

A G E N D A
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
REGULAR MEETING
County Government Center, Building F
January 11, 2023
5:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

1. Minutes for December 14, 2022 Regular Meeting

D. PUBLIC HEARINGS

1. CBPA-22-0151 : 3011 Willow Spring Court
2. CBPA-22-0119 : 9101 Six Mount Zion Road
3. CBPA-22-0154 : 130 Jameswood
4. CBPA-22-0120 : 108 Murcar

E. BOARD CONSIDERATIONS

F. MATTERS OF SPECIAL PRIVILEGE

G. ADJOURNMENT

ITEM SUMMARY

DATE: 1/11/2023
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: Minutes for December 14, 2022 Regular Meeting

ATTACHMENTS:

	Description	Type
📎	Minutes	Minutes

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 2:54 PM
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 2:55 PM
Publication Management	Daniel, Martha	Approved	1/5/2023 - 9:05 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/5/2023 - 4:24 PM

MINUTES
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
REGULAR MEETING
County Government Center, Building F
December 14, 2022
5:00 PM

A. CALL TO ORDER

The Chesapeake Bay Board meeting for December 14, 2022 was called to order.

The responsibility of this Board is to carry out locally the Commonwealth policy to protect against and minimize pollution and deposition of sediment in wetlands, streams, and lakes in James City County, which are tributaries of the Chesapeake Bay.

B. ROLL CALL

Board Members Present:

Charles Roadley, Vice Chair
Larry Waltrip
Michael O'Brien, Alternate
Scott Maye
Jason Knight, Alternate

Board Members Absent:

Halle Dunn, Chair

Other Staff Present:

Toni Small, Director, Stormwater and Resource Protection
Michael Woolson, Resource Protection Section Chief, Stormwater and Resource Protection
Robin Benedict, Watershed Planner, Stormwater and Resource Protection
Trevor Long, Watershed Planner, Stormwater and Resource Protection
Joshua Everard, Assistant County Attorney, County Attorney's Office

Mr. Roadley preceded the approval of the Minutes by reading a resolution of appreciation for the previous Chair of the Board, Mr. David Gussman.

Mr. Gussman made a statement of reciprocal appreciation to the Board and Staff.

C. MINUTES

1. Minutes for October 12, 2022 Regular Meeting

A motion to approve the minutes was made by Mr. Knight.

The minutes were approved on a voice vote.

2. Minutes for November 9, 2022 Regular Meeting

A motion to approve the minutes was made by Mr. Maye.

The minutes were approved on a voice vote.

D. PUBLIC HEARINGS

1. CBPA-22-0137 : 133 Racefield Drive

A motion to Approve w/ Conditions was made by Jason Knight, the motion result was Passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Ms. Hannah Fletcher and Ms. Erin Martin, Crossroad Custom Builders, Inc., on behalf of Mr. Jerry and Ms. Pamela Woodson, for encroachments into the Resource Protection Area (RPA) buffer for the construction of a porch. The property is further identified as James City County Tax Map Parcel No. 0430700008. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing.

Mr. Roadley closed the Public Hearing as no one wished to speak.

2. CBPA-22-0143 : 9935 Walnut Creek

A motion to Approve w/ Conditions was made by Larry Waltrip, the motion result was Passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Lloyd Stephens, Stephens Builder, on behalf of Mr. Paul Puglia, for encroachments into the RPA buffer for the construction of a deck. The property is further identified as James City County Tax Map Parcel No. 0520300014. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff clarified that the proposed deck is considered impervious.

Mr. Roadley opened the Public Hearing.

A. Ms. Gayle Norbury, 130 Swinley Forest, asked the Board what criteria are considered when an exception request is granted, making specific reference to lot size.

Mr. Roadley indicated that each case's impact to the RPA is evaluated individually.

Mr. Roadley closed the Public Hearing.

3. CBPA-22-0144 : 137 Thomas Dale

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Mr. Fuller Reeves, Anthony and Sylvan Pools Corp., on behalf of Mr. Anthony and Ms. Kelly Terracina, for encroachments into the RPA buffer for the installation of a pool. The property is further identified as James City County Tax Map Parcel No. 5030700025. The presentation

described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff clarified details of the plan for the Board.

Mr. Roadley opened the Public Hearing.

A. Mr. Fuller Reeves, 3212 Quail Hill Drive, explained that the plan includes a salt water pool and that more mitigation plantings than are required will be used.

Mr. Roadley closed the Public Hearing.

4. CBPA-22-0145 : 106 Rye

A motion to Approve w/ Conditions was made by Michael O'Brien, the motion result was Passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Chase Grogg, Landtech Resources, Inc., on behalf of Ms. Susan Krancer, for encroachments into the RPA buffer for the construction of a single-family dwelling. The property is further identified as James City County Parcel Tax Map No. 3130400082. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff clarified details of the plan for the Board including the location of the 50-foot RPA delineation.

Mr. Roadley opened the Public Hearing.

A. Mr. Chase Grogg, LandTech Resources, Inc., 205 Bulifants Boulevard, Suite E, explained how aspects of the plan, such as the more diminutive size of the house and the extent of the clearing limit, are intended to reduce impact into the RPA. In response to the Board, Mr. Grogg also indicated support for more prudent management of runoff from the roof of the house down the slope at the back of the lot.

B. Ms. Gail Watkins, 131 Swinley Forest, objected to the plan, citing the degree to which the site retains water and the impact that tree clearing will have on the natural resources at and nearby the site. Ms. Watkins also clarified the location of her lot in relation to the site for the Board.

C. Mr. Joe Adkins, who resides at 105 Rye but mistakenly stated his residence as 106 Rye, objected to the plan, citing issues related to site accessibility and the orientation and size of the proposed house. Mr. Adkins also requested that he decide which trees along the property line between 105 Rye and the site remain.

A. Mr. Grogg clarified the location of the retaining wall along the proposed driveway for Mr. Adkins and the Board as it relates to the existing retaining wall at 105 Rye.

The Board indicated that Mr. Adkins objection to the proposed size of the house relates to its ostensible effect on the value of adjacent properties.

B. Ms. Watkins concurred with Mr. Adkins' objects about the size of and access to the

proposed house.

Mr. Roadley closed the Public Hearing.

Mr. Roadley reopened the Public Hearing.

D. Mr. Kevin Foley, 105 Rye, inquired whether the retaining wall at 105 Rye was considered in the examination of the runoff at the site.

A. Mr. Grogg confirmed explained how drainage between and across adjacent lots was considered and incorporated into the plan.

E. Mr. James Noran, 132 Swinley Forest, concurred with Ms. Watkins' objections and specifically cited the plan's aberrant property and land value in the context of nearby houses and lots.

Mr. Roadley closed the Public Hearing.

Mr. Roadley commented on the Board's recognition of the concern for reduction in property value near the site while also indicating that the Board's judgements are made with intent to minimize the impacts of development within and to protected areas.

The Board deliberated the pros and cons of the proposal, including the challenges presented by the current site conditions.

5. CBPA-22-0135 : 134 Swinley Forest

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Passed.
AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Matthew Roth, Roth Environmental, LLC, on behalf of Mr. Allan Hochberg, for encroachments into the RPA buffer for the construction of a single-family dwelling. The property is further identified as James City County Parcel Tax Map No. 3130400072. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff clarified details of the plan for the Board, including the efforts made by the applicant to reduce impact into the RPA as well as the purpose of the proposed chain link fence to ensure construction activities are contained within the approved area.

Mr. Roadley opened the Public Hearing.

A. Mr. Matt Roth, Roth Environmental, 700 Prescott Circle, Newport News Virginia, explained the history of the plan from its initial conception to its current state, emphasizing its intent to reduce impact to the RPA and wetlands.

B. Mr. Aaron Williams, 3456 Hunter's Ridge, explained the intent of the landscape plan for the site to reduce impact to the RPA and Wetlands.

C. Mrs. Sarah and Mr. Allan Hochberg, 4419 Pleasant View Drive, offered further explanation of their intent to make the design choices that have been described for the plan.

D. Mr. James Noran, 132 Swinley Forest, expressed concern for ongoing drainage issues at the site.

E. Ms. Gayle Norbury, 130 Swinley Forest, objected to the plan, citing concern for its impact to the drainage of the surrounding lots.

F. Ms. Gail Watkins, 131 Swinley Forest, objected to the plan, citing concern for its impact to the drainage of the surrounding lots.

G. Mr. Chase Grogg, LandTech Resources, Inc., 205 Bulifants Boulevard, Suite E, provided more information about the conception of the plan with regard to the drainage conditions at the site. Mr. Grogg also supported the idea of working alongside Ford's Colony to improve drainage management at the site.

Mr. Waltrip indicated the source of the drainage issues at the site appears to begin on lots that are under Ford's Colony's management.

Mr. Roadley closed the Public Hearing.

Staff agreed to Mr. Roadley's proposal to communicate further with Ford's Colony about the drainage issues that have been discussed. Staff also confirmed for the Board that the plan for 106 Rye included a two-story house.

The Board deliberated the pros and cons of the proposal.

6. CBPA-22-0139 : 2800 Durfey's Mill Road

A motion to Approve w/ Conditions was made by Larry Waltrip, the motion result was Passed.

AYES: 3 NAYS: 1 ABSTAIN: 1 ABSENT: 1

Ayes: O'Brien, Waltrip, Maye

Nays: Roadley

Abstain: Knight

Absent: Dunn

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Mr. Ryan Stephenson, AES Consulting Engineers, on behalf of Boyd Corporation, for encroachments into the RPA buffer for the construction of a single-family dwelling. The property is further identified as James City County Tax Map Parcel No. 4741000008. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing.

A. Mr. Ryan Stephenson, AES Consulting Engineers, 5248 Old Towne Road, provided more detailed information about the plan. Mr. Stephenson also clarified potential solutions to current drainage conditions at the site in response to questions from the Board.

B. Mr. Gene Barr, 2804 Durfey's Mill Road, described his observations both of the nearby creek as tidal and of the current drainage conditions at the site.

C. Mr. Evan Goff, 2805 Durfey's Mill Road, expressed concern about the severe grading at the site, the environmental impact the plan will have, and for the extra traffic related to construction that would be added to the entrance of the surrounding neighborhood.

Mr. Roadley concurred with the indicated site conditions, referencing his own observations made during a visit to the site.

Mr. Roadley closed the Public Hearing.

Mr. Maye commented that the proposed mitigation includes replacing the native plants at the site with other plants that are native to the area.

Mr. Roadley indicated that drainage from the site does not flow to any established stormwater Best Management Practices (BMPs), characterizing it differently from previous cases that the Board has heard.

Mr. Roadley reopened the Public Hearing.

C. Mr. Goff reiterated his concern about environmental impacts at the site, emphasizing the time needed for new plantings to grow into an ecosystem that is comparable to what currently exists there.

Mr. Roadley closed the Public Hearing.

The Board deliberated the pros and cons of the plan, including the site's current drainage conditions.

7. CBPA-22-0120 : 108 Murcar

A motion to Approve the Deferral request was made by Mr. Roadley.

The motion was Approved on a voice vote.

Ms. Robin Benedict, Watershed Planner, presented the request for deferral of the exception request submitted by Mr. Chase Grogg, Landtech Resources, Inc, on behalf of Mr. Daniel McCormick citing the need for further revision of the site plan. The exception request is for encroachments into the RPA for the construction of a single-family dwelling. The property is further identified as James City County Tax Map Parcel No. 3710800077. Ms. Benedict also recommended that the Public Hearing should be opened and remain so as a matter of procedure.

Mr. Roadley opened the Public Hearing.

E. BOARD CONSIDERATIONS

1. CBPA-21-0130 : 115 Heathery

A motion to Approve the extension request was made by Mr. Roadley.

The extension request was Approved on a voice vote.

Mr. Trevor Long, Watershed Planner, presented the extension request for the exception originally approved by the Board on January 12, 2022. The exception was originally submitted by Elite E and E Investments, LLC. Staff proposed that the new expiration date of expiration January 12, 2023 be approved.

2. Election of Officers for 2023

A motion to Appoint Individuals to Boards and Commissions was made by Mr. Roadley, the motion result was passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Roadley nominated himself as Chair of the Chesapeake Bay Board.

A motion to Appoint Individuals to Boards and Commissions was made by Mr. Maye, the motion result was passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Maye nominated himself as Vice Chair of the Chesapeake Bay Board.

A motion to Appoint Individuals to Boards and Commissions was made by Mr. Roadley, the motion result was passed.

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 1
Ayes: Knight, O'Brien, Roadley, Waltrip, Maye
Absent: Dunn

Mr. Roadley nominated Mr. Long as Secretary of the Chesapeake Bay Board.

F. MATTERS OF SPECIAL PRIVILEGE

Mr. Long introduced Ms. Leslie Bowie to the Board as a new alternate Board member. Mr. Long also confirmed that Mr. Knight is the Board's other alternate member.

G. ADJOURNMENT

Absent: Dunn

A motion to Adjourn was made by Mr. Maye and approved on a voice vote.

The meeting adjourned at 7:25 p.m.

ITEM SUMMARY

DATE: 1/11/2023

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0151 : 3011 Willow Spring Court

CBPA-22-0151: Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the replacement and expansion of a deck on property located at 3011 Willow Spring Ct, JCC Parcel No. 4820100002.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	Gazette Ad	Exhibit

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:30 AM
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:33 AM
Publication Management	Pobiak, Amanda	Approved	1/4/2023 - 11:41 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/5/2023 - 4:23 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0151. 3011 Willow Spring Court
Staff Report for the January 11, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Williamsburg Landing, Inc.

Agent: Mr. Carl Story, Williamsburg Landing, Inc.

Location: 3011 Willow Spring Court

Parcel Identification No.: 4820100002

Parcel: Point Rich Neck, Williamsburg Landing

Lot Size: 0.06 acres

Area of Lot in Resource Protection Area (RPA): 0.04 (67%)

Watershed: College Creek (JL34)

Floodplain: None

Proposed Activity: Extension of a deck

Impervious Cover: 209 square feet

RPA Encroachment: 209 square feet, landward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the extension of a deck located at 3011 Willow Spring Court within the Williamsburg Landing subdivision and the College Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4820100002. The parcel was platted in 1984, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.06 acres, of which 67% is located within the RPA. Existing conditions of the project area include a deck extending from the rear of the living area on the property. The applicant is proposing to remove the existing 157-square-foot deck and replace it with a 366-square-foot deck. New impacts to the RPA associated with this proposal equate to 209 square feet of new impervious cover. Required mitigation for this amount of impervious impacts equals eight shrubs.

STAFF EVALUATION

Staff has evaluated the application and exception request for the extension of a deck. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the expansion of a deck is considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The submittal of a mitigation plan equating to eight shrubs be submitted to the Stormwater and Resource Protection Division prior to project start; and
3. A surety of \$750 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. This exception request approval shall become null and void if construction has not begun by January 11, 2024; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 30, 2023, six weeks prior to the expiration date.

TAL/ap
CBPA22-151_3011WillowSpr

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0151. 3011 WILLOW SPRING COURT

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Carl Story, Williamsburg Landing, Inc., on behalf of Williamsburg Landing, Inc. (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4820100002 and further identified as 3011 Willow Spring Court (the “Property”) as set forth in the application CBPA-22-0151 for the purpose of extension of a deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0151, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The submittal of a mitigation plan equating to eight shrubs be submitted to the Stormwater and Resource Protection Division prior to project start; and
3. A surety of \$750 be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. This exception request approval shall become null and void if construction has not begun by January 11, 2024; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 30, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

RESOLUTION

CASE NO. CBPA-22-0151. 3011 WILLOW SPRING COURT

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Carl Story, Williamsburg Landing, Inc., on behalf of Williamsburg Landing, Inc. (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4820100002 and further identified as 3011 Willow Spring Court (the “Property”) as set forth in the application CBPA-22-0151 for the purpose of extension of a deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0151.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

CBPA22-151_3011WillowSprDny-res

WILLIAMSBURG LANDING

3011 WILLOW SPRINGS COURT – HARBOUR
JAMES CITY COUNTY, VIRGINIA

Drafting services provided by R.J.H. Drafting & Designs, Inc.
CONTACT INFORMATION:
RONALD HUIK PHONE: 757-876-1882
WILLIAMSBURG, VA 23187
PO BOX 3663
NOTES:
THE INFORMATION ON THESE DRAWINGS IS THE PROPERTY OF R.J.H. DRAFTING & DESIGNS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF R.J.H. DRAFTING & DESIGNS, INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS ON THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES.

Draft: By: AS NOTED Date: 07/19/22
Scale: AS NOTED File Name: 22090

ABBREVIATION INDEX

&	AND	FT.	FOOT	Q.T.	QUARRY TILE
Ø	AT	FURN.	FURNITURE	QTY.	QUANTITY
A/C	AIR CONDITIONING	GA.	GAUGE	R.A.	ALLIED DOMEQ
A.D.	AIR DRAIN	GALV.	GALVANIZED	RAD.	RADIUS
A.F.F.	ABOVE FINISH FLOOR	GYP. BD.	GYP. BOARD	REF.	REFRIGERATOR
ALUM.	ALUMINUM	HRWD.	HARDWOOD	REINF.	REINFORCING
ALT.	ALTERNATE	HDR.	HEADER	REV.	REVISION
APPROX.	APPROXIMATE	H.M.	HOLLOW METAL	REQ'D	REQUIRED
BD.	BOARD	HORIZ.	HORIZONTAL	RESIL.	RESILIENT
BLDG.	BUILDING	HGT.	HEIGHT	RM.	ROOM
BM.	BEAM	I.D.	INSIDE DIAMETER	R.O.	ROUGH OPENING
BSMT.	BASEMENT	INSUL.	INSULATION	SCHED.	SCHEDULE
BTWN.	BETWEEN	INT.	INTERIOR	SEC.	SECTION
BTM.	BOTTOM	JT.	JOINT	S.F.	SQUARE FOOT
C.L.	CENTER LINE	KIT.	KITCHEN	SH.	SHEET
C.T.	CERAMIC TILE	LAM.	LAMINATE	SM.	SIMILAR
CLG.	CEILING	LAV.	LAVATORY	SPEC.	SPECIFICATION
CLOS.	CLOSET	LT.	LIGHT	SQ.	SQUARE
CM	CONSTRUCTION MGR.	MAS.	MASONRY	S.S.	STAINLESS STEEL
CMU	CONC. MASONRY UNIT	MAX.	MAXIMUM	STD.	STANDARD
COL.	COLUMN	MECH.	MECHANICAL	STL.	STEEL
CONC.	CONCRETE	MTL.	METAL	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	MFR.	MANUFACTURER	SUSP.	SUSPENDED
CONST.	CONSTRUCTION	MIN.	MINIMUM	TEL.	TELEPHONE
(D) BEAM	DROP BEAM	MISC.	MISCELLANEOUS	THK.	THICK
DEPT.	DEPARTMENT	N.O.	MASONRY OPENING	THRU	THROUGH
DIL.	DETAIL	WTD.	MOUNTED	T.O.P.	TOP OF PLATE
D.F.	DRINKING FOUNTAIN	N.I.C.	NOT IN CONTRACT	T.O.S.	TOP OF STEEL
DIA.	DIAMETER	NO.	NUMBER	T.O.SL.	TOP OF SLAB
DIM.	DIMENSION	NOM.	NOMINAL	TRT.	TREATED
DISP.	DISPENSER	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
DN.	DOWN	O.A.	OVERALL	V.C.B.	VINYL COMPOSITION BASE
DR.	DOOR	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
DWG.	DRAWING	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
EA.	EACH	OPT.	OPTIONAL	V.W.C.	VINYL WALL COVERING
EL.	ELEVATION	PL.	PLATE	W/	WITH
ELEC.	ELECTRICAL	P.LAM.	PLASTIC LAMINATE	W.C.	WATER CLOSET
EQ.	EQUAL	PLUMB.	PLUMBING	WO.	WOOD
EQUIP.	EQUIPMENT	PLYWD.	PLYWOOD	W/O	WITHOUT
EXIST.	EXISTING	PR.	PAIR	WTRPROOF.	WATERPROOFING
EXT.	EXTERIOR	PROP.	PROPERTY	WT.	WEIGHT
(F) BEAM	FLUSH BEAM	P.S.F.	PER SQUARE FOOT	WM.	WELDED WIRE MESH
F.D.	FLOOR DRAIN	P.S.I.	PER SQUARE INCH		
F.S.	FLOOR SINK	PTD.	PAINTED		
FIN.	FINISH	P.V.C.	POLY VINYL CHLORIDE		
FL.	FLOOR				
F.O.	FACE OF				

INDEX OF DRAWINGS

- COVER SHEET, BUILDING DATA & INDEXES
- GENERAL NOTES
- DEMOLITION & FOUNDATION PLAN
- FIRST FLOOR & ROOF PLANS
- SECTIONAL VIEWS & ELEVATIONS
- MISCELLANEOUS DETAILS
- ELECTRICAL PLAN

DESIGN CODES

- JURISDICTION: JAMES CITY COUNTY, VIRGINIA
- BUILDING CODES:
 - THE VIRGINIA STATEWIDE BUILDING CODE; 2018 EDITION AS AMENDED
 - THE INTERNATIONAL RESIDENTIAL CODE; 2018 EDITION AS AMENDED
 - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS
- DESIGN LOADS:
 - ULTIMATE WIND DESIGN: 115 MPH EXPOSURE: B
 - IMPORTANCE FACTOR, I: 1.0
 - ROOF LIVE LOAD: 20 PSF
 - ROOF DEAD LOAD: 15 PSF
 - SNOW LOAD: 20 PSF
 - FLOOR LIVE LOAD: 40 PSF
 - FLOOR DEAD LOAD: 10 PSF
 - SLAB ON GRADE: 100 PSF
 - ATTICS (w/ STORAGE): 20 PSF
 - (w/out STORAGE): 10 PSF

DOOR SCHEDULE

NO.	SIZE	DESCRIPTION	REMARKS
1	3'-0" x 6'-8" x 3/4"	NEW EXTERIOR DOOR	3/8" PELLA EMCOMPASS 6 PANEL SOLID FIBERGLASS UNIT
2	6'-0" x 6'-8" x 3/4"	EXTERIOR, FULL SLIDING GLASS	DOOR MODEL: PELLA 550 SERIES 3" x 3" SIDELIGHTS TEMPERED PER SECTION R308.4.1
3	2'-0" x 6'-8" x 3/8"	6 PANEL DOOR	
4	2'-0" x 6'-8" x 3/8"	6 PANEL POCKET DOOR	
5	2'-0" x 6'-8" x 3/8"	6 PANEL DOOR	
6	(2) 2'-0" x 6'-8" x 3/8"	3 PANEL FRENCH DOORS	
7	(2) 2'-0" x 6'-8" x 3/8"	3 PANEL BIFOLD DOORS	
8	(2) 1'-6" x 6'-8" x 3/8"	3 PANEL FRENCH DOORS	
9	(2) 1'-6" x 6'-8" x 3/8"	3 PANEL FRENCH DOORS	
10	9" x 16" x 8"	OPEN CASEMENT	3/4 COLONIAL CASING
11	4'-0" x 6'-8"	OPEN CASEMENT	3/4 COLONIAL CASING
12	3'-0" x 6'-8"	EXISTING OPEN CASEMENT	3/4 COLONIAL CASING
13	(2) 1'-0" x 6'-8" x 3/8"	3 PANEL FRENCH DOORS	

NOTES: AS NOTED

LEGEND

SYM.	DESCRIPTION
—	2x4 STUD WALL
—	2x4 LOAD BEARING WALLS
—	2x6 STUD WALL
—	BRICK VENEER
—	CONCRETE MASONRY UNIT (CMU)
—	CONCRETE
101	ROOM NUMBER
101	DOOR NUMBER
■	POST
□	POST (ABOVE)
⊗	MECHANICAL VENTILATION

