	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.065 @ 3' 6 5/8"	0.370	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	2.75"	2.75"	1.50"	296	1069/-148	1365/-148	None
2 - Column - SYP	5.50"	5.50"	2.31"	952	2958	3910	Blocking
3 - Column - SYP	2.75"	2.75"	1.50"	296	1069/-148	1365/-148	None

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	15' o/c	
Bottom Edge (Lu)	6' o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 15'	N/A	7.0	--	
1 - Uniform (PSF)	0 to 15' (Front)	8'	12.0	40.0	Default Load

Weyerhaeuser Notes

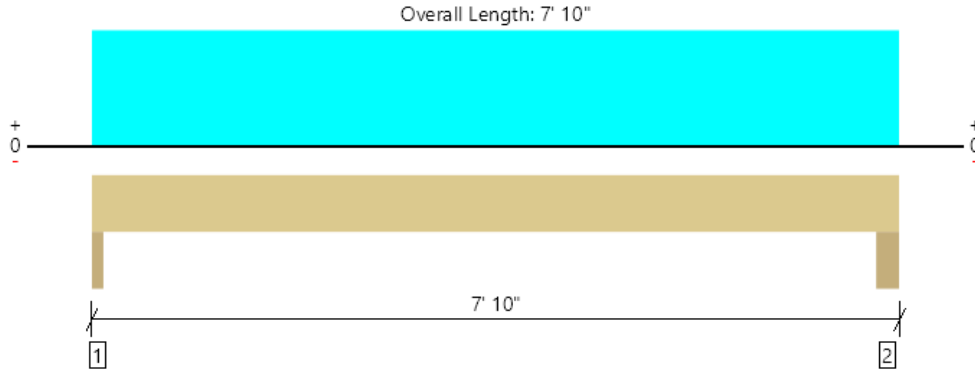
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ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Girder 6
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1608 @ 1 1/4"	4661 (2.75")	Passed (35%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	1185 @ 1'	3238	Passed (37%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	2892 @ 3' 9 5/8"	2853	Passed (101%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.078 @ 3' 9 5/8"	0.185	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.103 @ 3' 9 5/8"	0.370	Passed (L/863)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	2.75"	2.75"	1.50"	392	1217	1609	None
2 - Column - SYP	5.50"	5.50"	1.50"	415	1290	1705	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	6" o/c	
Bottom Edge (Lu)	7' 10" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 7' 10"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 7' 10" (Front)	8'	12.0	40.0	Default Load

Weyerhaeuser Notes

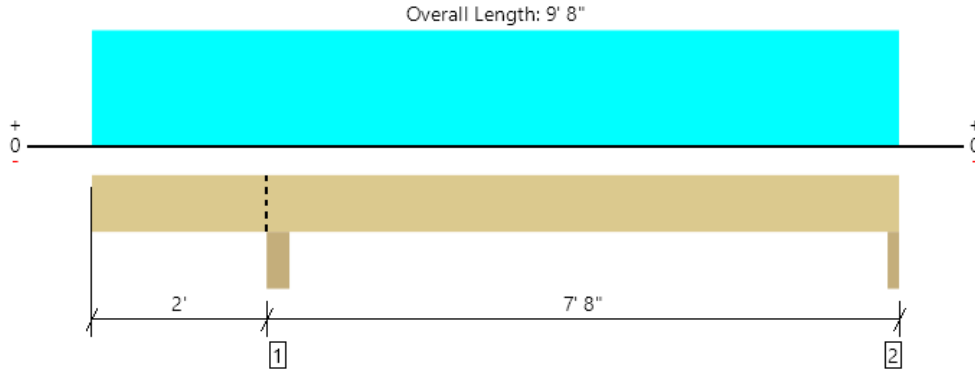
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ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Girder 7
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	1560 @ 9' 6 3/4"	4661 (2.75")	Passed (33%)	--	1.0 D + 1.0 L (Alt Spans)
Shear (lbs)	1271 @ 3' 2 3/4"	3238	Passed (39%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	2717 @ 5' 11 3/4"	2853	Passed (95%)	1.00	1.0 D + 1.0 L (Alt Spans)
Live Load Defl. (in)	0.075 @ 5' 10 3/4"	0.183	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.094 @ 5' 11 1/16"	0.367	Passed (L/936)	--	1.0 D + 1.0 L (Alt Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Overhang deflection criteria: LL (2L/480) and TL (2L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.56"	642	1995	2637	Blocking
2 - Column - SYP	2.75"	2.75"	1.50"	354	1207/-108	1561/-108	None

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	6' 6" o/c	
Bottom Edge (Lu)	9' 8" o/c	

- Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 9' 8"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 9' 8" (Top)	8'	12.0	40.0	Default Load

Weyerhaeuser Notes

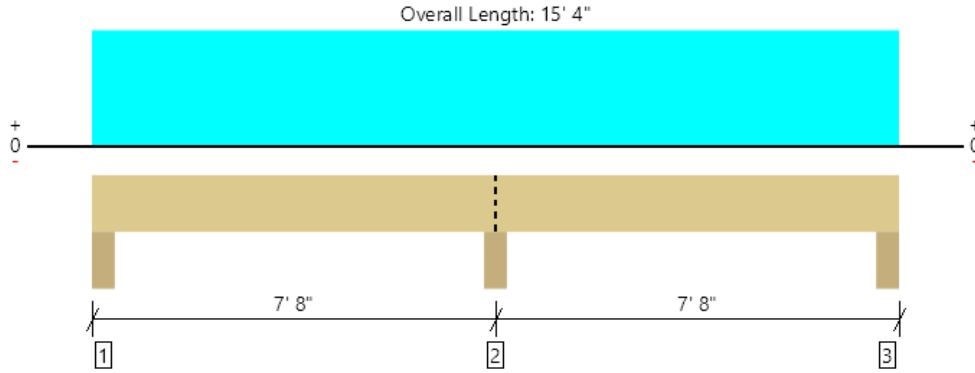
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RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcxmail.com	



Level, Girder 8
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	3878 @ 7' 8"	9323 (5.50")	Passed (42%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	1516 @ 8' 8"	3238	Passed (47%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-2844 @ 7' 8"	2853	Passed (100%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.053 @ 3' 9 13/16"	0.183	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.063 @ 3' 9"	0.367	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	318	1133/-147	1451/-147	None
2 - Column - SYP	5.50"	5.50"	2.29"	944	2933	3877	Blocking
3 - Column - SYP	5.50"	5.50"	1.50"	318	1133/-147	1451/-147	None

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	15' 4" o/c	
Bottom Edge (Lu)	9" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 15' 4"	N/A	7.0	--	
1 - Uniform (PSF)	0 to 15' 4" (Top)	8'	12.0	40.0	Default Load

Weyerhaeuser Notes

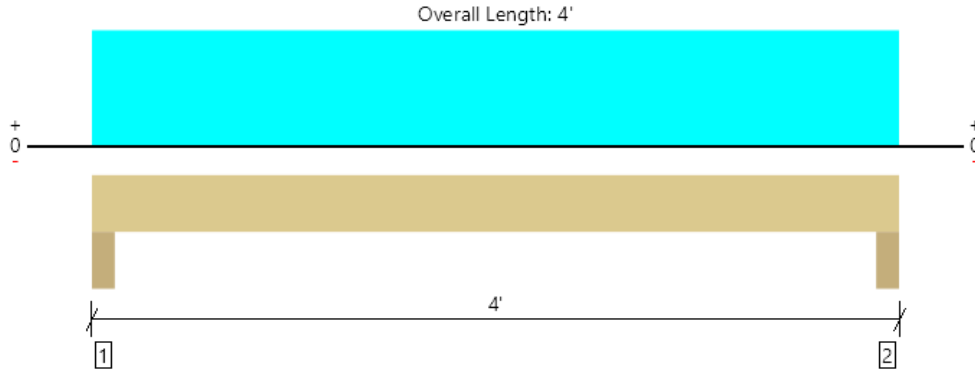
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RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Girder 9
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	430 @ 4"	9323 (5.50")	Passed (5%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	166 @ 1' 2 3/4"	3238	Passed (5%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	299 @ 2'	2853	Passed (10%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.002 @ 2'	0.083	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.002 @ 2'	0.167	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	110	320	430	None
2 - Column - SYP	5.50"	5.50"	1.50"	110	320	430	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' o/c	
Bottom Edge (Lu)	4' o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 4'	N/A	7.0	--	
1 - Uniform (PSF)	0 to 4' (Top)	4'	12.0	40.0	Default Load

Weyerhaeuser Notes

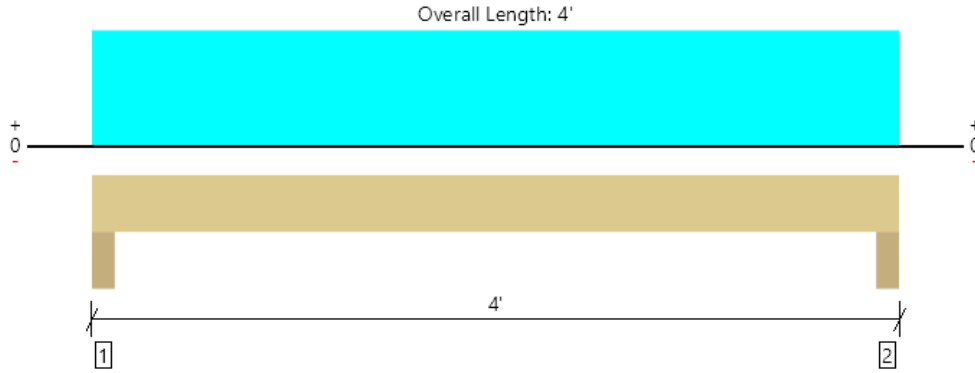
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ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Girder 10
2 piece(s) 2 x 10 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	846 @ 4"	9323 (5.50")	Passed (9%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	326 @ 1' 2 3/4"	3238	Passed (10%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	588 @ 2'	2853	Passed (21%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.003 @ 2'	0.083	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.004 @ 2'	0.167	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	206	640	846	None
2 - Column - SYP	5.50"	5.50"	1.50"	206	640	846	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' o/c	
Bottom Edge (Lu)	4' o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 4'	N/A	7.0	--	
1 - Uniform (PSF)	0 to 4' (Top)	8'	12.0	40.0	Default Load

Weyerhaeuser Notes

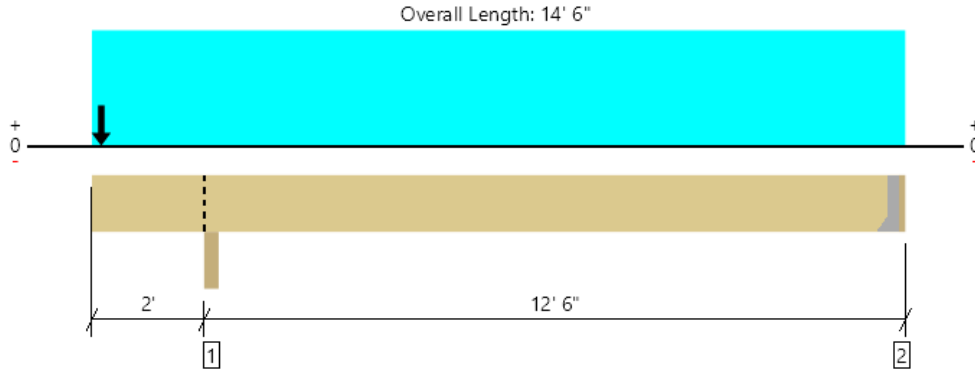
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Level, Sunroom Floor: Joist
 1 piece(s) 2 x 10 SP No.2 @ 16" OC



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	389 @ 14' 4 1/2"	1271 (1.50")	Passed (31%)	--	1.0 D + 1.0 L (Alt Spans)
Shear (lbs)	406 @ 3' 3/4"	1619	Passed (25%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1089 @ 8' 9 1/4"	1640	Passed (66%)	1.00	1.0 D + 1.0 L (Alt Spans)
Live Load Defl. (in)	0.194 @ 8' 3 1/8"	0.306	Passed (L/757)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.202 @ 8' 5 7/16"	0.611	Passed (L/727)	--	1.0 D + 1.0 L (Alt Spans)
TJ-Pro™ Rating	N/A	N/A	N/A	--	N/A

System : Floor
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Overhang deflection criteria: LL (2L/480) and TL (2L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- Applicable calculations are based on NDS.
- No composite action between deck and joist was considered in analysis.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Total	
1 - Beam - SYP	3.50"	3.50"	1.50"	368	451	186	1005	Blocking
2 - Hanger on 9 1/4" SYP beam	1.50"	Hanger ¹	1.50"	64	333/-3	-26	397/-29	See note ¹

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	9' 11" o/c	
Bottom Edge (Lu)	14' 5" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie						
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories
2 - Face Mount Hanger	LU28	1.50"	N/A	8-10dx1.5	6-10dx1.5	

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Loads	Location (Side)	Spacing	Dead (0.90)	Floor Live (1.00)	Roof Live (non-snow: 1.25)	Comments
1 - Uniform (PSF)	0 to 14' 6"	16"	12.0	40.0	-	Default Load
2 - Point (lb)	2"	N/A	80	-	-	
3 - Point (lb)	2"	N/A	120	-	160	

ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcoxmail.com	



Weyerhaeuser Notes

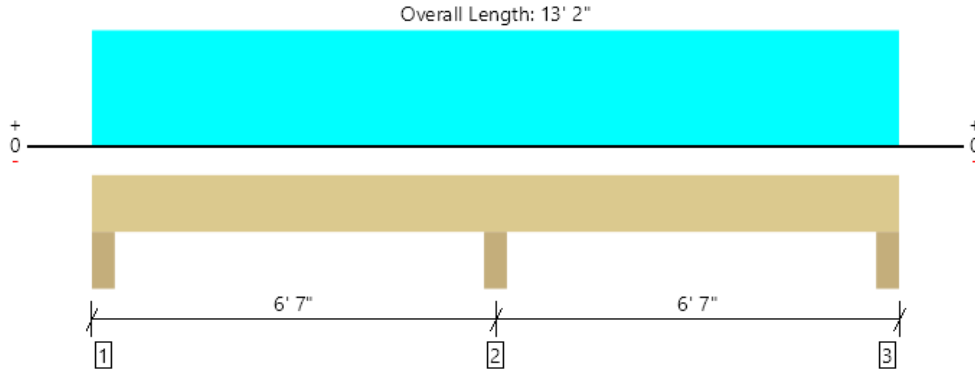
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ForteWEB Software Operator	Job Notes
RONALD HUDIK RJH Designs (757) 345-2362 rhudik@rjhdesigns.hrcmail.com	



Level, Girder 11
3 piece(s) 2 x 12 SP No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	5056 @ 6' 7"	13984 (5.50")	Passed (36%)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Shear (lbs)	1718 @ 7' 9"	5906	Passed (29%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-3062 @ 6' 7"	5933	Passed (52%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.011 @ 9' 10 5/8"	0.208	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.016 @ 3' 1 15/16"	0.313	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Total	
1 - Column - SYP	5.50"	5.50"	1.50"	773	1038/-132	401	2212/-132	None
2 - Column - SYP	5.50"	5.50"	1.99"	2256	2643	1090	5989	None
3 - Column - SYP	5.50"	5.50"	1.50"	773	1038/-132	401	2212/-132	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	13' 2" o/c	
Bottom Edge (Lu)	13' 2" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Roof Live (non-snow: 1.25)	Comments
0 - Self Weight (PLF)	0 to 13' 2"	N/A	12.8	--	--	
1 - Uniform (PLF)	0 to 13' 2" (Top)	N/A	276.0	338.3	139.5	Linked from: Sunroom Floor: Joist, Support 1

Weyerhaeuser Notes

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Earl H. Inge, P.E.

July 14, 2022

Ronald Hudik, Jr.
R.J.H. Drafting & Design, Inc.
493 Mclaws Circle, Suite 1
Williamsburg, VA 23185

Re: Tucker Residence Addition, Williamsburg, Virginia
SM&F Job No.: 22.174

Dear Ron:

As requested, we have reviewed the framing and foundation conditions at the Sun Room for the referenced project. We have been tasked with providing recommendations for design of the concrete piers adjacent to an existing septic tank, labeled "FTG. 1.3" on the provided documents. We have also been tasked with providing recommendations to obtain stability for the Sun Room. We used the following documents in our evaluation:

- RJH Drafting & Design, Inc drawings dated 4/22/2022.

Foundation Recommendations

- Provide 16 - #5 vertical bars equally spaced around the perimeter of a 2'-0" diameter pier.
- Provide #4 ties at 12" on center full height of pier.
- Reinforcement must be placed 3" clear from the sides and the bottom of the pier.
- Piers adjacent to the existing septic tank must bear at the same elevation as the existing septic tank.

Lateral Stability

- Provide pressure treated 2x12 cross bracing attached to the pressure treated girder and post with 2 - ¾" diameter galvanized through bolts. Install 2x10 blocking between each of the floor joists and attach with 2 -16d to nails. Attach the pressure treated posts to the foundation with Simpson EBP66 post base. Attach the ends of the joist framing to the continuous double 2x10 end member with Simpson L70 clip.

Based upon our analysis, the structural components identified above are capable of supporting the code prescribed loading conditions. Note, this evaluation is not intended to be a complete and comprehensive

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2821 Emerywood Parkway, Suite 300, Richmond, VA 23294 • 804.464.4111

RESTRUCTURING THE NORM



analysis of the existing structure or new addition. Our scope of work only involved analysis of the foundation conditions listed above.

If you have any questions, please do not hesitate to contact us.

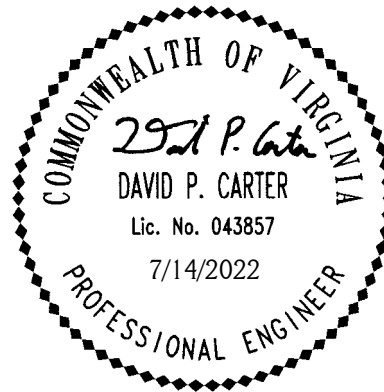
Sincerely,

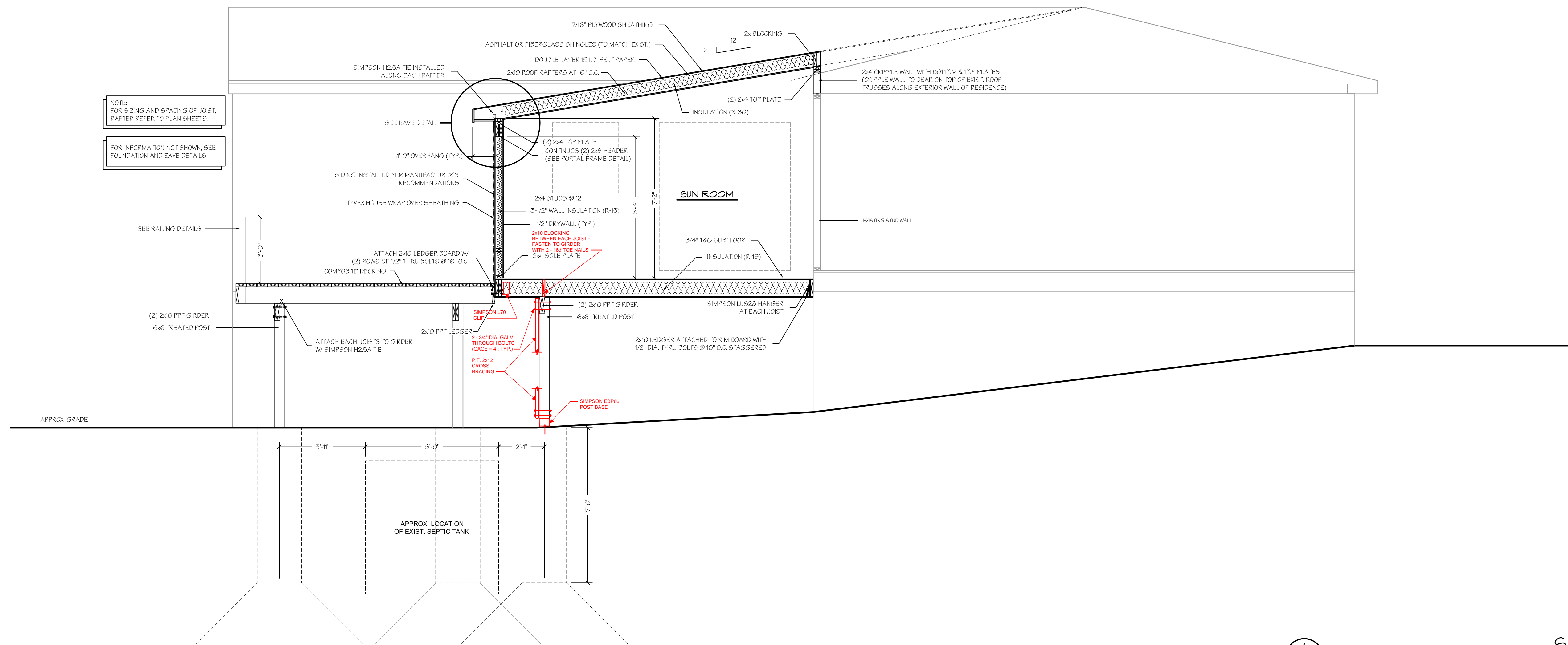
SPEIGHT, MARSHALL & FRANCIS
1228 Perimeter Parkway, Suite 201, Virginia Beach, VA 23454

David P. Carter, P.E., M.S.

dpc/dsg

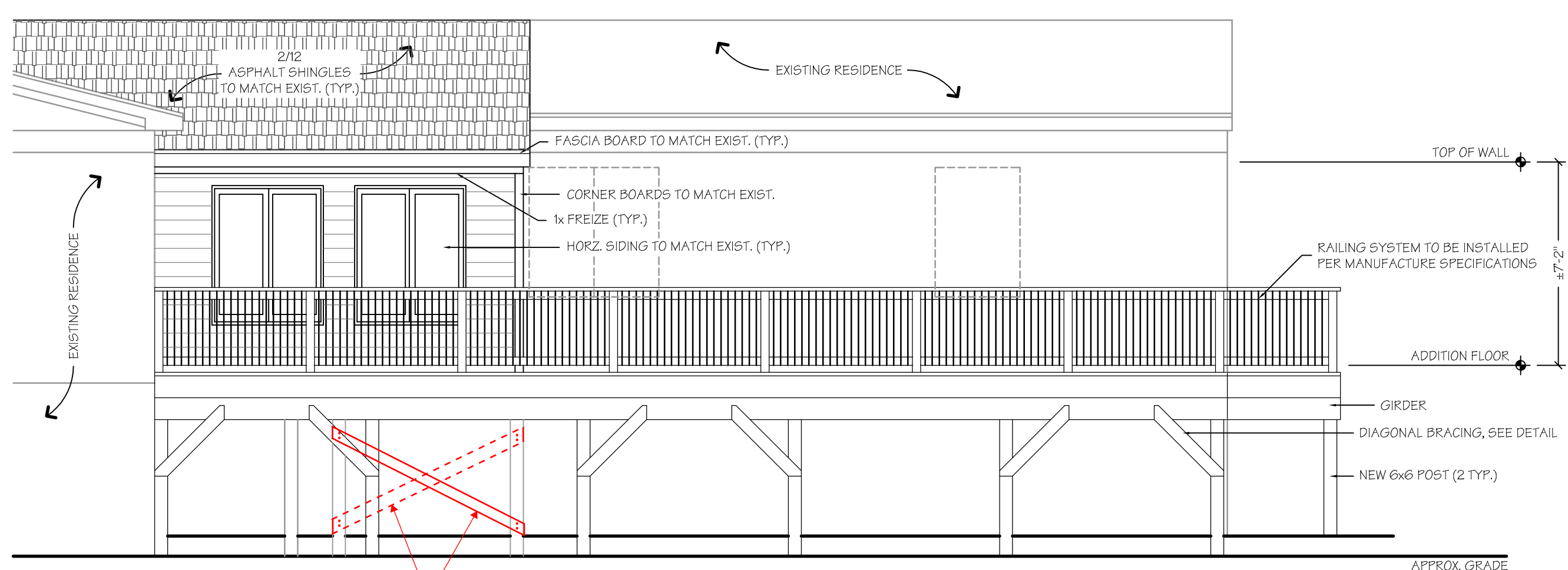
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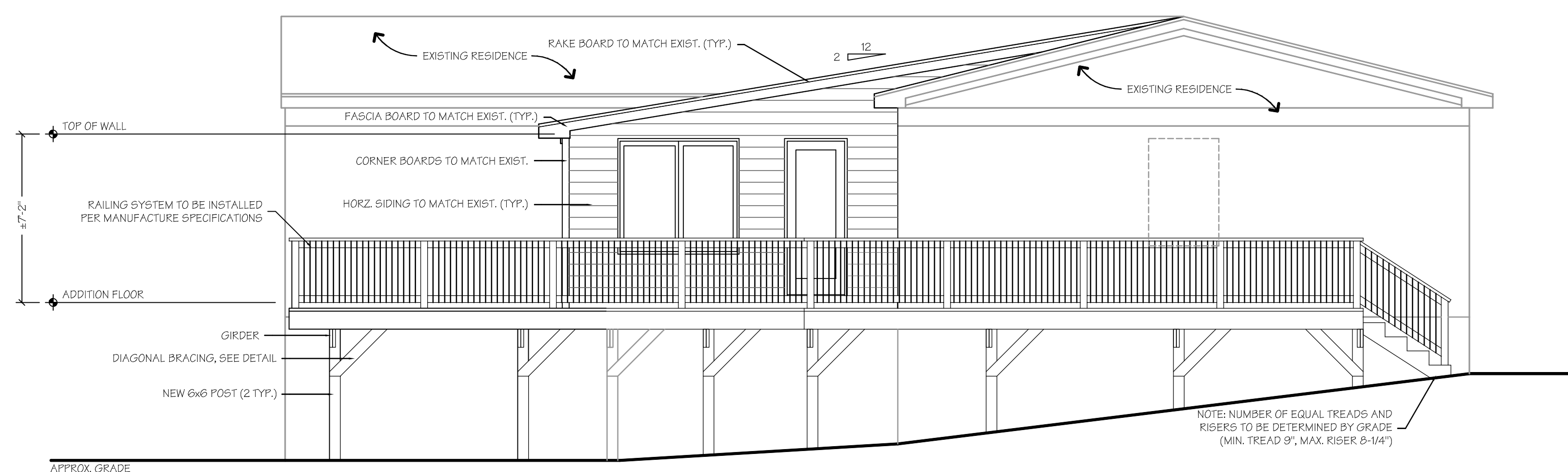