PROJECT DATA

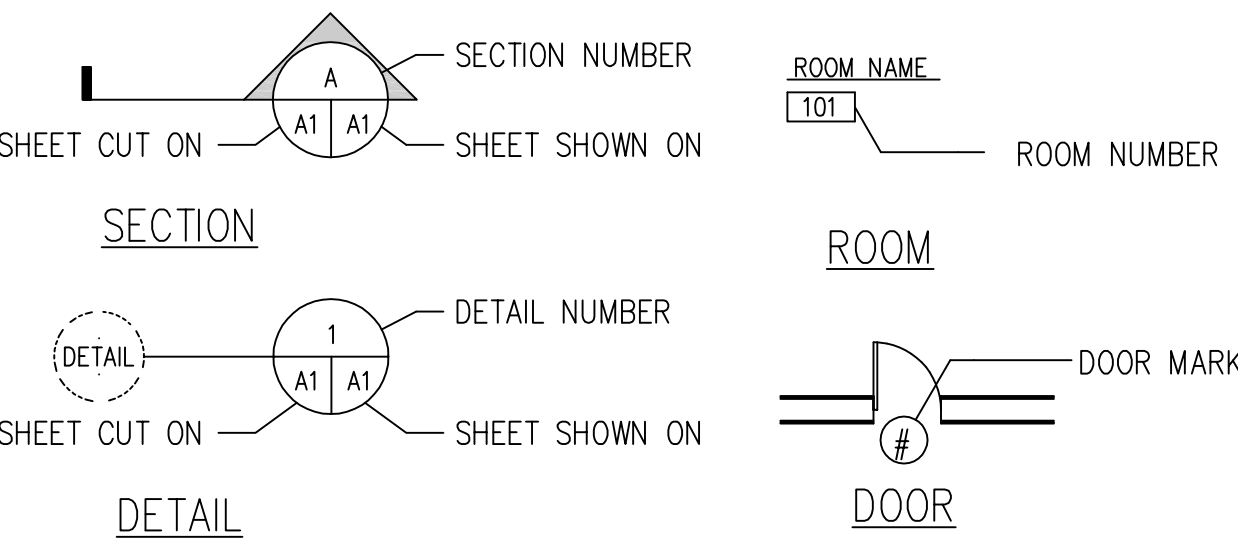
DESCRIPTION	SQ. FOOTAGE
RENOVATION:	1,550
DECK ADDITION:	346
TOTAL PROJECT:	1,815

FINISH SCHEDULE

NO.	ROOM	FLOOR	SELECTION COLOR	WALLS	WALL SELECTION/COLOR	CEILING	CLG HT	CEILING SELECTION/COLOR	TRIM	TRIM SELECTION/COLOR	REMARKS
100	ENTRY	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"		TWO PIECE CROWN (5-1/4" COLONIAL BACKER & 3-5/8" COLONIAL CROWN)		
101	DINING ROOM	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"		TWO PIECE CROWN (5-1/4" COLONIAL BACKER & 3-5/8" COLONIAL CROWN) TWO PIECE CHAIR RAIL (4-1/4" DOUBLE BEADED DINING ROOM, 3/4" CENTER ABOVE FINISH FLOOR)		
102	LIVING ROOM	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"		TWO PIECE CROWN (5-1/4" COLONIAL BACKER & 3-5/8" COLONIAL CROWN)		
103	KITCHEN	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
104	KITCHENETTE	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
105	HALL	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
106	MASTER BEDROOM	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
107	CLOSET	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
108	MASTER BATH	C. TILE	PROVIDED BY WLI	GYP. WALLBOARD/TILE	PROVIDED BY WLI	GYP. WALLBOARD	8'-0"				PROVIDE MECHANICAL VENTILATION GROUT: LATICRETE SANDED/#23 ANTIQUE WHITE
109	BATH 1	C. TILE	PROVIDED BY WLI	GYP. WALLBOARD/TILE	PROVIDED BY WLI	GYP. WALLBOARD	8'-0"				PROVIDE MECHANICAL VENTILATION GROUT: LATICRETE SANDED/#23 ANTIQUE WHITE
110	BEDROOM	HARDWOOD	3/4" x 3/4" RED OAK #1 HARD WOOD STAIN COLOR BY OWNER FINAL POLY TO BE BONE TRAFFIC FINISH	GYP. WALLBOARD	5-1/4" SINGLE BEADED BASE MOLD THROUGHOUT	GYP. WALLBOARD	8'-0"				
111	DECK	6" x 4" DECKING		N/A		N/A	8'-0"				

- NOTES:
- PROVIDE AND INSTALL OVATION CLASSIC BISQUE LVT IN LAUNDRY & MECHANICAL ROOMS.
 - ENSURE GWS FINISH MEETS A MINIMUM OF LEVEL 4 STANDARDS PRIOR TO APPLICATION.
 - INTERIOR FINISHES:
 - CEILING, PROVIDE PREP, PRIME AND PAINT 2 FINISH COATS SW EXTRA WHITE FLAT.
 - WALLS, PROVIDE PREP AND PRIME WALLS WITH COAT PRIMER, MINIMUM LEVEL 4 FINISH STANDARD.
 - ALL TRIM, PROVIDE PREP, PRIME AND PAINT ALL TRIM 2 FINISH COATS SW EXTRA WHITE SEMI-GLOSS.
 - CLOSETS, PROVIDE PREP, PRIME AND PAINT ALL CLOSETS 2 FINISH COATS SW EXTRA WHITE SEMI-GLOSS.
 - PAINT FINAL COLORS TO WALLS PRIOR TO TENANT MOVE IN 2 FINISH COATS **W/ TO PROVIDE FINAL WALL PAINT, TRIM TO REMAIN AS PAINTED.
 - EXTERIOR FINISHES:
 - POWER WASH
 - REPAINT EXTERIOR OF HOUSE WITH SW RESILIENCE SATIN PER BELOW OWNER COLOR SCHEDULE:
 - SIDING: BRACKEN HOUSE DISCUT W81-1084 SATIN.
 - TRIM: SW COURTHOUSE WHITE SATIN.
 - FRONT DOOR & SHUTTERS: BARRAUD HOUSE GREEN W83-1082 SATIN.

GRAPHIC SYMBOLS



In general conformance with 2018 Virginia Residential Code
Locality Approval: Tom Coghill, JCC Building Official
TSG Reviewed: Charles M. Thomas, Jr., P.E.
TSG Approved: Michael Matthews, P.E.
Date: July 22, 2021

This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.

NOTES:
BUILDER AT BUILDER'S DISCRETION MAY SUBSTITUTE BRAND NAMES, MATERIALS & SPECIFICATIONS, PROVIDED CHANGES MEET BUILDING CODE REQUIREMENTS.

WILLIAMSBURG LANDING
3011 Willow Springs Court
COVER SHEET, BUILDING DATA & INDEXES
JAMES CITY COUNTY VIRGINIA

Job Number: 22090
Sheet No.: 1

COPYRIGHT © 2022 RJH DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.

No.	By	Revision	Date
1			10/31/22
		REV PER JCC COMMENTS DATED 10/31/22	

GENERAL NOTES AND REQUIREMENTS

R.J.H. DRAFTING & DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION...

- 1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. THESE PLANS MAY NOT COMPLY WITH SOME LOCAL CODES REGARDING THE SUPPORT OF MASONRY ON COMBUSTIBLE CONSTRUCTION.
3. THESE PLANS HAVE NOT BEEN SEALED BY A PROFESSIONAL ENGINEER.
4. CONTACT A PROFESSIONAL ENGINEER IF CHANGES ARE NECESSARY TO THESE DRAWINGS.
5. THE MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS SHALL ABIDE BY ALL LOCAL BUILDING CODES.

- FOUNDATION NOTES
1. FOUNDATIONS ARE DESIGNED TO BEAR ON RESIDUAL SOIL OR ENGINEERED COMPACTED FILL WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF.
2. SOILS UNDER FOOTINGS TO BE AT 98% STANDARD PROCTOR DENSITY.
3. PROVIDE 12" MINIMUM COVER OVER FOOTINGS.
ALL CONSTRUCTION ON FILL SOILS SHALL BE REVIEW BY A REGISTERED GEOTECHNICAL ENGINEER.

- GENERAL CONCRETE NOTES
1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ACI 318.
2. CONCRETE FOR THE FOOTINGS SHALL BE NORMAL WEIGHT GRAY CONCRETE AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
3. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615.

- STRUCTURAL WOOD FRAMING NOTES
1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
2. LUMBER FOR BEAMS, HEADERS, JOISTS, AND RAFTERS SHALL BE SOUTHERN PINE NO. 2.
3. LAMINATED VENEER LUMBER BEAMS SHALL BE MICRO-LAM BEAMS.
4. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS.
5. DO NOT CUT FRAMING MEMBERS FOR PLUMBING, ELECTRICAL, OR MECHANICAL WITHOUT REINFORCING THE MEMBER TO ITS ORIGINAL CAPACITY.

- 12. PROVIDE BLIND FLASHING AT ALL HIP, VALLEYS & ROOF CONNECTIONS TYP.
13. ICE AND WATER SHIELD TYPE MEMBRANE SHALL BE INSTALLED AT THE FIRST COURSE OF THE EAVES, RAKES VALLEYS AND WHERE A ROOF LINE MEETS A WALL.
14. EXTERIOR VENEER SHALL BE INSTALLED PER SECTION R703.8 AND ANCHORED TO THE SUPPORTING WALL STUDS PER SECTION R703.8.4.
15. STEEL LINTELS SUPPORTING EXTERIOR VENEERS SHALL BE INSTALLED PER SECTIONS R703.8.2.1 & R703.8.2.2.
WIDTH OF OPENING MASONRY LINTEL TIMBER HEADER
UP TO 4'-0" L-3 1/2" X 3 1/2" X 14" 2-X 10
4'-1" TO 5'-0" L-4 3 1/2" X 5 1/8" 2-X 10
5'-1" TO 6'-0" L-5 X 3 1/2" X 5 1/8" 2-X 12
6'-0" TO 8'-0" L-6 X 3 1/2" X 3 3/8" 2-X 12

- FOR STEEL ANGLE LINTELS, 3 1/2" ANGLE ALWAYS IN HORIZONTAL PLANE.
NOTES:
1. DO NOT ATTACH ANGLES TO WOOD HEADERS UNLESS NOTED OTHERWISE.
2. ANGLES ARE DESIGNED TO SUPPORT VENEER ONLY.
3. BEAR LINTEL 8" ON MASONRY AT EACH END.
4. LINTELS SHOWN ARE FOR 4" THICK VENEER.
16. FLASHING SHALL BE INSTALLED BELOW THE FIRST COURSE OF VENEER ABOVE ALL LINTELS PER SECTION R703.8.5.
17. THE FIRE BLOCKING MATERIALS FOR ALL PENETRATION OF CABLE WIRES, DUCTS AND PLUMBING WILL CONSIST OF 3M FIRE CALK & DRAFT STOP OR FIRESTOP #14 PLUS.

- STRUCTURAL DECK NOTES
1. ALL LUMBER SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER AND SHALL BE PRESSURE TREATED ACO OR CA-B IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' SPIRAL OR ANNUAL GROOVED.
2. ALL NAILS SHALL BE SPIRAL OR ANNUAL GROOVED.
3. ANCHORS: FURNISH GALVANIZED ANCHORS REQUIRED FOR CARPENTRY WORK.
4. POST BASES ALONG FOOTINGS SHALL BE SIMPSON ABU66.
5. PRE-MANUFACTURED POST ANCHORS SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
6. GUARD POSTS MAY BE ATTACHED TO THE OUTSIDE FACE OF THE RIM JOIST.

- INSULATION NOTES
INSULATION TO BE INSTALLED BE SECTION N1102 (R402), INSULATION CHANGER BY INSULATION CONTRACTOR
CEILINGS - R49, WALL PLATE - R38, VAULTED CEILING - R30, WALLS - R15, CRAWL - R19, WALL CORNER CAVITIES - R3, ATTIC ACCESS DOORS & FULL DOWN STAIRS R-6
THESE R FACTORS DO NOT INCLUDE A FACTOR PICKED UP IN FRAMING MATERIALS.

These R factors do not include a factor picked up in framing materials.

TABLE R602.3 (1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Table with columns: DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING OF FASTENERS. Rows include Roof, Wall, and Floor sections with various fastener and spacing requirements.

Floor continued

Table detailing floor fastener requirements, including nail specifications for joists, rafters, and blocking.

TABLE R602.3 (1)-CONTINUED FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

Table detailing fastener requirements for wood structural panels, subfloor, roof, and interior wall sheathing.

- For 5/8 inch= 25.4 mm, 1 foot= 304.8 mm, 1 mile per hour= 0.447 m/s, 1ksi = 6.895 MPa.
a. All nails are smooth-common, box or deformed shanks except where otherwise stated.
b. Staples shall have minimum average bending yield strengths as shown: 50 ksi (551 MPa) for shank diameter of 0.192 inch.
c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
d. Fasteners shall be placed in a grid pattern throughout the body of the panel.

TABLE R602.3.2 SINGLE TOP-PLATE SPLICE CONNECTION DETAILS

Table showing splice connection details for various conditions, including splice plate size, minimum nails, and butt joints in straight walls.

MEP NOTES AND REQUIREMENTS

- RESIDENTIAL ELECTRICAL GENERAL NOTES
1. ELECTRICAL INSTALLATIONS SHALL BE GOVERNED BY 2019 INTERNATIONAL RESIDENTIAL CODE.
2. ALL ELECTRICAL MATERIALS, COMPONENTS, DEVICES, FIXTURES AND EQUIPMENT SHALL BE LISTED AND LABELED FOR THE APPLICATION AND BE INSTALLED.
3. IN LOCATIONS WHERE ELECTRICAL EQUIPMENT LIKELY TO BE EXPOSED TO PHYSICAL DAMAGE, GUARDS OR ENCLOSURES SHALL BE PROVIDED.
4. RECEPTACLES SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM A RECEPTACLE.
5. AT LEAST ONE (1) RECEPTACLE SHALL BE PLACED AT EACH END OF AN ISLAND OF 24 X 12 OR LARGER.
6. AT LEAST ONE (1) WALL SWITCHED LIGHTING OUTLET SHALL BE PROVIDED IN EACH ROOM.
7. GROUND FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE PROVIDED AT BATHROOMS, GARAGES, OUTDOOR UNFINISHED BASEMENTS, KITCHEN COUNTER TOPS AND BAR SINKS.
8. A LIGHTING OUTLET SHALL BE PROVIDED IN ATTIC, UNDER FLOOR STORAGE SPACES, UTILITY ROOMS AND BASEMENTS WHERE THE AREA IS USED FOR STORAGE OR CONTAINS EQUIPMENT REQUIRING SERVICE.
9. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A WRITTEN WARRANTY STATING THAT ALL MATERIALS AND WORKMANSHIP ARE FREE FROM DEFECTS FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
RESIDENTIAL MECHANICAL GENERAL NOTES
1. GAS PIPING: GAS WORK SHALL BE INSTALLED, SUPPORTED, AND TESTED IN COMPLIANCE WITH 2018 INTERNATIONAL RESIDENTIAL CODE.
2. THE CONTRACTOR SHALL COORDINATE THE CONNECTION OF GAS SERVICE WITH THE VIRGINIA NATURAL GAS REPRESENTATIVE PRIOR TO INSTALLATION.
3. ALL MECHANICAL EQUIPMENT SHALL BE LABELED FOR THE APPLICATION AND BEAR THE MANUFACTURER'S NAMEPLATE.
4. SUFFICIENT ACCESS SHALL BE PROVIDED FOR MAINTENANCE INSPECTIONS AND SERVICE WITHOUT REMAINING PERMIT CONSTRUCTION.
5. HVAC: ALL WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.
6. PROVIDE AUXILIARY DRAIN PANS UNDER ALL UNITS INSTALLED OVER AN OCCUPIED SPACE.
RESIDENTIAL PLUMBING GENERAL NOTES
1. ALL PLUMBING FIXTURES AND PIPING SHALL BE INSTALLED, SUPPORTED, AND TESTED PER THE 2018 INTERNATIONAL RESIDENTIAL CODE.
2. WATER SUPPLY PIPING SHALL BE EQUIPPED WITH FITTINGS SPECIFIC TO PIPE MATERIALS AND INSTALLATION AS PROVIDED IN 2019 INTERNATIONAL RESIDENTIAL CODE.
3. FUEL FIRED WATER HEATER LOCATED IN GARAGES SHALL HAVE AN IGNITION SERVICE A MINIMUM OF 18" ABOVE THE FINISH FLOOR AND SHALL HAVE A GUARD TO PREVENT IMPACT.

TABLE R602.3 (2) ALTERNATE ATTACHMENTS

Table detailing alternate attachment methods for wood structural panels, subfloor, roof, and wall sheathing to framing and particleboard wall sheathing.

- For 5/8 inch = 25.4 mm.
a. Nail is a general description and shall be permitted to be 1-head, modified round head or round head.
b. Staples shall have a minimum crown width of 7/16-inch or diameter except as noted.
c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
d. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.
e. Fasteners shall be placed in a grid pattern throughout the body of the panel.
f. For dry-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.
g. Specific alternate attachment for roof sheathing shall be permitted where the ultimate design wind speed is less than 130 mph.
h. Fasteners attaching wood structural panel roof sheathing to gable end wall framing shall be installed using the spacing listed for panel edges.
i. Fiber-cement underlayment shall conform to ASTM C 1266 or ISO 8336, Category C.
TABLE R602.3 (3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES

Table showing requirements for wood structural panel wall sheathing, including minimum nail size, minimum wood panel thickness, maximum wall stud spacing, and maximum wind speed category.

- For 5/8 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
b. Table is based on wind pressures acting toward and away from building surfaces per Section R302.2. Lateral bracing requirements shall be in accordance with Section R602.10.
c. Wood Structural Panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/16 span rating. Plywood siding rated 1/2 inch or 24 inch shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and plywood siding 1/2 inch shall be used with studs spaced a maximum of 16 inches on center.
TABLE R602.3 (4) ALLOWABLE SPANS FOR PARTICLEBOARD WALL SHEATHING

Table showing allowable spans for particleboard wall sheathing, including thickness, grade, and stud spacing requirements.

- For 5/8 inch = 25.4 mm.
a. Wall sheathing not exposed to the weather: If the panels are applied horizontally, the end joints of the panel shall be offset so that four panels corners will not meet. All panels edges must be supported. Leave a 1/16 inch gap between panels and nail no closer than 3/16 inch from panel edges.
In general conformance with 2018 Virginia Residential Code
Locality Approval: Tom Coghill, JCC Building Official
TS&G Review: Charles M. Thomas, Jr., P.E.
TS&G Approved: Michael Matthews, P.E.
Date: July 22, 2021
This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.

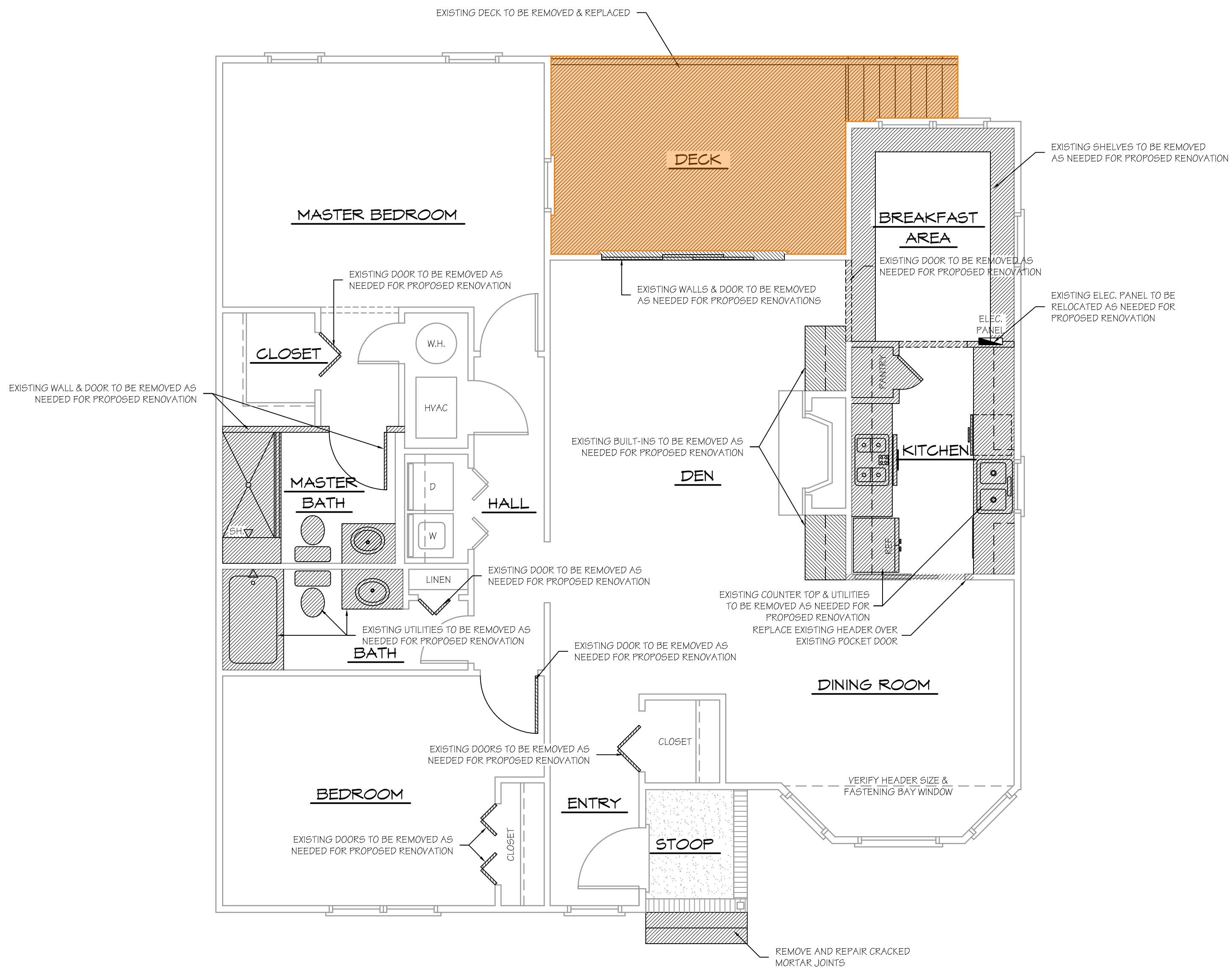
Drafting services provided by R.J.H. Drafting & Designs, Inc. CONTACT INFORMATION: RONALD HIDEK PHONE: 781-876-1802 PO BOX 3663 WILLIAMSBURG, VA 23187

Revision table with columns: No., By, Date, Description.

Table with columns: REV PER, JCC COMMENTS DATED, 10.31.22, APP., Date, Revision.

WILLIAMSBURG LANDING 3011 Willow Springs Court JAMES CITY COUNTY VIRGINIA GENERAL NOTES

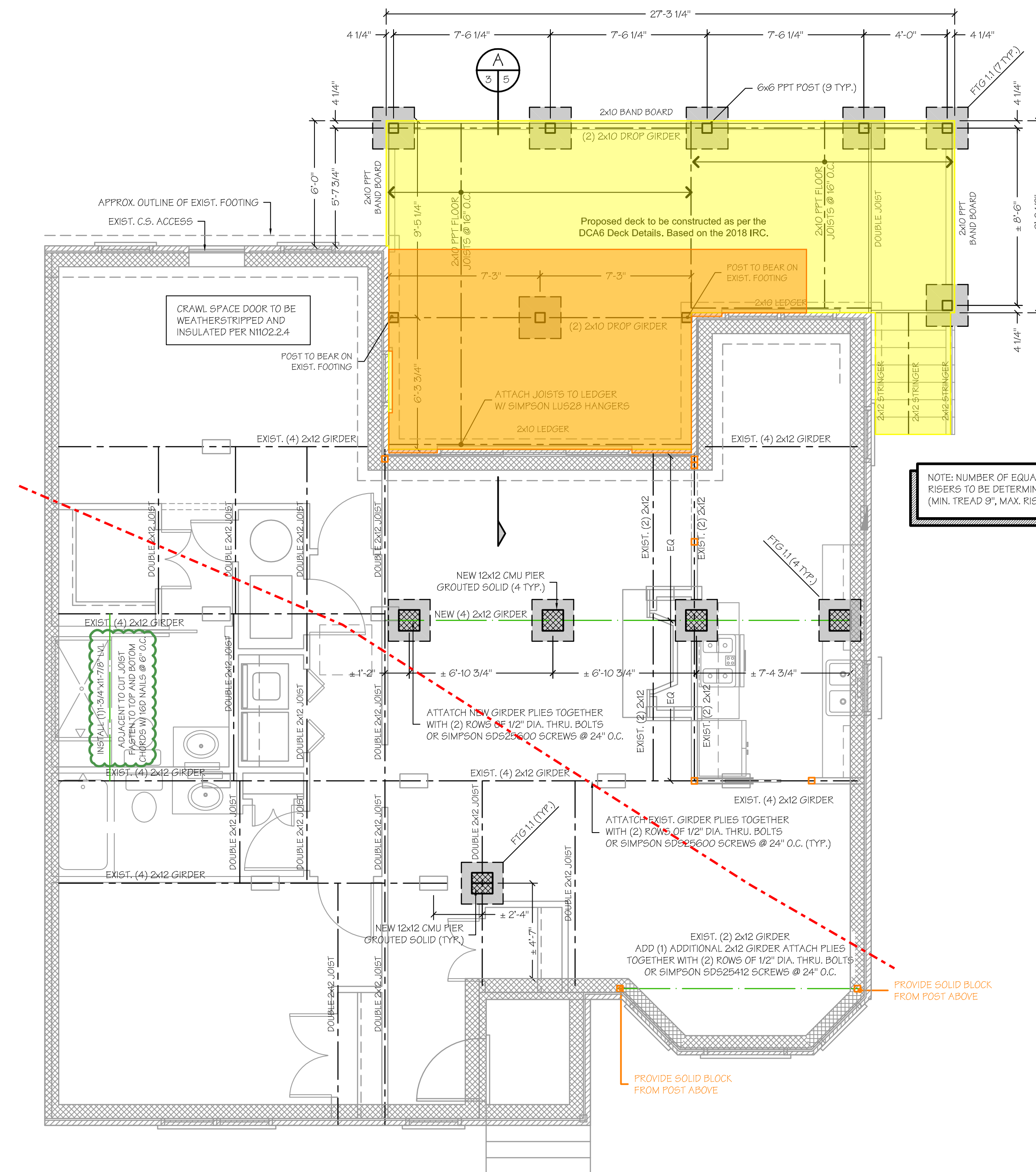
In general conformance with 2018 Virginia Residential Code
 Locality Approval: Tom Coghill, JCC Building Official
 TSG Reviewed: Charles M. Thomas, Jr., P.E.
 TSG Approved: Michael Matthews, P.E.
 Date: July 22, 2021
 This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.



- ### NOTES
- ALL DOORS TO BE REMOVED & REPLACED.
 - ALL INTERIOR CLOSET SHELVING INCLUDING LAUNDRY ROOM CLOSET TO REMAIN, UNLESS NOTED BY OWNER.
 - DEMO ALL TOWEL BARS, GRAB BARS & FLUSH MOUNT LIGHT FIXTURES.
 - DEMO FIREPLACE SLATE SURROUND, HEARTH AND MANTEL.
 - DEMO ALL WINDOW TREATMENTS & ALL CROWN MOLDING IN LR & DR.
 - DEMO ALL EXISTING CARPETS AND FLOORING, REMOVE ALL GYPCRETE.
 - DEMO ALL SHEETROCK AS NECESSARY TO MAKE PLUMBING OR ELECTRICAL REPAIRS/UPGRADES, AND/OR TO REMOVE WALLS AND INSTALL OVERHEAD BEAMS. MOST GWB TO REMAIN.

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



NOTE: NUMBER OF EQUAL TREADS AND RISERS TO BE DETERMINED BY GRADE (MIN. TREAD 9", MAX. RISER 8-1/4")

- ### NOTES
- INSTALL (2) 2x12 BELOW ALL PARALLEL WALLS ABOVE. (NEW) 2x12 PLYS SHALL BE FASTENED TOGETHER W/ (3) THREE ROWS OF 16D NAILS AT 16" ON CENTER.)
 - INSTALL FULL DEPTH BLOCKING BETWEEN FLOOR JOISTS ABOVE ALL INTERIOR GIRDERS.
 - REMOVE ALL TREATED WOOD SHIMS BELOW EXIST. JOISTS/GIRDERS & REPLACE W/ METAL SHIMS.
 - INSTALL VAPOR RETARDER TO COVER ENTIRE CRAWL. SPACE FINISH GRADE.
 - ALL CRAWL SPACE AREAS TO BE ENCLOSED & CONDITIONED PER SECTION R408.3 OF 2018 IRC.
 - EXISTING FLOOR SYSTEM TO BE JACKED & LEVELED TO A FLAT PLAN AS PER STRUCTURE REPORT.
 - INSTALL 3/4" ADVANTEC PLYWOOD TO REPLACE LAYER OF GYPCRETE.
 - INSTALL #57 STONE GRAVEL OVER TOP OF A WEED CONTROL FABRIC, BELOW REAR DECK.
 - ALL NEW & EXISTING CMU PIERS SUPPORTING THE GIRDERS SHALL BE GROUTED SOLID.

FOOTING SCHEDULE

Footing Number	Footing Size	Reinforcing
FIG. F1.1	2'-0" x 2'-0" x 12" Thk.	(3) #4 Bars equally spaced each way

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDK PHONE: 757.876-1882
 PO BOX 3683 WILLIAMSBURG, VA 23187
 NOTES:
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES NOT TO BE DEMOLISHED. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND AS-BUILT DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES NOT TO BE DEMOLISHED.

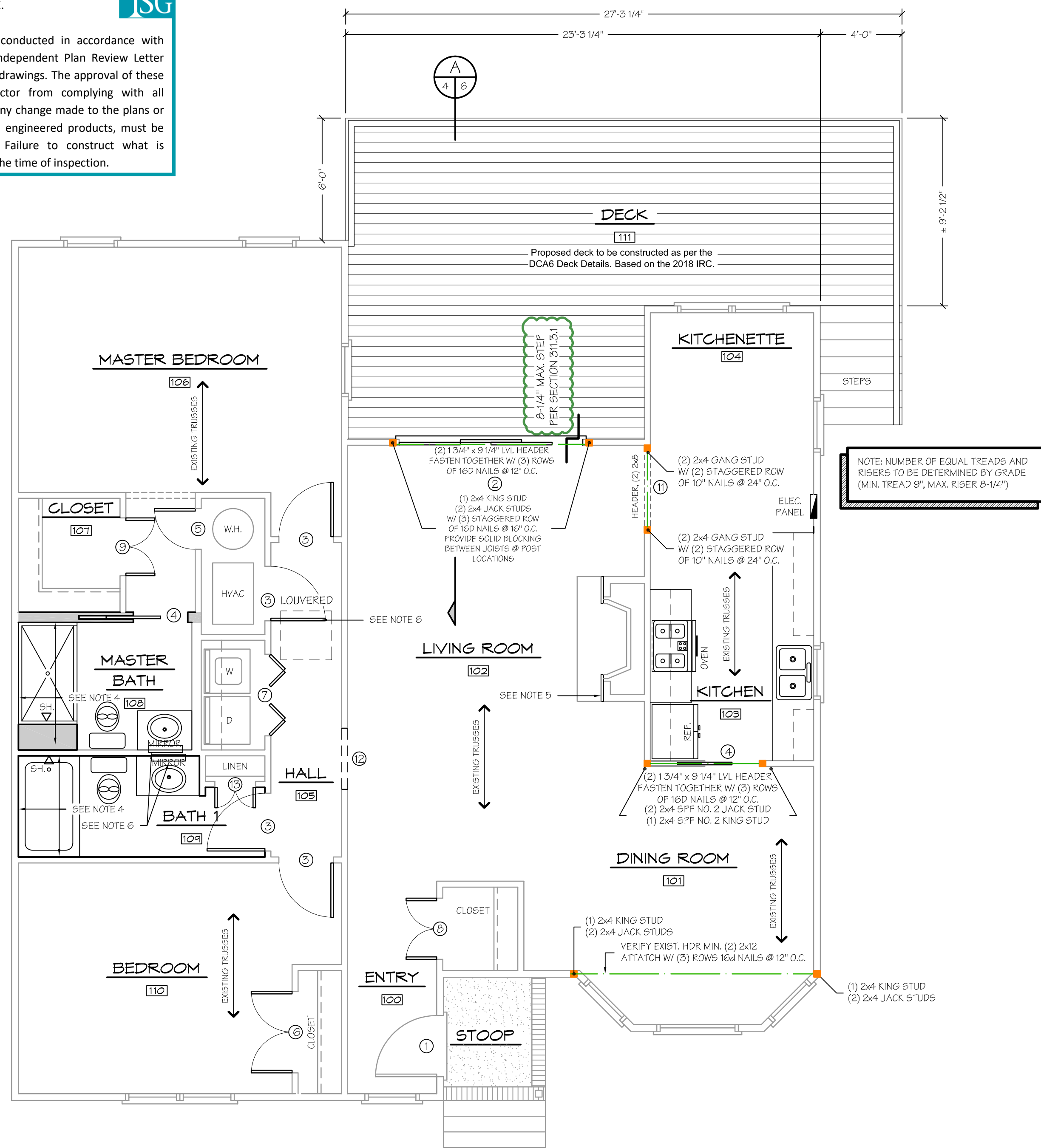
Drawn By:	Scale:	Date:	File Name:
AS NOTED	AS NOTED	07.19.22	22090

No. By	Revision	App. Date
1	REV PER JCC COMMENTS DATED 10.31.22	10.31.22

COPYRIGHT © 2022 R.J.H. DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.
WILLIAMSBURG LANDING
3011 Willow Springs Court
 DEMOLITION & FOUNDATION PLANS
 JAMES CITY COUNTY VIRGINIA
 Job Number: 22090
 Sheet No.: 3

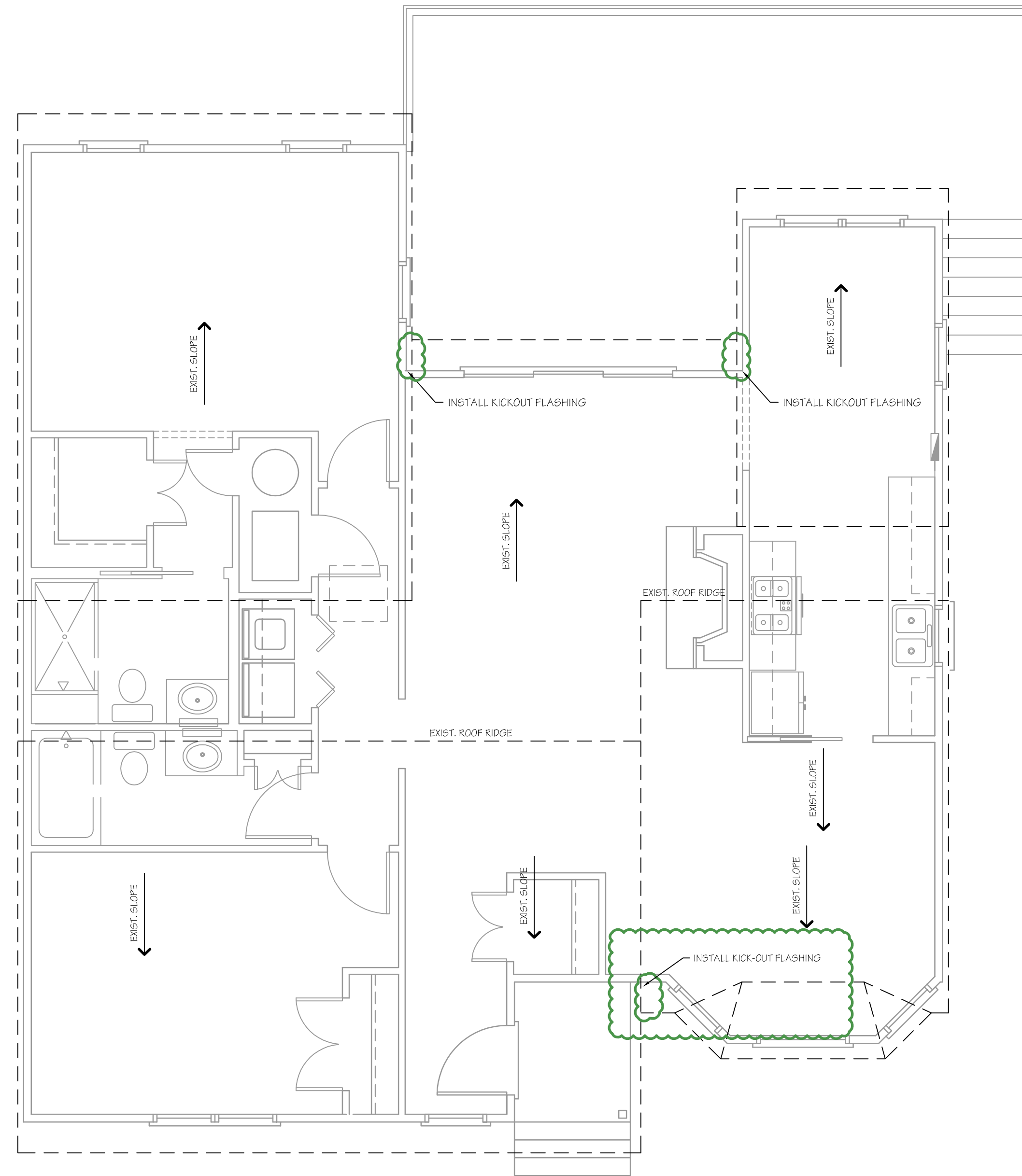
C:\Users\ronal\Desktop\2022\22090 - Williamsburg Landing\22090 - Layouts\10.31.22.dwg

In general conformance with 2018 Virginia Residential Code
 Locality Approval: Tom Coghil, JCC Building Official
 TSG Reviewed: Charles M. Thomas, Jr., P.E.
 TSG Approved: Michael Matthews, P.E.
 Date: July 22, 2021
 This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.



- ### NOTES
- ALL DOORS TO BE REMOVED & REPLACED.
 - CONSTRUCT NEW INTERIOR CLOSET SHELVING INCLUDING LAUNDRY ROOM CLOSET. PER WLI DESIGN.
 - REPAIR/REPLACE GWB TO MEET A MINIMUM OF LEVEL 4 FINISH STANDARDS.
 - PROVIDE BACKING FOR ALL TOWELS AND ADA GRAB BARS, PROVIDING COVERAGE ALL AREAS FROM 24" UP TO APPROXIMATELY 60" FROM FLOOR.
 - FIREPLACE TRIM:
PROVIDE AND INSTALL NEW FIREPLACE TRIM 4 PIECE ABSOLUTE BLACK GRANITE, MANTLE, FLUTED COLUMNS, AS SHOWN IN PROJECT NARRATIVE.
 - BATH & MASTER BATHS:
PROVIDE BACKING ALONG ALL WALLS AS NEEDED FOR ALL TOWELS AND ADA GRAB BARS, PROVIDING COVERAGE ALL AREAS FROM 24" UP TO APPROXIMATELY 60" FROM FLOOR.
 - BATHROOMS:
PROVIDE WLI PROVIDED MEDICINE CABINETS IN BOTH BATHROOMS OVER VANITIES, MODEL #KCB-CLC3026FS KOHLER 30" MIRRORIED 2-DOOR.
 - ATTICS:
A) INSTALL WLI PROVIDED WERNER 10 FT. ALUMINUM 250 LB. TYPE I ATTIC LADDER (MODEL AA 151D) IN HALLWAY OUTSIDE OF NEWLY CONFIGURED LAUNDRY CLOSET.
B) PROVIDE AND INSTALL BLOWN CEILING CELLULOSE R30 OVER EXISTING ATTIC.
 - GENERAL:
A) PREP RO ENSURE A LEVEL AND FLAT PLANE WITH 0" TRANSITION THROUGHOUT UNIT.
B) PREP TO INSTALL CARPET IN BOTH BEDROOMS AND BEDROOM CLOSETS.
 - ALL MULTI-PLY JOISTS, HEADERS, AND GIRDERS SHALL BE FASTENED TOGETHER WITH A MINIMUM OF THREE (3) ROWS OF 16D NAILS SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ROOF PLAN
 SCALE: 1/4" = 1'-0"

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDIK PHONE: 757-876-1882
 PO BOX 3663 WILLIAMSBURG, VA 23187
 NOTES:
 THE INFORMATION ON THESE PLANS WAS PREPARED BY THE DESIGNER OR UNDER HIS CLOSE PERSONAL SUPERVISION AND TO HIS KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. THE DESIGNER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION OR THE COMPLETION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, ERRORS, OR INADEQUACIES IN THE INFORMATION OR THE COMPLETION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, ERRORS, OR INADEQUACIES IN THE INFORMATION OR THE COMPLETION OF THE PROJECT.

File Name: 22090
 Date: 07.19.22
 AS NOTED

No.	By	Revision	Date
1			10.31.22

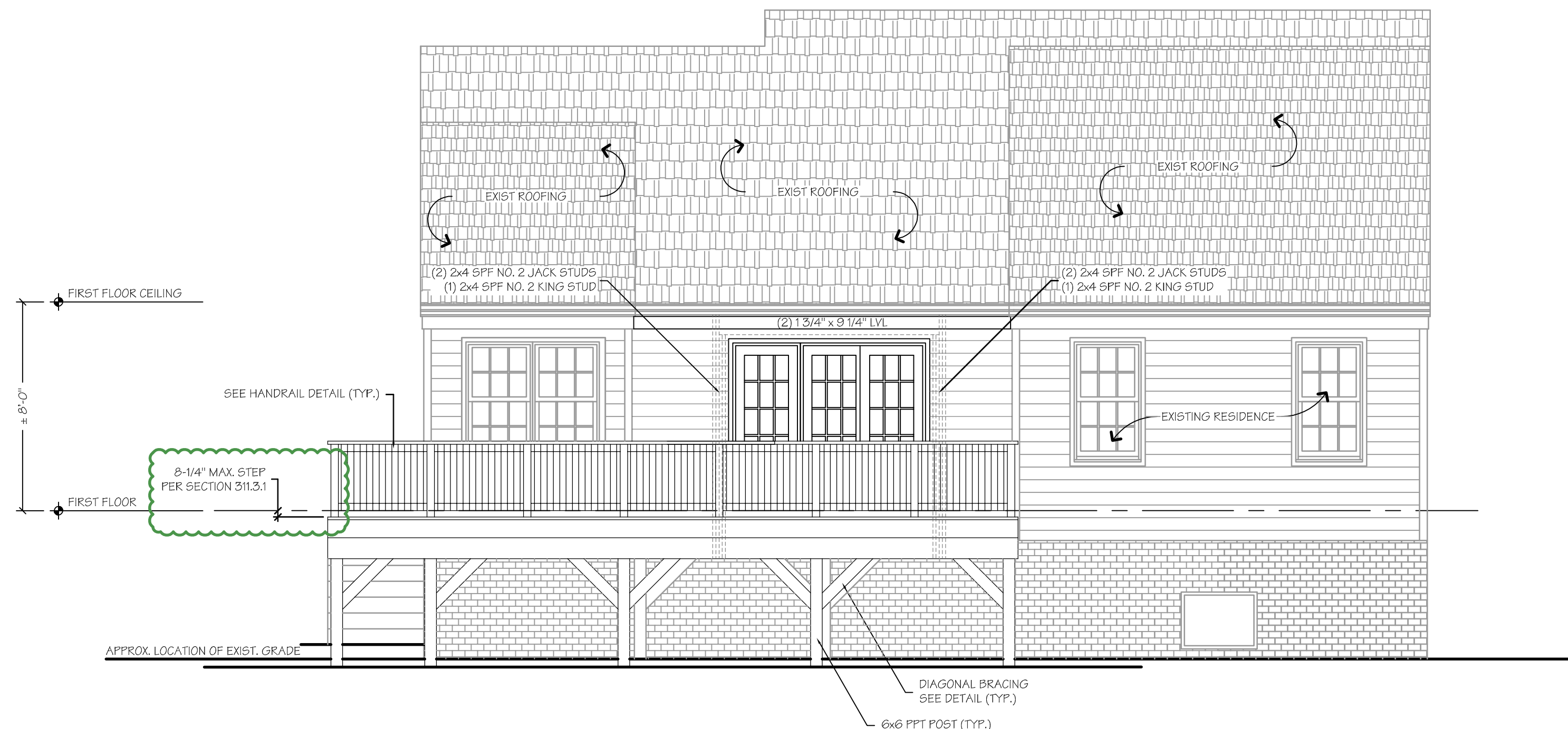
No.	By	Revision	Date
1			10.31.22

WILLIAMSBURG LANDING
 3011 Willow Springs Court
 FIRST FLOOR & ROOF PLANS
 JAMES CITY COUNTY VIRGINIA

Job Number 22090	Sheet No. 4
---------------------	----------------

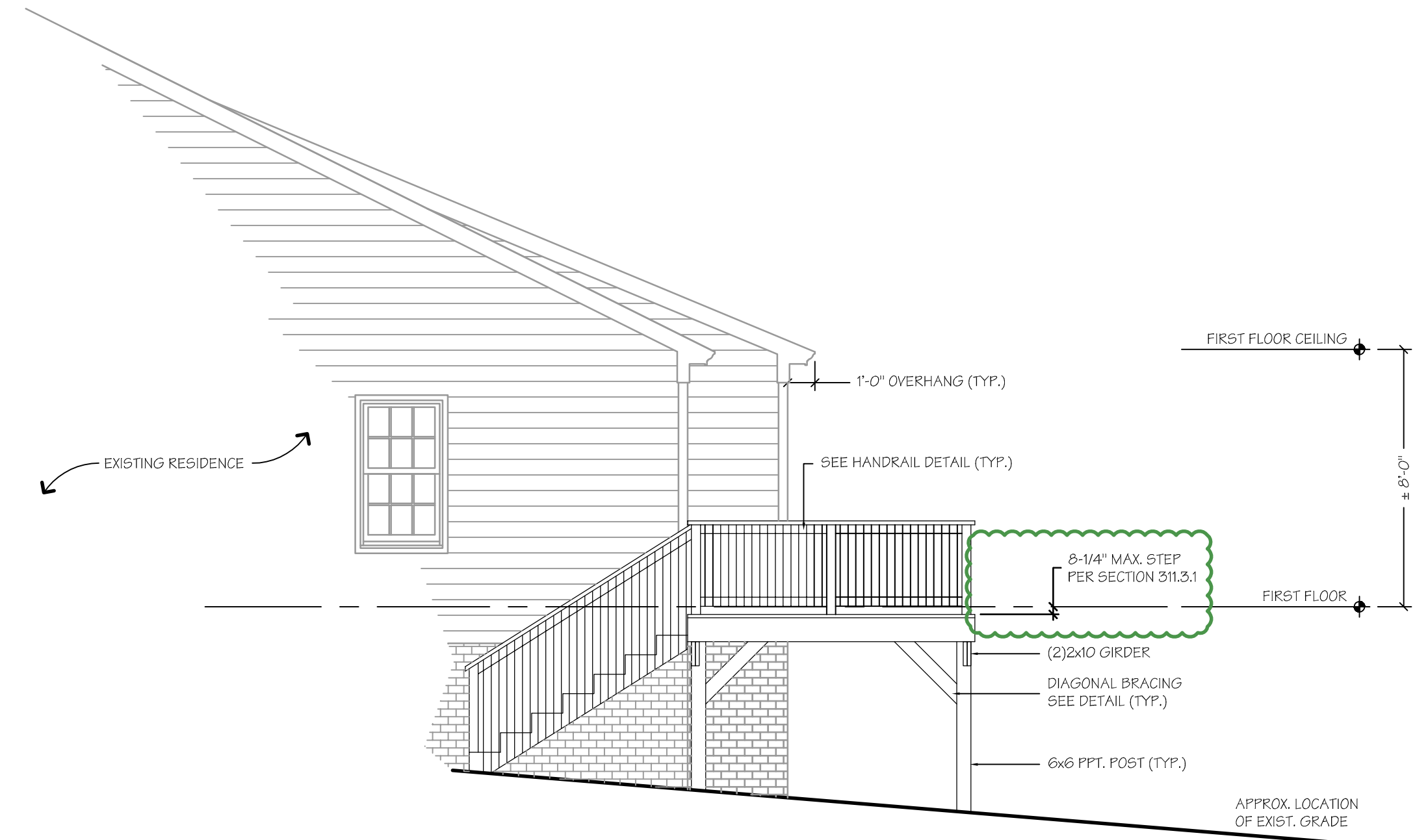
COPYRIGHT © 2022 R.J.H. DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.

In general conformance with 2018 Virginia Residential Code
 Locality Approval: Tom Coghill, JCC Building Official
 TSG Reviewed: Charles M. Thomas, Jr., P.E.
 TSG Approved: Michael Matthews, P.E.
 Date: July 22, 2021
 This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.