A
3/6

SECTION
SCALE: 3/8" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDIK PHONE: 757.876-1882
 MILLANBURG, VA 23187
 PO BOX 3683
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No. By	Revision	App.	Date

No. By	Revision	App.	Date

TUCKER ADDITION
 103 COVE ROAD
 KING'S POINT
 ELEVATIONS & SECTIONAL VIEW
 JAMES CITY COUNTY VIRGINIA

Job Number 22020	Sheet No. 6
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757-565-0971

KERSCHER, OLIVER & AURORA
105 COVE RD
WILLIAMSBURG, VA 23185-4413

RE: CBPA-22-0132
103 COVE ROAD
Proposed construction of a deck

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Timothy Jones, Two-Rivers Built, on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for the proposed construction of a deck on property located at 103 COVE ROAD, JCC Parcel No. 4910240005.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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Williamsburg, VA 23188
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757-565-0971

MCDONALD, WALTER ERIC
127 KINGSPPOINT DR
WILLIAMSBURG, VA 23185-4453

RE: CBPA-22-0132
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PETERS, DONALD D & JAMIE W
1090 KINGS CROWN RD
WOODLAND PARK, CO 80863-9052

RE: CBPA-22-0132
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ROBERTSON, MEREDITH
125 KINGSPPOINT DR
WILLIAMSBURG, VA 23185-4454

RE: CBPA-22-0132
103 COVE ROAD
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October 17, 2022

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757-565-0971

Timothy Jones
402 W DUKE OF GLOUCESTER ST W, UNIT 212
WILLIAMSBURG, VA 23185

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TUCKER, CHRISTOPHER S & JENNIFER
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PIN	Last Name	Address Line 1	City	State	Zip Code
4910240003	FEHRENBACH, ROBERT J	123 KINGSPPOINT DR	WILLIAMSBURG	VA	23185-4454
4910240006	KERSCHER, OLIVER & AURORA	105 COVE RD	WILLIAMSBURG	VA	23185-4413
4910240017	MCDONALD, WALTER ERIC	127 KINGSPPOINT DR	WILLIAMSBURG	VA	23185-4453
4910240016	PETERS, DONALD D & JAMIE W	1090 KINGS CROWN RD	WOODLAND PARK	CO	80863-9052
4910240004	ROBERTSON, MEREDITH	125 KINGSPPOINT DR	WILLIAMSBURG	VA	23185-4454
	Timothy Jones	402 W DUKE OF GLOUCES	WILLIAMSBURG	VA	23185
4910240005	TUCKER, CHRISTOPHER S & JENNIFER	103 COVE RD	WILLIAMSBURG	VA	23185-4413

More bird populations across US reach tipping point

Some of affected species may come as a surprise

By Everett Eaton
Staff Writer

More than half of bird populations are sharply declining across the United States, and dozens have been added as tipping point species — but species like swans and geese are doing fine.

Tipping point species are close to threatened or endangered status because they have lost half or more of their populations in the last 50 years. The State of the Birds Report, by the North American Bird Conservation Initiative, used five different sources of data, including the North American Breeding Bird Survey and the Audubon Christmas Bird Count.

Everyone needs to begin thinking about conserving common species before they become uncommon, said Nick Flanders, an officer at the Cape Henry Audubon Society, a local chapter of the National Audubon Society located in Norfolk. Part of this is looking at if they need a specific habitat to flourish and protecting that space because building populations back is more difficult than maintaining them.

"It is a little bit harder to get people excited about protecting a rare species of grass to help that habitat for a bird species," Flanders said. "So if you are interested in protecting that bird species people are interested in, that works a lot better."

Maintaining bird populations also helps preserve other plants and animal populations in the different ecosystems and keep those environments healthy. One way to do this is by protecting the other parts of the ecosystem, not just the birds.

Some of the birds on the list may come as a surprise. A trip to the beach comes with a myriad of sounds, including the relentless squawk of seagulls and their seemingly endless invasions to steal snacks from beachgoers.

The Heermann's gull, a species within the broader seagull group, has lost half its population over the last 50 years and is on track to lose another half of its remaining population over the coming 50 years.

Issues like habitat decline and an increasingly limited food supply from natural sources add to the dramatic population loss of the gulls. According to the report, more than 60% of seabird species were found to have eaten plastic, and 40% have been tangled up in the waste such as spent fishing nets.

Other seabirds, including two different kinds of albatross, petrels and the red-faced cormorant, made the tipping point list. The report also lists many wetland birds.



A great blue heron takes flight from a rock it was sharing with a great black-backed gull on a misty morning on Great Salt Bay in Newcastle, Maine. **ROBERT F. BUKATY/AP**

Flanders said factors like sea-level rise will create conservation challenges in helping the different species.

"The marsh only has a small threshold before flooding, and especially when there is a development behind it, like houses, the birds don't really have anywhere to go," Flanders said.

Species like the salt marsh sparrow that lay their eggs in the marshes are vulnerable and have lost about 9% of their population per year since the 1990s. The population could collapse in the next 50 years if nothing is done, according to the Atlantic Coast Joint Venture, a conservation organization. Frequent and more intense nest flooding due to sea level rise is currently the greatest threat to this species.

Although there are significant losses, it is not all doom-and-gloom.

The decline of Eastern forest birds has slowed over the last decade, according to

the report. The cerulean warbler and the wood thrush showed about a 60% decline since 1970, but their populations are not dwindling as fast. The wood thrush population even recently saw a slight increase of a little over a half percent.

The Appalachian Mountains Joint Venture, a partnership of over 50 federal, state and nonprofit organizations, has made large contributions in habitat restoration. In 2020, AMJV restored more than 8,700 acres of habitat on private land between West Virginia, Maryland and Pennsylvania. Some of the largest population increases came from these improved areas.

Some of the forested species listed in the report appear to be doing well in Hampton Roads, such as the prairie warbler, Flanders said. The Great Dismal Swamp, among other preserves, is a haven for the warblers, and they are common during the breeding season — which is why Flanders

was initially surprised upon reading their name on the list.

"But, if you think about the areas away from these protected areas, with the development and loss of forested area, some of these declines do make more sense," he said.

Waterfowl like geese, which are seeing record high populations, have adapted from habitat loss and began to use areas like farmland to live.

There have also been local and federal conservation efforts to protect waterfowl populations. The North American Wetlands Conservation Act and U.S. Farm Bill conservation programs are two examples that provide incentives for farmers to improve habitats, like wetlands, on their property.

Everett Eaton, 262-902-7896,
everett.eaton@virginiamedia.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, NOVEMBER 9, 2022 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-22-0023: Daniel Winal, Waters Edge Construction, has applied for a wetlands permit on behalf of Mark Gillespie for the installation of a riprap revetment on property located at 7624 Uncles Neck, JCC Parcel No. 2030200031.

WJPA-22-0021: Karla Havens, Mid-Atlantic Resource Consulting, has applied for a wetlands permit on behalf of Larry & Carla Evans for the installation of two breakwaters and beach nourishment on property located at 1485 John Tyler Hwy, JCC Parcel No. 3430300003.

WJPA-22-0024: Mo Bloxom, Southern Landscaping LLC, has applied for a wetlands permit on behalf of Taylor & Colleen McMurdo for the installation of a stone revetment on property located at 124 Four Mile Tree, JCC Parcel No. 1640500010.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 3303000051.

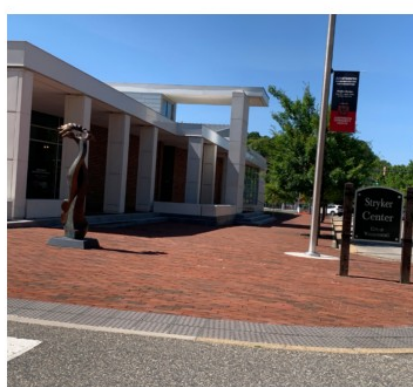
CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durleys Mill Road, JCC Parcel No. 4741000008.

CBPA-22-0141: Charlie Hipple, has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hipple for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 9401000003.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.



The Stryker Center in Williamsburg. **KIM O'BRIEN ROOT/STAFF**

Commission gives OK to subdivision request at Quarterpath Development

By Sian Wilkerson
Staff Writer

WILLIAMSBURG — The Williamsburg Planning Commission voted to approve a request to subdivide an 86-acre parcel along Battery Boulevard for the Quarterpath at Williamsburg Development.

Quarterpath, which has been in development for nearly two decades, is a large, mixed-use development project at the intersection of Route 199 and Route 60. In 2004, Riverside acquired 380 acres of land for a site for a new hospital, which opened in 2013.

The property owner is subdividing the 86 acres into seven lots to sell to developers to complete an approved master plan that includes multifamily residentials, townhomes, retail and medical-related office buildings to create a medical campus.

Calling the application "straightforward," the commission approved it unanimously.

In other business, the commission voted

to approve a request to amend the zoning ordinance to allow a family entertainment center on Richmond Road in the Corridor Business District.

The request included the adaptive reuse and conversion of the 65,000-square-foot single use building that formerly housed the Yankee Candle store on 2200 Richmond Road. The center will include arcades, billiards, bowling and more.

One resident, Todd Krause, expressed concern that an entertainment center might cause prohibitive noise.

"I'm a little worried about the impact that this is going to have for me and my neighbors," said Krause, who lives in the neighborhood behind the property.

The commission cited the city's noise ordinance that already exists, which would keep the new center within allowable noise levels.

Sian Wilkerson, sian.wilkerson@pilotonline.com, 757-342-6616

ITEM SUMMARY

DATE: 11/9/2022

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0141 : 821 Arlington Island Road

CBPA-22-0141: Charlie Hipple, Michael J. Hipple Builders, Inc., has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hipple for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 940100003.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:32 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:13 AM
Publication Management	Pobiak, Amanda	Approved	11/3/2022 - 8:41 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:42 AM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0141. 821 Arlington Island Road
Staff Report for the November 9, 2022, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Michael Hipple
Agent: None
Location: 821 Arlington Island Road
Parcel Identification No.: 0940100003
Parcel: Mariners Club
Lot Size: 12.70 acres
Area of Lot in Resource Protection Area (RPA): 8.9 acres (64%)
Watershed: Diascund Creek (JL27)
Floodplain: Zone AE - Base flood elevation 7 feet mean sea level
Proposed Activity: Construction of a detached accessory structure
Impervious Cover: 1,800 square feet
RPA Encroachment: 1,800 square feet, landward 50-foot RPA
Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Michael Hipple has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a detached accessory structure located at 821 Arlington Island Road within the Diascund Creek watershed. The property is further identified as James City County Tax Map Parcel No. 0940100003. The parcel was platted prior to the enactment of the Chesapeake Bay Ordinance in 1990.

The total lot size of this property is 12.70 acres, of which 64% is located within the RPA. The applicant is proposing to construct a 60-foot by 30-foot detached accessory structure. Total impacts to the RPA associated with this proposal equate to 1,800 square feet of impacts to the landward 50-foot RPA. Two alternative locations have been considered for the proposed construction. While both alternatives are outside of the RPA, the first alternative is approximately 390 linear feet away from the house and the second alternative is approximately 730 linear feet away from the house. The proposed accessory structure's proximity to the house is the reason the applicant has proposed this structure within the RPA. Required mitigation for this amount of impervious impacts equals four canopy trees, eight understory trees, and 20 shrubs (four and a half planting units).

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a detached accessory structure. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a detached garage is considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be moderate for the proposed development. Should the Board wish to approve this exception request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. A mitigation plan equating to four and a half planting units be submitted prior to the issuance of a building permit; and
3. A surety of \$2,250 must be submitted to the James City County Stormwater and Resource Protection Division prior to the issuance of a building permit; and
4. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

TAL/ap
CBPA22-141_821ArlngtnIsl

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0141. 821 ARLINGTON ISLAND ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Michael Hipple (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0940100003 and further identified as 821 Arlington Island Road (the “Property”), as set forth in the application CBPA-22-0141 for the purpose of construction of a detached accessory structure; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board case number CBPA-22-0141, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. A mitigation plan equating to four and a half planting units be submitted prior to the issuance of a building permit; and
3. A surety of \$2,250 must be submitted to the James City County Stormwater and Resource Protection Division prior to the issuance of a building permit; and
4. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

RESOLUTION

CASE NO. CBPA-22-0141. 821 ARLINGTON ISLAND ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Michael Hipple (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0940100003 and further identified as 821 Arlington Island Road (the “Property”), as set forth in the application CBPA-22-0141 for the purpose of construction of a detached accessory structure; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0141.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-141_821ArlngtnIslDny-res

821 ARLINGTON ISLAND RD

Proposed Accessory Garage - 30' x 60' one-story - height 14'
(all proposed locations are not in the special flood hazard area)



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Williamsburg, VA 23188
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General.Services@jamescitycountyva.gov
jamescitycountyva.gov

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113 Tewning Road
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757-259-4080

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Williamsburg, VA 23188
757-565-0971

Charles Hipple Builders, Inc.
7428 Richmond Rd
Williamsburg, VA 23188

RE: CBPA-22-0141
821 ARLINGTON ISLAND RD
Construction of a detached garage

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Charlie Hipple, Michael J. Hipple Builders, Inc., on behalf of Michael & Mary Hipple for encroachments into the Resource Protection Area (RPA) buffer for the construction of a detached garage on property located at 821 ARLINGTON ISLAND RD, JCC Parcel No. 940100003.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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GARDNER, LISA MARIE
875 DREWRY LN
LANEXA, VA 23089-9122

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HIPPLE, MICHAEL J SR & MARY K
821 ARLINGTON ISLAND RD
LANEXA, VA 23089-9120

RE: CBPA-22-0141
821 ARLINGTON ISLAND RD
Construction of a detached garage

October 17, 2022

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LANEXA, VA 23089-9120

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HIPPLE, MICHAEL J SR & MARY K
821 ARLINGTON ISLAND RD
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Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

LOBASH, FRANK J & CHERILYN
3356 N RIVERSIDE DR
LANEXA, VA 23089-9213

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In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Charlie Hipple, Michael J. Hipple Builders, Inc., on behalf of Michael & Mary Hipple for encroachments into the Resource Protection Area (RPA) buffer for the construction of a detached garage on property located at 821 ARLINGTON ISLAND RD, JCC Parcel No. 940100003.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



General Services
107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080
General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects
107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet
103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**
101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds
113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

LOBASH, FRANK J & CHERILYN
3356 N RIVERSIDE DR
LANEXA, VA 23089-9213

RE: CBPA-22-0141
821 ARLINGTON ISLAND RD
Construction of a detached garage

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Charlie Hipple, Michael J. Hipple Builders, Inc., on behalf of Michael & Mary Hipple for encroachments into the Resource Protection Area (RPA) buffer for the construction of a detached garage on property located at 821 ARLINGTON ISLAND RD, JCC Parcel No. 940100003.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

PIN	Last Name	Address Line 1	City	State	Zip Code
	Charles Hipple Builders, Inc.	7428 Richmond Rd	Williamsburg	VA	23188
0940100007D	GARDNER, LISA MARIE	875 DREWRY LN	LANEXA	VA	23089-9122
0940100002A	HIPPLE, MICHAEL J SR & MARY K	821 ARLINGTON ISLAND RD	LANEXA	VA	23089-9120
0940100003	HIPPLE, MICHAEL J SR & MARY K	821 ARLINGTON ISLAND RD	LANEXA	VA	23089-9120
0940100003	HIPPLE, MICHAEL J SR & MARY K	821 ARLINGTON ISLAND RD	LANEXA	VA	23089-9120
0940100004	HIPPLE, MICHAEL J SR & MARY K	821 ARLINGTON ISLAND RD	LANEXA	VA	23089-9120
0940100008G	LOBASH, FRANK J & CHERILYN	3356 N RIVERSIDE DR	LANEXA	VA	23089-9213
0940100008G	LOBASH, FRANK J & CHERILYN	3356 N RIVERSIDE DR	LANEXA	VA	23089-9213

More bird populations across US reach tipping point

Some of affected species may come as a surprise

By Everett Eaton
Staff Writer

More than half of bird populations are sharply declining across the United States, and dozens have been added as tipping point species — but species like swans and geese are doing fine.

Tipping point species are close to threatened or endangered status because they have lost half or more of their populations in the last 50 years. The State of the Birds Report, by the North American Bird Conservation Initiative, used five different sources of data, including the North American Breeding Bird Survey and the Audubon Christmas Bird Count.

Everyone needs to begin thinking about conserving common species before they become uncommon, said Nick Flanders, an officer at the Cape Henry Audubon Society, a local chapter of the National Audubon Society located in Norfolk. Part of this is looking at if they need a specific habitat to flourish and protecting that space because building populations back is more difficult than maintaining them.

"It is a little bit harder to get people excited about protecting a rare species of grass to help that habitat for a bird species," Flanders said. "So if you are interested in protecting that bird species people are interested in, that works a lot better."

Maintaining bird populations also helps preserve other plants and animal populations in the different ecosystems and keep those environments healthy. One way to do this is by protecting the other parts of the ecosystem, not just the birds.

Some of the birds on the list may come as a surprise. A trip to the beach comes with a myriad of sounds, including the relentless squawk of seagulls and their seemingly endless invasions to steal snacks from beachgoers.

The Heermann's gull, a species within the broader seagull group, has lost half its population over the last 50 years and is on track to lose another half of its remaining population over the coming 50 years.

Issues like habitat decline and an increasingly limited food supply from natural sources add to the dramatic population loss of the gulls. According to the report, more than 60% of seabird species were found to have eaten plastic, and 40% have been tangled up in the waste such as spent fishing nets.

Other seabirds, including two different kinds of albatross, petrels and the red-faced cormorant, made the tipping point list. The report also lists many wetland birds.



A great blue heron takes flight from a rock it was sharing with a great black-backed gull on a misty morning on Great Salt Bay in Newcastle, Maine. **ROBERT F. BUKATY/AP**

Flanders said factors like sea-level rise will create conservation challenges in helping the different species.

"The marsh only has a small threshold before flooding, and especially when there is a development behind it, like houses, the birds don't really have anywhere to go," Flanders said.

Species like the salt marsh sparrow that lay their eggs in the marshes are vulnerable and have lost about 9% of their population per year since the 1990s. The population could collapse in the next 50 years if nothing is done, according to the Atlantic Coast Joint Venture, a conservation organization. Frequent and more intense nest flooding due to sea level rise is currently the greatest threat to this species.

Although there are significant losses, it is not all doom-and-gloom.

The decline of Eastern forest birds has slowed over the last decade, according to

the report. The cerulean warbler and the wood thrush showed about a 60% decline since 1970, but their populations are not dwindling as fast. The wood thrush population even recently saw a slight increase of a little over a half percent.

The Appalachian Mountains Joint Venture, a partnership of over 50 federal, state and nonprofit organizations, has made large contributions in habitat restoration. In 2020, AMJV restored more than 8,700 acres of habitat on private land between West Virginia, Maryland and Pennsylvania. Some of the largest population increases came from these improved areas.

Some of the forested species listed in the report appear to be doing well in Hampton Roads, such as the prairie warbler, Flanders said. The Great Dismal Swamp, among other preserves, is a haven for the warblers, and they are common during the breeding season — which is why Flanders

was initially surprised upon reading their name on the list.

"But, if you think about the areas away from these protected areas, with the development and loss of forested area, some of these declines do make more sense," he said.

Waterfowl like geese, which are seeing record high populations, have adapted from habitat loss and began to use areas like farmland to live.

There have also been local and federal conservation efforts to protect waterfowl populations. The North American Wetlands Conservation Act and U.S. Farm Bill conservation programs are two examples that provide incentives for farmers to improve habitats, like wetlands, on their property.

Everett Eaton, 262-902-7896,
everett.eaton@virginiamedia.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, NOVEMBER 9, 2022 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-22-0023: Daniel Winal, Waters Edge Construction, has applied for a wetlands permit on behalf of Mark Gillespie for the installation of a riprap revetment on property located at 7624 Uncles Neck, JCC Parcel No. 2030200031.

WJPA-22-0021: Karla Havens, Mid-Atlantic Resource Consulting, has applied for a wetlands permit on behalf of Larry & Carla Evans for the installation of two breakwaters and beach nourishment on property located at 1485 John Tyler Hwy, JCC Parcel No. 3430300003.

WJPA-22-0024: Mo Bloxom, Southern Landscaping LLC, has applied for a wetlands permit on behalf of Taylor & Colleen McMurdo for the installation of a stone revetment on property located at 124 Four Mile Tree, JCC Parcel No. 1640500010.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 3303000051.

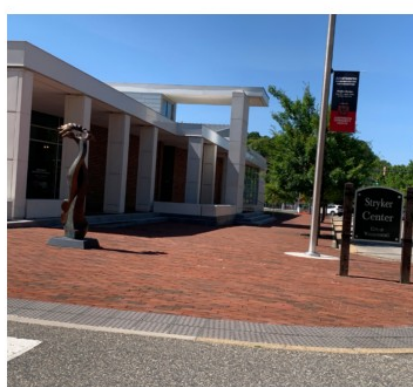
CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durleys Mill Road, JCC Parcel No. 4741000008.

CBPA-22-0141: Charlie Hippie, has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hippie for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 9401000003.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.



The Stryker Center in Williamsburg. **KIM O'BRIEN ROOT/STAFF**

Commission gives OK to subdivision request at Quarterpath Development

By Sian Wilkerson
Staff Writer

WILLIAMSBURG — The Williamsburg Planning Commission voted to approve a request to subdivide an 86-acre parcel along Battery Boulevard for the Quarterpath at Williamsburg Development.

Quarterpath, which has been in development for nearly two decades, is a large, mixed-use development project at the intersection of Route 199 and Route 60. In 2004, Riverside acquired 380 acres of land for a site for a new hospital, which opened in 2013.

The property owner is subdividing the 86 acres into seven lots to sell to developers to complete an approved master plan that includes multifamily residentials, townhomes, retail and medical-related office buildings to create a medical campus.

Calling the application "straightforward," the commission approved it unanimously.

In other business, the commission voted

to approve a request to amend the zoning ordinance to allow a family entertainment center on Richmond Road in the Corridor Business District.

The request included the adaptive reuse and conversion of the 65,000-square-foot single use building that formerly housed the Yankee Candle store on 2200 Richmond Road. The center will include arcades, billiards, bowling and more.

One resident, Todd Krause, expressed concern that an entertainment center might cause prohibitive noise.

"I'm a little worried about the impact that this is going to have for me and my neighbors," said Krause, who lives in the neighborhood behind the property.

The commission cited the city's noise ordinance that already exists, which would keep the new center within allowable noise levels.