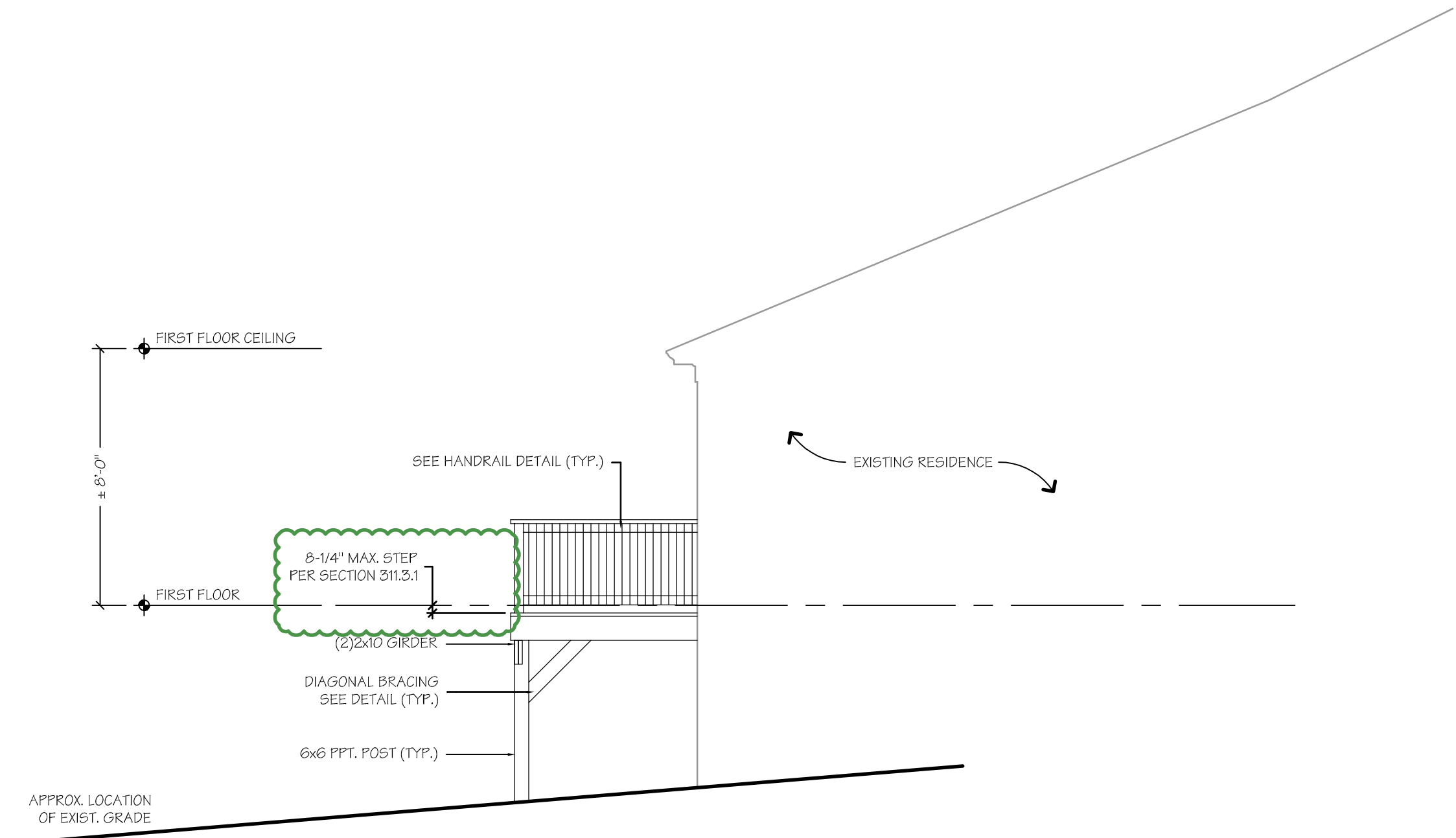


- ### NOTES
- REPAIR OR REPLACE ANY DAMAGED SIDING OR TRIM WITH HARD PLANK SIDING, PVC TRIM MATERIALS TO MATCH EXISTING.
 - REPLACE EXISTING ROOF BOOTS WITH PERMA-BOOT FLASHING KIT AND BLACK GEO-SEAL SILICONE SEALANT OR EQUAL.
 - PROVIDE AND INSTALL NEW CHIMNEY CAP AND SEAL AS PER SHOP DRAWING ATTACHMENT #7.
 - REPLACE ANY GUTTERING AND DOWN SPOUTS AS NEEDED TO MATCH EXISTING.
 - POINT UP BRICK AND MORTAR AS REQUIRED TO NORMAL INDUSTRY STANDARDS, MORTAR TO MATCH EXISTING.

REAR ELEVATION
 SCALE: 1/4" = 1'-0"

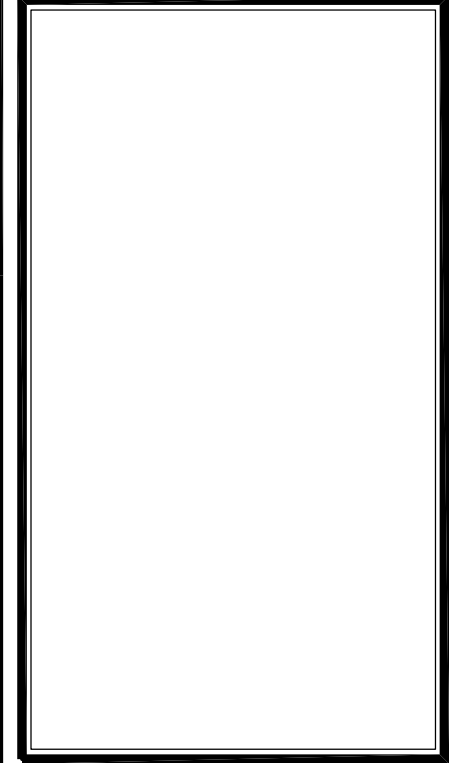


RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDIK PHONE: 757.876-1882
 PO BOX 3683 WILLIAMSBURG, VA 23187
 NOTES:
 THE INFORMATION ON THESE DRAWINGS IS THE PROPERTY OF R.J.H. DRAFTING & DESIGNS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF R.J.H. DRAFTING & DESIGNS, INC. IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



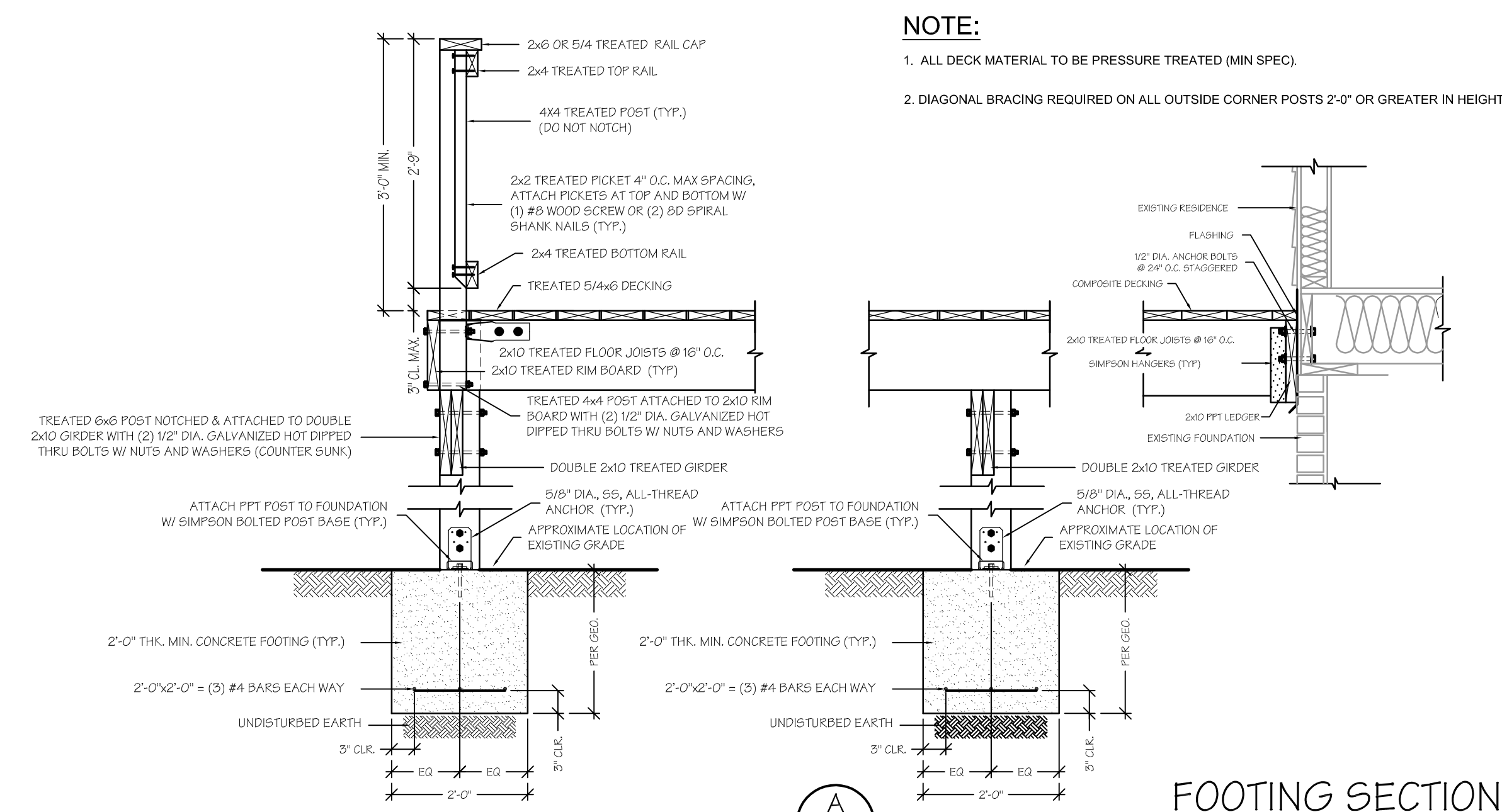
No.	By	App.	Date
1			10.31.22

WILLIAMSBURG LANDING
 3011 Willow Springs Court
 SECTION VIEWS & ELEVATIONS
 JAMES CITY COUNTY VIRGINIA

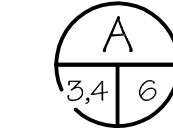
Job Number: 22090
 Sheet No.: 5

COPYRIGHT © 2022 R.J.H. DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.

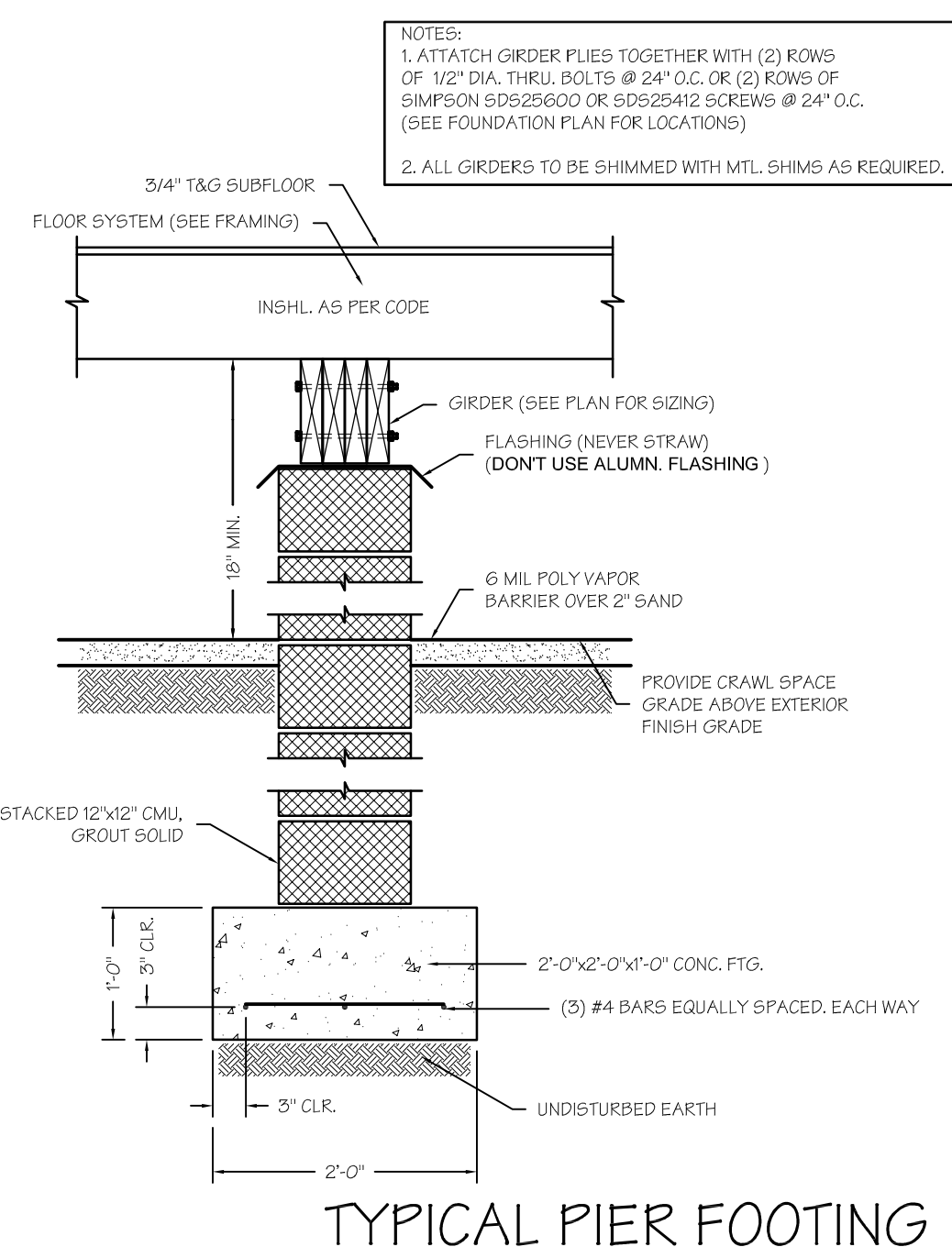
C:\Users\ronal\Desktop\2022\22090 - Williamsburg Landing\22090 Layouts\10.31.22.dwg



NOTE:
 1. ALL DECK MATERIAL TO BE PRESSURE TREATED (MIN SPEC).
 2. DIAGONAL BRACING REQUIRED ON ALL OUTSIDE CORNER POSTS 2'-0" OR GREATER IN HEIGHT.

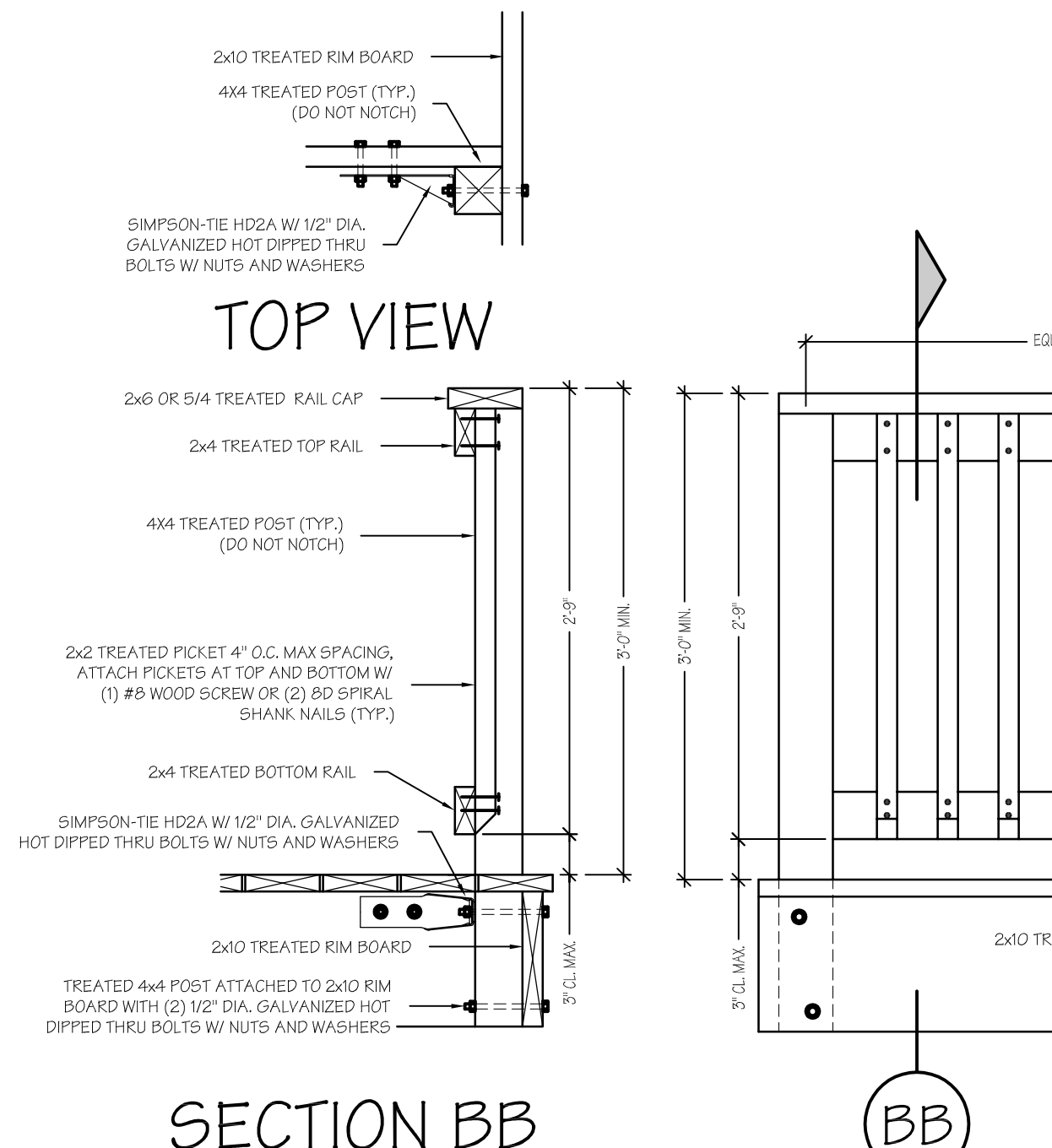


FOOTING SECTION

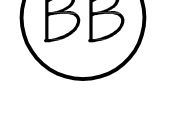


TYPICAL PIER FOOTING

SCALE: 3/4"=1'-0"

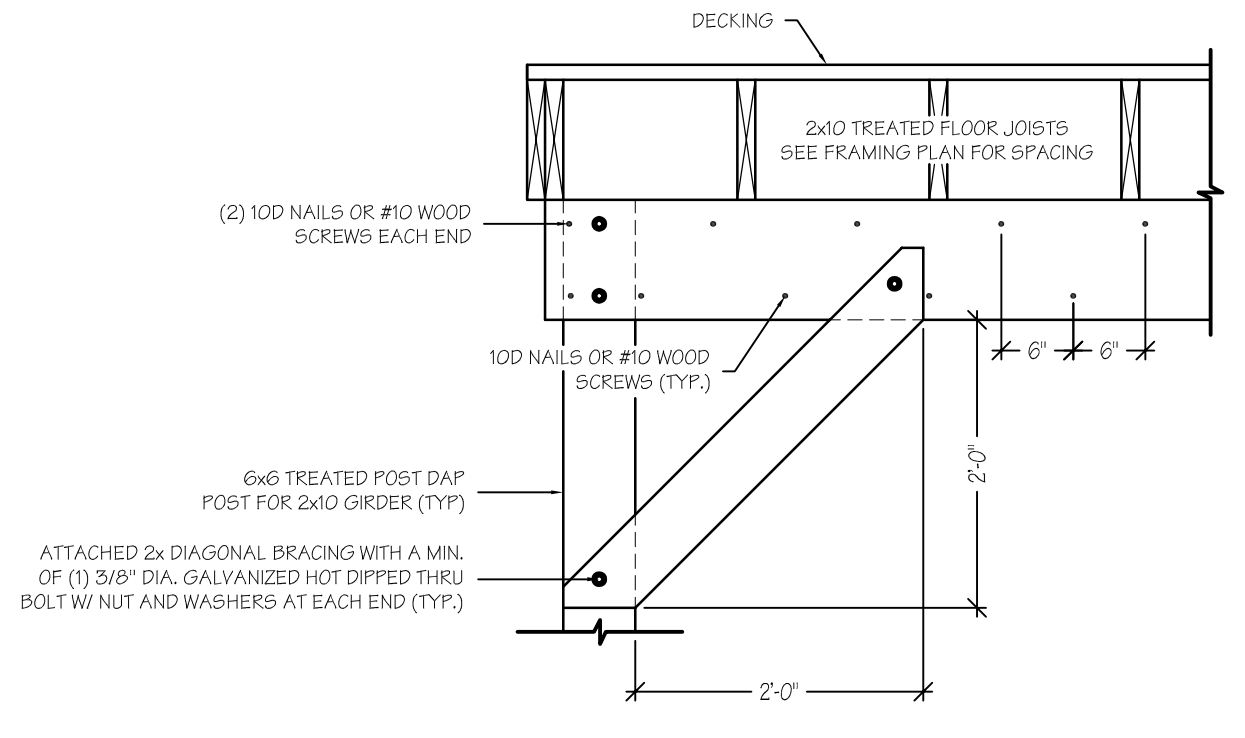


NOTE:
 1. ALL DECK MATERIAL TO BE PRESSURE TREATED (MIN SPEC).
 2. DIAGONAL BRACING REQUIRED ON ALL OUTSIDE CORNER POSTS 2'-0" OR GREATER IN HEIGHT.



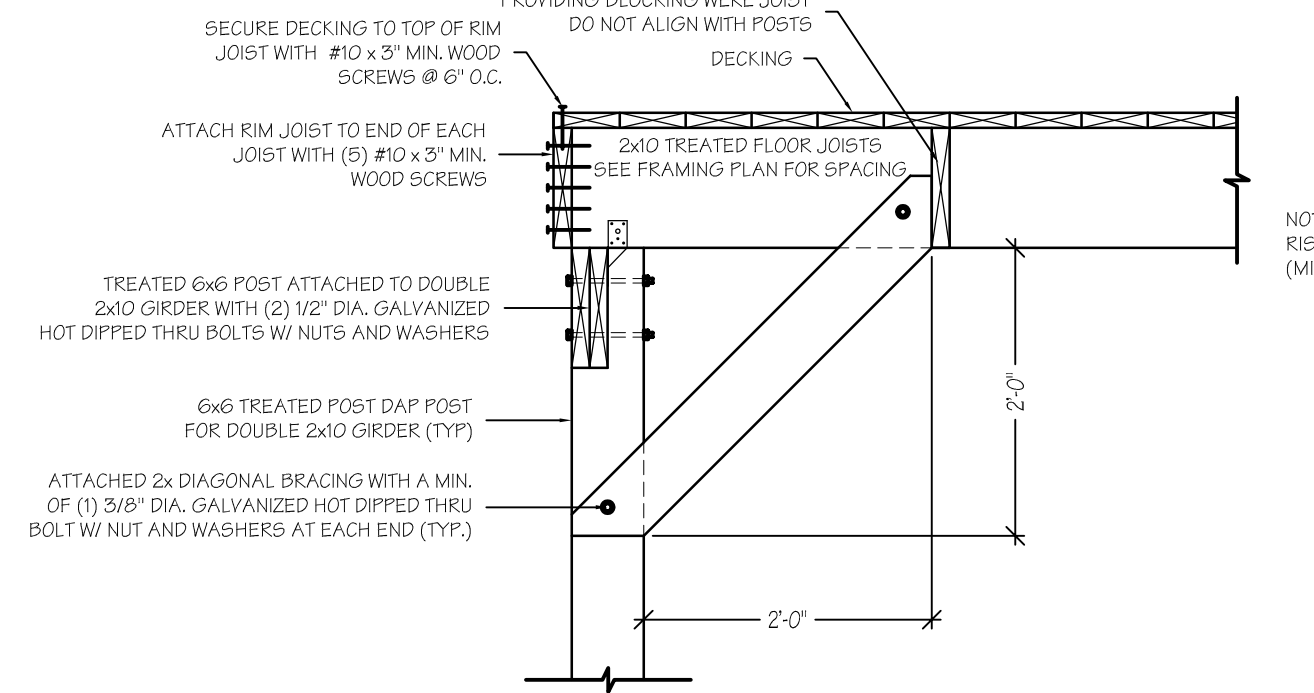
TYPICAL RAILING DETAIL

SCALE 1" = 1'-0"



DIAGONAL BRACING DETAIL

SCALE: 3/4"=1'-0"



TYPICAL RISER DETAIL

SCALE: 3/4"=1'-0"

In general conformance with 2018 Virginia Residential Code
 Locality Approval: Tom Coghill, JCC Building Official
 TSG Reviewed: Charles M. Thomas, Jr., P.E.
 TSG Approved: Michael Matthews, P.E.
 Date: July 22, 2021

This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.

Drafting services provided by **R.J.H. Drafting & Designs, Inc.**
 CONTACT INFORMATION:
 RONALD HIDEK PHONE: 757.876-1982
 PO BOX 3663 WILLIAMSBURG, VA 23187

NOTES:
 1. ALL DECK MATERIAL TO BE PRESSURE TREATED (MIN SPEC).
 2. DIAGONAL BRACING REQUIRED ON ALL OUTSIDE CORNER POSTS 2'-0" OR GREATER IN HEIGHT.

Drawn By: [Signature] Date: 07.19.22 File Name: 22090

NO.	REVISION	DATE	APP.

NO.	REVISION	DATE	APP.

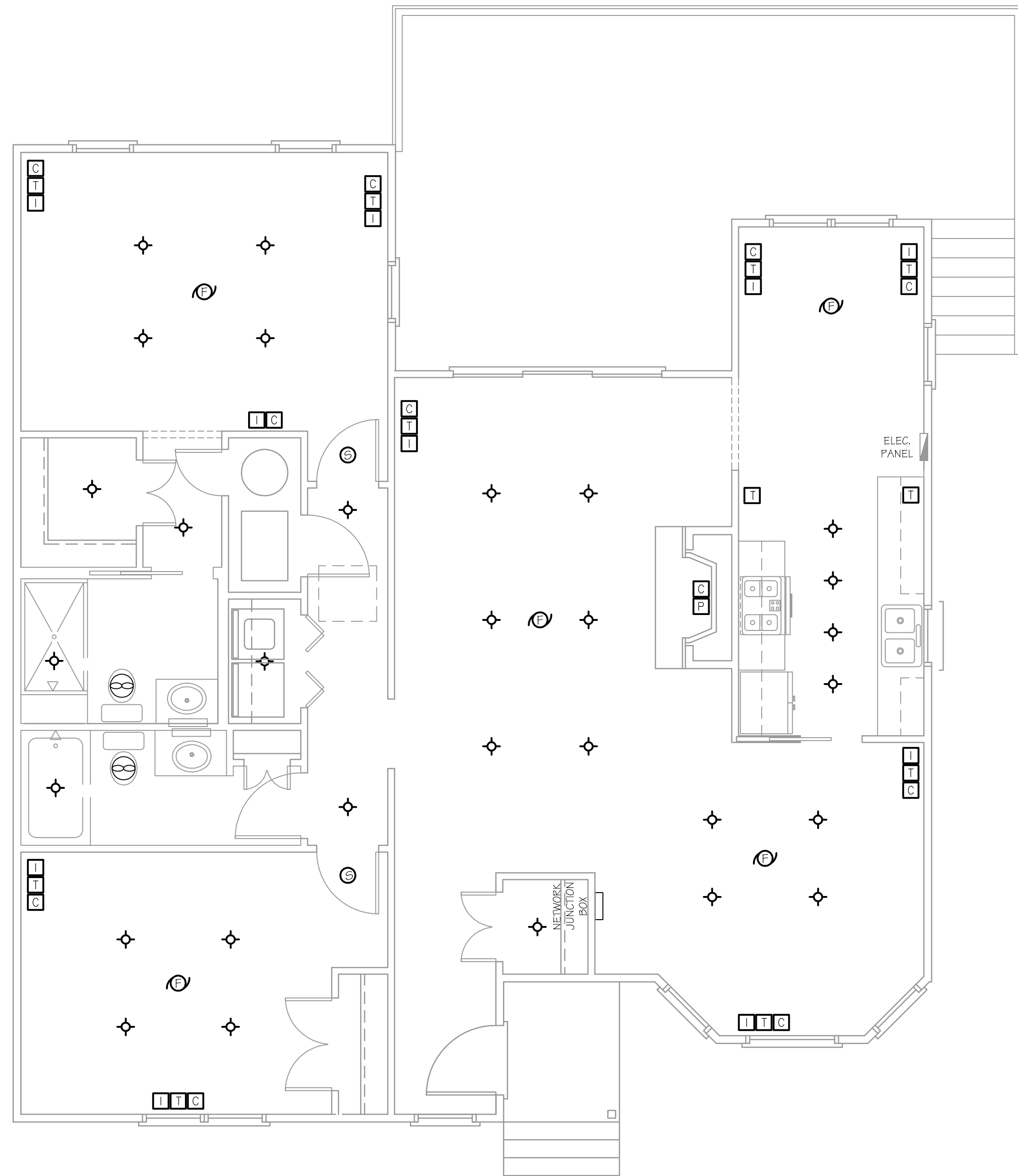
WILLIAMSBURG LANDING
3011 Willow Springs Court

MISCELLANEOUS DETAILS
 VIRGINIA
 JAMES CITY COUNTY

Job Number: 22090 Sheet No. 6

C:\Users\ronal\Desktop\2022\22090 Williamsburg Landing\22090 Layouts\Layouts 10.31.22.dwg

COPYRIGHT © 2022 R.J.H. DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.



SYM.	DESCRIPTION
	CABLE
	TELEPHONE
	INTERNET
	110 RECEPTACLE
	RECESSED LIGHTING
	SMOKE DETECTOR
	MECHANICAL VENTILATION
	CEILING FAN RATED BOX W/ BRACE

NOTES	
1.	LOCATIONS SHALL BE SINGLE GANG OPEN BACK BOX.
2.	ABANDON EXISTING CABLE JACKS
3.	EXISTING PHONE JACKS TO REMAIN

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTES

- Note: All recessed cans, electrical devices and trims, low voltage devices and trims, network box, lighting fixtures are *WLI provided*, to be installed by contractor. Rough electrical materials, Square D Q0 load center to be provided and installed by contractor.
- General:
 - Add outlets as necessary to meet code as walls are being removed at ADA/accessible height standard 18"
 - Replace all outlets and switches throughout with white devices and mid-size plates. *****WLI Provided*****
 - Install/replace as necessary all smoke detectors to meet current building codes, add new where required. *****WLI Provided*****
 - Provide and install hardwired single chime doorbell for front door.
 - Install network interface box and 115v receptacle inside the NIB in front of the entrance coat closet(box provided by WLI). All low voltage drops will homerun back to this interface box. All rooms shall have C/P/N cables installed together in a single gang open back box. Refer to drawing for C/P/N locations. Contractor pulling cables will clearly mark both ends where these cables are pulled. 1 Cat6 and 1 Coax shall run from the NIB to Verizon and Cox outside service connection. 2 Cat6 and 1 Coax shall run from NIB to hot water heater closet and single gang box to be located on the same wall as fiber optic DEMARK. Contractors should use caution not to disturb or damage the fiber cable already installed in the home. Living room over the mantle install 1 single gang power and 1 single gang box with 1 Coax and 1 Cat6 cable. All terminations for C/P/N cables will be done by WLI.
 Note: Existing phone and cable outlets can be modified and reused if in correlation with drawings i.e. same wall. *****WLI Provided devices and plates*****
 - Provide and install fan junction box and wiring in the center of Sunroom ceiling.
 - Provide and install ceiling junction box for fixture in dining room if not currently installed.
 - Provide and install junction box and wiring for fan in each bedroom.
 - Install 2 bath ventilation fan to be Nutone QTRN080 *****bath fans provided by WLI**
 - Install *WLI Provided* fixtures in kitchenette, dining room, bathrooms, closets, and laundry room.
- Kitchen/Kitchenette:
 - Relocate, provide and install new Square D Q0 Amp 42-space load center panel in Kitchen to Kitchenette outside wall.
 - Wire for under cabinet lighting in Kitchen *****fixtures by WLI***** Model # Accento 12" or Lithonia LED Stick 18", 12" or 6" to ensure complete under cabinet coverage.
 - Provide and install ceiling junction box for fixture in kitchenette, install fixture. *****WLI to provide fixture*****
 - Exterior:
 - Any currently installed exterior outlets to be upgraded to GFCI as required
 - Replace three outside wall lanterns, 1 front , 2 rear *****WLI Provided*****
 - Recessed Can Lighting:
 - Install per plan shown on page 7 of Architectural Drawings.
 - Install Lotus 12w super thin 6" LED lights model # LY6RCS as per plan layout on page 7.
 - Install 6" Lotus LED Model #LY6RCS over each shower.

In general conformance with 2018 Virginia Residential Code
 Locality Approval: Tom Coghlin, JCC Building Official
 TSG Reviewed: Charles M. Thomas, Jr., P.E.
 TSG Approved: Michael Matthews, P.E.
 Date: July 22, 2021

This independent plan review was conducted in accordance with Section 109.4.1 of the VUSBC. An Independent Plan Review Letter accompanies this set of construction drawings. The approval of these plans does not relieve the contractor from complying with all applicable provisions of the VUSBC. Any change made to the plans or in the field, including changes in the engineered products, must be approved by the Building Official. Failure to construct what is documented is cause for rejection at the time of inspection.

COPYRIGHT © 2022 RJH DRAFTING & DESIGNS, INC., ALL RIGHTS RESERVED.

WILLIAMSBURG LANDING
 3011 Willow Springs Court

Job Number
 22090

Sheet No.
 7

ELECTRICAL PLANS
 JAMES CITY COUNTY VIRGINIA

Drafting services provided by R.J.H. Drafting & Designs, Inc.
 CONTACT INFORMATION:
 RONALD HUDIK PHONE: 757.876-1882
 PO BOX 3683 WILLIAMSBURG, VA 23187

NOTES:
 THE INFORMATION ON THESE PLANS WAS PREPARED BY THE CONSULTING ENGINEER OR ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION. THE CONSULTING ENGINEER OR ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION.

Drawn By: AS NOTED Date: 07.19.22 File Name: 22090



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, JANUARY 11, 2023 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA-22-0029: Ms. Karla Havens, Mid-Atlantic Resource Consulting, has applied on behalf of Mr. James and Mrs. Patricia Mishler for a wetlands permit for the installation of a quarry stone revetment on property located at 213 Southpoint Dr, JCC Parcel No. 4930270014.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0119: Mr. Jeff Huentelman, Land Planning Solutions, has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC c/o Mandrake Capital Partners for encroachments into the Resource Protection Area (RPA) buffer for site grading associated with the development of Stonehouse Tract 10A on property located at 9101 Six Mount Zion Rd, JCC Parcel No. 0540100002.

CBPA-22-0151: Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the replacement and expansion of a deck on property located at 3011 Willow Spring Ct, JCC Parcel No. 4820100002.

CBPA-22-0154: Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub on property located at 130 Jameswood, JCC Parcel No. 4510400082.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – Dec 28, 2022 and Jan 4, 2023.

ACCOUNT NO. CU00015112

VIRGINIA GAZETTE

1/8 PAGE, VERTICAL, B/W

CARD # x6648

ITEM SUMMARY

DATE: 1/11/2023
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: CBPA-22-0119 : 9101 Six Mount Zion Road

CBPA-22-0119: Mr. Jeff Huentelman, Land Planning Solutions, has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC c/o Mandrake Capital Partners for encroachments into the Resource Protection Area (RPA) buffer for site grading associated with the development of Stonehouse Tract 10A on property located at 9101 Six Mount Zion Rd, JCC Parcel No. 0540100002.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	Mitigation Plan	Exhibit
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:29 AM
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:33 AM
Publication Management	Daniel, Martha	Approved	1/4/2023 - 11:37 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/5/2023 - 4:23 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0119. 9101 Six Mount Zion Road
Staff Report for the January 11, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: MCP Stonehouse, LLC, c/o Mandrake Capital Partners
Agent: Mr. Jeff Huentelman, Land Planning Solutions, Inc.
Location: 9101 Six Mount Zion Road
Parcel Identification No.: 0540100002
Parcel: P-18 Lagrange Tract Division of Stonehouse at Williamsburg, LLC Properties
Lot size: 93.45 acres
Project Size: 49.83 acres
Area of Project in Resource Protection Area (RPA): (25%)
Watershed: Ware Creek (YO62)
Floodplain: None
Proposed Activity: Grading
Impervious Cover: 0 square feet
RPA Encroachment: 13,727 square feet, landward 50-foot RPA
Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Jeff Huentelman, Land Planning Solutions, Inc., has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC, c/o Mandrake Capital Partners, for encroachments into the RPA buffer for grading located at 9101 Six Mount Zion Road within the Stonehouse subdivision and the Ware Creek watershed. The property is further identified as James City County Tax Map Parcel No. 0540100002. This project is also known as Stonehouse Tract 10A.

The total lot size of this property is 93.45 acres. The project area on this property is 49.83 acres of which 25% is located within the RPA. The applicant is proposing to grade approximately 13,727 square feet of the RPA for the development. The applicant has stated that these impacts are necessary to minimize erosion of the existing channels from the stormwater bioretention ponds and lot grading proposed for the project. Total impacts to the RPA associated with this proposal equate to 13,727 square feet of impacts to the landward 50-foot RPA. Required mitigation for this amount of impacts equals 34 planting units (34 canopy trees, 68 understory trees, and 102 shrubs). The applicant has proposed 33,103 square feet of undisturbed natural open space as mitigation over double the impact area. Additionally, the applicant is proposing to replant the disturbed buffer area.

STAFF EVALUATION

Staff has evaluated the application and exception request for the grading. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the project can be redesigned to have no grading impacts occurring within the RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be moderate for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Deed of Natural Open Space be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a Land Disturbing Permit; and
3. Replant all disturbed RPA areas outside of any proposed easements. Replanting shall be based on the standard planting unit (one canopy tree, two understory trees, and three shrubs per every 400 square feet of disturbed RPA). Replanting shall be bonded as part of the subdivision bond. A minimum of 90% of the required plant material shall be living at one year post planting prior to any bond being authorized for release or reduction; and
4. This exception request approval shall become null and void if construction has not begun by January 11, 2024; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 30, 2023, six weeks prior to the expiration date.

TAL/md
CBPA22-119_9101SixMtZion

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0119. 9101 SIX MOUNT ZION ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Jeff Huentelman, Land Planning Solutions, Inc., on behalf of MCP Stonehouse, LLC, c/o Mandrake Capital Partners (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0540100002 and further identified as 9101 Six Mount Zion Road (the “Property”) as set forth in the application CBPA-22-0119 for the purpose of grading; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0119, subject to the following conditions:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Deed of Natural Open Space be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a Land Disturbing Permit; and
3. Replant all disturbed RPA areas outside of any proposed easements. Replanting shall be based on the standard planting unit (one canopy tree, two understory trees, and three shrubs per every 400 square feet of disturbed RPA). Replanting shall be bonded as part of the subdivision bond. A minimum of 90% of the required plant material shall be living at one year post planting prior to any bond being authorized for release or reduction; and
4. This exception request approval shall become null and void if construction has not begun by January 11, 2024; and
5. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 30, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

RESOLUTION

CASE NO. CBPA-22-0119. 9101 SIX MOUNT ZION ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Jeff Huentelman, Land Planning Solutions, Inc., on behalf of MCP Stonehouse, LLC, c/o Mandrake Capital Partners (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 0540100002 and further identified as 9101 Six Mount Zion Road (the “Property”) as set forth in the application CBPA-22-0119 for the purpose of grading; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0119.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

CBPA22-119_9101SixMtZionDeny-res

NOTES

PROJECT DESCRIPTION: FOR THE REDEVELOPMENT OF STONEHOUSE TRACT 10A INTO 152 TOWNHOUSE UNITS AND RELATED INFRASTRUCTURE, THE LIMITS OF IMPROVEMENTS WILL BE APPROXIMATELY 26.3 ACRES.

EXISTING CONDITIONS: 10A IS CURRENTLY UNDEVELOPED, FORESTED LAND. STORMWATER RUNOFF CURRENTLY SHEET DRAINAGE ACROSS THE PARCEL INTO THE NEIGHBORING WETLANDS.

STORMWATER MANAGEMENT: STORMWATER RUNOFF WILL BE COLLECTED, IN DRAINAGE DITCHES, AND DISCHARGED TO OUTLET POINTS THAT DISCHARGE INTO THE NEIGHBORING WETLANDS.

SOIL DESCRIPTION: SEE THIS SHEET

CRITICAL AREAS:

- WETLANDS: PROJECT WILL IMPACT EXISTING NON-TIDAL WETLANDS EXCEEDING 25% AND THE 100' RPA SOILS THAT ARE CLASSIFIED AS FULLY-HYDRIC WILL NOT BE IMPACTED.

ENVIRONMENTAL INVENTORY IMPACTS

TOTAL WETLANDS: NONE ON SITE

TOTAL SOILS: NONE ON SITE

NON-TIDAL WETLANDS: 0.08 AC IMPACTED (GRADING)

100' RPA BUFFER: 0.06 AC IMPACTED (STORM OUTFALLS)

TOTAL 100' RPA BUFFER: 0.14 AC IMPACTED (STORM OUTFALLS)

25% SLOPES OR GREATER: 2.20 AC IMPACTED

IMPACT MITIGATION AREA: 0.76 AC

LEGEND

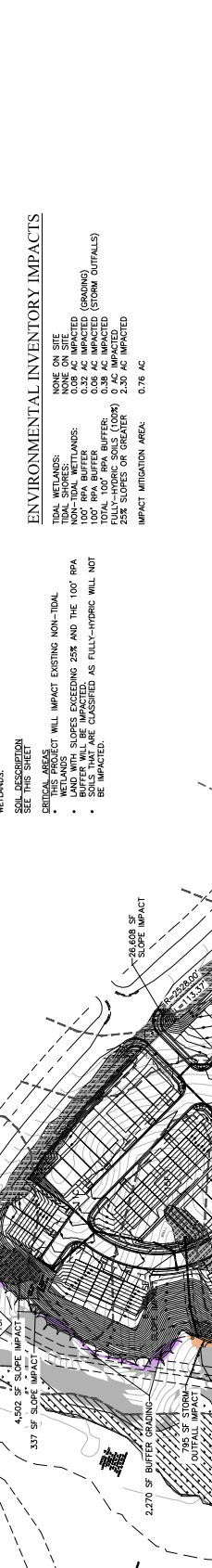
- FULLY HYDRIC SOILS
- 25% SLOPES OR GREATER
- 25% SLOPE IMPACTS
- NON-TIDAL WETLAND IMPACTS
- 100' RPA BUFFER IMPACTS (STORM OUTFALLS)
- 100' RPA BUFFER IMPACTS (BUFFER GRADING)
- BUFFER IMPACT MITIGATION AREA
- SOIL CALLOUTS

EROSION AND SEDIMENT CONTROL MEASURES

TO PREVENT SEDIMENT FROM LEAVING THE SITE AND ENTERING FIELDSTONE PARKWAY, CHECK DAMS, CONSTRUCTION ENTRANCE AND TEMPORARY SEEDING WILL BE IMPLEMENTED. INSTALLATION OF CHECK DAMS, CONSTRUCTION ENTRANCE AND TEMPORARY SEEDING WILL BE IMPLEMENTED IN ACCORDANCE WITH THE GUIDELINES PUBLISHED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), 3RD EDITION.

PERMANENT SEEDING, LANDSCAPING AND TURF WILL BE USED TO STABILIZE THE SITE AFTER CONSTRUCTION IS COMPLETE.

TEMPORARY SEEDING, LANDSCAPING AND TURF WILL BE USED TO STABILIZE THE SITE AFTER CONSTRUCTION IS COMPLETE.



SHRINK-SWELL SOILS

UNDEVELOPED
LOW
MODERATE
VERY HIGH

Map unit symbol	Map unit name	Rating	Acres in ADO	Percent of ADO
11C	Crystalline complex, Moderately well drained	14.4	14.4	43.2%
14B	8 to 10 percent slopes, Moderately well drained	0.2	0.2	0.7%
15E	Empozone complex, 15 to 20 percent slopes, Very poorly drained	1.1	1.1	3.4%
16F	20 percent slopes, Very poorly drained	11.0	11.0	33.1%
17	20 percent slopes, Moderately well drained	1.7	1.7	5.1%
20B	8 to 10 percent slopes, Moderately well drained	4.8	4.8	14.5%
Totals for Area of Interest			33.3	100.0%

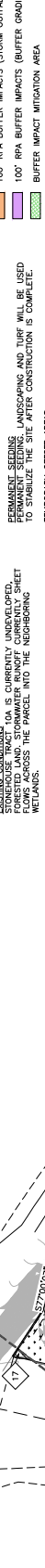
Map unit symbol	Map unit name	Rating	Acres in ADO	Percent of ADO
11C	Crystalline complex, 1 to 5 percent slopes, Very poorly drained	14.4	14.4	43.2%
14B	Empozone fine sandy loam, 2 to 10 percent slopes, Very poorly drained	0.2	0.2	0.7%
15E	Empozone complex, 15 to 20 percent slopes, Very poorly drained	1.1	1.1	3.4%
16F	Empozone complex, 25 to 35 percent slopes, Very poorly drained	11.0	11.0	33.1%
17	20 percent slopes, Very poorly drained	1.7	1.7	5.1%
20B	8 to 10 percent slopes, Very poorly drained	4.8	4.8	14.5%
Totals for Area of Interest			33.3	100.0%

PROJECT NO. RD0270
DATE 16SEP22
DESIGNER: JPH
DRAWN BY: GAR
CHECKED BY: JPH
ENVIROMENTAL INVENTORY

STONEHOUSE - TRACT 10A
SUBDIVISION PLAN
FIELDSTONE PARKWAY
JAMES CITY COUNTY, VIRGINIA



SHEET NO. C008



REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

DATE

REVISION

DATE

NO.

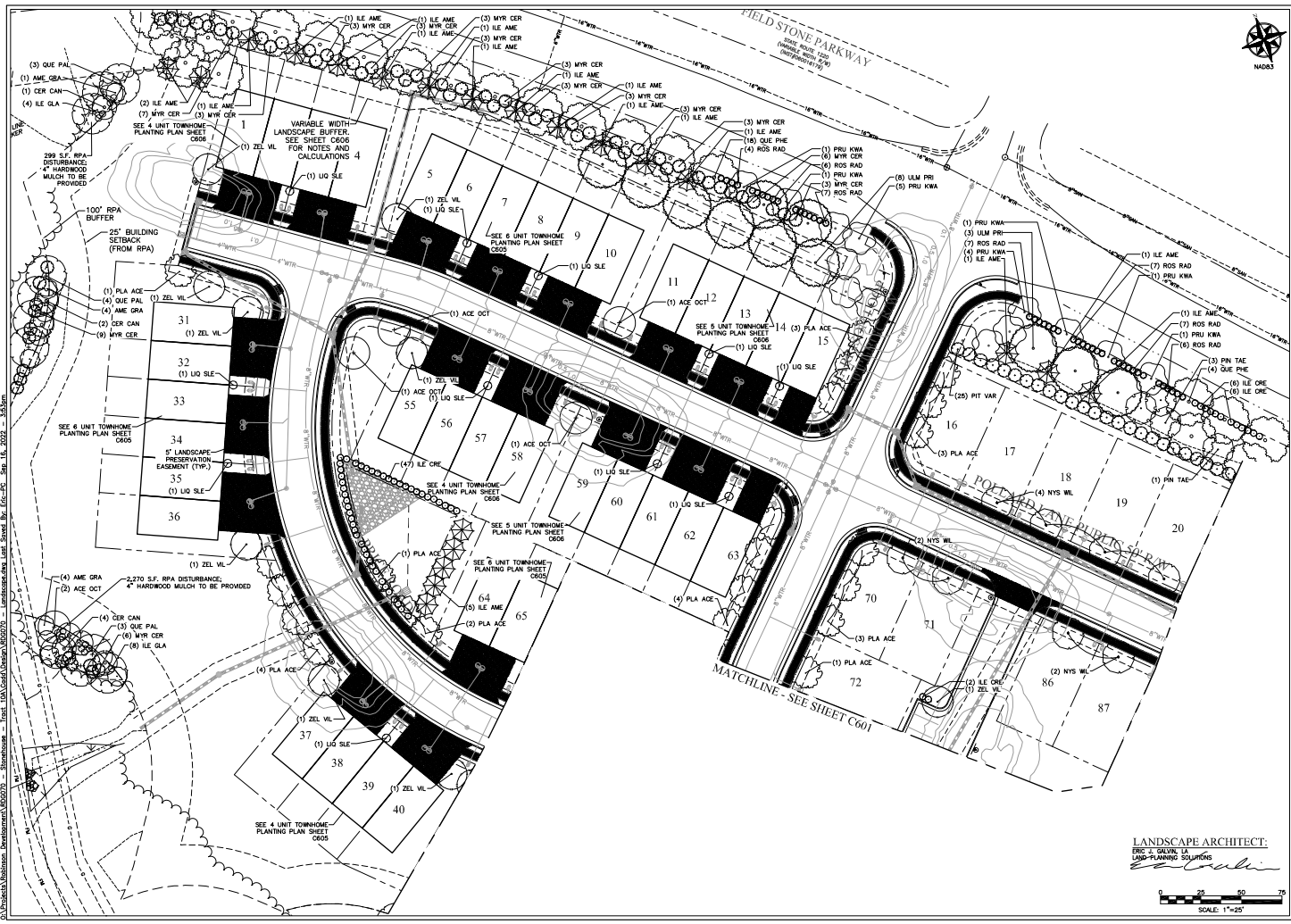
DATE

REVISION

DATE

NO.