Sian Wilkerson, sian.wilkerson@pilotonline.com, 757-342-6616

ITEM SUMMARY

DATE: 11/9/2022

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0086 : 9208 Candle Light Court

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 330300051.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Presentation	Presentation
☐	Site Plan	Exhibit
☐	Alternative Site Plan	Backup Material
☐	Environmental Inventory	Exhibit
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:34 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:11 AM
Publication Management	Daniel, Martha	Approved	11/3/2022 - 8:15 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:39 AM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0086. 9208 Candle Light Court
Staff Report for the November 9, 2022, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Steve Garrow

Agent: Mr. Nathaniel Wiley, Blue Ridge Custom Homes, LLC

Location: 9208 Candle Light Court

Parcel Identification No.: 0330300051

Parcel: Lot 51, Phase 2, The Retreat

Lot Size: 3.39 acres

Area of Lot in Resource Protection Area (RPA): 2.85 acres (84%)

Watershed: Diascund Creek (JL27)

Floodplain: None

Proposed Activity: Construction of a single-family dwelling with an attached deck

Impervious Cover: 4,085 square feet

RPA Encroachment: 1,720 square feet, landward 50-foot RPA
2,365 square feet, seaward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Nathaniel Wiley, Blue Ridge Custom Homes, LLC, has applied for a Chesapeake Bay Exception on behalf of Mr. Steve Garrow for encroachments into the RPA buffer for the construction of a single-family dwelling with an attached deck located at 9208 Candle Light Court within The Retreat subdivision and the Diascund Creek watershed. The property is further identified as James City County Tax Map Parcel No. 0330300051. The parcel was platted in 2005 after the changes to the Chesapeake Bay Preservation Ordinance in 2004.

The total lot size of this property is 3.39 acres, of which 84% is located within the RPA. The applicant is proposing to construct a new single-family dwelling with an attached deck. Existing conditions on this parcel include a wooded lot and wetlands that span across the middle of the parcel. Total impacts to the RPA associated with this proposal equate to 1,720 square feet of impacts to the landward 50-foot RPA and 2,365 square feet of impacts to the seaward 50-foot RPA for a total amount of 4,085 square feet of impacts. Required mitigation for this amount of impervious impacts equals 10 planting units (10 canopy trees, 20 understory trees, and 30 shrubs).

Staff also reviewed an alternative site location across the ravine that would be an administrative review and approval for the driveway. This location would place the single-family dwelling entirely outside of the RPA, but total impacts would equate to approximately 9,500 square feet and a U.S. Army Corps of Engineers permit would be required for the stream and wetland impacts. Staff feels that the preferred alternative is justifiable due to the lesser amount of impacts to the RPA and wetlands.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling with an attached deck. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to 10 planting units to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$5,000 must be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and

5. A six-foot chain link fence must be installed at the limits of clearing to reduce impacts to the adjacent wetlands; and
6. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

TAL/md
CBPA22-86_9208CndLtCt

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0086. 9208 CANDLE LIGHT COURT

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Nathaniel Wiley, Blue Ridge Custom Homes, LLC, on behalf of Mr. Steve Garrow (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0330300051 and further identified as 9208 Candle Light Court, as set forth in the application CBPA-22-0086 for the purpose of construction of a single-family dwelling with an attached deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0086, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to 10 planting units to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$5,000 must be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
5. A six-foot chain link fence must be installed at the limits of clearing to reduce impacts to the adjacent wetlands; and
6. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

RESOLUTION

CASE NO. CBPA-22-0086. 9208 CANDLE LIGHT COURT

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Nathaniel Wiley, Blue Ridge Custom Homes, LLC, on behalf of Mr. Steve Garrow, has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0330300051 and further identified as 9208 Candle Light Court as set forth in the application CBPA-22-0086 for the purpose of construction of a single-family dwelling with an attached deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0086.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-86_9208CndLtCtDeny-res



Chesapeake Bay Board of James City County, Virginia

November 9, 2022

CBPA 22-0086

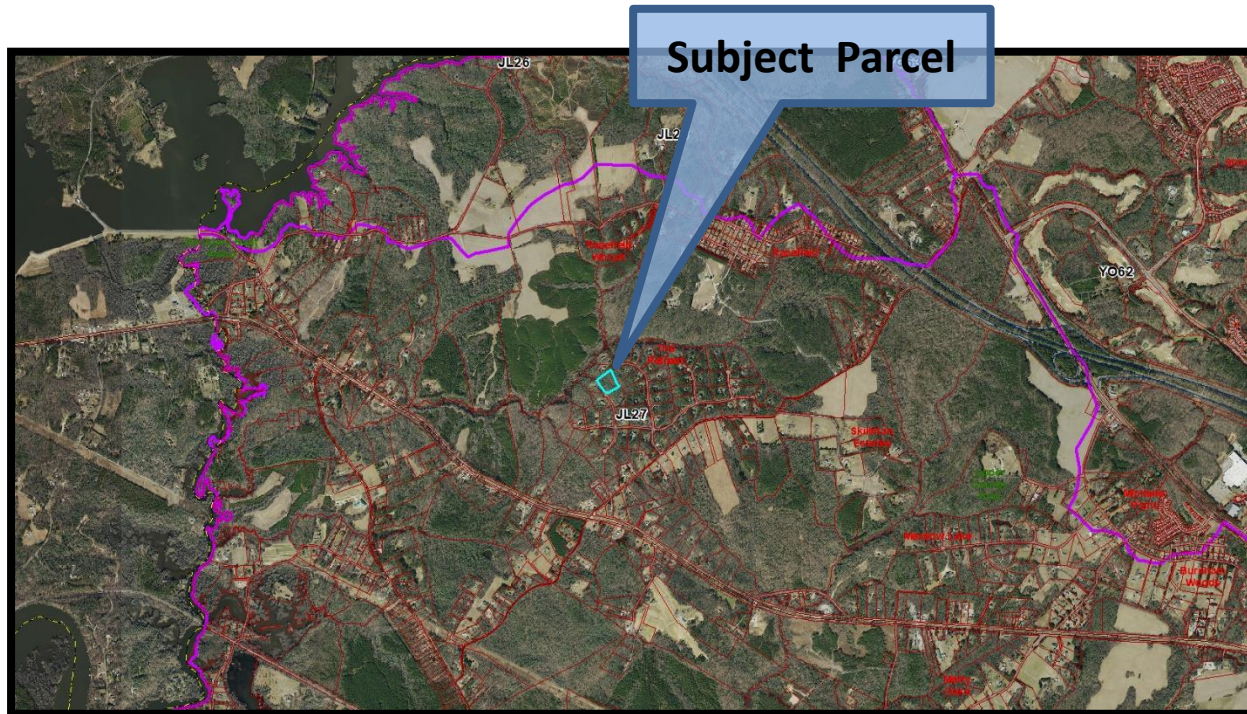
Steve Garrow

9208 Candle Light Court

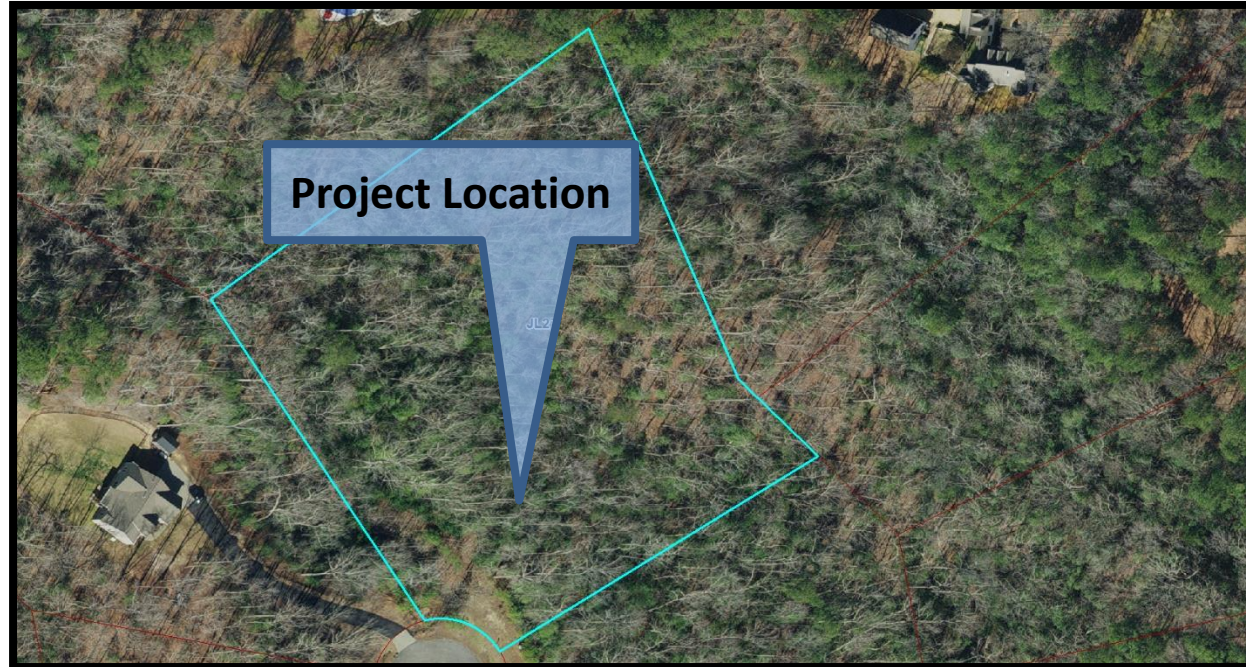


Applicant Request

- ✓ Construction of a single-family dwelling.



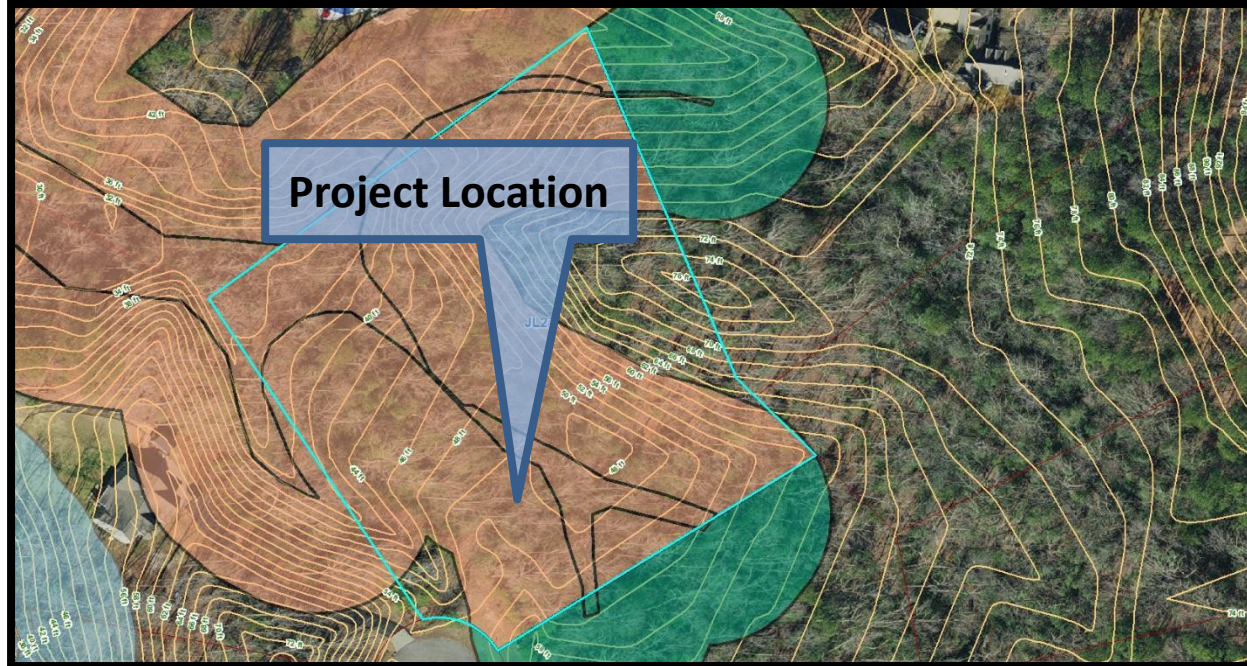
Vicinity Map
CBPA-22-0086
9208 Candle Light Court



Aerial Photograph
CBPA-22-0086
9208 Candle Light Court



Topography
CBPA-22-0086
9208 Candle Light Court



Resource Protection Area
CBPA-22-0086
9208 Candle Light Court

Site Plan showing proposed improvements, submitted October 3, 2022. For representative use only for presentation of case #CBPA-22-0086.

Edge of wetlands

Proposed Single-family dwelling and driveway within landward 50-foot RPA

Proposed Single-family dwelling and driveway within seaward 50-foot RPA

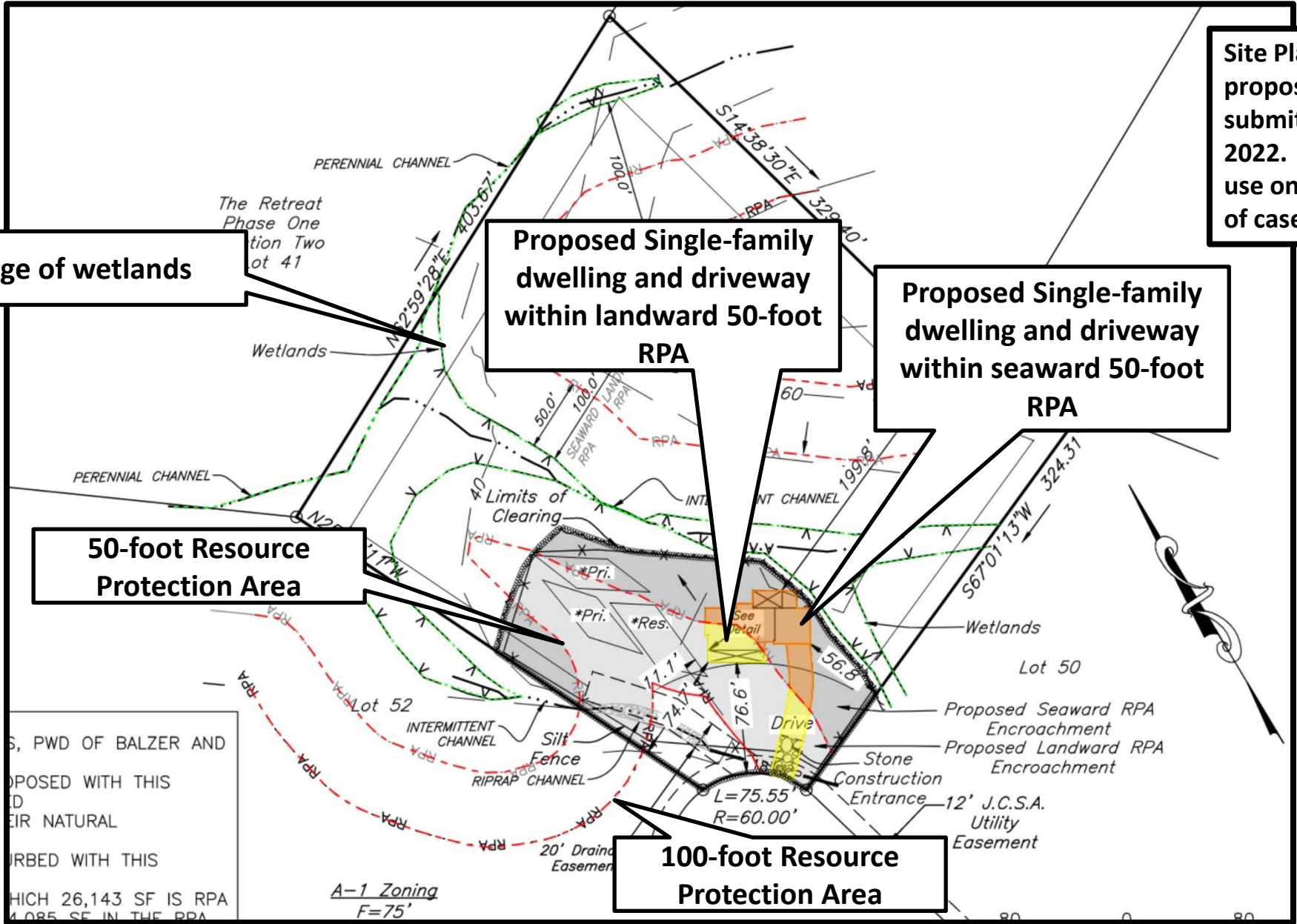
50-foot Resource Protection Area

100-foot Resource Protection Area

S, PWD OF BALZER AND
PROPOSED WITH THIS
D
EIR NATURAL
URBED WITH THIS
HIGH 26,143 SF IS RPA
4,085 SF IN THE RPA

A-1 Zoning
F=75'

Site Plan - CBPA-22-0086
9208 Candle Light Court



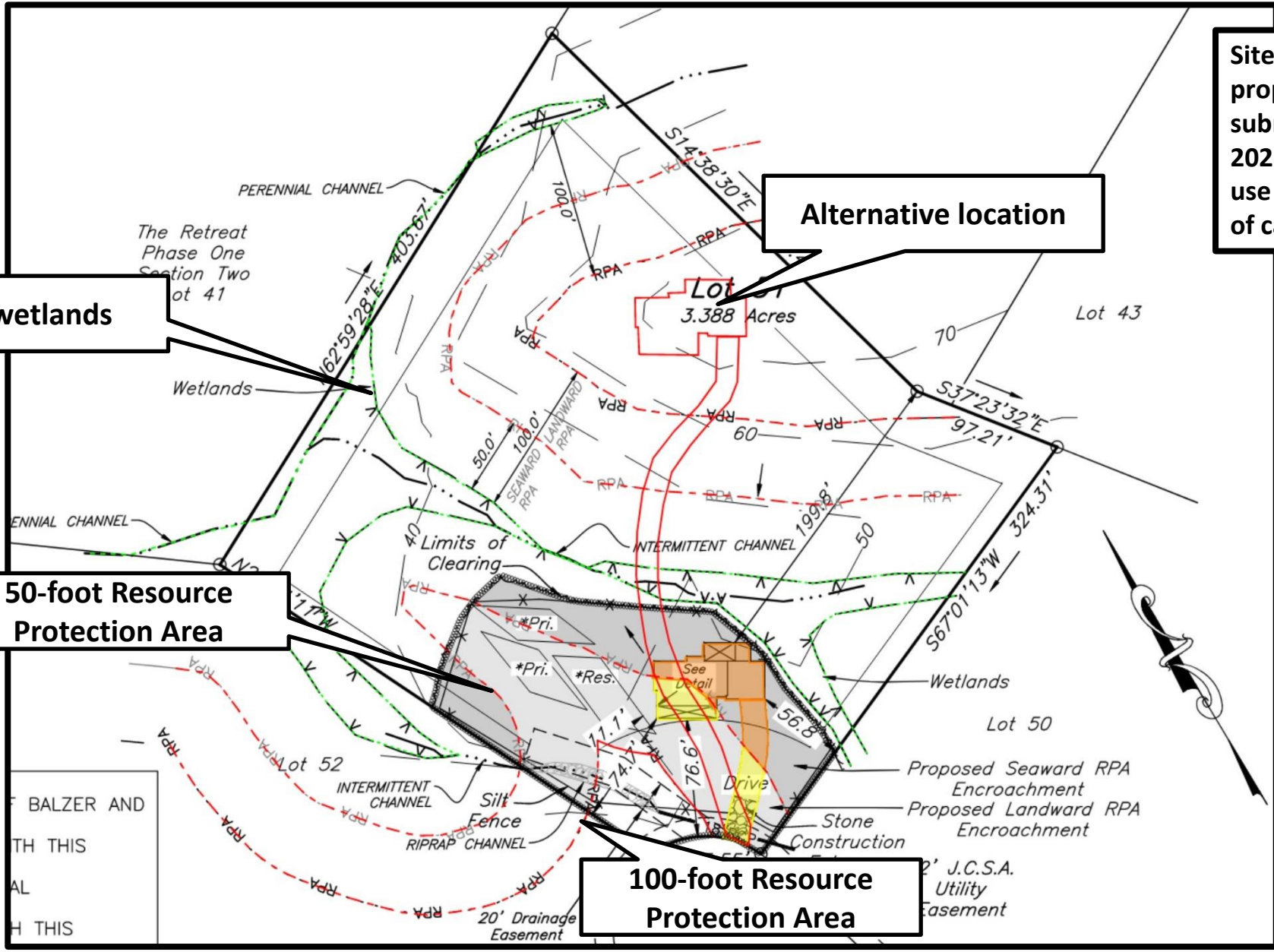
Site Plan showing proposed improvements, submitted October 3, 2022. For representative use only for presentation of case #CBPA-22-0086.

Edge of wetlands

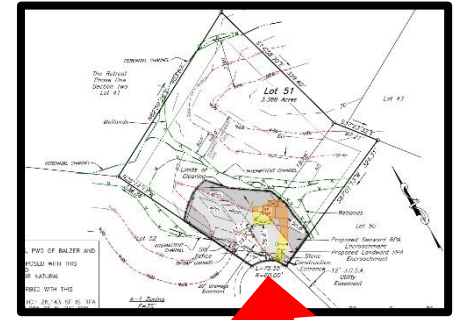
50-foot Resource Protection Area

100-foot Resource Protection Area

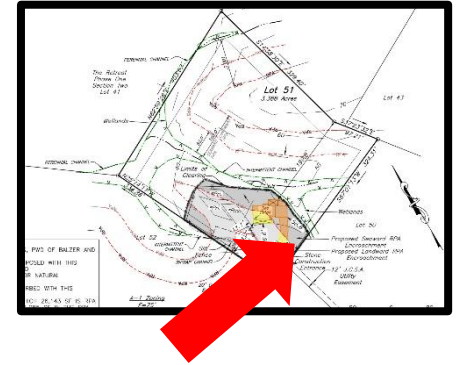
Alternative location



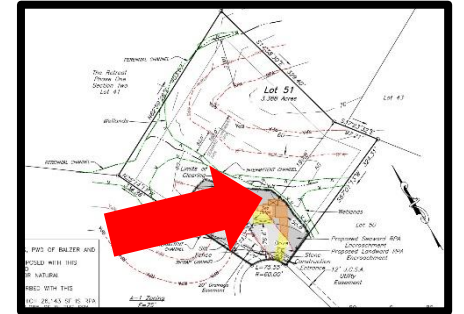
Alternative Site Plan - CBPA-22-0086
9208 Candle Light Court



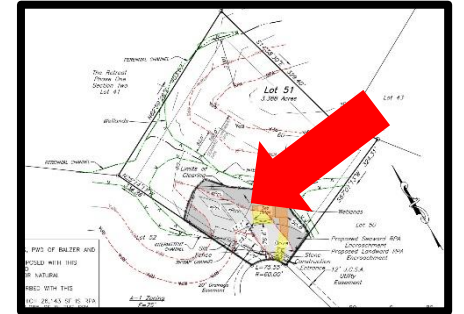
**Site Photograph #1 - CBPA-22-0086
9208 Candle Light Court**



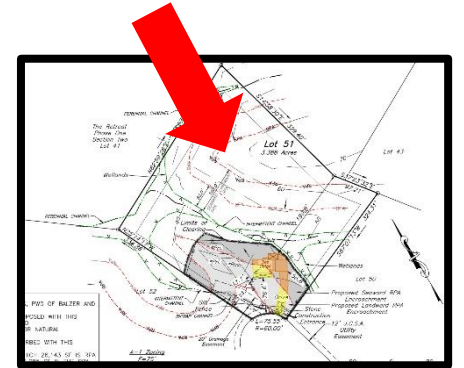
**Site Photograph #2 - CBPA-22-0086
9208 Candle Light Court**



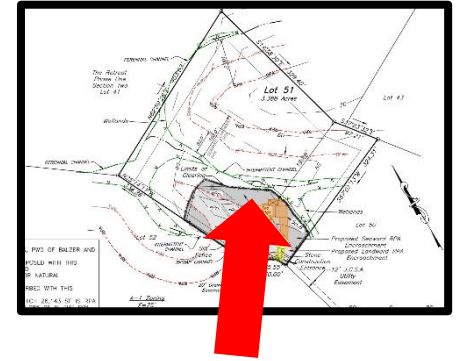
Site Photograph #3 - CBPA-22-0086
9208 Candle Light Court



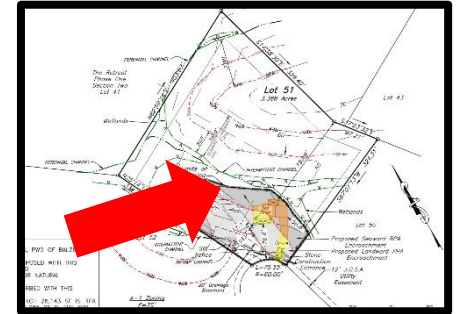
Site Photograph #4 - CBPA-22-0086
9208 Candle Light Court



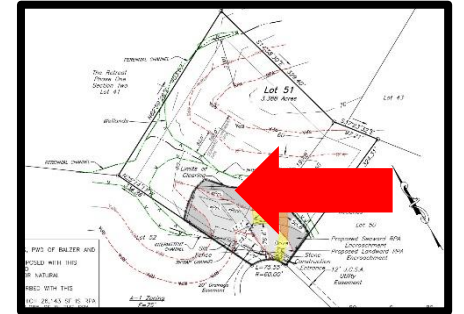
**Site Photograph #5 - CBPA-22-0086
9208 Candle Light Court**



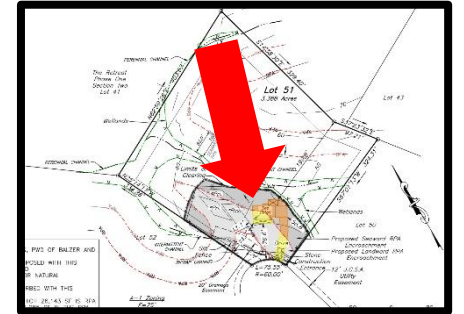
**Site Photograph #6 - CBPA-22-0086
9208 Candle Light Court**



**Site Photograph #7 - CBPA-22-0086
9208 Candle Light Court**



Site Photograph #8 - CBPA-22-0086
9208 Candle Light Court



Site Photograph #9 - CBPA-22-0086
9208 Candle Light Court

Considerations



The Board may grant exceptions to Section 23-7 if the applications meets the following five conditions:

- ✓ The exception request is the minimum necessary to afford relief; and
- ✓ Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
- ✓ The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
- ✓ The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
- ✓ Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

Permit Conditions

Staff Recommendation – Approval



- ✓ All other necessary local, state and federal permits
- ✓ A mitigation plan equating to 10 planting units
- ✓ A surety of \$5,000 to guarantee plantings
- ✓ An affidavit be recorded in the Williamsburg/James City County Courthouse
- ✓ A six-foot chain link fence be installed at the limits of clearing

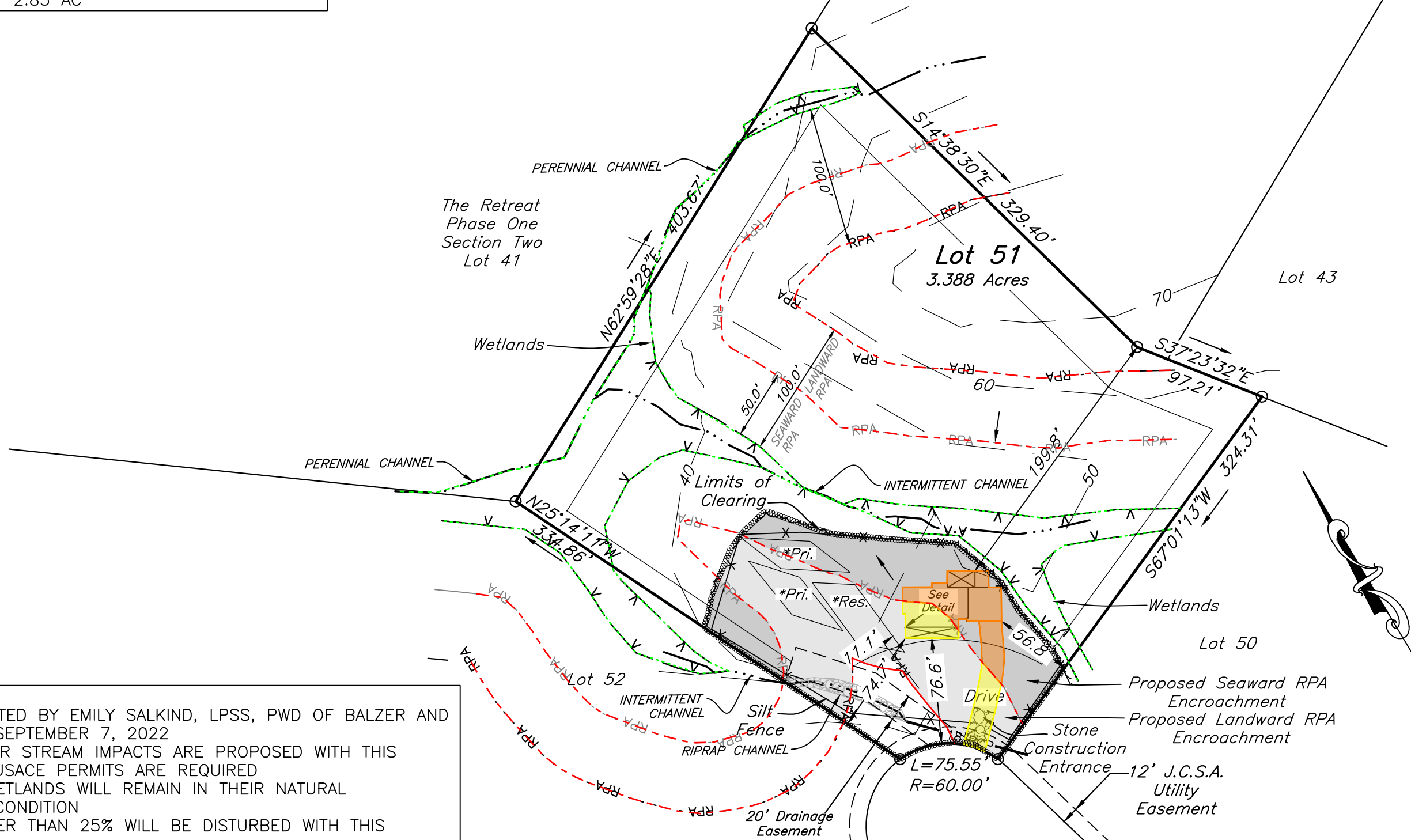
Permit Conditions continued



- ✓ This exception request approval shall become null and void if construction has not begun by November 9, 2023
- ✓ Written requests for extension submitted no later than September 28, 2023

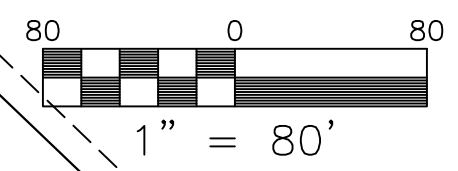
PROPERTY ADDRESS: 9208 CANDLE LIGHT COURT
 LEGAL DESCRIPTION: L-51, PH-2, THE RETREAT DEED 050022635-04
 APPLICANT/OWNER: GARROW, STEPHEN M & HOLLY L
 54 PALMER ST
 PLATTSBURGH, NY 21901-1546
 LEGAL ACREAGE: 3.39 AC
 RPA ACREAGE: 2.85 AC

Proposed RPA Encroachments (SF/Ac)		RPA						
		Site	Total	Landward	Seaward			
Clearing/LOD	29,392	0.67	26,143	0.60	14,207	0.33	11,936	0.27
Impervious Area	4,085	0.09	4,085	0.09	1,720	0.04	2,365	0.05



- NOTES:
- WETLANDS DELINEATED BY EMILY SALKIND, LPSS, PWD OF BALZER AND ASSOCIATES, INC. SEPTEMBER 7, 2022
 - NO WETLAND OR STREAM IMPACTS ARE PROPOSED WITH THIS PROJECT; NO USACE PERMITS ARE REQUIRED
 - UNIMPACTED WETLANDS WILL REMAIN IN THEIR NATURAL UNDISTURBED CONDITION
 - NO SLOPES GREATER THAN 25% WILL BE DISTURBED WITH THIS PROJECT
 - PROPOSED CLEARING TOTALS 29,392 SF, OF WHICH 26,143 SF IS RPA
 - PROPOSED IMPERVIOUS AREA NOT TO EXCEED 4,085 SF IN THE RPA
 - IMPERVIOUS AREA PROPOSED IS 2.7% OF PROPERTY
 - APPLICANT RESPONSIBLE FOR MAINTENANCE/REPAIR/REPLACEMENT OF VEGETATION PER CHAPTER 23 OF JAMES CITY COUNTY CODE OF ORDINANCES

A-1 Zoning
 F=75'
 S=15'
 R=35'
 CANDLE LIGHT COURT



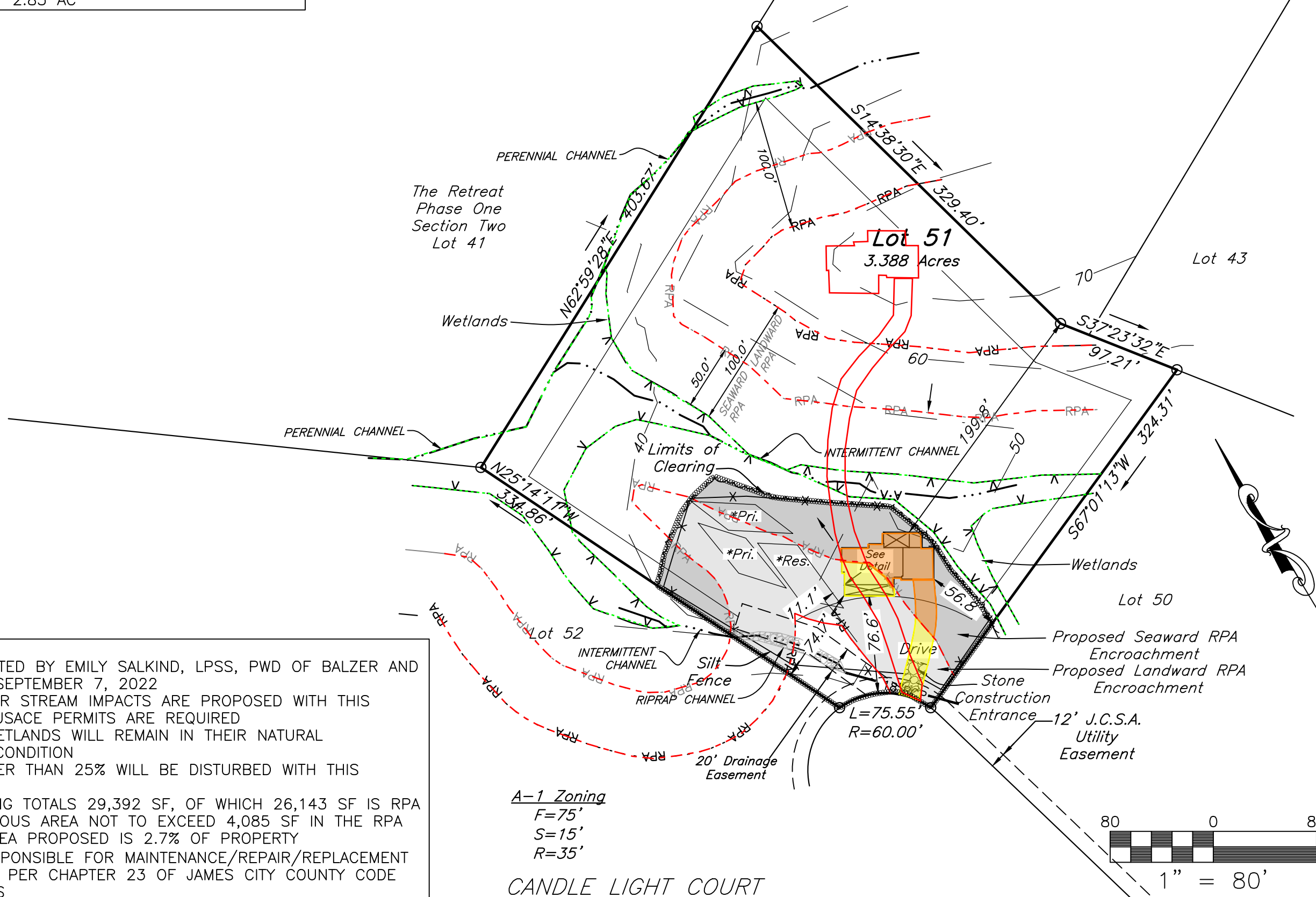
BALZER & ASSOCIATES
 PLANNERS / ARCHITECTS
 ENGINEERS / SURVEYORS
 Roanoke / Richmond
 New River Valley
 Shenandoah Valley
 www.balzer.cc
 15871 City View Drive
 Suite 200
 Midlothian, VA 23113
 804.794.0571

LOT 51 PHASE TWO
 THE RETREAT
 RPA ENCROACHMENT LAYOUT

DATE 9-28-2022
 SCALE 1" = 80'
 REVISIONS

PROPERTY ADDRESS: 9208 CANDLE LIGHT COURT
 LEGAL DESCRIPTION: L-51, PH-2, THE RETREAT DEED 050022635-04
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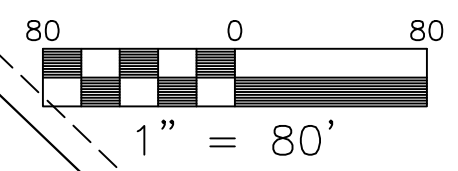
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CANDLE LIGHT COURT



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 PLANNERS / ARCHITECTS
 ENGINEERS / SURVEYORS
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 THE RETREAT
 RPA ENCROACHMENT LAYOUT

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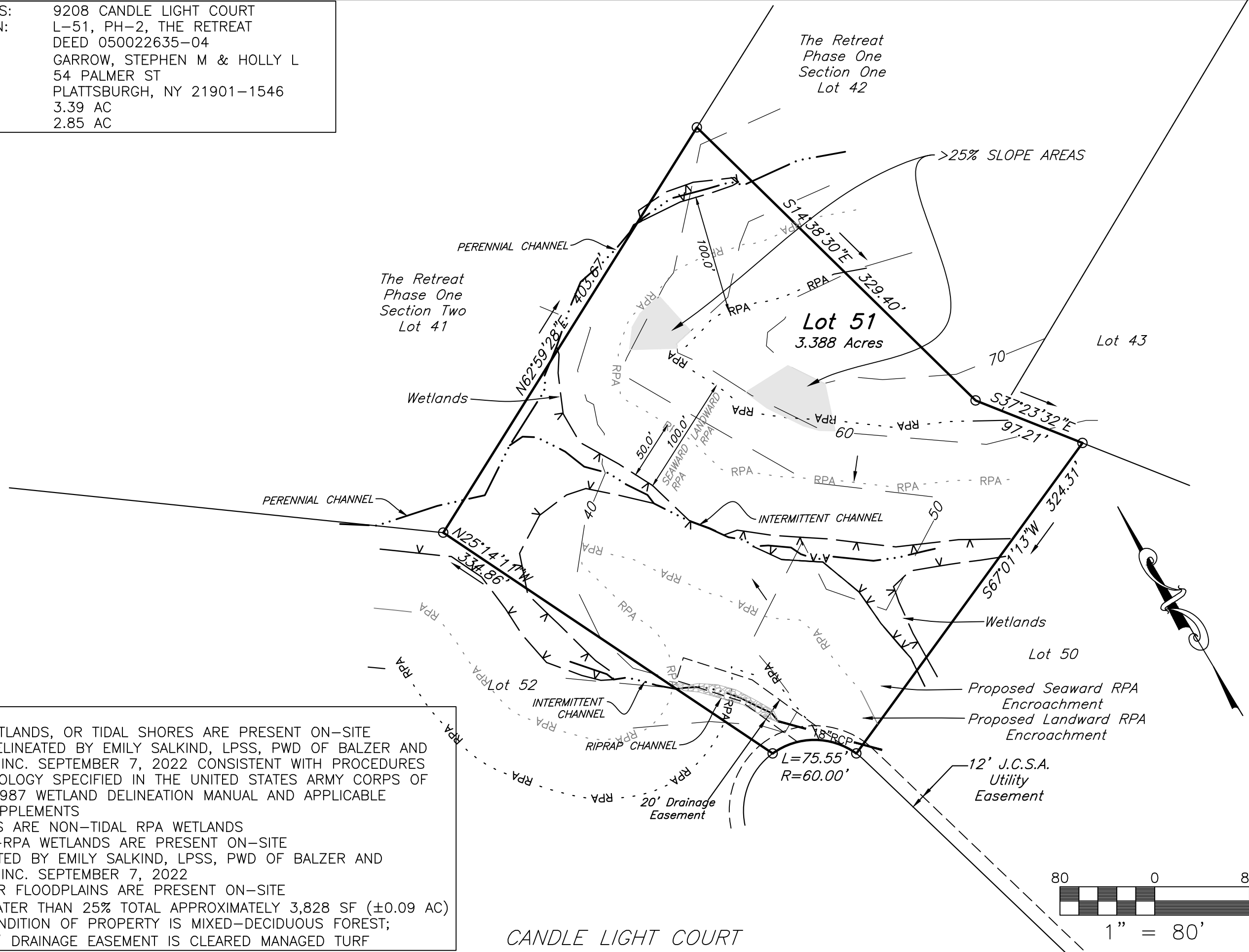


BALZER & ASSOCIATES
 PLANNERS / ARCHITECTS
 ENGINEERS / SURVEYORS

Roanoke / Richmond
 New River Valley
 Shenandoah Valley

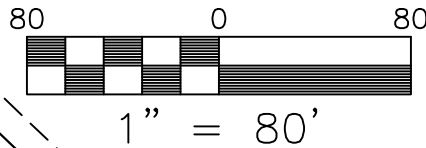
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15871 City View Drive
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- NOTES:
1. NO TIDAL WETLANDS, OR TIDAL SHORES ARE PRESENT ON-SITE
 2. WETLANDS DELINEATED BY EMILY SALKIND, LPSS, PWD OF BALZER AND ASSOCIATES, INC. SEPTEMBER 7, 2022 CONSISTENT WITH PROCEDURES AND METHODOLOGY SPECIFIED IN THE UNITED STATES ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL AND APPLICABLE REGIONAL SUPPLEMENTS
 - 2.1. WETLANDS ARE NON-TIDAL RPA WETLANDS
 - 2.2. NO NON-RPA WETLANDS ARE PRESENT ON-SITE
 3. RPA DELINEATED BY EMILY SALKIND, LPSS, PWD OF BALZER AND ASSOCIATES, INC. SEPTEMBER 7, 2022
 4. NO 100-YEAR FLOODPLAINS ARE PRESENT ON-SITE
 5. SLOPES GREATER THAN 25% TOTAL APPROXIMATELY 3,828 SF (±0.09 AC)
 6. CURRENT CONDITION OF PROPERTY IS MIXED-DECIDUOUS FOREST; DEPICTED 20' DRAINAGE EASEMENT IS CLEARED MANAGED TURF

CANDLE LIGHT COURT



LOT 51 PHASE TWO
 THE RETREAT
 ENVIRONMENTAL INVENTORY

9208 CANDLE LIGHT COURT
 JAMES CITY COUNTY

DATE 09/28/2022
 SCALE 1" = 80'
 REVISIONS



General Services
107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080
General.Services@jamescitycountyva.gov
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Solid Waste
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757-565-0971

BLAIR, EARL P TRUSTEE
9135 WHISPERING DR
TOANO, VA 23168-8934

RE: CBPA-22-0086
9208 CANDLE LIGHT COURT
New single family dwelling

October 17, 2022

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A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

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Chesapeake Bay Board Secretary
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GILLIAM, AMBER LEANE & BORDEN,
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TOANO, VA 23168-8940

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MORRIS, SHARON
9204 CANDLE LIGHT CT
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757-565-0971

Nathaniel Wiley, Blue Ridge Custom Homes
2958 River Rd
W Goochland, VA 23063

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TRAN, SANG TRUSTEE & LINDSEY TRUSTEE
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WHITNEY, BARBARA ANN
9139 WHISPERING DR
TOANO, VA 23168-8934

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PIN	Last Name	Address Line 1	City	State	Zip Code
0340600042	BLAIR, EARL P TRUSTEE	9135 WHISPERING DR	TOANO	VA	23168-8934
0330300051	GARROW, STEPHEN M & HOLLY L	54 PALMER ST	PLATTSBURGH	NY	12901-1546
0330300052	GILLIAM, AMBER LEANE & BORDEN,	9209 CANDLE LIGHT CT	TOANO	VA	23168-8940
0340600043	KAMINSKI, RALPH F & JANET D	9123 WHISPERING DR	TOANO	VA	23168-8934
0330300050	MORRIS, SHARON	9204 CANDLE LIGHT CT	TOANO	VA	23168-8940
	Nathaniel Wiley, Blue Ridge Custom Homes	2958 River Rd	W Goochland	VA	23063
0330300053	TRAN, SANG TRUSTEE & LINDSEY TRUSTEE	9205 CANDLE LIGHT CT	TOANO	VA	23168-8940
0340600041	WHITNEY, BARBARA ANN	9139 WHISPERING DR	TOANO	VA	23168-8934

More bird populations across US reach tipping point

Some of affected species may come as a surprise

By Everett Eaton
Staff Writer

More than half of bird populations are sharply declining across the United States, and dozens have been added as tipping point species — but species like swans and geese are doing fine.

Tipping point species are close to threatened or endangered status because they have lost half or more of their populations in the last 50 years. The State of the Birds Report, by the North American Bird Conservation Initiative, used five different sources of data, including the North American Breeding Bird Survey and the Audubon Christmas Bird Count.

Everyone needs to begin thinking about conserving common species before they become uncommon, said Nick Flanders, an officer at the Cape Henry Audubon Society, a local chapter of the National Audubon Society located in Norfolk. Part of this is looking at if they need a specific habitat to flourish and protecting that space because building populations back is more difficult than maintaining them.

"It is a little bit harder to get people excited about protecting a rare species of grass to help that habitat for a bird species," Flanders said. "So if you are interested in protecting that bird species people are interested in, that works a lot better."

Maintaining bird populations also helps preserve other plants and animal populations in the different ecosystems and keep those environments healthy. One way to do this is by protecting the other parts of the ecosystem, not just the birds.

Some of the birds on the list may come as a surprise. A trip to the beach comes with a myriad of sounds, including the relentless squawk of seagulls and their seemingly endless invasions to steal snacks from beachgoers.

The Heermann's gull, a species within the broader seagull group, has lost half its population over the last 50 years and is on track to lose another half of its remaining population over the coming 50 years.

Issues like habitat decline and an increasingly limited food supply from natural sources add to the dramatic population loss of the gulls. According to the report, more than 60% of seabird species were found to have eaten plastic, and 40% have been tangled up in the waste such as spent fishing nets.

Other seabirds, including two different kinds of albatross, petrels and the red-faced cormorant, made the tipping point list. The report also lists many wetland birds.



A great blue heron takes flight from a rock it was sharing with a great black-backed gull on a misty morning on Great Salt Bay in Newcastle, Maine. **ROBERT F. BUKATY/AP**

Flanders said factors like sea-level rise will create conservation challenges in helping the different species.

"The marsh only has a small threshold before flooding, and especially when there is a development behind it, like houses, the birds don't really have anywhere to go," Flanders said.

Species like the salt marsh sparrow that lay their eggs in the marshes are vulnerable and have lost about 9% of their population per year since the 1990s. The population could collapse in the next 50 years if nothing is done, according to the Atlantic Coast Joint Venture, a conservation organization. Frequent and more intense nest flooding due to sea level rise is currently the greatest threat to this species.

Although there are significant losses, it is not all doom-and-gloom.

The decline of Eastern forest birds has slowed over the last decade, according to

the report. The cerulean warbler and the wood thrush showed about a 60% decline since 1970, but their populations are not dwindling as fast. The wood thrush population even recently saw a slight increase of a little over a half percent.

The Appalachian Mountains Joint Venture, a partnership of over 50 federal, state and nonprofit organizations, has made large contributions in habitat restoration. In 2020, AMJV restored more than 8,700 acres of habitat on private land between West Virginia, Maryland and Pennsylvania. Some of the largest population increases came from these improved areas.

Some of the forested species listed in the report appear to be doing well in Hampton Roads, such as the prairie warbler, Flanders said. The Great Dismal Swamp, among other preserves, is a haven for the warblers, and they are common during the breeding season — which is why Flanders

was initially surprised upon reading their name on the list.

"But, if you think about the areas away from these protected areas, with the development and loss of forested area, some of these declines do make more sense," he said.

Waterfowl like geese, which are seeing record high populations, have adapted from habitat loss and began to use areas like farmland to live.

There have also been local and federal conservation efforts to protect waterfowl populations. The North American Wetlands Conservation Act and U.S. Farm Bill conservation programs are two examples that provide incentives for farmers to improve habitats, like wetlands, on their property.

Everett Eaton, 262-902-7896,
everett.eaton@virginiamedia.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, NOVEMBER 9, 2022 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-22-0023: Daniel Winal, Waters Edge Construction, has applied for a wetlands permit on behalf of Mark Gillespie for the installation of a riprap revetment on property located at 7624 Uncles Neck, JCC Parcel No. 2030200031.

WJPA-22-0021: Karla Havens, Mid-Atlantic Resource Consulting, has applied for a wetlands permit on behalf of Larry & Carla Evans for the installation of two breakwaters and beach nourishment on property located at 1485 John Tyler Hwy, JCC Parcel No. 3430300003.

WJPA-22-0024: Mo Bloxom, Southern Landscaping LLC, has applied for a wetlands permit on behalf of Taylor & Colleen McMurdo for the installation of a stone revetment on property located at 124 Four Mile Tree, JCC Parcel No. 1640500010.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 3303000051.