DATE



LANDSCAPE ARCHITECT
 ERIC T. GALVIN, L.A.
 LICENSE NO. 1000
 (2023-01-01)
 (2023-01-01)

NO.	DATE	REVISION

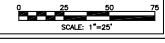
PROJECT NO. 100070
 DATE 10/20/22
 DES. GAB
 DRG. GAB
 CDR. JET

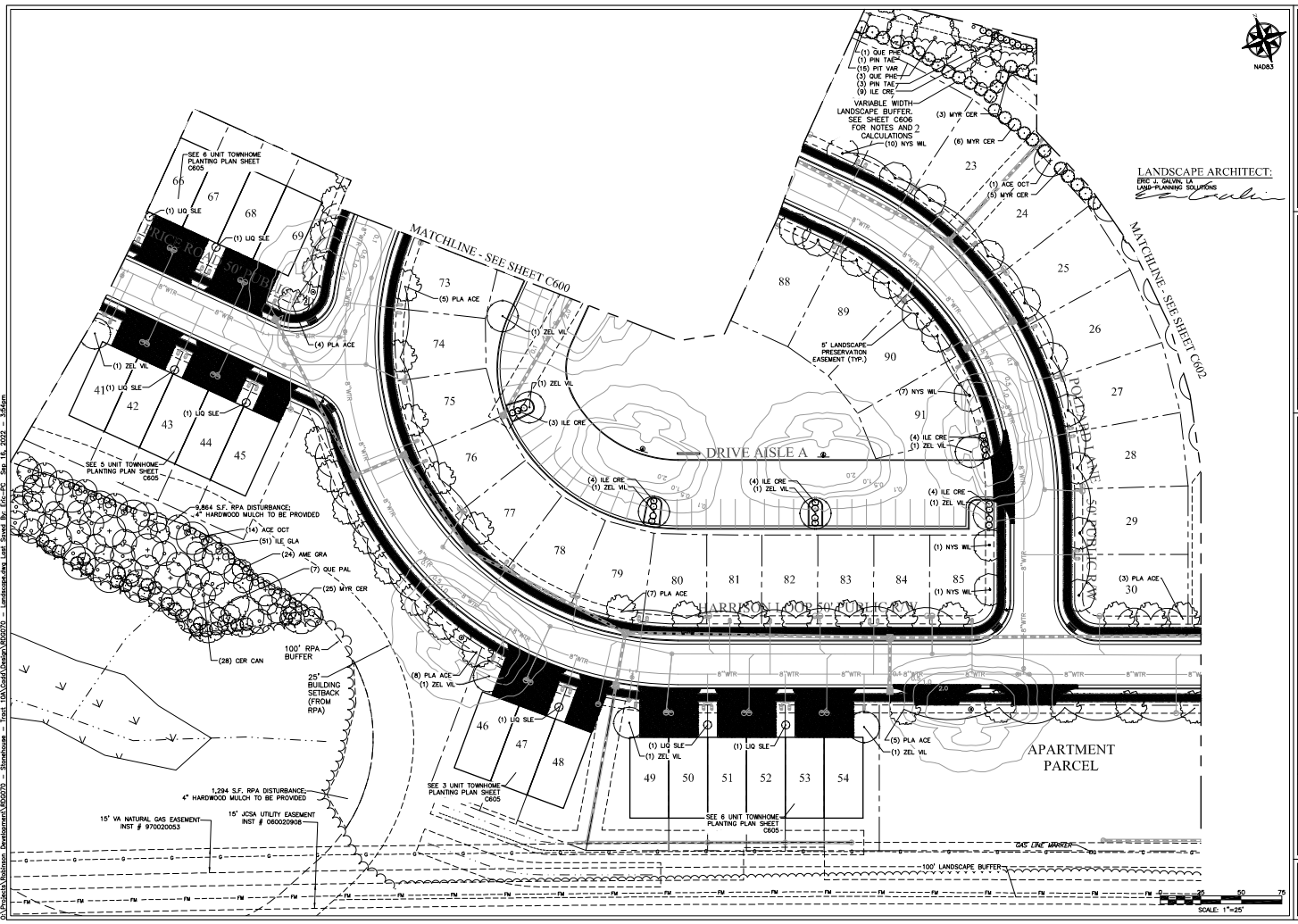
STONEHOUSE - TRACT 10A
 SUBDIVISION PLAN
 FIELDSTONE PARKWAY
 JAMES CITY COUNTY, VIRGINIA
 LANDSCAPE & LIGHTING PLAN



SHEET NO.
 C600

LANDSCAPE ARCHITECT
 ERIC T. GALVIN, L.A.
 LICENSE NO. 10000
 (2023-01-01)
 (2023-01-01)





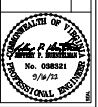
LANDSCAPE ARCHITECT:
 Eric J. Galvin, L.A.
Eric Galvin

LANDSCAPE ARCHITECT:
 ERIC J. GALVIN, L.A.
 LANDSCAPE ARCHITECTS
 1401 Greenleaf Park, Suite 200
 Chesapeake, VA 23060
 (757) 546-1045
 www.landscapesolutions.com

NO.	DATE	REVISION

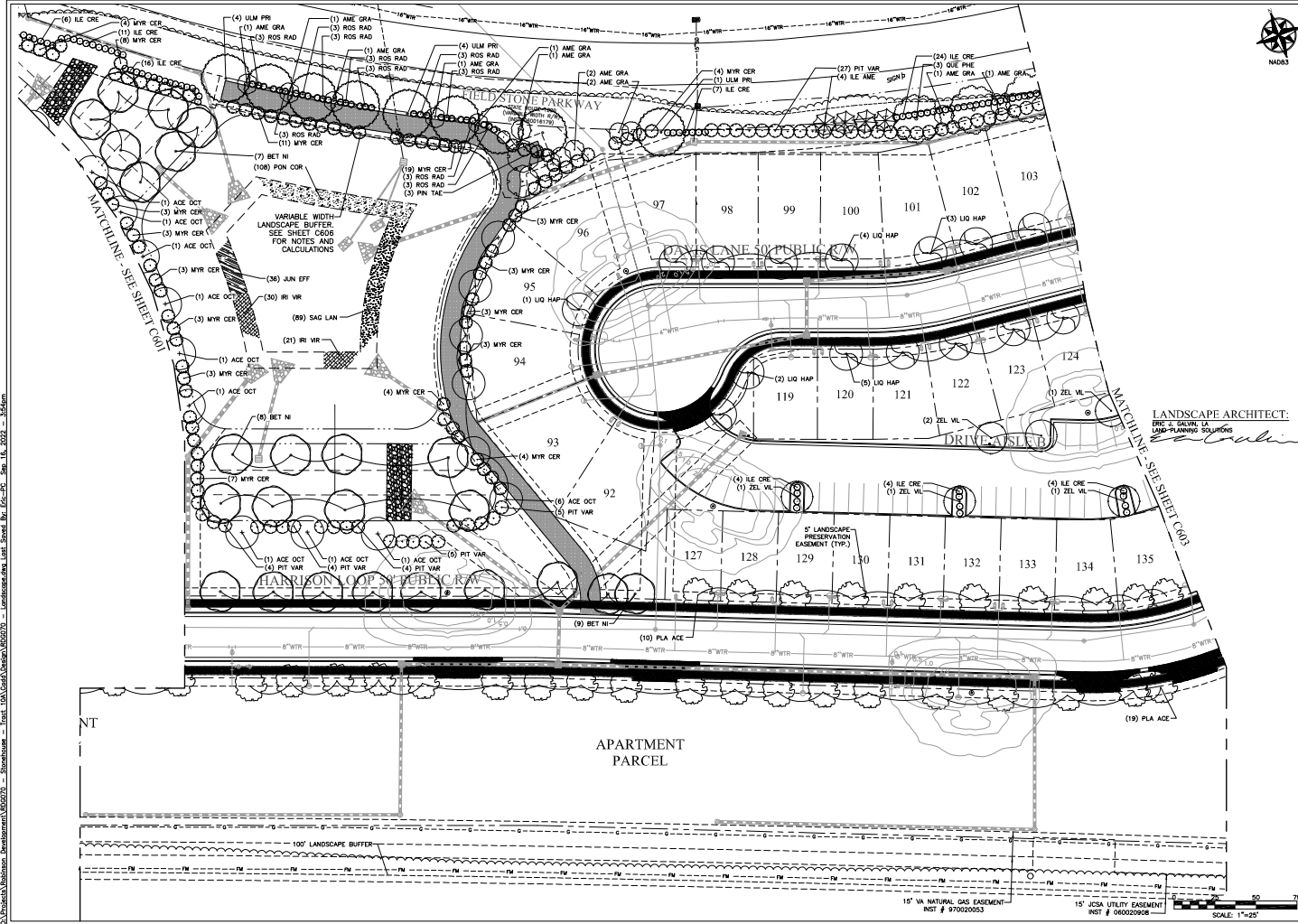
PROJECT NO.	808070
DATE	1.18.2022
DES.	EGR
CHK.	EGR
APP.	EGR

STONEHOUSE - TRACT 10A
 SUBDIVISION PLAN
 HELENSBORO PARWAY
 JAMES CITY COUNTY, VIRGINIA
 LANDSCAPE & LIGHTING PLAN



SHEET NO.
C601

C:\Users\jgalvin\OneDrive\Documents\808070 - Stonehouse - Tract 10A\CAD\Drawings\808070 - Landscape\808070 - Landscape.dwg, Last Saved By: EGR, On: 1/18/2022, 3:54pm

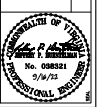


LANDSCAPE ARCHITECT:
ERIC S. GILVILL
LANDSCAPING SOLUTIONS

NO.	DATE	REVISION

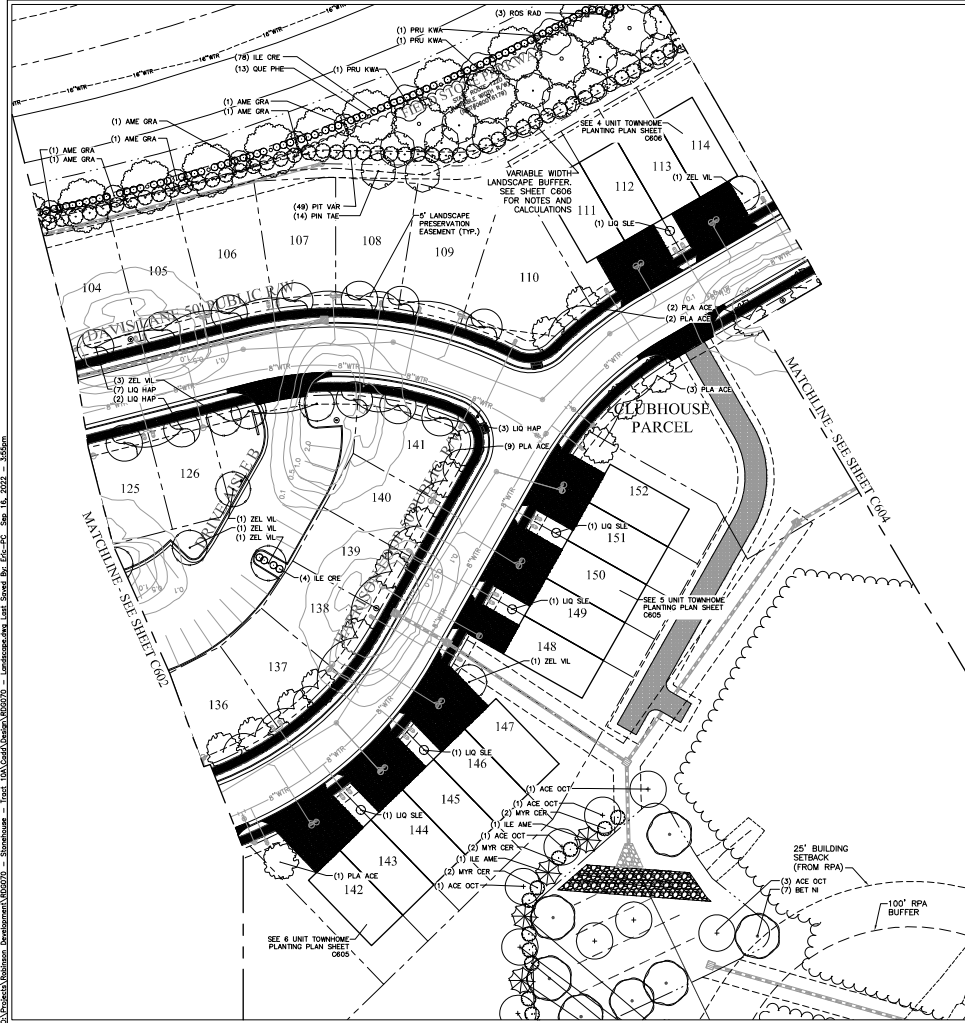
PROJECT NO: 808070
DATE: 10/26/22
DES: GAR
DRC: BJK
CDD: JEL

STONEHOUSE - TRACT 10A
SUBDIVISION PLAN
HELESTONE PARKWAY
JAMES CITY COUNTY, VIRGINIA



SHEET NO.
C602

D:\Projects\10A\Stonehouse - Tract 10A\CAD\Drawings\10A_Sheet_Plan_Landscaping.dwg - 10/26/22 - 1:54pm



LAND PLANNING SOLUTIONS
 1400 Greenleaf Parkway, Suite 200
 Chesapeake, VA 23060
 (757) 546-1616
 www.landplanning.com

NO.	DATE	REVISION

PROJECT NO.: 808070
 DATE: 10/26/22
 DES.: GAR
 DRG.: BLK
 CDR.: JEL

STONEHOUSE - TRACT 10A
 SUBDIVISION PLAN
 HELESTON PARKWAY
 JAMES CITY COUNTY, VIRGINIA
 LANDSCAPE & LIGHTING PLAN

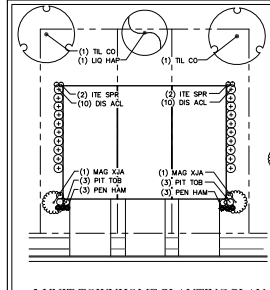


LANDSCAPE ARCHITECT:
 ERIC T. CALVING, L.A.
 LSP-PLANNING SOLUTIONS

 SCALE: 1"=25'

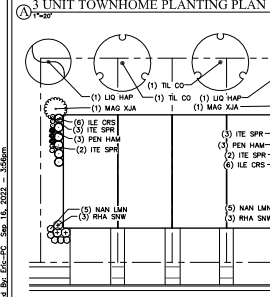
SHEET NO.
C603

C:\Projects\10A\10A_C603.dwg - Stonehouse - Tract 10A - C603.dwg - Landscape & Lighting Plan - 10/26/22 - 3:58pm



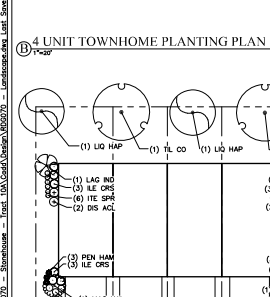
LANDSCAPE YARD REQ.	REQUIRED AREA	PLANTING RATIO	REQUIRED PLANTINGS	PROVIDED PLANTINGS
10' BLD. PERIMETER	2,440 S.F.	1 TREE OR 5 SHRUBS PER 200 S.F.	12 TREES OR 61 SHRUBS	5 TREES AND 36 SHRUBS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CANOPY	HEIGHT	ROOT	NOTES
1	LIQ HAP	1	Liquidambar styraciflua / Sweet Gum	12'	12'	85B or Container	
2	MAG XIA	2	Magnolia 'Janet' / Janet Magnolia	8'	8'	85B or Container	34 STEMS MAX
2	TL CO	2	Thuja occidentalis 'Green Scent' / Green Scent Arborvitae	12'	12'	85B or Container	Single Stem
2	DIS ACL	2	Discolobium 'Cascades' / Cascades Dogwood	12'	12'	3.0 Gals	
4	ITE SPR	4	Ironwood Sycamore / Ironwood Sycamore	12'	12'	3.0 Gals	
6	PEN HAM	6	Penicillium 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
6	PIT TOB	6	Pithecolobium 'Whitaker's Dwarf' / Whitaker's Dwarf Pithecolobium	22"	22"	3.0 Gals	



LANDSCAPE YARD REQ.	REQUIRED AREA	PLANTING RATIO	REQUIRED PLANTINGS	PROVIDED PLANTINGS
10' BLD. PERIMETER	2,920 S.F.	1 TREE OR 5 SHRUBS PER 200 S.F.	15 TREES OR 73 SHRUBS	6 TREES AND 44 SHRUBS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CANOPY	HEIGHT	ROOT	NOTES
2	LIQ HAP	2	Liquidambar styraciflua / Sweet Gum	12'	12'	85B or Container	
2	MAG XIA	2	Magnolia 'Janet' / Janet Magnolia	8'	8'	85B or Container	34 STEMS MAX
2	TL CO	2	Thuja occidentalis 'Green Scent' / Green Scent Arborvitae	12'	12'	85B or Container	Single Stem
12	ILE CRS	12	Illicium 'Cascades' / Cascades Hoop Pine	12'	12'	3.0 Gals	
10	ITE SPR	10	Ironwood Sycamore / Ironwood Sycamore	12'	12'	3.0 Gals	
10	HAN LAM	10	Hansel 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
5	PEN HAM	5	Penicillium 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
8	RHA SW	8	Rhus 'Sawtooth' / Sawtooth Redbay	22"	22"	3.0 Gals	



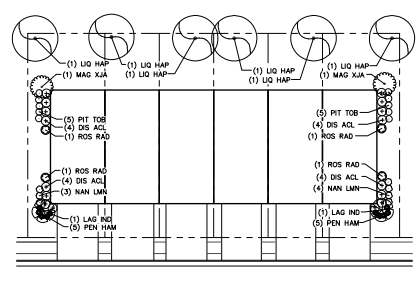
LANDSCAPE YARD REQ.	REQUIRED AREA	PLANTING RATIO	REQUIRED PLANTINGS	PROVIDED PLANTINGS
10' BLD. PERIMETER	3,400 S.F.	1 TREE OR 5 SHRUBS PER 200 S.F.	17 TREES OR 85 SHRUBS	9 TREES AND 40 SHRUBS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CANOPY	HEIGHT	ROOT	NOTES
2	LAG IND	2	Lagotis indica / Tonto Grape Myrtle	8'	8'	85B or Container	34 STEMS MAX
3	LIQ HAP	3	Liquidambar styraciflua / Sweet Gum	12'	12'	85B or Container	
2	MAG XIA	2	Magnolia 'Janet' / Janet Magnolia	8'	8'	85B or Container	34 STEMS MAX
2	TL CO	2	Thuja occidentalis 'Green Scent' / Green Scent Arborvitae	12'	12'	85B or Container	Single Stem
6	DIS ACL	6	Discolobium 'Cascades' / Cascades Dogwood	12'	12'	3.0 Gals	
14	ILE CRS	14	Illicium 'Cascades' / Cascades Hoop Pine	12'	12'	3.0 Gals	
12	ITE SPR	12	Ironwood Sycamore / Ironwood Sycamore	12'	12'	3.0 Gals	
7	PEN HAM	7	Penicillium 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
7	PIT TOB	7	Pithecolobium 'Whitaker's Dwarf' / Whitaker's Dwarf Pithecolobium	22"	22"	3.0 Gals	



LANDSCAPE YARD REQ.	REQUIRED AREA	PLANTING RATIO	REQUIRED PLANTINGS	PROVIDED PLANTINGS
10' BLD. PERIMETER	3,880 S.F.	1 TREE OR 5 SHRUBS PER 200 S.F.	19 TREES OR 97 SHRUBS	10 TREES AND 47 SHRUBS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CANOPY	HEIGHT	ROOT	NOTES
2	LAG IND	2	Lagotis indica / Tonto Grape Myrtle	8'	8'	85B or Container	34 STEMS MAX
6	LIQ HAP	6	Liquidambar styraciflua / Sweet Gum	12'	12'	85B or Container	
2	MAG XIA	2	Magnolia 'Janet' / Janet Magnolia	8'	8'	85B or Container	34 STEMS MAX
7	HAN LAM	7	Hansel 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
5	PEN HAM	5	Penicillium 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
10	PIT TOB	10	Pithecolobium 'Whitaker's Dwarf' / Whitaker's Dwarf Pithecolobium	22"	22"	3.0 Gals	
4	ROS RAD	4	Rosa 'Rhapsody' / Double Knock Out Red Rose	22"	22"	3.0 Gals	



LANDSCAPE YARD REQ.	REQUIRED AREA	PLANTING RATIO	REQUIRED PLANTINGS	PROVIDED PLANTINGS
10' BLD. PERIMETER	3,880 S.F.	1 TREE OR 5 SHRUBS PER 200 S.F.	19 TREES OR 97 SHRUBS	10 TREES AND 47 SHRUBS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CANOPY	HEIGHT	ROOT	NOTES
2	LAG IND	2	Lagotis indica / Tonto Grape Myrtle	8'	8'	85B or Container	34 STEMS MAX
6	LIQ HAP	6	Liquidambar styraciflua / Sweet Gum	12'	12'	85B or Container	
2	MAG XIA	2	Magnolia 'Janet' / Janet Magnolia	8'	8'	85B or Container	34 STEMS MAX
16	DIS ACL	16	Discolobium 'Cascades' / Cascades Dogwood	12'	12'	3.0 Gals	
7	HAN LAM	7	Hansel 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
5	PEN HAM	5	Penicillium 'Hansel' / Hansel Fountain Grass	22"	22"	3.0 Gals	
10	PIT TOB	10	Pithecolobium 'Whitaker's Dwarf' / Whitaker's Dwarf Pithecolobium	22"	22"	3.0 Gals	
4	ROS RAD	4	Rosa 'Rhapsody' / Double Knock Out Red Rose	22"	22"	3.0 Gals	



LANDSCAPE ARCHITECT
 ERIC T. GALLIN, L.A.
 LICENSED PROFESSIONAL
 LANDSCAPE ARCHITECT
 1400 Greenway Parkway, Suite 200
 Chesapeake, VA 23030
 757-546-6645
 www.landscapesolutions.com

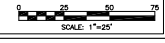
NO.	DATE	REVISION

PROJECT NO. 806070
 DATE 10/26/22
 DRAWN BY GJR
 CHECKED BY EGT
 PROJECT NAME
 STONEHOUSE - TRACT 10A
 SUBDIVISION PLAN
 HELLEBORE PARKWAY
 JAMES CITY COUNTY, VIRGINIA

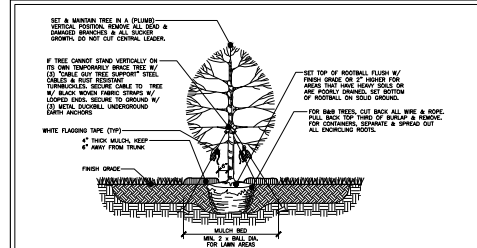
LANDSCAPE & LIGHTING PLAN



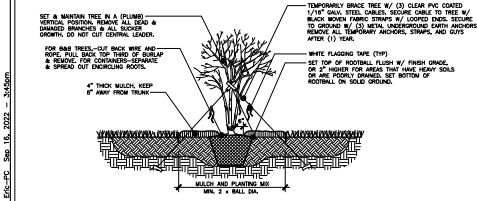
LANDSCAPE ARCHITECT
 ERIC T. GALLIN, L.A.
 LICENSED PROFESSIONAL
 LANDSCAPE ARCHITECT



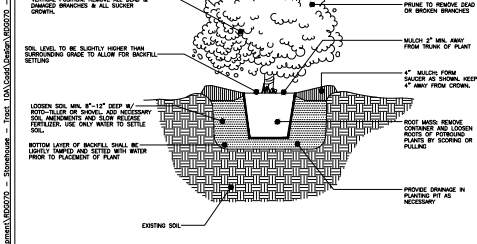
SHEET NO. C605



- MAJOR TREE PLANTING DETAIL**
- NOT TO SCALE**
- TREE PLANTING NOTES**
1. ALL GRACE CLAMPS & BOLTS SHALL BE RUST RESISTANT
 2. LOCATE ALL BRASS STAPLS AND GUTS WITHIN ONE (1) YEAR
 3. REMOVE PERMANENTLY AFTER INSTALLATION
 4. PROVIDE DRAINAGE FOR PLANTING IN IMPERMEABLE SOIL



- PLANTING OF MULTI-STEM TREES**
- NOT TO SCALE**
- TREE PLANTING NOTES**
1. IF TREE IS MULTI-STEM, MORE THAN ONE STEM MAY NEED OUTING
 2. ALL GRACE CLAMPS & BOLTS SHALL BE RUST RESISTANT



- TYPICAL SHRUB PLANTING**
- NOT TO SCALE**
- SHRUB PLANTING NOTES**
1. DRAIN OFF AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT
 2. EXCAVATE TOP OF PLANTING HOLE 2\"/>

GENERAL PLANTING PLAN NOTES

1. STANDARDS SET FORTH IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) PUBLISHED BY AMERICAN HOIST SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
2. PLANT BEDS SHALL LOCATE HARD WOOD MULCH PER TO A DEPTH OF 2-4\"/>

3. THE CONTRACTOR SHALL LOCATE ALL PROPOSED & EXISTING UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES THAT IS RESULTING AS A RESULT OF THE WORK.
4. THE CONTRACTOR SHALL MAINTAIN ALL GRASSES AREAS, INCLUDING THE REPAIR OF EXISTING AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FULL ACCEPTANCE & THROUGHOUT MAINTENANCE CONTRACT PERIOD IS APPLICABLE.

5. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRASSED, & GRASSSED.
6. ALL TREE, SHRUB & GROUNDCOVER MATERIALS SHALL BE PLANTED WITHIN 24 HOURS AFTER DELIVERY.
7. ANY PLANTS LOCATED IN DIRECT SUN SHALL BE NURSERY SUN GROWN.
8. ALL TOPSOIL IS TO BE STOCKPILED FOR RE-USE IN LANDSCAPE WORK.

9. CONTRACTOR IS RESPONSIBLE FOR PLANT QUANTITIES ON LANDSCAPE PLAN NOT IN PLANT SCHEDULE.
10. BACKFILL HOLES WITH EXISTING UNAMENDED SOIL. DO NOT BACKFILL FOR INDIVIDUAL PLANTING HOLES. DIFFERENCES IN SOIL PORT TYPES WILL BE CREATED CHANGING PROTECT WITH WATER MOVEMENT AND ROOT GROWTH BETWEEN THE ROOT BALL PLANTING HOLE AND SURROUNDING SOIL.