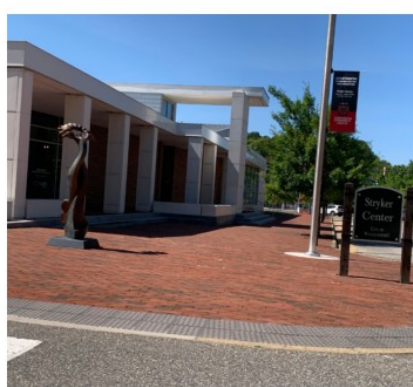
CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durleys Mill Road, JCC Parcel No. 4741000008.

CBPA-22-0141: Charlie Hippie, has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hippie for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 9401000003.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.



The Stryker Center in Williamsburg. **KIM O'BRIEN ROOT/STAFF**

Commission gives OK to subdivision request at Quarterpath Development

By Sian Wilkerson
Staff Writer

WILLIAMSBURG — The Williamsburg Planning Commission voted to approve a request to subdivide an 86-acre parcel along Battery Boulevard for the Quarterpath at Williamsburg Development.

Quarterpath, which has been in development for nearly two decades, is a large, mixed-use development project at the intersection of Route 199 and Route 60. In 2004, Riverside acquired 380 acres of land for a site for a new hospital, which opened in 2013.

The property owner is subdividing the 86 acres into seven lots to sell to developers to complete an approved master plan that includes multifamily residentials, townhomes, retail and medical-related office buildings to create a medical campus.

Calling the application "straightforward," the commission approved it unanimously.

In other business, the commission voted

to approve a request to amend the zoning ordinance to allow a family entertainment center on Richmond Road in the Corridor Business District.

The request included the adaptive reuse and conversion of the 65,000-square-foot single use building that formerly housed the Yankee Candle store on 2200 Richmond Road. The center will include arcades, billiards, bowling and more.

One resident, Todd Krause, expressed concern that an entertainment center might cause prohibitive noise.

"I'm a little worried about the impact that this is going to have for me and my neighbors," said Krause, who lives in the neighborhood behind the property.

The commission cited the city's noise ordinance that already exists, which would keep the new center within allowable noise levels.

Sian Wilkerson, sian.wilkerson@pilotonline.com, 757-342-6616

ITEM SUMMARY

DATE: 11/9/2022

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0135 : 134 Swinley Forest

CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

ATTACHMENTS:

	Description	Type
☐	Memorandum	Backup Material
☐	Deferral Request	Backup Material
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	Project Description	Backup Material
☐	Soil Tests	Backup Material
☐	Drainage Pattern	Backup Material
☐	Doctors Note	Backup Material
☐	Doctors Note	Backup Material
☐	Doctors Note	Backup Material
☐	Doctors Note	Backup Material
☐	Doctors Note	Backup Material
☐	Doctors Note	Backup Material
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:33 AM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:33 AM
Publication Management	Pobiak, Amanda	Approved	11/3/2022 - 8:52 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:40 AM

MEMORANDUM

DATE: November 9, 2022

TO: The Chesapeake Bay Board

FROM: Robin Benedict, Watershed Planner

SUBJECT: Chesapeake Bay Exception No. CBPA-22-0135. 134 Swinley Forest

Mr. Matthew Roth, Roth Environmental, LLC, has requested a deferral of this application for exception to the Chesapeake Bay Preservation Ordinance while the site plan is finalized for the project. Staff concurs with this request. As this case has been public noticed, staff recommends that the public hearing be opened and stay open until the December meeting, at which time the case will be heard.

Trevor Long

From: Matthew Roth <rothenv@cox.net>
Sent: Wednesday, November 2, 2022 9:07 AM
To: Trevor Long
Cc: Michael Woolson; Alan Hochberg; Brian Parsons; Chase Grogg
Subject: [External]134 Swinley Forest - CBPA Submission - Deferral Request

Trevor,

Per our conversation, we are requesting a deferral of the Chesapeake Bay Board Hearing on the subject site until the December hearing.

Mr. Hochberg is working with the design team to reduce the footprint of the house. In the coming weeks, we anticipate having a new site plan. I'll coordinate with you as we work through the new design.

Thank you for your time in discussing the project.

Matt

Matthew Roth, P.W.S.

ROTH ENVIRONMENTAL, LLC

700 Prescott Circle

Newport News, VA 23602

Phone: (757) 814-1048

Email: rothenv@cox.net

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0135. 134 Swinley Forest
Staff Report for the November 9, 2022, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Allan Hochberg

Agent: Mr. Matthew Roth, Roth Environmental, LLC

Location: 134 Swinley Forest

Parcel Identification No.: 3130400072

Parcel: Lot 72 Section 3 Ford's Colony

Lot Size: 0.40 acres

Area of Lot in Resource Protection Area (RPA): 0.40 acres (100%)

Watershed: Powhatan Creek (JL31)

Floodplain: None

Proposed Activity: Construction of a single-family dwelling

Impervious Cover: 4,883 square feet

RPA Encroachment: 0 square feet, landward 50-foot RPA
3,593 square feet, seaward 50-foot RPA
1,290 square feet, wetlands impact - impervious
2,999 square feet, wetlands impact - disturbed area

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Mr. Allan Hochberg for encroachments into the RPA buffer for the construction of a single-family dwelling located at 134 Swinley Forest within the Ford's Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3130400072. The parcel was platted in 1986, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.40 acres, of which 100% is located within the RPA. Existing conditions of the property includes sloping topography from the front of the property to the back and approximately 0.15 acres of wetlands which encompasses 38% of the lot. These wetlands extend up the length of the property and are connected to the edge of the pond which is located to the rear of the property. Because of the extent of these wetlands on the lot, the entirety of this property falls within the seaward 50-foot RPA. The applicant is proposing to construct a single-family dwelling with a screened porch on the property. Due to the constraints of the existing wetlands on the lot, the applicant has proposed to impact approximately

1,290 square feet of wetlands and approximately 3,593 square feet of the seaward 50-foot RPA. A Nationwide Permit 18 is required from the United States (U.S.) Army Corps of Engineers for the proposed wetlands impacts and will be required prior to the issuance of a building permit.

Required mitigation for this amount of impervious impacts in the RPA buffer equals 12 planting units (12 canopy trees, 24 understory trees, and 36 shrubs). At this time, no infiltration or on-lot Best Management Practice has been proposed due to poorly drained soils. However, runoff from the development will either drain into a drainage easement and flow directly into the stormwater management pond located to the north of the property or flow into the wetlands that are on the property and subsequently drain into the stormwater management pond.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends denial of the application. It has not been shown to be the minimum necessary to afford relief. However, should the Board approve the application, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project, including a U.S. Army Corps of Engineers permit; and
2. That an affidavit be recorded in the Williamsburg/James City County Courthouse; and
3. That a six-foot high chain link fence be installed adjacent to the unimpacted wetlands; and
4. The submittal and approval of a mitigation plan equating to 12 planting units be submitted to the Stormwater and Resource Protection Division prior to issuance of a building permit; and

5. A surety of \$6,000 must be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
6. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and
7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

TAL/md
CBPA22-135_134SwnlyFor

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0135. 134 SWINLEY FOREST

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Matthew Roth, Roth Environmental, LLC, on behalf of Mr. Allan Hochberg (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3130400072, and further identified as 134 Swinley Forest, as set forth in the application CBPA-22-0135 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0135, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project, including a United States Army Corps of Engineers permit; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse; and
3. A six-foot high chain link fence must be installed adjacent to the unimpacted wetlands; and
4. The submittal and approval of a mitigation plan equating to 12 planting units must be submitted to the Stormwater and Resource Protection Division prior to the issuance of a building permit; and
5. A surety of \$6,000 must be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
6. This exception request approval will become null and void if construction has not begun by November 9, 2023; and
7. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

RESOLUTION

CASE NO. CBPA-22-0135. 134 SWINLEY FOREST

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Matthew Roth, Roth Environmental, LLC, on behalf of Mr. Allan Hochberg, has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3130400072, and further identified as 134 Swinley Forest, as set forth in the application CBPA-22-0135 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0135.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-135_134SwnlyForDeny-res

GENERAL NOTES

1. THIS PLAN WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN P.B. 42, PG. 2-13.
2. ELEVATION SHOWN HEREON ARE IN FEET AND ARE GPS DERIVED (NAVD88).
3. WETLANDS SHOWN WERE FIELD DELINEATED BY ROTH ENVIRONMENTAL AND LOCATED BY THIS FIRM.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES. PARCEL LIES IN F.I.R.M. ZONE "X" ACCORDING TO COMMUNITY PANEL #5109500116d, DATED DECEMBER 16, 2015.
5. LOT SERVED BY PUBLIC WATER AND SEWER.
6. CONTRACTOR TO GRADE SITE TO ENSURE STORMWATER RUNOFF IS DIRECTED AWAY FROM DWELLING FOUNDATION.
7. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY.
8. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION AFTER EXCAVATION.
9. ALL DIMENSIONS SHOWN HEREON ARE TO THE FRAMELINE OF THE BUILDING.
10. BENCHMARK ELEVATION OF 38.58' ASSUMED AT EDGE OF PAVEMENT.
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ORANGE SAFETY FENCE AROUND LIMITS OF CONSTRUCTION.
12. PROPOSED RESIDENCE SHOWN BASED OFF OF PLANS PROVIDED BY CLIENT DATED 8/12/2022 & AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK 1992 THIRD EDITION. THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.

BUILDING INFORMATION

PROPOSED BUILDING IS A 1-STORY BRICK PROPOSED GARAGE IS COURTYARD LOADING

SITE INFORMATION

LOT NUMBER 72, PHASE 3,
Ford's Colony

TOTAL AREA: 17,379 S.F. / 0.3990 AC.
IMPERVIOUS AREA WITHIN 50' RPA: 3,593 S.F. / 0.082 AC.
IMPERVIOUS AREA WITHIN WETLANDS: 1,290 S.F. / 0.030 AC.
DISTURBED AREA: 10,077 S.F. / 0.231 AC.
DISTURBED AREA OF WETLANDS: 2,999 S.F. / .0688 AC.
PARCEL ID: 3130400072

ZONING DISTRICT: R4 Residential Planned Community
PROPERTY IS LOCATED IN AN RMA & RPA
EXISTING SITE IS WOODED AS SHOWN

BUILDING SETBACK (SBL)

FRONT: 30'
REAR: 38'
SIDE: 10'

EXISTING ADDRESS:

134 SWINLEY FOREST
JAMES CITY COUNTY, VIRGINIA

SURVEYORS CERTIFICATION

THIS DRAWING REPRESENTS AN ACTUAL FIELD SURVEY. ALL THE INFORMATION SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. LANDTECH RESOURCES, INC. HAS BEEN RETAINED AND PAID TO STAKE, AS A MINIMUM, THE BUILDING ENVELOPE & ANY DETACHED ACCESSORY STRUCTURE.

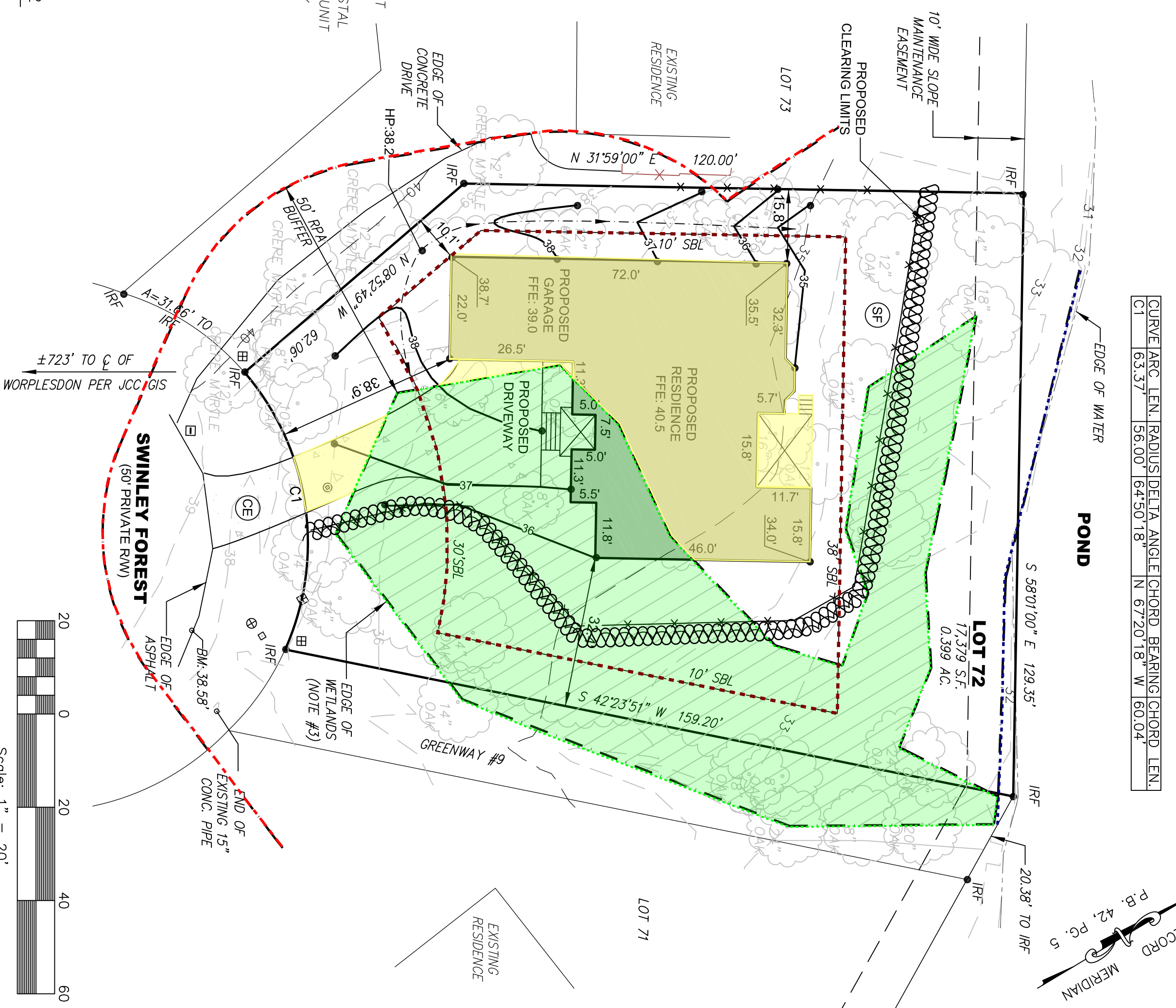
MATTHEW H. CONNOLLY, L.S. 9/28/2022
DATE



DATE: 9/28/2022
DRAWN BY: AEQ
PROJECT No. 22-237
FILE NAME: 22-237.DWG
REFERENCES:
P.B. 42, PG. 2-13

PRELIMINARY PLOT PLAN OF
LOT 72, SECTION III
FORDS COLONY
FOR
KAR-SAN BUILDERS
JAMES CITY COUNTY
VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
1	10/10/2022	REVISED IMPERVIOUS CALCULATION



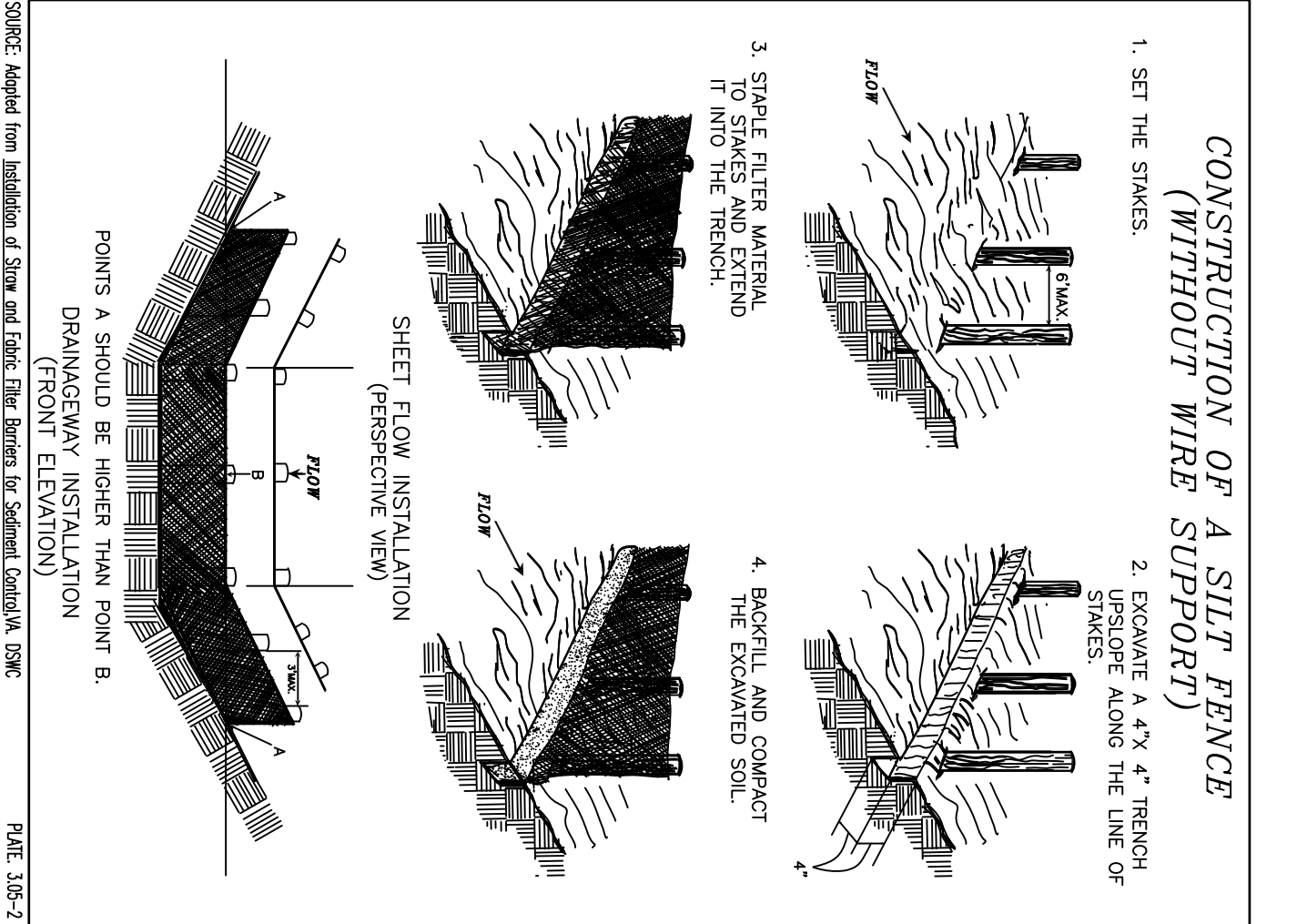
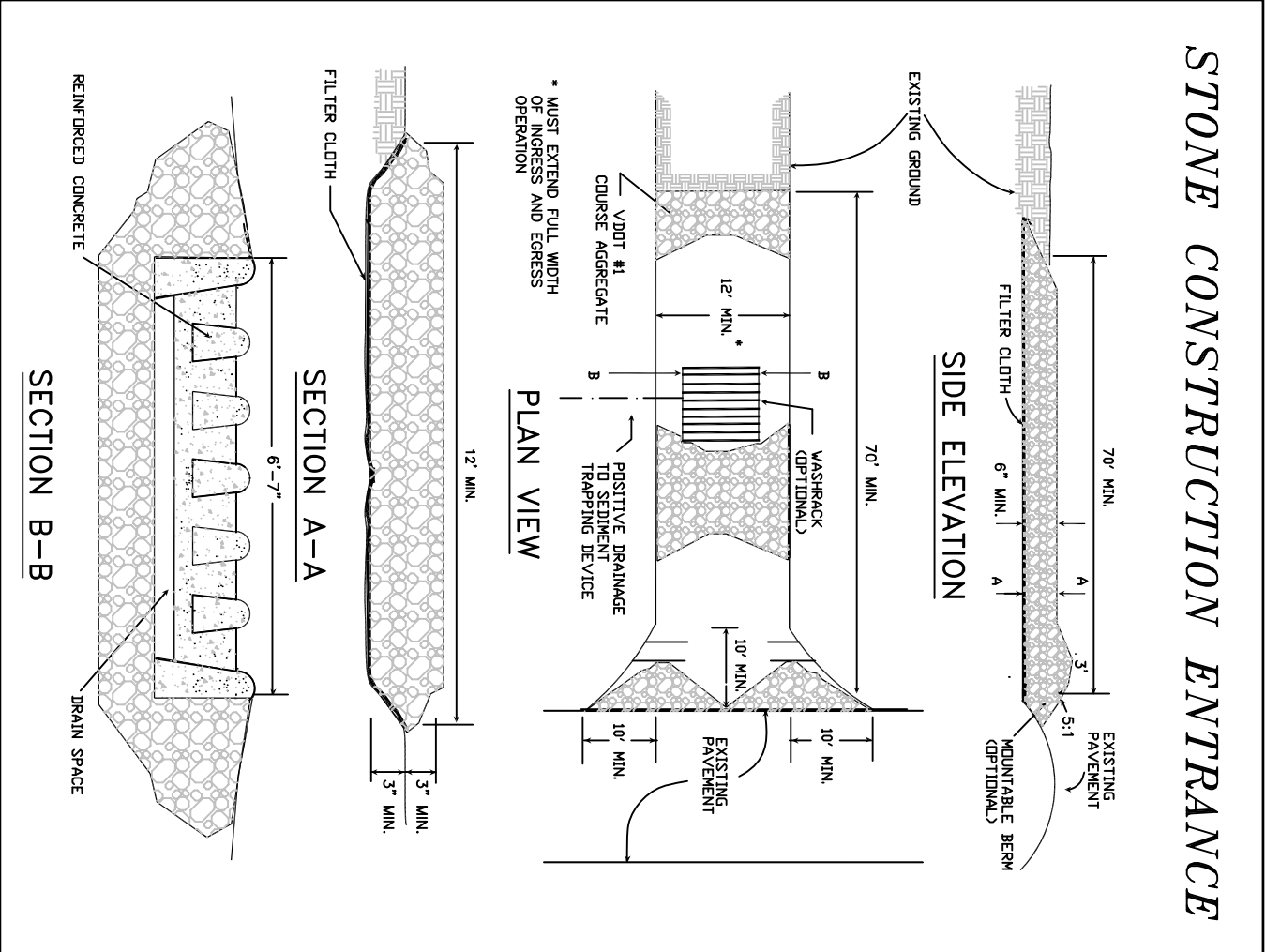
DRAINAGE CONTROL/IMPROVEMENTS SHALL BE INSTALLED IMMEDIATELY AFTER CLEARING SUCH THAT NO DISTURBED AREA DRAINAGE FLOWS ONTO ADJACENT PROPERTIES. ()

BEFORE CLEARING MARK TREES TO BE PRESERVED WITH PLASTIC TAPE TO BE REVIEWED AND APPROVED WITH THE ARC INSPECTOR. ()

CURVE/LARC LEN, RADIUS/DELTA ANGLE/CHORD BEARING/CHORD LEN,
C1 63.37 56.00 64.50 18° N 67.20 18° W 60.04

CURB & GUTTER SECTIONS WILL REQUIRE (2) SCHEDULE 40-4" CONDUITS PLACED 3' BELOW GRADE, OR AS LOW AS POSSIBLE TO NOT CONFLICT WITH OTHER UTILITIES, DIRECTLY BEHIND THE CURB FOR FUTURE WIRES. SECTIONS: 3B, 8A, 8B, 10, 12, 13A, 13B, 14A, 14B, 15, 17, 18, 30, 31 & 32

DATE: _____ SIGNED: _____





ROTH ENVIRONMENTAL, LLC

134 SWINLEY FOREST
FORD'S COLONY
HOCHBURG FAMILY RESIDENCE
WATER QUALITY IMPACT ASSESSMENT
AND
MITIGATION PLAN
SEPTEMBER 27, 2022

The property located at 134 Swinley Forest is situated in the central section of the Ford's Colony subdivision. The 0.4-acre wooded lot is located at the northern end of Swinley Forest. As an "infill lot", it is completely surrounded by development with a stormwater management pond along its northern edge.

General Project Information

The topography on the lot is at its highest on the southern portion of the property adjacent to the road. In this area the property is at elevation 37'. The property slopes from southwest to northeast. A Ford's Colony greenway/drainage easement extends along the eastern edge of the property. The property and this drainage easement slope to the stormwater management pond (wet pond – JCC BMP #PC147) that is located to the north of the site.

Project Plan

The proposed plan on the site is to develop a one-story single-family home. This house will have a two-car garage, a screened porch, and a driveway. The proposed house has been placed on the lot to take advantage of the upland knoll on the western and western-central portions of the site. This location yields the least amount of impacts to the wetlands.

In an effort to minimize the wetland impacts on the property, the design of the house shifted the garage and the deepest portion of the structure to the west (to the upland areas). The driveway has been shifted to the west which also reduces the impacts to the wetlands.

A screened porch is proposed along the rear of the house. The porch was designed to blend into the house and not extend farther to the north toward the wetlands.

Drainage around the house will flow in two directions. On the eastern side of the development, stormwater will flow into the wetlands. Any runoff will enter the drainage easement and flow to the stormwater management pond to the north.

On the western side of the house, a proposed swale will direct runoff to the wetland area beyond the clearing limit. Once in the wetland, stormwater will flow to the northeast to the stormwater management pond. Following construction, the wetland areas will not lose hydrology.

Wetlands and RPA Features

Roth Environmental performed a wetland delineation on the site. Fieldwork for the wetland delineation was performed using the *Routine Determination Method outlined in the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (TR-10-30)*. This manual uses three parameters (vegetation, soils, and hydrology) in determining and delineating wetlands. The limits of the wetlands and Waters of the U.S. were delineated in the field using numbered pink and black flagging. The wetland delineation confirmation submission package and permit application for wetland impacts has been submitted to the U.S. Army Corps of Engineers.

Nontidal wetlands are found on the central and eastern portions of the property. All of the wetlands have been survey located and are shown on the attached site plan. The uplands on the property are situated along the western edge of the site and on a small knoll in the central portion of the property. The applicants have worked with their design team in order to rotate the house and reduce the footprint of the structure in order to minimize the proposed impacts to the wetlands and RPA buffers.

The wetlands on the site are connected and contiguous to downstream perennial features. A break in this system was not found during Roth Environmental's delineation of the wetlands. Pursuant to the DCR guidance document, "Resource Protection Areas: Nontidal Wetlands" revised dated December 10, 2007, nontidal wetlands that are connected and contiguous to downstream perennial streams are RPA features. Roth Environmental coordinated with the James City County Engineering and Resource Protection Division and confirmed this assessment.

A site plan is attached to this submission package. This plan shows the locations of the nontidal wetlands and the limits of the 50-foot RPA buffer. The development on the site is either within the RPA feature (nontidal wetland) or the seaward 50-foot portion of the RPA buffer. No development can occur on the site without impacts to these features.

For this reason, the site cannot be developed without permits from the James City County CBPA Board and the Corps of Engineers. A Preconstruction Notification has been submitted to the Corps of Engineers for the wetland permit (Nationwide Permit 18). This permit will be provided to the Watershed Planner upon receipt.

The proposed plan for the development on the lot includes the construction of a house, driveway, and screened porch. All of these features will encroach into the RPA feature or RPA buffer. As with many of the other lots in Ford's Colony, development of the site cannot be accomplished without encroachment into nontidal wetlands and the RPA buffer.

Development Alternatives

The location of the proposed house on this lot is dictated by the upland knoll in the central-western portions of the lot. The design team worked on several designs of the proposed house in order to reduce the wetland impacts.

Originally, the house was designed with the garage on the right side of the structure. As this expanded the wetland impacts, the applicant approved flipping the house so that the deepest portion of the house remained in uplands.

Shifting the house forward to the front building setback was also explored. In moving the house to the front building setback, it must shift south and east to follow the building setback limit. When shifting the house to the east, the structure extends farther into the wetland area causing greater impacts.

The grading/clearing limits are shown inside the silt fence. This area has been limited to the area around the eastern and rear portions of the house to a specified width to allow for equipment access only. The remainder of the clearing is the minimum to allow for equipment access, for the drainage swale on the western portion of the site, and for the driveway access.

House Design Discussion

Roth Environmental has worked with the Hochbergs in attempting to reduce the footprint of the house as much as possible. As previously discussed, they are proposing a single-story home. The reason for this is that Mr. Hochberg has had knee surgery and continues to have osteoarthritis in his knees. His doctor stated that a single-story home would be medically necessary.

Additionally, Mrs. Hochberg has a lower back condition that can be especially painful at times. Her doctor recommends that she live in a single-story home.

The Hochbergs have provided letters from their doctors that are attached to this submission.

Impervious Encroachment in the RPA Buffer

Based on the site plans, the impervious area is divided as follows:

Impervious area in the wetlands – 1,290 square feet

Impervious area in the RPA buffer – 3,593 square feet

Total Impervious Area within the RPA Feature and Buffer – 4,883 square feet

As a comparison to other nearby single-family development in Ford's Colony, the proposed impervious area on the subject site is smaller than the impervious areas within the RPA buffers and/or wetlands on the adjacent lots.

- 132 Swinley Forest – 7,607 sf in the RPA buffer.
- 133 Swinley Forest – 5,557 sf in the RPA buffer.

The impervious area of the subject site is significantly less than these properties that are in a similar landscape position and adjacent to the stormwater management pond.

Infiltration/BMP Assessment

As part of the project design, the engineer was asked if a bioretention area or infiltration basin could be installed and function properly. A soils report that was prepared by ECS in order to determine if the soils were adequate for infiltration. The soil type on the property is poorly drained Johnston complex soils. These soils are known to have a high groundwater table.

Johnston complex soils are listed as A/D soils. This means that the soils are good to build on, but are saturated for a good portion of the year (which is why the wetlands are found here). The geologist that sampled the soils noted that the soils were moist to the surface.

The ECS report states that groundwater was encountered in their hand auger holes. The engineer has advised that designing a BMP in an area with moist soils and/or high groundwater would not be recommended as the available void-space in the gravel or underdrain would be filled with groundwater for the majority of the year.

Additionally, the engineer stated that the site also lacks enough topography to outfall an underdrain from an onsite bioretention area. The underdrain outfall pipe is needed in order to allow flow to escape the BMP during times of high flow.

These site characteristics are negative for the development of an onsite bioretention or infiltration BMP. The engineer determined that a BMP was not practicable to install and be functional.

Fortunately for stormwater treatment, this site drains into an existing stormwater management pond. Any stormwater that originates from the site will flow through a series of three functioning, maintained stormwater management ponds prior to discharge to the headwaters of Powhatan Creek.

Mitigation

The goal of the mitigation plan is to protect the environmental resources downstream. The greatest potential for degradation of the downstream resources caused by the proposed plan is nonpoint source pollution.

Mitigation for the impervious surface created by the proposed plan will include three elements. These are mitigative plantings, the purchase of mitigation units in the JCC Mitigation Fund, and enrollment in the "Turf Love" program. By incorporating all of these elements into the site plan, the applicant has provided the maximum removal of potential nonpoint source pollutants associated with the project. Additionally, stormwater that does discharge from the site will flow into the stormwater management pond located to the north of the project area.

Water that enters this stormwater system, travels through three stormwater ponds prior to being discharged into the headwaters of Powhatan Creek. As a result, downstream wetlands and waters will not be adversely impacted by the project.

Table 1: Nonpoint source pollutants identified in the Chesapeake Bay Preservation Act, their potential to affect the downstream resources, and the mitigation proposed to offset these potential impacts are shown in the table below.

Pollutant	Main Potential to Affect Downstream Resources	Measures to Control Pollutants
Sediment	Moderate during construction, high flows of stormwater during and after construction, and if area around the house is left unvegetated/unstabilized	During construction – DEQ approved erosion and sediment controls. Following construction – permanent seeding, mitigation plantings, mulching, and gravel under decking
Nutrients	Moderate as part of lawn care	Enrollment in the Turf Love Program will reduce over-application of fertilizers and pesticides. Mitigative plantings will use available nutrients.
Bacteria	No significant sources of bacteria	N/A
Viruses	No significant sources of viruses	N/A
Oxygen Depletion	Minimal – This could potentially be caused downstream by very high application of fertilizers	Enrollment in the Turf Love Program will reduce over-application of fertilizers and pesticides.
Hydrocarbons	Minimal - Potentially caused by leaks from construction equipment during land disturbing activities	Standard DEQ pollution prevention controls will be utilized during heavy equipment use on-site. This includes a spill prevention kit on-site during land disturbing activities
Toxic Metals	None – no toxic metals are anticipated to be used on the site	N/A
Toxic Chemicals	None – no toxic chemicals are anticipated to be used on the site	N/A
Chlorides/Chlorinated Water	Low – No pools proposed, exceptionally low potential from lawn watering	N/A

Increases in Water Temperature	Low/Moderate from rooftop	Any runoff from the house/driveway area will first flow through the forested wetlands that will remain on the site. Any runoff that flows off the site will enter the stormwater pond. This pond accepts runoff from the surrounding golf course and adjacent properties. This intermixing of runoff will reduce any higher temperature water that could exit the site. Mitigative plantings will also provide shade that reduces potential thermal pollution in runoff.
--------------------------------	---------------------------	--

Mitigative Plantings

The proposed impervious area on the site is 4,883 square feet. the total number of mitigative plantings required for the project is twelve. As recommended in the Riparian Buffer Restoration Guide, mitigation on the site will consist of planting of one canopy tree, two understory trees, and three shrubs for every 400 square feet of impervious area added to a site.

The remaining area within the clearing limits once the house is constructed is relatively small. Therefore, the mitigation proposed is modified to six units of mitigative plantings with mulch beds and the purchase of six units from the JCC Mitigation Fund. This will prevent overcrowding of plantings. The mitigation plantings are depicted on the landscape plan.

All plantings will be located within the RPA buffer (and feature) as shown on the landscape plan. This will include plantings around the foundation of the house and along the edges of the clearing limits. We specifically added the plants around the clearing limits so that they will have a greater opportunity to absorb nutrients, stabilize the soils, and prevent erosion.

Mitigative plantings have also been incorporated into the wetlands on-site. The wetland area to the east and southeast of the proposed house contains only canopy and herbaceous species. Increasing the density of the plantings in the understory and shrub layers will increase the wetland’s ability to absorb nutrients, toxicants, and reduce sediments. It will also aid in stabilizing the soils in the drainage feature. The vegetation will also aid in the reduction of thermal pollution of the stormwater runoff by creating shaded areas.

The added vegetation will also aid in treating stormwater that flows into the wetland from Swinley Forest. The stormwater will now have the opportunity to drain through this area with enhanced vegetation that will stabilize the soils and provide additional nutrient uptake.

For the mitigation species, canopy trees will be a minimum of 1.5” caliper or six feet tall. Understory trees will be a minimum of 0.75” caliper or five feet tall. Shrubs will be a minimum of 3 gallons in size or 18” tall. The goal of the landscape plan is to achieve a minimum of 75% native species planted for the mitigation effort. The remainder of the species may be non-native ornamental species. It is recommended that all plantings be installed in the fall or early winter.

Native trees and shrubs will be selected from the Native Plant List found on the James City County website.

The landscape plan included with the submission package shows the location of these plantings. Should specified native species not be available from local nursery stock at the time of planting, the applicant will coordinate with the CBPA Staff Liaison, Trevor Long, prior to purchase of the plant materials for approval of alternate native species.

As part of the typical CBPA encroachment requirements, the applicant will post a surety for the proposed plantings. This surety will be determined by county staff and be returned to the applicant once the mitigative plantings are installed and the county verifies their installation. Additionally, the applicant will enter into the standard county agreement to maintain the mitigative plantings.

Turf Love Program

With the use of turf grass in the site design, the applicants will enroll in the “Turf Love” program administered by the Virginia Cooperative Extension for all areas within the buffer that are proposed for turf grass. As part of this program, a cooperative extension agent will perform an on-site lawn/site analysis and will teach the residents how to produce healthy turf while reducing the use of fertilizers, pesticides, and insecticides.

Stormwater Management Ponds

Runoff from this portion of Ford’s Colony drains into a BMP system that includes several ponds that flow in series to the headwaters of Powhatan Creek. For runoff that originates at 134 Swinley Forest, stormwater will flow through BMP Numbers PC147, PC146, and PC084. All of the ponds are being maintained and function as designed to remove sediments and nutrients. A diagram of the three stormwater ponds and the flow from the site is included with this submission.



ECS Mid-Atlantic, LLC
 1643-A Merrimac Trail
 Williamsburg, VA 23185
 Phone: (757) 229-6677
 Fax: (757) 229-9978

SHRINK-SWELL SOIL INVESTIGATION

ECS CLIENT: Ann Oropeza
 145 Riviera
 Williamsburg, Virginia 23188

DATE: February 2, 2018

PROJECT NAME: 134 Swinley Forest Shrink-Swell

ECS PROJECT #: 07:14138

PROJECT ID: ADDRESS: 134 SWINLEY FOREST
 COUNTY, STATE: JAMES CITY, VIRGINIA

PROPOSED CONSTRUCTION: One to two-story addition to be supported over a crawl space or slab-on-grade. Foundation loading not expected to exceed 2 kips per linear foot for walls or 10 kips for columns.

SITE CHARACTERISTICS: **BASED ON SITE VISIT BY:** M. Lewis **ON:** 2/1/2018
 (Topography / Existing Development / Vegetation / Drainage / Etc.)

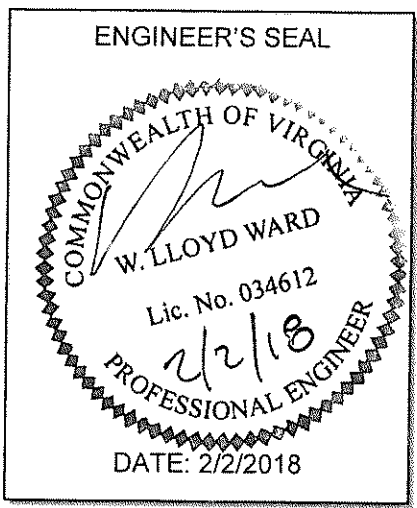
At the time of our site exploration, the site was observed to be sparsely wooded and relatively flat.

SUBSURFACE CONDITIONS: [BASED ON HAND AUGER BORINGS]

- **Fill Encountered:** Yes No **Groundwater Encountered:** Yes No
- **USCS-USDA Soil Series:** JOHSTON COMPLEX **Shrink Swell Potential:** LOW

FOUNDATION RECOMMENDATIONS: [See Attachment "Additional Design and Construction Notes"]

- Bearing Capacity ----- 2,000 psf
- Minimum Footing Width ----- 18 inches
- Minimum Footing Embedment Depth ----- 18 inches
- Minimum Footing Thickness ----- 10 inches
- Steel Reinforcement ----- Two No 4 bars continuous throughout.



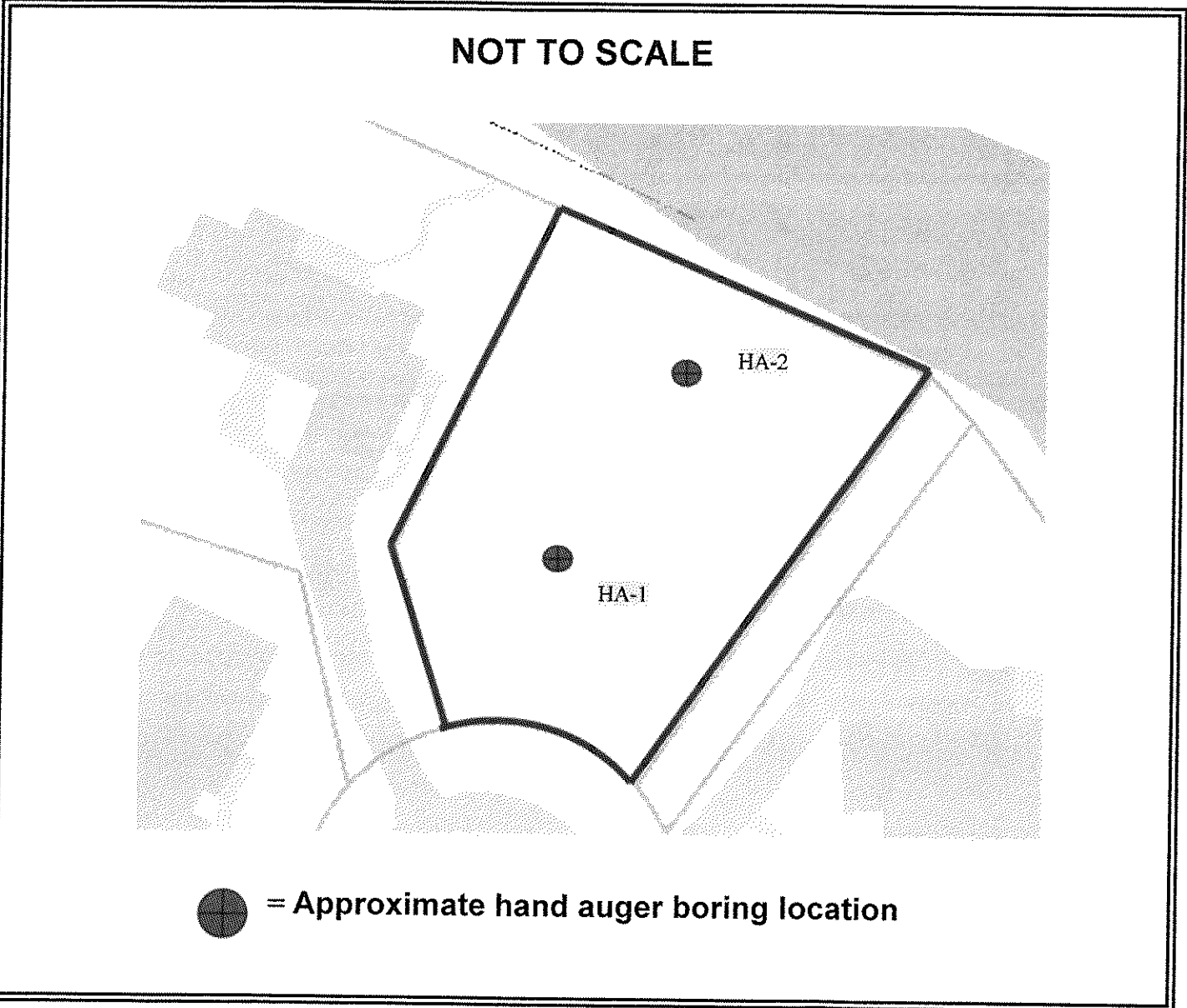
Additional Notes- Footings should be extended through all FILL soils (if encountered) to suitable, firm natural soils.



HAND AUGER BORING LOCATION DIAGRAM

ECS PROJECT #: 07:14138

ADDRESS: 134 SWINLEY FOREST
COUNTY, STATE: JAMES CITY, VIRGINIA



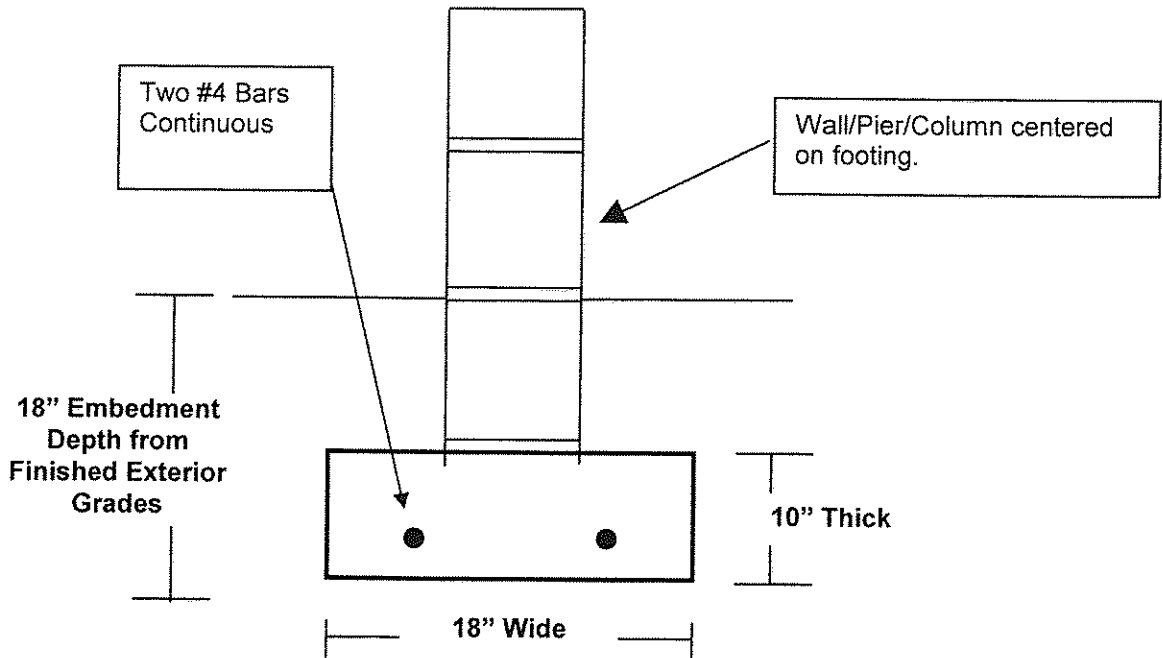


FOOTING DESIGN DETAIL

ECS PROJECT #: 07:14138

ADDRESS: 134 SWINLEY FOREST
COUNTY, STATE: JAMES CITY, VIRGINIA

NOT TO SCALE

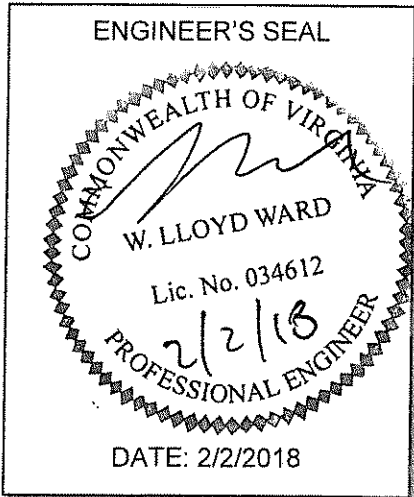


NOTES:

DETAIL SHOWS TYPICAL WALL FOOTING CROSS SECTION WITH THE MINIMUM RECOMMENDED DIMENSIONS. TWO CONTINUOUS #4 REINFORCING BARS SHALL BE PROVIDED THROUGHOUT ALL WALL FOOTINGS. IF FOOTING WIDTH IS EXTENDED TO 24 INCHES, THREE CONTINUOUS #4 REINFORCING BARS SHALL BE PROVIDED THROUGHOUT ALL WALL FOOTINGS. ISOLATED COLUMN OR PIER FOOTINGS SHOULD BE A MINIMUM 30 INCHES WIDE WITH #4 REBAR AT 12 INCHES ON-CENTER EACH DIRECTION (MINIMUM 3 EACH WAY).

ALL REINFORCING STEEL SHALL BE SECURED IN PLACE AND LAPPED A MINIMUM OF 20-INCHES WHERE SPLICED. PROVIDE A MINIMUM OF 3-INCHES OF CLEARANCE FROM THE SIDES AND BOTTOM OF THE EXCAVATION.

FOOTINGS SHOULD BE EXTENDED THROUGH ALL FILL SOILS (IF ENCOUNTERED) TO SUITABLE FIRM NATURAL SOILS.





HAND AUGER BORING LOGS

ECS PROJECT #: 07:14138

ADDRESS: 134 SWINLEY FOREST
COUNTY, STATE: JAMES CITY, VIRGINIA

DEPTH (inches)	LOCATION: HA-1
	DESCRIPTION OF MATERIALS
0-72	Fine to Medium Clayey SAND (SC), Grey mottled Tan, Moist
	END OF BORING AT 72 INCHES

DEPTH (inches)	LOCATION: HA-2
	DESCRIPTION OF MATERIALS
0-24	Fine to Medium Silty SAND(SM), Grey mottled Tan, Moist
24-72	Fine to Medium Clayey SAND (SC), Grey mottled Tan, Moist
	Groundwater encountered at 4.5 feet
	END OF BORING AT 72 INCHES

**Note: Soils were classified in general accordance with ASTM D-2488
(Description and Identification of Soils - Visual/Manual Procedures)**

ATTACHMENT FOR ADDITIONAL DESIGN AND CONSTRUCTION NOTES [ECS SHRINK-SWELL SOIL INVESTIGATION]

EXPLORATION PROCEDURES

This exploration was accomplished by performing shallow hand auger borings within the approximate limits of the proposed building construction. Visual classification was performed, and available Soil Survey data from the Soil Conservation Service publications was reviewed.

The soil deposits encountered in the borings were classified in the field in general accordance with ASTM D-2488 (Description and Identification of Soils - Visual/Manual Procedures). Representative samples of soils encountered were collected from the borings and returned to our Williamsburg laboratory for moisture content, sieve analyses, and Atterberg Limits (plasticity) testing, as appropriate.

FOUNDATION DESIGN

Footings have been designed in accordance with Section 1808, Foundations, of the 2012 IBC. Additionally, the net allowable soil pressure referenced in the cover report is based on our experience with soils in the project area as well as the "Presumptive Bearing Values of Foundation Materials" as outlined in Table 1806.2 of the 2012 International Building Code. Therefore, it is considered essential that all footing excavations and subgrade areas be observed for conformance with the Virginia Uniform Statewide Building Code and to assure that the recommendations made herein are consistent with the conditions encountered during construction.