11. BACKFILL HALF THE SOIL THEN WATER THOROUGHLY TO SETTLE AND FOR A PERIOD OF 72 HOURS. REPEAT ABOVE STEP. COVER ANY OPEN PLANT BALL TOPS WITH MULCH.
12. CLOSELY INSPECT THE WRAPPING AROUND ROOT BALLS OF BAB (BALED) BURLAP/WIRE TREES. SHRUBS. CONTRACTORS USE MANY SYNTHETIC MATERIALS, AS WELL AS BURLAP TREATED TO RESIST ROT. REMOVE WRAPPING FROM ROOT BALLS. MANY OF THESE MATERIALS WILL NOT DEGRADE. TO INSURE ROOT GROWTH INTO SURROUNDING SOIL, REMOVE WRAPPING, MULCH, OR LACKING. THEY CUT AWAY OR BRIDG THE WRAPPING MATERIAL TO THE BOTTOM OF THE PLANTING HOLE, BACKFILLING OVER IT.

13. WIRE BASKETS USED TO PROTECT ROOT BALLS SHOULD BE VERY SLURRY UNDERGROUND. REMOVE THE TOP 8-12 INCHES OF WIRE TO KEEP EQUIPMENT FROM GETTING CAUGHT IN WIRE LOOPS, AND SURFACE ROOTS FROM GROWING THROUGH.
14. REMOVE ALL ROPE WHETHER JUTE OR NYLON, FROM TRUNKS. AGAIN, DISMANTLE & SLURRY OF NONEXISTENT, AND ROPES CAN GRIND TRUNKS AND ROOTS.
15. REMOVE PLASTIC CONTAINERS FROM CONTAINER-GROWN TREES AND SHRUBS. FOR PLANTS IN PEEK ROOTS, BREAK AWAY THE TOP OR REMOVE THE POT ENTIRELY. MANY POTS ARE COATED TO EXTEND THEIR SHELF LIFE, BUT THIS SLOWS ORGANIC MATTER BELOW GROUND AND RETARDS ROOT EXTENSION.

16. IF ROOTS ARE GROWING AROUND THE ROOT BALL EXTERIOR, CUT THROUGH THE ROOTS IN A FEW PLACES. CUTTING HELPS PREVENT CIRCULING ROOTS FROM EVENTUALLY GROWING THE TRUNK. SELECT TREES GROWN IN CONTAINERS WITH VERTICAL ROOTS OR A CORNER-TREATMENT ON THE INTERIOR CONTAINER WALL. THESE CONTAINER MODIFICATIONS AND TREATMENTS MINIMIZE CIRCULING ROOT FORMATION.

- TREE CARE AFTER PLANTING:**
17. REMOVE TAGS AND LABELS FROM TREES AND SHRUBS TO PREVENT GRINDING BRANCHES & TRUNKS.
 18. GOOD FOLLOW-UP WATERING HELPS PROMOTE ROOT GROWTH. DRIP IRRIGATION SYSTEMS AND WATER RESERVOIR DEVICES CAN FACILITATE WATERING. KEEP MULCH FROM TOUCHING TREE TRUNKS AND SHRUB STEMS. THIS PREVENTS DISEASE AND ROOTROT. PROBLEMS OF LOGGING, MULCHES, AND BANK EROSION IF USING ERODING MULCHES.
 19. DON'T USE BLACK PLASTIC BENEATH MULCH AROUND TREES AND SHRUBS BECAUSE IT BLOCKS AIR AND WATER EXCHANGE. FOR WEED ROOT PENETRATION, APPLY ONLY ONE TO TWO INCHES OF MULCH. ROOT PENETRATION TO PREVENT WEEDS FROM GROWING IN THE MULCH.
 20. ONLY STAKE TREES WITH LAMBS EARS, OR THOSE STAKED ON WINDY SITES OR WHERE PEOPLE MAY PUSH THEM OVER. STAKE FOR A MAXIMUM OF ONE YEAR. TREES TAKE A SLIGHT AMOUNT OF FLEX RATHER THAN HOLDING THEM RIGIDLY IN PLACE. USE CLOVE OR ATTACHING MATERIAL THAT WON'T DAMAGE THE BARK. TO PREVENT TRUNK GRINDING, REMOVE ALL CLOTHING MATERIAL AFTER ONE YEAR.
 21. MOST TREES SHOULD NOT HAVE THEIR TRUNKS WRAPPED. WRAPPING OFTEN INCREASES BARK DISEASE, AND WATER TO TRUNKS. THIN-WALLED TREES PLANTED IN SPRING OR SUMMER OR HOT WET WEATHER MAY BENEFIT FROM WRAPPING. IF A WHITE WRAP IS USED, TO AVOID TRUNK GRINDING, DO NOT ATTAH WRAPS WITH NAILS, NYLON ROPES, PLASTIC TIES, OR ELECTRICAL TAPE. IF WRAPS MUST BE USED, REMOVE WITHIN ONE YEAR.

LIGHTING NOTES

1. POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR SPECIFIED LIGHTING EQUIPMENT ON THE APPROVED PLAN SHALL BE LIMITED TO THE COUNTY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REQUESTS FOR SUBSTITUTIONS SHALL BE ACCOMPANIED BY A LIGHTING PLAN THAT MEETS ALL REQUIREMENTS OF THIS SECTION AND WHICH DEMONSTRATES THAT PROPOSED SUBSTITUTIONS WILL RESULT IN A LIGHTING DESIGN THAT EQUALS OR EXCEEDS THE QUALITY OF THE APPROVED PLAN.
2. THE COUNTY MAY CONDUCT A POST-INSTALLATION INSPECTION TO VERIFY COMPLIANCE WITH REQUIREMENTS OF THIS SECTION AND THE APPROVED LIGHTING PLAN. SUCH AN INSPECTION AND INSTALLATION OF LIGHTING FIXTURES WILL BE IN ACCORDANCE WITH ARTICLE 11, DIVISION 7 OF THE ZONING ORDINANCE.

PLANT SCHEDULE STREET TREES & BUFFERS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

SUBSTRUS	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	150	Acer glabrum (Boxelder)	1.5\"/>			

PLANT SCHEDULE BMPS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
BT/VE	50	Beta vulgaris (Red Top)	1.5\"/>			

PLANT SCHEDULE RPA MITIGATION

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	150	Acer glabrum (Boxelder)	1.5\"/>			

LANDSCAPE CALCULATIONS

STREET TREES: 150 FT PER 400 SQ FT. RED 1 TREE PER 400 SQ FT. STREET TREES PROVIDED: 201

AVERAGE BUFFER WIDTH: 150 FT. TOTAL BUFFER AREA: 65,000 SQ. FT. AVERAGE BUFFER WIDTH: 150 FT. RED 1 TREE PER 400 SQ FT. MAX WIDTH PROVIDED: 45'

REQUIRED BUFFER PLANTINGS: BUFFER AREA: 65,000 SQ. FT. 3\"/>

PARKING LOT

PARKING SPACES: 114 SPACES. TREES REQUIRED: 1 PER 5 SPACES OR 23 TREES. TREES PROVIDED: 23. SHRUBS PROVIDED: 46

REA DISTURBANCE

TOTAL DISTURBANCE: 13,737 S.F. RED: 1 CANOPY, 2 UNDERSTORY, 3 SHRUBS PER 400 S.F. = 34 CANOPY, 69 UNDERSTORY, 103 SHRUBS. PROVIDED: 34 CANOPY, 69 UNDERSTORY, 103 SHRUBS

FIXTURE SCHEDULE

Symbol	Description	Qty. at Intersections of Arterials per Side	Qty. at Poles	Mounting Height	Lamp Type
1	12\"/>				

PLANT SCHEDULE STREET TREES & BUFFERS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

PLANT SCHEDULE BMPS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

PLANT SCHEDULE RPA MITIGATION

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	150	Acer glabrum (Boxelder)	1.5\"/>			

LANDSCAPE CALCULATIONS

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
BT/VE	50	Beta vulgaris (Red Top)	1.5\"/>			

PLANT SCHEDULE STREET TREES & BUFFERS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

PLANT SCHEDULE BMPS

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	25	Acer glabrum (Boxelder)	1.5\"/>			

PLANT SCHEDULE RPA MITIGATION

TREE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	ROOT	NOTES
ACE/DOY	150	Acer glabrum (Boxelder)	1.5\"/>			



LANDSCAPE ARCHITECT
ERIC S. GAVIN, LA
LAND PLANNING SOLUTIONS
www.ericgavin.com

MADE BY: LANDSCAPE SOLUTIONS
LANDSCAPE ARCHITECT
1000 GARDEN PARKWAY, SUITE 200
CHESAPEAKE, VA 23030
(757) 533-1111
www.landscapesolutions.com



NO.	DATE	REVISION

PROJECT NO: 800070
DATE: 1/26/22
DES: JG
GDR: JG
BLK: JG
SHT: JG

STONEHOUSE - TRACT 10A
SUBDIVISION PLAN
HELIOSIDE PARKWAY
JAMES CITY COUNTY, VIRGINIA

LANDSCAPE & LIGHTING DETAILS

LANDSCAPE ARCHITECT
ERIC S. GAVIN, LA
LAND PLANNING SOLUTIONS
www.ericgavin.com

SHEET NO.
C606

NOTE:
THE FOLLOWING DETAILS SHALL BE APPLIED TO THE UTILITIES SHOWN ON THESE PLANS:

HYDROLOGICAL
 H1/01 RAIN & PLUM CONSTRUCTION
 H1/02 WATER SERVICE INSTALLATION DETAIL
 H1/03 WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/04 WATER METER BOX (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/05 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/06 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/07 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/08 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/09 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/10 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/11 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/12 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/13 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/14 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/15 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/16 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/17 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/18 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/19 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)
 H1/20 1" WATER METER SERVICE (TYPE B) TO 1" WATER METER (FAME MODEL)

GENERAL NOTES
 G1/01 THE DEVELOPER SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND RECEIVE JCSA APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL MATERIALS ORDERED AND INSTALLED PRIOR TO JCSA REVIEW AND ACCEPTANCE WILL BE AT THE CONTRACTOR'S/DEVELOPER'S RISK. A SHOP DRAWING SUMMARY SHEET PROVIDED IN APPENDIX C SHALL BE COMPLETED FOR ALL PIPES, VALVES, AND APPURTENANCES WITH THE SHOP DRAWING SUBMITTAL.
 G1/02 MAINS AND SERVICE PIPES SHALL BE INSTALLED AFTER GRADING TO WITHIN 6-INCHES OF FINAL GRADE AND PRIOR TO PLACEMENT OF BASE MATERIAL.
 G1/03 ALL WATER MAINS SHALL BE FULLY FLUSHED, PRESSURE TESTED, AND DISINFECTED TO SATISFACTORY BACTERIOLOGICAL SAMPLES OBTAINED, IN ACCORDANCE WITH JCSA DESIGN AND ACCEPTANCE CRITERIA. FLUSHING OF WATER MAINS SHALL BE SCHEDULED WITH THE JCSA INSPECTOR MINIMUM 3 BUSINESS DAYS PRIOR TO THE FLUSHING. CONTRACTOR SHALL PROVIDE THE REQUIRED DURATION AND VOLUME TO THE INSPECTOR. FLUSHING WILL BE SCHEDULED ONLY ON MONDAYS, UNLESS AUTHORIZED OTHERWISE BY JCSA, AND WILL BE ON A FIRST-COME-FIRST-SERVE BASIS.
 G1/04 ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY JCSA. THESE INSPECTIONS DO NOT RELIEVE THE DEVELOPER/CONTRACTOR/OWNER FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING A WATER DISTRIBUTION AND SANITARY SEWER SYSTEM IN STRICT ACCORDANCE WITH THE JCSA DESIGN AND ACCEPTANCE CRITERIA.
 G1/05 ANY FIELD MODIFICATIONS OR CHANGES TO THE APPROVED PLANS SHALL BE VERIFIED AND CHECKED BY THE ENGINEER OF RECORD AND APPROVED BY JCSA PRIOR TO ANY FIELD MODIFICATIONS OR CHANGES. ALL APPROVED CHANGES AND FIELD MODIFICATIONS SHALL BE ACCURATELY INDICATED ON THE RECORD DRAWINGS.
 G1/06 ALL LOTS SHALL BE PROVIDED WITH WATER SERVICE AND SANITARY SEWER CONNECTIONS. THE CONNECTIONS SHALL BE EXTENDED FROM THE MAIN TO THE PROPERTY LINE OR EASEMENT LINE, AND SHALL TERMINATE WITH A YOE IN A METER BOX, OR AT THE CLEAN OUT, SET AT FINAL FINISHED GRADE. METERS FOR ALL LOTS (UNITS) SHALL BE PAID FOR BY THE DEVELOPER OR BUYER AND INSTALLED BY JCSA.
 G1/07 ANY REQUIRED EASEMENTS, PERMITS, AND APPROVALS SHALL BE OBTAINED BY THE DEVELOPER PRIOR TO COMMENCEMENT OF WATER MAIN AND/OR SANITARY SEWER CONSTRUCTION.
 G1/08 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL DRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION. THE CONTRACTOR SHALL ALSO NOTIFY "MISS UTILITY" AT 1-800-552-7901 OR 811 PRIOR TO PERFORMING ANY UNDERGROUND EXCAVATION.
 G1/09 WATER METER BOX INSTALLATION SHALL MAINTAIN A MINIMUM 18-INCH HORIZONTAL, EDGE-TO-EDGE CLEARANCE FROM DRIVEWAYS AND/OR DRIVE PATHS, SIDEWALKS, BIKE PATHS, CURBING AND ADJACENT WATER METER BOXES.
 G1/10 ONLY JCSA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES ON EXISTING JCSA WATER MAINS AND SANITARY SEWER MAINS. ONCE A SYSTEM HAS BEEN HYDRAULICALLY ENERGIZED, JCSA WILL BE RESPONSIBLE FOR OPERATING THE VALVES. THE CONTRACTOR SHALL CONTACT JCSA OPERATIONS AT 757-238-7421 IF THERE IS AN EMERGENCY OR NEED TO OPERATE/USE A VALVE.
 G1/11 ANY EXISTING UNUSED WELLS(S) SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
 G1/12 BEDDING OF JCSA UTILITIES SHALL BE IN ACCORDANCE WITH HRPC DETAIL ENL_01, TYPE III FOR RIGID PIPE AND TYPE IV FOR FIBER OPTIC.
 G1/13 ALL TREES, SHRUBS, STRUCTURES, FENCES, IRRIGATION MAINS, INVISIBLE PET FENCES OR OTHER OBSTACLES SHALL BE PLACED WITHIN AN EASEMENT WHICH WOULD RENDER THE EASEMENT INACCESSIBLE BY EQUIPMENT. SHRUBS SHALL BE A MINIMUM OF 5 FEET, AND TREES A MINIMUM OF 10 FEET, FROM THE CENTER OF WATER AND SANITARY SEWER MAINS.
 G1/14 JOINT RESTRAINT SHALL BE PROVIDED IN ACCORDANCE WITH MINIMUM REQUIREMENTS OF JCSA DETAIL J11.0, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PRESSURE MAINS SHALL HAVE JOINT RESTRAINT. FIRE HYDRANTS SHALL BE RESTRAINED AT LEAST ONE FULL JOINT OF PIPE IN EACH DIRECTION ON THE MAIN.
 G1/15 PROPOSED WATER AND SANITARY SEWER SYSTEMS SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 5- FEET FROM OTHER UTILITIES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO STORM SEWERS, STREET LIGHTS, ETC. WATER AND SANITARY SEWER UTILITIES SHALL HAVE A MINIMUM 10-FOOT HORIZONTAL, EDGE-TO-EDGE SEPARATION.
 G1/16 ANY PROPOSED BACKFLOW PREVENTION DEVICE AND/OR GREASE TRAP MUST BE INSPECTED BY THE JCSA UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136.
 G1/17 THE CONTRACTOR/DEVELOPER SHALL ACQUIRE A CERTIFICATE TO CONSTRUCT WATER AND SANITARY SEWER FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OF ANY WATER OR SANITARY SEWER FACILITIES. PLUMBING INSIDE OF PROPOSED BUILDINGS MUST BE INSPECTED BY JCSA'S UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136, FOR POTENTIAL CROSS CONNECTIONS. ANY CROSS CONNECTIONS MUST BE PROTECTED BY THE APPROPRIATE BACKFLOW PREVENTION DEVICES.
 G1/18 EASEMENTS DENOTED AS "JCSA UTILITY EASEMENTS" ARE FOR THE EXCLUSIVE USE OF THE JAMES CITY SERVICE AUTHORITY AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
 G1/19 JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY PAYMENT SETTLEMENT DUE TO PIPE BEDDING, BACKFILLING, BACKFILL MATERIALS, OR COMPACTOR FOR WATER OR SANITARY SEWER FACILITIES FOR THIS PROJECT.
 G1/20 PRIVATELY OWNED UTILITIES (E.G., WATER AND SEWER MAINS AND PRIVATE FIRE SERVICE MAINS) SHOWN ON THIS PLAN ARE REGULATED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND ENFORCED BY THE JAMES CITY COUNTY BUILDING SAFETY AND PERMITS DIVISION. THESE PRIVATELY OWNED UTILITIES MUST COMPLY FULLY WITH THE INTERNATIONAL PLUMBING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 24, AND THE VIRGINIA STATEWIDE FIRE PREVENTION CODE. CONTRACTORS WORKING FROM THIS SITE PLAN ARE CAUTIONED NOT TO INSTALL OR CONCEAL PRIVATELY OWNED SITE UTILITIES WITHOUT FIRST OBTAINING THE REQUIRED PERMITS AND INSPECTIONS.
 G1/21 SANITARY SEWER LATERALS SHALL NOT CONNECT TO THE MAIN WITHIN 5- FEET OF A MANHOLE. LATERALS UPSTREAM AND WITHIN 5- FEET OF THE MANHOLE SHALL CONNECT DIRECTLY INTO THE MANHOLE INSIDE NECESSARY.
 G1/22 ALL PRIVATE UNDERGROUND FUEL STORAGE TANKS SHALL HAVE LEAK MONITORS AND SECONDARY CONTAINMENT IN ACCORDANCE WITH VIRGINIA STATE DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS.

UTILITIES INSTALLATION NOTES
 GENERAL NOTES FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS
 THE FOLLOWING NOTES SHALL BE PROVIDED FOR ALL UTILITIES CONSTRUCTION UNDER SUPERVISION AND INSPECTION BY THE JCSA UTILITY SPECIAL PROJECTS DIVISION. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL DRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION. THE CONTRACTOR SHALL ALSO NOTIFY "MISS UTILITY" AT 1-800-552-7901 OR 811 PRIOR TO PERFORMING ANY UNDERGROUND EXCAVATION.
 A. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE JCSA DESIGN AND ACCEPTANCE CRITERIA. ALL MATERIALS ORDERED AND INSTALLED PRIOR TO JCSA REVIEW AND ACCEPTANCE WILL BE AT THE CONTRACTOR'S/DEVELOPER'S RISK. A SHOP DRAWING SUMMARY SHEET PROVIDED IN APPENDIX C SHALL BE COMPLETED FOR ALL PIPES, VALVES, AND APPURTENANCES WITH THE SHOP DRAWING SUBMITTAL.
 B. MAINS AND SERVICE PIPES SHALL BE INSTALLED AFTER GRADING TO WITHIN 6-INCHES OF FINAL GRADE AND PRIOR TO PLACEMENT OF BASE MATERIAL.
 C. ALL WATER MAINS SHALL BE FULLY FLUSHED, PRESSURE TESTED, AND DISINFECTED TO SATISFACTORY BACTERIOLOGICAL SAMPLES OBTAINED, IN ACCORDANCE WITH JCSA DESIGN AND ACCEPTANCE CRITERIA. FLUSHING OF WATER MAINS SHALL BE SCHEDULED WITH THE JCSA INSPECTOR MINIMUM 3 BUSINESS DAYS PRIOR TO THE FLUSHING. CONTRACTOR SHALL PROVIDE THE REQUIRED DURATION AND VOLUME TO THE INSPECTOR. FLUSHING WILL BE SCHEDULED ONLY ON MONDAYS, UNLESS AUTHORIZED OTHERWISE BY JCSA, AND WILL BE ON A FIRST-COME-FIRST-SERVE BASIS.
 D. ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY JCSA. THESE INSPECTIONS DO NOT RELIEVE THE DEVELOPER/CONTRACTOR/OWNER FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING A WATER DISTRIBUTION AND SANITARY SEWER SYSTEM IN STRICT ACCORDANCE WITH THE JCSA DESIGN AND ACCEPTANCE CRITERIA.
 E. ANY FIELD MODIFICATIONS OR CHANGES TO THE APPROVED PLANS SHALL BE VERIFIED AND CHECKED BY THE ENGINEER OF RECORD AND APPROVED BY JCSA PRIOR TO ANY FIELD MODIFICATIONS OR CHANGES. ALL APPROVED CHANGES AND FIELD MODIFICATIONS SHALL BE ACCURATELY INDICATED ON THE RECORD DRAWINGS.
 F. ALL LOTS SHALL BE PROVIDED WITH WATER SERVICE AND SANITARY SEWER CONNECTIONS. THE CONNECTIONS SHALL BE EXTENDED FROM THE MAIN TO THE PROPERTY LINE OR EASEMENT LINE, AND SHALL TERMINATE WITH A YOE IN A METER BOX, OR AT THE CLEAN OUT, SET AT FINAL FINISHED GRADE. METERS FOR ALL LOTS (UNITS) SHALL BE PAID FOR BY THE DEVELOPER OR BUYER AND INSTALLED BY JCSA.
 G. ANY REQUIRED EASEMENTS, PERMITS, AND APPROVALS SHALL BE OBTAINED BY THE DEVELOPER PRIOR TO COMMENCEMENT OF WATER MAIN AND/OR SANITARY SEWER CONSTRUCTION.
 H. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL DRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION. THE CONTRACTOR SHALL ALSO NOTIFY "MISS UTILITY" AT 1-800-552-7901 OR 811 PRIOR TO PERFORMING ANY UNDERGROUND EXCAVATION.
 I. WATER METER BOX INSTALLATION SHALL MAINTAIN A MINIMUM 18-INCH HORIZONTAL, EDGE-TO-EDGE CLEARANCE FROM DRIVEWAYS AND/OR DRIVE PATHS, SIDEWALKS, BIKE PATHS, CURBING AND ADJACENT WATER METER BOXES.
 J. ONLY JCSA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES ON EXISTING JCSA WATER MAINS AND SANITARY SEWER MAINS. ONCE A SYSTEM HAS BEEN HYDRAULICALLY ENERGIZED, JCSA WILL BE RESPONSIBLE FOR OPERATING THE VALVES. THE CONTRACTOR SHALL CONTACT JCSA OPERATIONS AT 757-238-7421 IF THERE IS AN EMERGENCY OR NEED TO OPERATE/USE A VALVE.
 K. ANY EXISTING UNUSED WELLS(S) SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
 L. BEDDING OF JCSA UTILITIES SHALL BE IN ACCORDANCE WITH HRPC DETAIL ENL_01, TYPE III FOR RIGID PIPE AND TYPE IV FOR FIBER OPTIC.
 M. ALL TREES, SHRUBS, STRUCTURES, FENCES, IRRIGATION MAINS, INVISIBLE PET FENCES OR OTHER OBSTACLES SHALL BE PLACED WITHIN AN EASEMENT WHICH WOULD RENDER THE EASEMENT INACCESSIBLE BY EQUIPMENT. SHRUBS SHALL BE A MINIMUM OF 5 FEET, AND TREES A MINIMUM OF 10 FEET, FROM THE CENTER OF WATER AND SANITARY SEWER MAINS.
 N. JOINT RESTRAINT SHALL BE PROVIDED IN ACCORDANCE WITH MINIMUM REQUIREMENTS OF JCSA DETAIL J11.0, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PRESSURE MAINS SHALL HAVE JOINT RESTRAINT. FIRE HYDRANTS SHALL BE RESTRAINED AT LEAST ONE FULL JOINT OF PIPE IN EACH DIRECTION ON THE MAIN.
 O. PROPOSED WATER AND SANITARY SEWER SYSTEMS SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 5- FEET FROM OTHER UTILITIES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO STORM SEWERS, STREET LIGHTS, ETC. WATER AND SANITARY SEWER UTILITIES SHALL HAVE A MINIMUM 10-FOOT HORIZONTAL, EDGE-TO-EDGE SEPARATION.
 P. ANY PROPOSED BACKFLOW PREVENTION DEVICE AND/OR GREASE TRAP MUST BE INSPECTED BY THE JCSA UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136.
 Q. THE CONTRACTOR/DEVELOPER SHALL ACQUIRE A CERTIFICATE TO CONSTRUCT WATER AND SANITARY SEWER FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OF ANY WATER OR SANITARY SEWER FACILITIES. PLUMBING INSIDE OF PROPOSED BUILDINGS MUST BE INSPECTED BY JCSA'S UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136, FOR POTENTIAL CROSS CONNECTIONS. ANY CROSS CONNECTIONS MUST BE PROTECTED BY THE APPROPRIATE BACKFLOW PREVENTION DEVICES.
 R. EASEMENTS DENOTED AS "JCSA UTILITY EASEMENTS" ARE FOR THE EXCLUSIVE USE OF THE JAMES CITY SERVICE AUTHORITY AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
 S. JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY PAYMENT SETTLEMENT DUE TO PIPE BEDDING, BACKFILLING, BACKFILL MATERIALS, OR COMPACTOR FOR WATER OR SANITARY SEWER FACILITIES FOR THIS PROJECT.
 T. PRIVATELY OWNED UTILITIES (E.G., WATER AND SEWER MAINS AND PRIVATE FIRE SERVICE MAINS) SHOWN ON THIS PLAN ARE REGULATED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND ENFORCED BY THE JAMES CITY COUNTY BUILDING SAFETY AND PERMITS DIVISION. THESE PRIVATELY OWNED UTILITIES MUST COMPLY FULLY WITH THE INTERNATIONAL PLUMBING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 24, AND THE VIRGINIA STATEWIDE FIRE PREVENTION CODE. CONTRACTORS WORKING FROM THIS SITE PLAN ARE CAUTIONED NOT TO INSTALL OR CONCEAL PRIVATELY OWNED SITE UTILITIES WITHOUT FIRST OBTAINING THE REQUIRED PERMITS AND INSPECTIONS.
 U. SANITARY SEWER LATERALS SHALL NOT CONNECT TO THE MAIN WITHIN 5- FEET OF A MANHOLE. LATERALS UPSTREAM AND WITHIN 5- FEET OF THE MANHOLE SHALL CONNECT DIRECTLY INTO THE MANHOLE INSIDE NECESSARY.
 V. ALL PRIVATE UNDERGROUND FUEL STORAGE TANKS SHALL HAVE LEAK MONITORS AND SECONDARY CONTAINMENT IN ACCORDANCE WITH VIRGINIA STATE DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS.