The minimum recommended foundation excavation and footing embedment depths are based on laboratory test results, field observations, and anticipated shrink-swell conditions. These depths may be increased at the time of construction if uncontrolled fill, unsuitable soils or unidentified moderate or high potential shrink-swell soils are encountered. If shrink-swell soils are present, it is recommended that the minimum foundation excavation and footing embedment depth be increased to effectively penetrate the zone of seasonal moisture change and break the continuity between the soils exterior of the home and those below the first level floor (slab-on-grade or crawl space). This depth should be specified by the geotechnical engineer. In this regard, the minimum depth is intended to minimize soil activity (shrink-swell) as a result of extreme moisture fluctuations and will also satisfy frost protection and bearing capacity considerations. Footings should be lowered and stepped as necessary to maintain minimum excavation and embedment depths and achieve stable bearing. Footings located on/or near slopes will need to be stepped as necessary to maintain the required embedment depth and to prevent foundation failure due to soil creep.

Additionally, based on the IRC 2012, Section R404.1.3, "concrete or masonry foundation walls shall be designed in accordance with accepted engineering practice when either of the following conditions exists: (1) Walls are subject to hydrostatic pressure from groundwater or (2) Walls supporting more than 48 inches of unbalanced backfill that do not have permanent lateral support at the top or bottom." Based on the proposed construction (or our assumptions), neither condition exists and therefore the foundation walls do not need to be designed.

CONSTRUCTION CONSIDERATIONS

In general, all footing excavations should extend through all uncontrolled fill, soft or otherwise unsuitable material so as to expose firm, natural soils. Where soft or unsuitable materials are encountered below the minimum excavation depths, they should be removed. Footings may be placed at this undercut elevation or bottom of footing grades may be raised, as directed by the geotechnical engineer, to the minimum footing embedment depth by backfilling with #57 stone or flowable fill, except as noted. Flowable fill must have a minimum 28 day compressive strength of 200 psi. All footing excavations must be in conformance with the Virginia Uniform Statewide Building Code prior to placement of flowable fill, and/or concrete to ascertain that firm bearing soils have been exposed.

If perched groundwater is encountered during foundation excavation, sumps should be excavated perpendicular to the proposed foundation wall such that water drains from the foundation into the lowest point of the excavation. Water can then be discharged outside the construction limits with the use of submersible pumps. To help drain wet conditions (if appropriate); the main interior pier line could be supported by a strip footing poured monolithically with the exterior wall footing.

Care should be exercised to prevent water from ponding above or within the bearing soils. A slight swale should be constructed uphill of the homesite (if appropriate) to intercept surface runoff and divert it away from the foundations. Any natural drainage should be diverted away from the foundations. The final site grading for the lot should allow for strong positive drainage away from the foundation. We recommend a fall of at least 6 inches be provided for the first 10 feet outward from the foundation walls. For lots with moderate to high shrink-swell potential, gutters are recommended. We recommend gutter effluent be discharged at a point at least 5 feet outward from the foundation walls.

LIMITATIONS

It should be noted that this study was limited in scope to two (2) hand auger borings and classification type laboratory testing only. The borings were generally extended to a maximum depth of 72 inches or hand auger refusal. The recommendations contained herein were based on the data obtained from the hand auger borings, which indicate subsurface conditions at these specific locations at the time of the exploration. Soil conditions may vary between borings. Subsurface conditions below the depths explored, which could affect building foundations and settlements were not investigated.

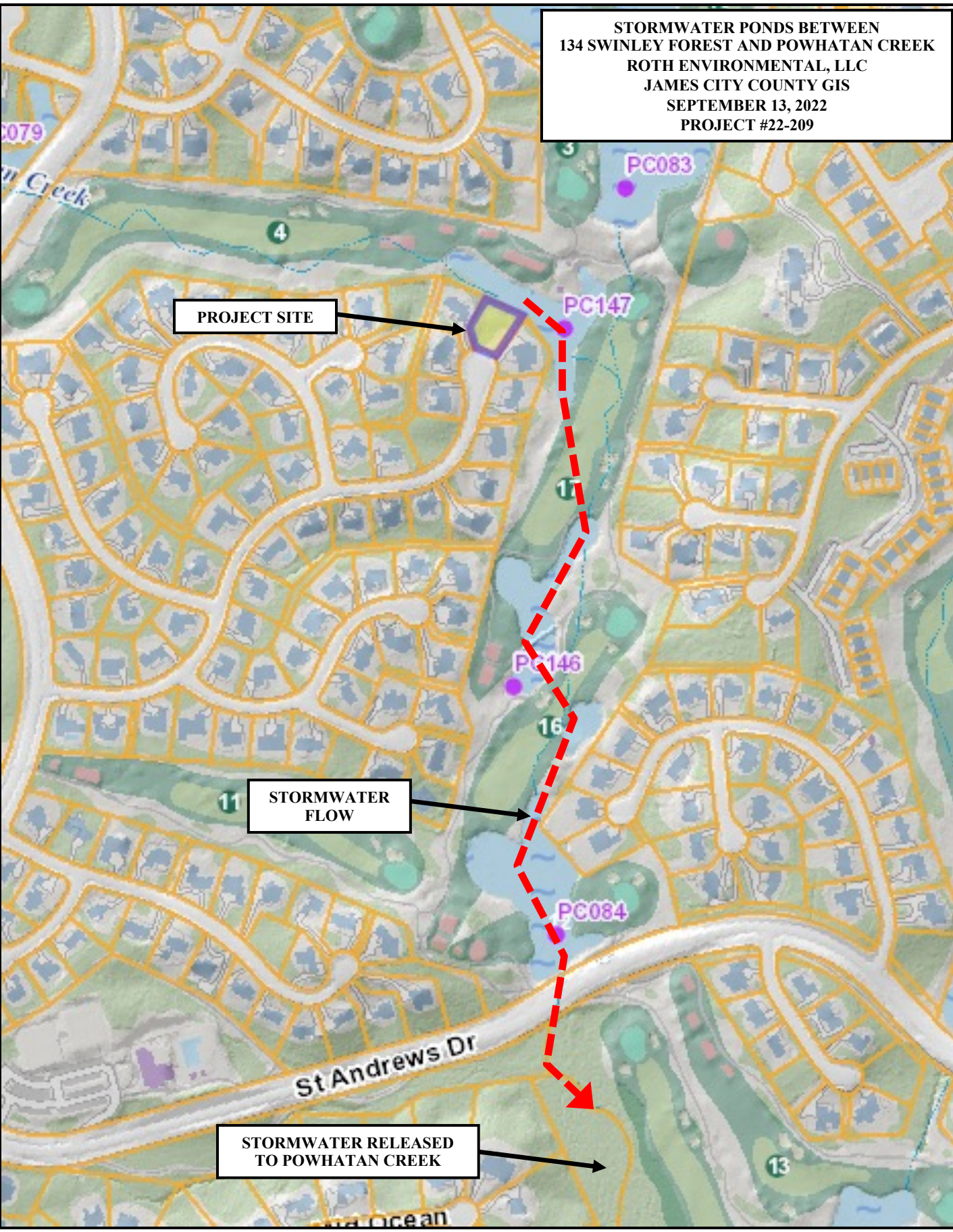
Furthermore, it is sometimes difficult to characterize soil content and consistency using hand auger borings alone. Therefore, as a critical part of a complete soil evaluation, all footing excavations should be observed for conformance with the Virginia Uniform Statewide Building Code and to ascertain that soil conditions encountered by our exploration are consistent with conditions encountered during construction. If the soil conditions encountered during construction are consistent with those as included herein, no additional studies should be necessary. However, if during the course of construction variations appear evident, the geotechnical engineer should be informed so that the conditions can be addressed.

STORMWATER PONDS BETWEEN
134 SWINLEY FOREST AND POWHATAN CREEK
ROTH ENVIRONMENTAL, LLC
JAMES CITY COUNTY GIS
SEPTEMBER 13, 2022
PROJECT #22-209

PROJECT SITE

STORMWATER FLOW

STORMWATER RELEASED TO POWHATAN CREEK



Subject: Hochberg House - 134 Swinley Forest
Date: Thursday, September 1, 2022 at 7:05:44 PM Eastern Daylight Time
From: Alan Hochberg
To: Matt Roth
CC: Alan Hochberg
Attachments: Letter from Dr. Musa.pdf, Letter from Dr. Steve Martin.pdf, Letter from Dr. Roth.pdf

Hi Matt,

I hope you have a great Labor Day Weekend!

I have attached several letters from our doctors regarding the need for a 1-story home, based on our medical issues:

- Attachment 1) This letter is from Dr. Musa, my Primary Care physician (in Charlotte, NC). He explained that I have had bilateral meniscal knee surgery, Synvisc injections in the knee, as well osteoarthritis of my knees. He states that a one-story home is medically necessary.

- Attachment 2) This letter is from Dr. Martin, my Orthopedist (in Charlotte, NC). He administered the Synvisc injections in my knee and also suggests that a one-story home would be beneficial.

- Attachment 3) This letter is from Dr. Roth (Williamsburg Neck & Back Center), our Chiropractor in Williamsburg, VA. He is treating both me and my wife for back pain and other issues. He recommends that a one-story home would be better suited for our condition.

Finally, I researched the square footage of some of the other homes on our block, as follows:

- * 129 Swinley Forest - 4181 Sq Ft
- * 130 Swinley Forest - 3058 Sq Ft
- * 131 Swinley Forest - 5215 Sq Ft
- * 132 Swinley Forest - 3800 Sq Ft
- * 133 Swinley Forest - 4033 Sq Ft
- * 134 Swinley Forest (Our desired home) - 3123 Sq Ft

As you can see from above, our desired home would already be one of the smallest homes on our block. Anything smaller would not fit in with the existing homes in the neighborhood.

I hope the provided information might help in getting the required approvals from the Chesapeake Bay Preservation Board.

Please keep me advised of timeline and progress made towards Task III (Permitting Wetland Imacts), Task IV (Water Quality Impact Assessment, Task V (RPA Mitigation Plan), and Task VI (Chesapeake Bay Preservation Board Hearing).

Thank you very much for all your assistance and support. It is greatly appreciated.

Regards,
Alan Hochberg

RANDOLPH CHIROPRACTIC HEALTH CENTER

DR. SCOTT W. FIRCAK & DR. DAVID J. GREENBERG

2040-B Randolph Road

Charlotte, NC 28207

Tel: (704) 331-0100 • Fax: (704) 331-0150

August 24, 2022

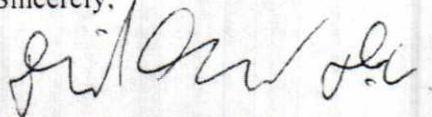
Re: Sari and Alan Hochberg

To Whom It May Concern:

Mr. and Mrs. Hochberg have, until recently, been treated in our office since 2018 for low back pain and neck pain. Mrs. Hochberg's low back condition can be especially severe at times which makes going up steps extremely challenging. Therefore, I have recommended that she avoid stairs when practical. I would certainly recommend that she live in a ranch at this point in her life and avoid a two story house.

Thank you for your assistance in this matter. Please contact me if you have any questions.

Sincerely,



David Greenberg, D.C.



First Charlotte Physicians Matthews

**Novant Health First
Charlotte Physicians
Matthews**

1401 MATTHEWS TOWNSHIP PKY
STE 200
MATTHEWS NC 28105-5403
Phone: 704-384-6901
Fax: 704-384-6902

August 23, 2022

Alan Merrill Hochberg

4419 Pleasant View Drive
Williamsburg, VA 23188

To whom it may concern,

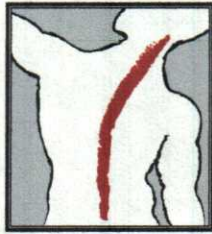
I am writing this letter on behalf of my patient Mr. Alan Hochberg. Mr. Hochberg has a history of significant knee issues, as he has had bilateral meniscal knee surgery, and Synvisc injection due to his knee issues. He does have osteoarthritis of his knees. Therefore, avoiding stairs and living in a one-story home is medically necessary.

If you have any questions or concerns, please don't hesitate to call.

Sincerely,

A handwritten signature in black ink that reads 'Gregory D. Musa'.

Gregory D Musa, MD



W I L L I A M S B U R G
NECK & BACK
C E N T E R

Williamsburg Neck and Back Center
4808 Courthouse Street, Suite 202
Williamsburg, VA 23188

August 30, 2022

Alan and Sari Hochberg

To Whom It May Concern,

I am currently treating Alan and Sari as patients in my office. Due to some medical conditions, it is in my recommendation that a one-story house will be better suited for them rather than a two-story house.

Sincerely,

Daniel Roth DC

Williamsburg Neck and Back Center, LLC
4808 Courthouse Street, Suite 202, Williamsburg, VA 23188
Phone: 757-345-6562 Fax: 757-345-6516

Letter Details



August 25, 2022

Alan Merrill Hochberg
4419 Pleasant View Drive
Williamsburg, Va 23188
Williamsburg VA 23188

Novant Health Orthopedics & Sports Medicine - Ballantyne To Whom it May Concern:

12611 N COMMUNITY HOUSE RD
STE 100
CHARLOTTE NC 28277-3817
Phone: 704-316-3410
Fax: 704-316-3420

Alan Hochberg has been under my orthopedic care for significant knee arthritis and would benefit from a one story home.

If you have any questions or concerns, please don't hesitate to call.

Sincerely,

Steve Martin,MD

RE: Hochberg, Alan -- MR#: 53465465

DOB: 9/4/1952

Page 1 of 1

This letter was initially viewed by Alan Merrill Hochberg at 8/25/2022 8:04 AM.



General Services
107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080
General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects
107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet
103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**
101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds
113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

FORDS COLONY AT WILLIAMSBURG
100 MANCHESTER
WILLIAMSBURG, VA 23188-7404

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Matthew Roth, on behalf of Alan Hochberg for encroachments into the Resource Protection Area (RPA) buffer for the development of a single family dwelling in the RPA buffer on property located at 134 SWINLEY FOREST, JCC Parcel No. 3130400072.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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Williamsburg, VA 23188
757-565-0971

HOCHBERG, ALLAN MERRILL
4419 PLEASANT VIEW DR
WILLIAMSBURG, VA 23188-8027

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
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757-259-4080

Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

Matthew Roth, Roth Environmental
700 PRESCOTT
NEWPORT NEWS, VA 23602-019

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

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Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

NORAN, JAMES E TRUSTEE &
132 SWINLEY FRST
WILLIAMSBURG, VA 23188-7454

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Matthew Roth, on behalf of Alan Hochberg for encroachments into the Resource Protection Area (RPA) buffer for the development of a single family dwelling in the RPA buffer on property located at 134 SWINLEY FOREST, JCC Parcel No. 3130400072.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



General Services
107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080
General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects
107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet
103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**
101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds
113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

NORBURY, JOHN W TRUSTEE &
130 SWINLEY FRST
WILLIAMSBURG, VA 23188-7454

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

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Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

SCHNEIDER, EDWARD T & LEIGH ANN L
303 CHAPELWOOD LN
TIMONIUM, MD 21093-2813

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

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WATKINS, JAMES K TRUSTEE &
131 SWINLEY FRST
WILLIAMSBURG, VA 23188-7457

RE: CBPA-22-0135
134 SWINLEY FOREST
Development of a single family
dwelling in the RPA buffer

October 17, 2022

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Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

PIN	Last Name	Address Line 1	City	State	Zip Code
3620300001A	FORDS COLONY AT WILLIAMSBURG	100 MANCHESTER	WILLIAMSBURG	VA	23188-7404
3130400072	HOCHBERG, ALLAN MERRILL	4419 PLEASANT VIEW DR	WILLIAMSBURG	VA	23188-8027
	Matthew Roth, Roth Environmental	700 PRESCOTT	NEWPORT NEWS	VA	23602-019
3130400071	NORAN, JAMES E TRUSTEE &	132 SWINLEY FRST	WILLIAMSBURG	VA	23188-7454
3130400070	NORBURY, JOHN W TRUSTEE &	130 SWINLEY FRST	WILLIAMSBURG	VA	23188-7454
3130400073	SCHNEIDER, EDWARD T & LEIGH ANN L	303 CHAPELWOOD LN	TIMONIUM	MD	21093-2813
3130400074	WATKINS, JAMES K TRUSTEE &	131 SWINLEY FRST	WILLIAMSBURG	VA	23188-7457

More bird populations across US reach tipping point

Some of affected species may come as a surprise

By Everett Eaton
Staff Writer

More than half of bird populations are sharply declining across the United States, and dozens have been added as tipping point species — but species like swans and geese are doing fine.

Tipping point species are close to threatened or endangered status because they have lost half or more of their populations in the last 50 years. The State of the Birds Report, by the North American Bird Conservation Initiative, used five different sources of data, including the North American Breeding Bird Survey and the Audubon Christmas Bird Count.

Everyone needs to begin thinking about conserving common species before they become uncommon, said Nick Flanders, an officer at the Cape Henry Audubon Society, a local chapter of the National Audubon Society located in Norfolk. Part of this is looking at if they need a specific habitat to flourish and protecting that space because building populations back is more difficult than maintaining them.

"It is a little bit harder to get people excited about protecting a rare species of grass to help that habitat for a bird species," Flanders said. "So if you are interested in protecting that bird species people are interested in, that works a lot better."

Maintaining bird populations also helps preserve other plants and animal populations in the different ecosystems and keep those environments healthy. One way to do this is by protecting the other parts of the ecosystem, not just the birds.

Some of the birds on the list may come as a surprise. A trip to the beach comes with a myriad of sounds, including the relentless squawk of seagulls and their seemingly endless invasions to steal snacks from beachgoers.

The Heermann's gull, a species within the broader seagull group, has lost half its population over the last 50 years and is on track to lose another half of its remaining population over the coming 50 years.

Issues like habitat decline and an increasingly limited food supply from natural sources add to the dramatic population loss of the gulls. According to the report, more than 60% of seabird species were found to have eaten plastic, and 40% have been tangled up in the waste such as spent fishing nets.

Other seabirds, including two different kinds of albatross, petrels and the red-faced cormorant, made the tipping point list. The report also lists many wetland birds.



A great blue heron takes flight from a rock it was sharing with a great black-backed gull on a misty morning on Great Salt Bay in Newcastle, Maine. **ROBERT F. BUKATY/AP**

Flanders said factors like sea-level rise will create conservation challenges in helping the different species.

"The marsh only has a small threshold before flooding, and especially when there is a development behind it, like houses, the birds don't really have anywhere to go," Flanders said.

Species like the salt marsh sparrow that lay their eggs in the marshes are vulnerable and have lost about 9% of their population per year since the 1990s. The population could collapse in the next 50 years if nothing is done, according to the Atlantic Coast Joint Venture, a conservation organization. Frequent and more intense nest flooding due to sea level rise is currently the greatest threat to this species.

Although there are significant losses, it is not all doom-and-gloom.

The decline of Eastern forest birds has slowed over the last decade, according to

the report. The cerulean warbler and the wood thrush showed about a 60% decline since 1970, but their populations are not dwindling as fast. The wood thrush population even recently saw a slight increase of a little over a half percent.

The Appalachian Mountains Joint Venture, a partnership of over 50 federal, state and nonprofit organizations, has made large contributions in habitat restoration. In 2020, AMJV restored more than 8,700 acres of habitat on private land between West Virginia, Maryland and Pennsylvania. Some of the largest population increases came from these improved areas.

Some of the forested species listed in the report appear to be doing well in Hampton Roads, such as the prairie warbler, Flanders said. The Great Dismal Swamp, among other preserves, is a haven for the warblers, and they are common during the breeding season — which is why Flanders

was initially surprised upon reading their name on the list.

"But, if you think about the areas away from these protected areas, with the development and loss of forested area, some of these declines do make more sense," he said.

Waterfowl like geese, which are seeing record high populations, have adapted from habitat loss and began to use areas like farmland to live.

There have also been local and federal conservation efforts to protect waterfowl populations. The North American Wetlands Conservation Act and U.S. Farm Bill conservation programs are two examples that provide incentives for farmers to improve habitats, like wetlands, on their property.

Everett Eaton, 262-902-7896,
everett.eaton@virginiamedia.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, NOVEMBER 9, 2022 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-22-0023: Daniel Winal, Waters Edge Construction, has applied for a wetlands permit on behalf of Mark Gillespie for the installation of a riprap revetment on property located at 7624 Uncles Neck, JCC Parcel No. 2030200031.

WJPA-22-0021: Karla Havens, Mid-Atlantic Resource Consulting, has applied for a wetlands permit on behalf of Larry & Carla Evans for the installation of two breakwaters and beach nourishment on property located at 1485 John Tyler Hwy, JCC Parcel No. 3430300003.

WJPA-22-0024: Mo Bloxom, Southern Landscaping LLC, has applied for a wetlands permit on behalf of Taylor & Colleen McMurdo for the installation of a stone revetment on property located at 124 Four Mile Tree, JCC Parcel No. 1640500010.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 3303000051.

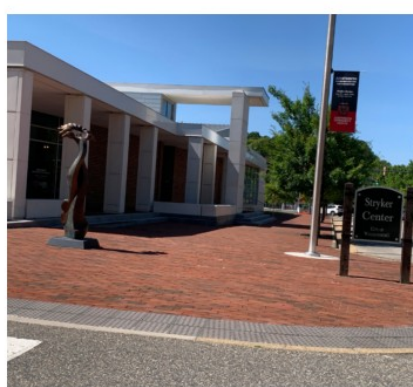
CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durleys Mill Road, JCC Parcel No. 4741000008.

CBPA-22-0141: Charlie Hippie, has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hippie for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 9401000003.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.



The Stryker Center in Williamsburg. **KIM O'BRIEN ROOT/STAFF**

Commission gives OK to subdivision request at Quarterpath Development

By Sian Wilkerson
Staff Writer

WILLIAMSBURG — The Williamsburg Planning Commission voted to approve a request to subdivide an 86-acre parcel along Battery Boulevard for the Quarterpath at Williamsburg Development.

Quarterpath, which has been in development for nearly two decades, is a large, mixed-use development project at the intersection of Route 199 and Route 60. In 2004, Riverside acquired 380 acres of land for a site for a new hospital, which opened in 2013.

The property owner is subdividing the 86 acres into seven lots to sell to developers to complete an approved master plan that includes multifamily residentials, townhomes, retail and medical-related office buildings to create a medical campus.

Calling the application "straightforward," the commission approved it unanimously.

In other business, the commission voted

to approve a request to amend the zoning ordinance to allow a family entertainment center on Richmond Road in the Corridor Business District.

The request included the adaptive reuse and conversion of the 65,000-square-foot single use building that formerly housed the Yankee Candle store on 2200 Richmond Road. The center will include arcades, billiards, bowling and more.

One resident, Todd Krause, expressed concern that an entertainment center might cause prohibitive noise.

"I'm a little worried about the impact that this is going to have for me and my neighbors," said Krause, who lives in the neighborhood behind the property.

The commission cited the city's noise ordinance that already exists, which would keep the new center within allowable noise levels.

Sian Wilkerson, sian.wilkerson@pilotonline.com, 757-342-6616

ITEM SUMMARY

DATE: 11/9/2022

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0139 : 2800 Durfey's Mill Road

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durfey's Mill Road, JCC Parcel No. 4741000008.

ATTACHMENTS:

	Description	Type
☐	Memorandum	Backup Material
☐	Deferral Request	Cover Memo
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	APO Letter	Backup Material
☐	APO Mailing List	Backup Material
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:33 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:14 AM
Publication Management	Pobiak, Amanda	Approved	11/3/2022 - 8:50 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:41 AM

MEMORANDUM

DATE: November 9, 2022

TO: The Chesapeake Bay Board

FROM: Robin Benedict, Watershed Planner

SUBJECT: Chesapeake Bay Exception No. CBPA-22-0139. 2800 Durfey's Mill Road

Mr. Ryan Stephenson, AES Consulting Engineers, has requested a deferral of this application for exception to the Chesapeake Bay Preservation Ordinance while the site plan is finalized for the project. Staff concurs with this request. As this case has been public noticed, staff recommends that the public hearing be opened and stay open until the December meeting, at which time the case will be heard.

Robin Benedict

From: Stephenson, Ryan <ryan.stephenson@aesva.com>
Sent: Thursday, November 3, 2022 9:32 AM
To: Robin Benedict
Subject: [External]RE: CBPA-22-0139 - 2800 Durfey's Mill Road

Robin,

After speaking with the owner/client regarding 2800 Durfey's Mill Road, they would request a deferral to the December 14 Chesapeake Bay Board meeting in order to work through Staff concerns regarding the impact.

In the meantime, can you send over the Staff report so I can share with the team?

Thanks.

Ryan Stephenson, P.E.
Sr. Project Manager
AES Consulting Engineers



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
Office (757) 253-0040
Cell (757) 208-6353
aesva.com

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 Please consider the environment before printing this email.

From: Stephenson, Ryan
Sent: Tuesday, October 18, 2022 9:12 AM
To: Robin Benedict <Robin.Benedict@jamescitycountyva.gov>
Subject: RE: CBPA-22-0139 - 2800 Durfey's Mill Road

That works for us. We'll email you to let you know when the survey work is done so you can swing out there to take pictures.

Let us know if you need anything else.

Thanks.

Ryan Stephenson, P.E.
Sr. Project Manager
AES Consulting Engineers



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
Office (757) 253-0040
Cell (757) 208-6353
aesva.com

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♻️ Please consider the environment before printing this email.

From: Robin Benedict <Robin.Benedict@jamescitycountyva.gov>
Sent: Tuesday, October 18, 2022 9:07 AM
To: Stephenson, Ryan <ryan.stephenson@aesva.com>
Subject: CBPA-22-0139 - 2800 Durfey's Mill Road

Good morning,

Your case, CBPA-22-0139, will be heard before the Chesapeake Bay Board on November 9th. Please stake or flag the limits of the project before October 28th so that staff may take pictures of the site for a presentation during the meeting. An email when this has been completed would be appreciated by staff. If there are any questions or concerns please contact our office.

Best,

Robin Benedict
Watershed Planner



Stormwater and Resource Protection Division
General Services Department
101-E Mounts Bay Road
Williamsburg, VA 23185
P: 757-253-6781
C: 757-532-1043
jamescitycountyva.gov

Most permit requests and inquiries can now be handled online.
Visit JCC Permitlink: <http://www.jamescitycountyva.gov/permitlink>

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0139. 2800 Durfeys Mill Road
Staff Report for the November 9, 2022, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Boyd Corporation

Agent: Mr. Ryan Stephenson, AES Consulting Engineers

Location: 2800 Durfeys Mill Road

Parcel Identification No.: 4741000008

Parcel: Lot 8A Durfeys Mill

Lot Size: 0.92 acres

Area of Lot in Resource Protection Area (RPA): 0.88 acres (96%)

Watershed: Mill Creek (JL33)

Floodplain: Zone AE - Base flood elevation 7

Proposed Activity: Construction of a single-family dwelling

Impervious Cover: 3,353 square feet

RPA Encroachment: 1,052 square feet, landward 50-foot RPA
2,301 square feet, seaward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling located at 2800 Durfeys Mill Road within the Durfeys Mill subdivision and the Mill Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4741000008. The parcel was platted in 1998, after the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.92 acres, of which 96% is located within the RPA. The applicant is proposing to construct a single-family dwelling. Total impacts to the RPA associated with this proposal equate to 1,052 square feet of impacts to the landward 50-foot RPA and 2,301 square feet of impacts to the seaward 50-foot RPA, totaling 3,353 square feet of impacts. Required mitigation for this amount of impervious impacts equals eight planting units (eight canopy trees, 16 understory trees, and 24 shrubs). No infiltration measures have been proposed at this time because of the proximity to wetlands and the subsequent soils. The wetlands on this property are non-tidal and therefore outside the jurisdiction of the local wetlands board. Additionally, no wetland impacts are proposed at this time.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends denial for this exception request. It has not been shown to be the minimum necessary to afford relief; however, if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The applicant must submit a mitigation plan equating to eight planting units to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$4,000 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
5. A six-foot chain link fence must be installed at the limits of clearing to reduce impacts to the adjacent wetlands; and
6. This exception request approval shall become null and void if construction has not begun by November 9, 2023; and

7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

TAL/ap
CBPA22-139_2800DurfeysMll

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0139. 2800 DURFEYS MILL ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Ryan Stephenson, AES Consulting Engineers, on behalf of Boyd Corporation, (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4741000008 and further identified as 2800 Durfeys Mill Road, as set forth in the application CBPA-22-0139 for the purpose of construction of a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0139, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to eight planting units to the Stormwater and Resource Protection Division prior to the project start; and
3. A surety of \$4,000 must be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
5. A six-foot chain link fence must be installed at the limits of clearing to reduce impacts to the adjacent wetlands; and
6. This exception request approval will become null and void if construction has not begun by November 9, 2023; and
7. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than September 28, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-139_2800DurfeysMIIApp-res

RESOLUTION

CASE NO. CBPA-22-0139. 2800 DURFEYS MILL ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Ryan Stephenson, AES Consulting Engineers, on behalf of Boyd Corporation, has applied to the Chesapeake Bay Board of James City County (the “Board”) on November 9, 2022, to request an exception to use the Resource Protection Area on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4741000008 and further identified as 2800 Durfeys Mill Road, as set forth in the application CBPA-22-0139 for the purpose of construction of a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0139.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 9th day of November, 2022.

CBPA22-139_2800DurfeysMillDny-res

LEGEND			
	WETLANDS	N/F	NOW OR FORMERLY
	WATER METER	R/W	RIGHT-OF-WAY
	SANITARY MANHOLE	P.B.	PLAT BOOK
	UTILITY PEDESTAL	INSTR.	INSTRUMENT
	REINFORCED CONCRETE PIPE	B.S.L.	BUILDING SETBACK LINE
	POWER / UTILITY POLE	S.F.	SQUARE FEET
	EDGE OF PAVEMENT	AC.	ACRES
	SURVEYED PROPERTY LINE		ADJACENT PROPERTY LINE
	IRON ROD FOUND	-45-	EXISTING CONTOUR W/ ELEVATION

PARCEL INFORMATION:

- SUBJECT PARCEL IS ALL OF LOT 8A, PHASE ONE, LAKE POWELL POINTE.
PIN: 4741000008
PARCEL ADDRESS: 2808 DURFEY'S MILL ROAD, WILLIAMSBURG, VIRGINIA, 23185
PARCEL OWNER: BOYD CORPORATION
RECORDATION: D.B. 777, PG. 825
PARCEL REFERENCES: P.B. 71, PG. 69 & 70 (SUBDIVISION LAKE POWELL POINTE, PHASE ONE)
P.B. 71, PG. 6 & 7 (PROPERTY LINE ADJUSTMENT PLAT LOTS 5,6,7 AND 8, DURFEY'S MILL)

SURVEY NOTES:

- THIS TOPOGRAPHIC MAP BASED ON FIELD SURVEY PERFORMED BY AES CONSULTING ENGINEERS PERSONNEL ON SEPTEMBER 1, 2022.
- SURVEY BASED ON GPS OBSERVATIONS TIED TO JAMES CITY COUNTY CONTROL NETWORK.
- SURVEY DATUM:
HORIZONTAL: JAMES CITY COUNTY CONTROL NETWORK (NAD83).
VERTICAL: JAMES CITY COUNTY CONTROL NETWORK (NGVD 29)
- SITE BENCHMARK IS NORTH WEST CORNER OF STORM INLET LOCATED NEAR CENTER FRONT OF LOT 6A (PIN: 4741000006) AT GUTTER, ELEV.= 30.10.
- THIS PROPERTY LIES WITHIN FLOOD ZONE X, (AREAS DETERMINED TO BE OF MINIMAL FLOOD HAZARD) PER F.I.R.M. #51095C0201D, MAP REVISED DATE DECEMBER 16, 2015.

NOTE:

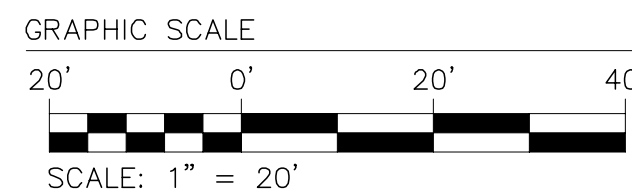
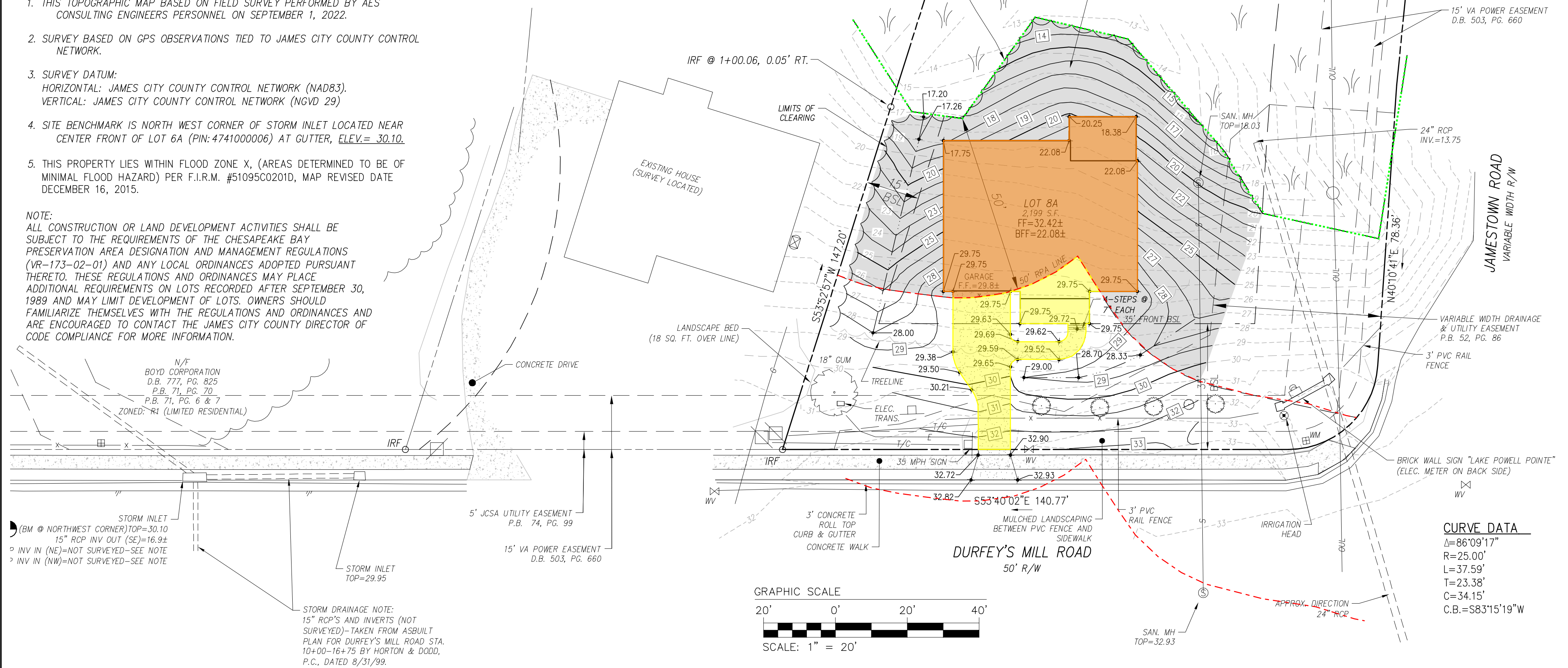
ALL CONSTRUCTION OR LAND DEVELOPMENT ACTIVITIES SHALL BE SUBJECT TO THE REQUIREMENTS OF THE CHESAPEAKE BAY PRESERVATION AREA DESIGNATION AND MANAGEMENT REGULATIONS (VR-173-02-01) AND ANY LOCAL ORDINANCES ADOPTED PURSUANT THERETO. THESE REGULATIONS AND ORDINANCES MAY PLACE ADDITIONAL REQUIREMENTS ON LOTS RECORDED AFTER SEPTEMBER 30, 1989 AND MAY LIMIT DEVELOPMENT OF LOTS. OWNERS SHOULD FAMILIARIZE THEMSELVES WITH THE REGULATIONS AND ORDINANCES AND ARE ENCOURAGED TO CONTACT THE JAMES CITY COUNTY DIRECTOR OF CODE COMPLIANCE FOR MORE INFORMATION.

PIN: 4741000007
LOT 7A
PHASE ONE, LAKE POWELL POINTE
ADDRESS: 2804 DURFEY'S MILL RD.
N/F
GENE H. BARR (TRUSTEE)
INSTR.: 09000493
P.B. 71, PG. 70
ZONED: R1 (LIMITED RESIDENTIAL)

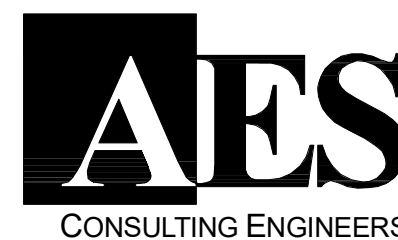
LAKE POWELL
N/F
STANLEY H. POWELL, ET AL
INSTR.: 200012448

NOTE:
EDGE OF WATER OF LAKE POWELL IS
PROPERTY LINE PER P.B. 71, PG. 70
(WATERLINE NOT SURVEYED)

AREA OF LOT 8A
PER RECORDED PLAT
39,864 S.F. ±
0.692 AC. ±



Rev.	Date	Description	Revised By



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
Phone: (757) 253-0040
www.aesva.com

Hampton Roads | Central Virginia | Middle Peninsula

PRELIMINARY PLOT PLAN
**LAKE POWELL POINTE
LOT 8A**

BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

Project Contacts:	TRS
Project Number:	W10767
Scale:	Date:
1"=20'	9/20/22
Sheet Number	
LOT 8A	



General Services
107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080
General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects
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**Stormwater and
Resource Protection**
101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds
113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste
1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

BARR, GENE H TRUSTEE
2804 DURFEYS MILL RD
WILLIAMSBURG, VA 23185-3243

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Ryan Stephenson, AES Consulting Engineers, on behalf of Boyd Corporation for encroachments into the Resource Protection Area (RPA) buffer for the construction of a single-family dwelling on property located at 2800 DURFEYS MILL RD, JCC Parcel No. 4741000008.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, 11/9/2022, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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BOYD CORPORATION
P O BOX 62209
VIRGINIA BEACH, VA 23466-2209

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Williamsburg, VA 23188
757-565-0971

BOYER, JOSEPH L & CATHERINE L
2801 DURFEYS MILL RD
WILLIAMSBURG, VA 23185-3273

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Williamsburg, VA 23188
757-565-0971

CHEATHAM, GRANT H
100 RICH NECK RD
WILLIAMSBURG, VA 23185-3233

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Sincerely,

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757-253-6789
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Williamsburg, VA 23188
757-565-0971

GOFF, EVAN P & MOORE, CHELSEA M
2805 DURFEYS MILL RD
WILLIAMSBURG, VA 23185-3243

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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JAMES CITY SERVICE AUTHORITY
119 TEWNING RD
WILLIAMSBURG, VA 23188-2639

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Sincerely,

Trevor Long

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Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov



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Ryan Stephenson
AES Consulting Engineers
5248 Olde Towne Rd Unit 1
Williamsburg, VA 23188

RE: CBPA-22-0139
2800 DURFEYS MILL RD
Construction of a single-family
dwelling

October 17, 2022

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Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

PIN	Last Name	Address Line 1	City	State	Zip Code
4741000007	BARR, GENE H TRUSTEE	2804 DURFEYS MILL RD	WILLIAMSBURG	VA	23185-3243
4741000008	BOYD CORPORATION	P O BOX 62209	VIRGINIA BEACH	VA	23466-2209
4741000001	BOYER, JOSEPH L & CATHERINE L	2801 DURFEYS MILL RD	WILLIAMSBURG	VA	23185-3273
4740100006	CHEATHAM, GRANT H	100 RICH NECK RD	WILLIAMSBURG	VA	23185-3233
4741000002	GOFF, EVAN P & MOORE, CHELSEA M	2805 DURFEYS MILL RD	WILLIAMSBURG	VA	23185-3243
4740100005	JAMES CITY SERVICE AUTHORITY	119 TEWNING RD	WILLIAMSBURG	VA	23188-2639
4741000008	Ryan Stephenson AES Consulting Engineers	5248 Olde Towne Rd Unit 1	Williamsburg	VA	23188

More bird populations across US reach tipping point

Some of affected species may come as a surprise

By Everett Eaton
Staff Writer

More than half of bird populations are sharply declining across the United States, and dozens have been added as tipping point species — but species like swans and geese are doing fine.

Tipping point species are close to threatened or endangered status because they have lost half or more of their populations in the last 50 years. The State of the Birds Report, by the North American Bird Conservation Initiative, used five different sources of data, including the North American Breeding Bird Survey and the Audubon Christmas Bird Count.

Everyone needs to begin thinking about conserving common species before they become uncommon, said Nick Flanders, an officer at the Cape Henry Audubon Society, a local chapter of the National Audubon Society located in Norfolk. Part of this is looking at if they need a specific habitat to flourish and protecting that space because building populations back is more difficult than maintaining them.

"It is a little bit harder to get people excited about protecting a rare species of grass to help that habitat for a bird species," Flanders said. "So if you are interested in protecting that bird species people are interested in, that works a lot better."

Maintaining bird populations also helps preserve other plants and animal populations in the different ecosystems and keep those environments healthy. One way to do this is by protecting the other parts of the ecosystem, not just the birds.

Some of the birds on the list may come as a surprise. A trip to the beach comes with a myriad of sounds, including the relentless squawk of seagulls and their seemingly endless invasions to steal snacks from beachgoers.

The Heermann's gull, a species within the broader seagull group, has lost half its population over the last 50 years and is on track to lose another half of its remaining population over the coming 50 years.

Issues like habitat decline and an increasingly limited food supply from natural sources add to the dramatic population loss of the gulls. According to the report, more than 60% of seabird species were found to have eaten plastic, and 40% have been tangled up in the waste such as spent fishing nets.

Other seabirds, including two different kinds of albatross, petrels and the red-faced cormorant, made the tipping point list. The report also lists many wetland birds.



A great blue heron takes flight from a rock it was sharing with a great black-backed gull on a misty morning on Great Salt Bay in Newcastle, Maine. ROBERT F. BUKATY/AP

Flanders said factors like sea-level rise will create conservation challenges in helping the different species.

"The marsh only has a small threshold before flooding, and especially when there is a development behind it, like houses, the birds don't really have anywhere to go," Flanders said.

Species like the salt marsh sparrow that lay their eggs in the marshes are vulnerable and have lost about 9% of their population per year since the 1990s. The population could collapse in the next 50 years if nothing is done, according to the Atlantic Coast Joint Venture, a conservation organization. Frequent and more intense nest flooding due to sea level rise is currently the greatest threat to this species.

Although there are significant losses, it is not all doom-and-gloom.

The decline of Eastern forest birds has slowed over the last decade, according to

the report. The cerulean warbler and the wood thrush showed about a 60% decline since 1970, but their populations are not dwindling as fast. The wood thrush population even recently saw a slight increase of a little over a half percent.

The Appalachian Mountains Joint Venture, a partnership of over 50 federal, state and nonprofit organizations, has made large contributions in habitat restoration. In 2020, AMJV restored more than 8,700 acres of habitat on private land between West Virginia, Maryland and Pennsylvania. Some of the largest population increases came from these improved areas.

Some of the forested species listed in the report appear to be doing well in Hampton Roads, such as the prairie warbler, Flanders said. The Great Dismal Swamp, among other preserves, is a haven for the warblers, and they are common during the breeding season — which is why Flanders

was initially surprised upon reading their name on the list.

"But, if you think about the areas away from these protected areas, with the development and loss of forested area, some of these declines do make more sense," he said.

Waterfowl like geese, which are seeing record high populations, have adapted from habitat loss and began to use areas like farmland to live.

There have also been local and federal conservation efforts to protect waterfowl populations. The North American Wetlands Conservation Act and U.S. Farm Bill conservation programs are two examples that provide incentives for farmers to improve habitats, like wetlands, on their property.

Everett Eaton, 262-902-7896,
everett.eaton@virginiamedia.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, NOVEMBER 9, 2022 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-22-0023: Daniel Winal, Waters Edge Construction, has applied for a wetlands permit on behalf of Mark Gillespie for the installation of a riprap revetment on property located at 7624 Uncles Neck, JCC Parcel No. 2030200031.

WJPA-22-0021: Karla Havens, Mid-Atlantic Resource Consulting, has applied for a wetlands permit on behalf of Larry & Carla Evans for the installation of two breakwaters and beach nourishment on property located at 1485 John Tyler Hwy, JCC Parcel No. 3430300003.

WJPA-22-0024: Mo Bloxom, Southern Landscaping LLC, has applied for a wetlands permit on behalf of Taylor & Colleen McMurdo for the installation of a stone revetment on property located at 124 Four Mile Tree, JCC Parcel No. 1640500010.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0132: Timothy Jones Two Rivers Built, has applied for a Chesapeake Bay Exception on behalf of Christopher Tucker for encroachments into the Resource Protection Area (RPA) buffer for a proposed deck on property located at 103 Cove Road, JCC Parcel No. 4910240005.

CBPA-22-0086: Emily Salkind, Balzer & Associates has applied for a Chesapeake Bay Exception on behalf of Stephen & Holly Garrow for encroachments into the RPA buffer for the construction of a new single-family dwelling on property located at 9208 Candle Light Court, JCC Parcel No. 3303000051.

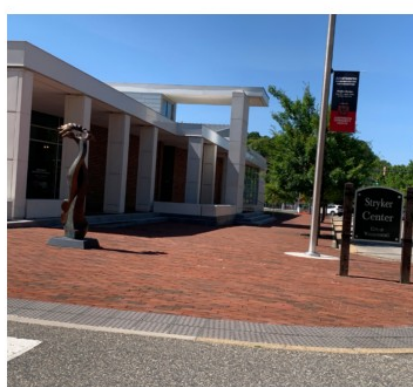
CBPA-22-0135: Matthew Roth, Roth Environmental, LLC, has applied for a Chesapeake Bay Exception on behalf of Alan Hochberg for encroachments into the RPA buffer for the development of a single-family dwelling in the RPA buffer on property located at 134 Swinley Forest, JCC Parcel No. 3130400072.

CBPA-22-0139: Ryan Stephenson, AES Consulting Engineers, has applied for a Chesapeake Bay Exception on behalf of Boyd Corporation for encroachments into the RPA buffer for the construction of a single-family dwelling on property located at 2800 Durleys Mill Road, JCC Parcel No. 4741000008.

CBPA-22-0141: Charlie Hipple, has applied for a Chesapeake Bay Exception on behalf of Michael & Mary Hipple for encroachments into the RPA buffer for an accessory structure on property located at 821 Arlington Island Road, JCC Parcel No. 9401000003.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.



The Stryker Center in Williamsburg. KIM O'BRIEN ROOT/STAFF

Commission gives OK to subdivision request at Quarterpath Development

By Sian Wilkerson
Staff Writer

WILLIAMSBURG — The Williamsburg Planning Commission voted to approve a request to subdivide an 86-acre parcel along Battery Boulevard for the Quarterpath at Williamsburg Development.

Quarterpath, which has been in development for nearly two decades, is a large, mixed-use development project at the intersection of Route 199 and Route 60. In 2004, Riverside acquired 380 acres of land for a site for a new hospital, which opened in 2013.

The property owner is subdividing the 86 acres into seven lots to sell to developers to complete an approved master plan that includes multifamily residentials, townhomes, retail and medical-related office buildings to create a medical campus.

Calling the application "straightforward," the commission approved it unanimously.

In other business, the commission voted

to approve a request to amend the zoning ordinance to allow a family entertainment center on Richmond Road in the Corridor Business District.

The request included the adaptive reuse and conversion of the 65,000-square-foot single use building that formerly housed the Yankee Candle store on 2200 Richmond Road. The center will include arcades, billiards, bowling and more.

One resident, Todd Krause, expressed concern that an entertainment center might cause prohibitive noise.

"I'm a little worried about the impact that this is going to have for me and my neighbors," said Krause, who lives in the neighborhood behind the property.

The commission cited the city's noise ordinance that already exists, which would keep the new center within allowable noise levels.

Sian Wilkerson, sian.wilkerson@pilotonline.com, 757-342-6616

ITEM SUMMARY

DATE: 11/9/2022
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: 2023 Calendar

ATTACHMENTS:

	Description	Type
📎	Calendar	Cover Memo

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:14 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:09 AM
Publication Management	Daniel, Martha	Approved	11/3/2022 - 8:11 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:39 AM

James City County Wetlands & Chesapeake Bay Boards 2023 Meeting Dates

Quarter 1

January

Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

February

Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28				

March

Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

Quarter 2

April

Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30						

May

Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

June

Su	Mo	Tu	We	Th	Fr	Sa
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

Quarter 3

July

Su	Mo	Tu	We	Th	Fr	Sa
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

August

Su	Mo	Tu	We	Th	Fr	Sa
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31		

September

Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30

Quarter 4

October

Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

November

Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30		

December

Su	Mo	Tu	We	Th	Fr	Sa
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

ITEM SUMMARY

DATE: 11/9/2022
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: Election of Officers for 2023

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Woolson, Michael	Approved	11/2/2022 - 10:15 PM
Chesapeake Bay Group	Small, Toni	Approved	11/3/2022 - 8:14 AM
Publication Management	Pobiak, Amanda	Approved	11/3/2022 - 8:42 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	11/3/2022 - 9:42 AM