JCSA GENERAL NOTES FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS: (MARCH 2021)

1. ALL COMPONENTS OF THE WATER DISTRIBUTION AND SANITARY SEWER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE JCSA DESIGN AND ACCEPTANCE CRITERIA FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, THE HRPC REGIONAL CONSTRUCTION STANDARDS (EIGHTH EDITION DATED JUNE 216 AND UPDATED), AND THE COMMONWEALTH OF VIRGINIA DEPARTMENT OF HEALTH WATERBORNS AND SANITARY SEWERAGE REGULATIONS. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS, AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK. A COPY OF THE JCSA DESIGN AND ACCEPTANCE CRITERIA AND HRPC REGIONAL CONSTRUCTION STANDARDS MUST BE KEPT ON-SITE BY THE CONTRACTOR DURING THE TIME OF INSTALLING, TESTING, AND COMING FACILITIES TO JCSA.
2. THE CONTRACTOR/DEVELOPER SHALL ACQUIRE A CERTIFICATE TO CONSTRUCT WATER AND SANITARY SEWER FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OF ANY WATER OR SANITARY SEWER FACILITIES.
3. A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN JCSA, THE DEVELOPER, AND THE CONTRACTOR INCLUDING RELEVANT SUBCONTRACTORS, AND THE PROJECT ENGINEER PRIOR TO ISSUANCE OF A JCSA CERTIFICATE TO CONSTRUCT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE THIS MEETING WITH JCSA AND COORDINATE WITH THE OTHER ATTENDEES.
4. THE DEVELOPER'S REPRESENTATIVE SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND RECEIVE JCSA APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL MATERIALS ORDERED AND INSTALLED PRIOR TO JCSA REVIEW AND ACCEPTANCE WILL BE AT THE CONTRACTOR'S/DEVELOPER'S RISK. A SHOP DRAWING SUMMARY SHEET PROVIDED IN APPENDIX C SHALL BE COMPLETED FOR ALL PIPES, VALVES, AND APPURTENANCES WITH THE SHOP DRAWING SUBMITTAL.
5. MAINS AND SERVICE PIPES SHALL BE INSTALLED AFTER GRADING TO WITHIN 6-INCHES OF FINAL GRADE AND PRIOR TO PLACEMENT OF BASE MATERIAL.
6. ALL WATER MAINS SHALL BE FULLY FLUSHED, PRESSURE TESTED, AND DISINFECTED TO SATISFACTORY BACTERIOLOGICAL SAMPLES OBTAINED, IN ACCORDANCE WITH JCSA DESIGN AND ACCEPTANCE CRITERIA. FLUSHING OF WATER MAINS SHALL BE SCHEDULED WITH THE JCSA INSPECTOR MINIMUM 3 BUSINESS DAYS PRIOR TO THE FLUSHING. CONTRACTOR SHALL PROVIDE THE REQUIRED DURATION AND VOLUME TO THE INSPECTOR. FLUSHING WILL BE SCHEDULED ONLY ON MONDAYS, UNLESS AUTHORIZED OTHERWISE BY JCSA, AND WILL BE ON A FIRST-COME-FIRST-SERVE BASIS.
7. ROUTINE PERIODIC INSPECTIONS DURING CONSTRUCTION WILL BE PROVIDED BY JCSA. THESE INSPECTIONS DO NOT RELIEVE THE DEVELOPER/CONTRACTOR/OWNER FROM HIS OBLIGATION AND RESPONSIBILITY FOR CONSTRUCTING A WATER DISTRIBUTION AND SANITARY SEWER SYSTEM IN STRICT ACCORDANCE WITH THE JCSA DESIGN AND ACCEPTANCE CRITERIA.
8. ANY FIELD MODIFICATIONS OR CHANGES TO THE APPROVED PLANS SHALL BE VERIFIED AND CHECKED BY THE ENGINEER OF RECORD AND APPROVED BY JCSA PRIOR TO ANY FIELD MODIFICATIONS OR CHANGES. ALL APPROVED CHANGES AND FIELD MODIFICATIONS SHALL BE ACCURATELY INDICATED ON THE RECORD DRAWINGS.
9. ALL LOTS SHALL BE PROVIDED WITH WATER SERVICE AND SANITARY SEWER CONNECTIONS. THE CONNECTIONS SHALL BE EXTENDED FROM THE MAIN TO THE PROPERTY LINE OR EASEMENT LINE, AND SHALL TERMINATE WITH A YOE IN A METER BOX, OR AT THE CLEAN OUT, SET AT FINAL FINISHED GRADE. METERS FOR ALL LOTS (UNITS) SHALL BE PAID FOR BY THE DEVELOPER OR BUYER AND INSTALLED BY JCSA.
10. ANY REQUIRED EASEMENTS, PERMITS, AND APPROVALS SHALL BE OBTAINED BY THE DEVELOPER PRIOR TO COMMENCEMENT OF WATER MAIN AND/OR SANITARY SEWER CONSTRUCTION.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL DRECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION. THE CONTRACTOR SHALL ALSO NOTIFY "MISS UTILITY" AT 1-800-552-7901 OR 811 PRIOR TO PERFORMING ANY UNDERGROUND EXCAVATION.
12. WATER METER BOX INSTALLATION SHALL MAINTAIN A MINIMUM 18-INCH HORIZONTAL, EDGE-TO-EDGE CLEARANCE FROM DRIVEWAYS AND/OR DRIVE PATHS, SIDEWALKS, BIKE PATHS, CURBING AND ADJACENT WATER METER BOXES.
13. ONLY JCSA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES ON EXISTING JCSA WATER MAINS AND SANITARY SEWER MAINS. ONCE A SYSTEM HAS BEEN HYDRAULICALLY ENERGIZED, JCSA WILL BE RESPONSIBLE FOR OPERATING THE VALVES. THE CONTRACTOR SHALL CONTACT JCSA OPERATIONS AT 757-238-7421 IF THERE IS AN EMERGENCY OR NEED TO OPERATE/USE A VALVE.
14. ANY EXISTING UNUSED WELLS(S) SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
15. BEDDING OF JCSA UTILITIES SHALL BE IN ACCORDANCE WITH HRPC DETAIL ENL_01, TYPE III FOR RIGID PIPE AND TYPE IV FOR FIBER OPTIC.
16. ALL TREES, SHRUBS, STRUCTURES, FENCES, IRRIGATION MAINS, INVISIBLE PET FENCES OR OTHER OBSTACLES SHALL BE PLACED WITHIN AN EASEMENT WHICH WOULD RENDER THE EASEMENT INACCESSIBLE BY EQUIPMENT. SHRUBS SHALL BE A MINIMUM OF 5 FEET, AND TREES A MINIMUM OF 10 FEET, FROM THE CENTER OF WATER AND SANITARY SEWER MAINS.
17. JOINT RESTRAINT SHALL BE PROVIDED IN ACCORDANCE WITH MINIMUM REQUIREMENTS OF JCSA DETAIL J11.0, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PRESSURE MAINS SHALL HAVE JOINT RESTRAINT. FIRE HYDRANTS SHALL BE RESTRAINED AT LEAST ONE FULL JOINT OF PIPE IN EACH DIRECTION ON THE MAIN.
18. PROPOSED WATER AND SANITARY SEWER SYSTEMS SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 5- FEET FROM OTHER UTILITIES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO STORM SEWERS, STREET LIGHTS, ETC. WATER AND SANITARY SEWER UTILITIES SHALL HAVE A MINIMUM 10-FOOT HORIZONTAL, EDGE-TO-EDGE SEPARATION.
19. ANY PROPOSED BACKFLOW PREVENTION DEVICE AND/OR GREASE TRAP MUST BE INSPECTED BY THE JCSA UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136.
20. THE CONTRACTOR/DEVELOPER SHALL ACQUIRE A CERTIFICATE TO CONSTRUCT WATER AND SANITARY SEWER FACILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OF ANY WATER OR SANITARY SEWER FACILITIES. PLUMBING INSIDE OF PROPOSED BUILDINGS MUST BE INSPECTED BY JCSA'S UTILITY SPECIAL PROJECTS COORDINATOR AT (757) 238-4136, FOR POTENTIAL CROSS CONNECTIONS. ANY CROSS CONNECTIONS MUST BE PROTECTED BY THE APPROPRIATE BACKFLOW PREVENTION DEVICES.
21. EASEMENTS DENOTED AS "JCSA UTILITY EASEMENTS" ARE FOR THE EXCLUSIVE USE OF THE JAMES CITY SERVICE AUTHORITY AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
22. JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY PAYMENT SETTLEMENT DUE TO PIPE BEDDING, BACKFILLING, BACKFILL MATERIALS, OR COMPACTOR FOR WATER OR SANITARY SEWER FACILITIES FOR THIS PROJECT.
23. PRIVATELY OWNED UTILITIES (E.G., WATER AND SEWER MAINS AND PRIVATE FIRE SERVICE MAINS) SHOWN ON THIS PLAN ARE REGULATED BY THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND ENFORCED BY THE JAMES CITY COUNTY BUILDING SAFETY AND PERMITS DIVISION. THESE PRIVATELY OWNED UTILITIES MUST COMPLY FULLY WITH THE INTERNATIONAL PLUMBING CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 24, AND THE VIRGINIA STATEWIDE FIRE PREVENTION CODE. CONTRACTORS WORKING FROM THIS SITE PLAN ARE CAUTIONED NOT TO INSTALL OR CONCEAL PRIVATELY OWNED SITE UTILITIES WITHOUT FIRST OBTAINING THE REQUIRED PERMITS AND INSPECTIONS.
24. SANITARY SEWER LATERALS SHALL NOT CONNECT TO THE MAIN WITHIN 5- FEET OF A MANHOLE. LATERALS UPSTREAM AND WITHIN 5- FEET OF THE MANHOLE SHALL CONNECT DIRECTLY INTO THE MANHOLE INSIDE NECESSARY.
25. ALL PRIVATE UNDERGROUND FUEL STORAGE TANKS SHALL HAVE LEAK MONITORS AND SECONDARY CONTAINMENT IN ACCORDANCE WITH VIRGINIA STATE DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS.

DATE OF LAST REVISION: 03/15/2022
 DRAWN BY: JCSA
 CHECKED BY: JCSA
 APPROVED BY: JCSA

REVISION: 03/15/2022
 DATE: 03/15/2022
 DIS. GAR
 DR. BIL
 CDR. ZEL

PROJECT NO.: 800070
 DATE: 03/15/2022
 DIS. GAR
 DR. BIL
 CDR. ZEL

STONEHOUSE - TRACT 10A
 SUBDIVISION PLAN
 JAMES CITY COUNTY, VIRGINIA

DETAILS

STATE OF VIRGINIA
 No. 09821
 9/7/17
 NATIONAL FIRE PROTECTION ASSOCIATION

SHEET NO. C700



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, JANUARY 11, 2023 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA-22-0029: Ms. Karla Havens, Mid-Atlantic Resource Consulting, has applied on behalf of Mr. James and Mrs. Patricia Mishler for a wetlands permit for the installation of a quarry stone revetment on property located at 213 Southpoint Dr, JCC Parcel No. 4930270014.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0119: Mr. Jeff Huentelman, Land Planning Solutions, has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC c/o Mandrake Capital Partners for encroachments into the Resource Protection Area (RPA) buffer for site grading associated with the development of Stonehouse Tract 10A on property located at 9101 Six Mount Zion Rd, JCC Parcel No. 0540100002.

CBPA-22-0151: Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the replacement and expansion of a deck on property located at 3011 Willow Spring Ct, JCC Parcel No. 4820100002.

CBPA-22-0154: Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub on property located at 130 Jameswood, JCC Parcel No. 4510400082.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – Dec 28, 2022 and Jan 4, 2023.

ACCOUNT NO. CU00015112

VIRGINIA GAZETTE

1/8 PAGE, VERTICAL, B/W

CARD # x6648

ITEM SUMMARY

DATE: 1/11/2023

TO: Chesapeake Bay Board

FROM: Trevor Long, Chesapeake Bay Board Secretary

SUBJECT: CBPA-22-0154 : 130 Jameswood

CBPA-22-0154: Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub on property located at 130 Jameswood, JCC Parcel No. 4510400082.

ATTACHMENTS:

	Description	Type
▣	Staff Report	Staff Report
▣	Resolution to Approve	Resolution
▣	Resolution to Deny	Resolution
▣	Site Plan	Exhibit
▣	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 2:50 PM
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 2:51 PM
Publication Management	Pobiak, Amanda	Approved	1/4/2023 - 3:02 PM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/5/2023 - 4:23 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0154. 130 Jameswood
Staff Report for the January 11, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Daniel Gasink

Agent: None

Location: 130 Jameswood

Parcel Identification No.: 4510400082

Parcel: Lot 82, Phase 6, Shellbank Woods

Lot Size: 0.98 acres

Area of Lot in Resource Protection Area (RPA): 0.87 acres (89%)

Watershed: James River (JL30)

Floodplain: Zone AE - Base flood elevation 7 feet

Proposed Activity: Construction of a patio and installation of a hot tub

Impervious Cover: 49 square feet

RPA Encroachment: 49 square feet, seaward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub located at 130 Jameswood within the Shellbank Woods subdivision and the James River watershed. The property is further identified as James City County Tax Map Parcel No. 4510400082. The parcel was platted in 1988, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.98 acres, of which 89% is located within the RPA. In November of 2022, officials from the James City County Stormwater and Resource Protection Division received notice that a patio and hot tub had been constructed and installed on this property without the submission of a Chesapeake Bay Preservation Exception Request. The applicant is proposing to gain the approval of the construction of the patio and installation of the hot tub after the fact. Total impacts to the RPA associated with this proposal equate to 49 square feet in the seaward 50-foot RPA. Required mitigation for this amount of impervious impacts equals two shrubs. Because this exception request is being heard before the Board after the fact, staff would require double the mitigation units equating to four shrubs.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a patio and installation of a hot tub. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a patio and installation of a hot tub is considered accessory in nature. This exception request is being heard by the Board after the construction of the project.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The submittal of a mitigation plan equating to four shrubs be submitted to the Stormwater and Resource Protection Division; and
3. A surety of \$500 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. This exception request approval shall become null and void if the previous two conditions are not fulfilled by February 11, 2023. Failure to satisfy these conditions will constitute a formal violation.

TAL/md
CBPA22-154_130Jmswd

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0154. 130 JAMESWOOD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Daniel Gasink (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4510400082 and further identified as 130 Jameswood (the “Property”) as set forth in the application CBPA-22-0154 for the purpose of construction of a patio and installation of a hot tub; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0154, subject to the following conditions:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The submittal of a mitigation plan equating to four shrubs be submitted to the Stormwater and Resource Protection Division; and
3. A surety of \$500 be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. This exception request approval shall become null and void if the previous two conditions are not fulfilled by February 11, 2023. Failure to satisfy these conditions will constitute a formal violation.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

CBPA22-154_130JmswdApp-res

RESOLUTION

CASE NO. CBPA-22-0154. 130 JAMESWOOD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Daniel Gasink (the “Applicant”) has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 4510400082 and further identified as 130 Jameswood (the “Property”) as set forth in the application CBPA-22-0154 for the purpose of construction of a patio and installation of a hot tub; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

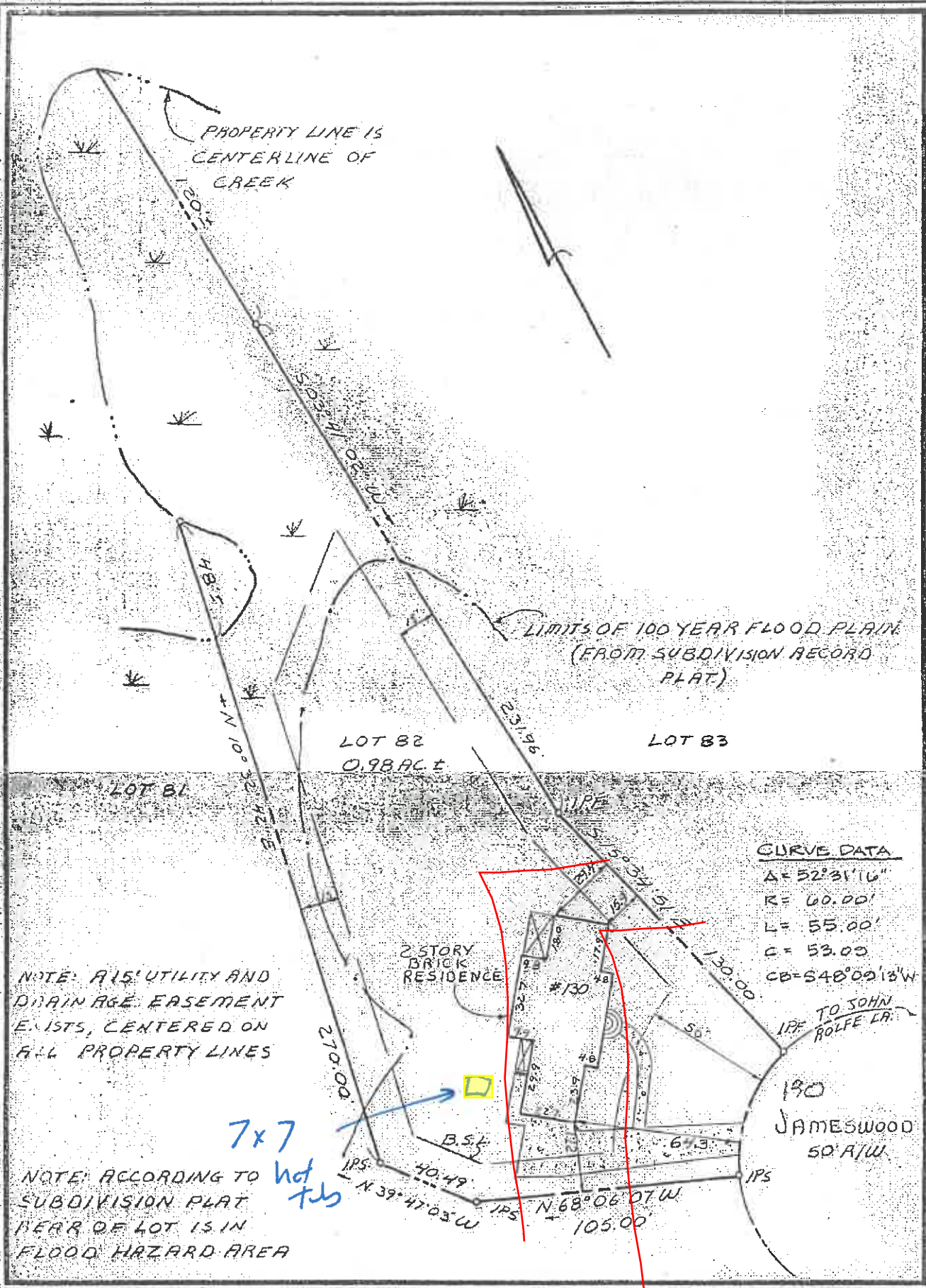
NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0154.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

CBPA22-154_130JmswdDeny-res



PROPERTY LINE IS
CENTERLINE OF
CREEK

LIMITS OF 100 YEAR FLOOD PLAIN
(FROM SUBDIVISION RECORD
PLAT)

LOT 82
0.98 AC ±

LOT 83

LOT 81

CURVE DATA

Δ = 52°31'16"
R = 60.00'
L = 55.00'
C = 53.00
CB = S48°09'13"W

NOTE: 15' UTILITY AND
DRAINAGE EASEMENT
EXISTS, CENTERED ON
ALL PROPERTY LINES

2 STORY
BRICK
RESIDENCE

190
JAMESWOOD
50' A/W

7x7

NOTE: ACCORDING TO
SUBDIVISION PLAT
NEAR OF LOT IS IN
FLOOD HAZARD AREA

REF: DB 378/161
PB 47/40

A SURVEY OF LOT 82, PHASE VI,
SHELLBANK WOODS





PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, JANUARY 11, 2023 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA-22-0029: Ms. Karla Havens, Mid-Atlantic Resource Consulting, has applied on behalf of Mr. James and Mrs. Patricia Mishler for a wetlands permit for the installation of a quarry stone revetment on property located at 213 Southpoint Dr, JCC Parcel No. 4930270014.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0119: Mr. Jeff Huentelman, Land Planning Solutions, has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC c/o Mandrake Capital Partners for encroachments into the Resource Protection Area (RPA) buffer for site grading associated with the development of Stonehouse Tract 10A on property located at 9101 Six Mount Zion Rd, JCC Parcel No. 0540100002.

CBPA-22-0151: Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the replacement and expansion of a deck on property located at 3011 Willow Spring Ct, JCC Parcel No. 4820100002.

CBPA-22-0154: Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub on property located at 130 Jameswood, JCC Parcel No. 4510400082.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – Dec 28, 2022 and Jan 4, 2023.

ACCOUNT NO. CU00015112

VIRGINIA GAZETTE

1/8 PAGE, VERTICAL, B/W

CARD # x6648

ITEM SUMMARY

DATE: 12/14/2022
TO: Chesapeake Bay Board
FROM: Trevor Long, Chesapeake Bay Board Secretary
SUBJECT: CBPA-22-0120 : 108 Murcar

CBPA-22-0120: Chase Grogg, Landtech Resources, Inc., has applied for a Chesapeake Bay Exception on behalf of Daniel McCormick for encroachments into the Resource Protection Area (RPA) buffer for the construction of a single-family dwelling on property located at 108 Murcar, Williamsburg, VA 23188, JCC Parcel No. 3710800077.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution to Approve	Resolution
☐	Resolution to Deny	Resolution
☐	Site Plan	Exhibit
☐	Gazette Ad	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:30 AM
Chesapeake Bay Group	Small, Toni	Approved	1/4/2023 - 11:32 AM
Publication Management	Pobiak, Amanda	Approved	1/4/2023 - 11:38 AM
Chesapeake Bay Group	Secretary, ChesBay	Approved	1/5/2023 - 4:23 PM

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-22-0120. 108 Murcar
Staff Report for the January 11, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Daniel McCormick

Agent: Mr. Chase Grogg, LandTech Resources, Inc.

Location: 108 Murcar

Parcel Identification No.: 3710800077

Parcel: Lot 77 Section 31 Ford's Colony

Lot Size: 2.11 acres

Area of Lot in Resource Protection Area (RPA): 2.06 acres (98%)

Watershed: Powhatan Creek (JL31)

Floodplain: Zone AE (approximate 28 feet)
Best Management Practice (BMP) 162 - 32.3 feet

Proposed Activity: Construction of a single-family dwelling

Impervious Cover: 4,516 square feet

RPA Encroachment: 1,074 square feet, landward 50-foot RPA
2,819 square feet, seaward 50-foot RPA
29 square feet, wetlands impact - impervious
594 square feet, wetlands impact - disturbed area

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Chase Grogg, LandTech Resources, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. Daniel McCormick for encroachments into the RPA buffer for the construction of a single-family dwelling located at 108 Murcar within the Ford's Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Tax Map Parcel No. 3710800077. The parcel was platted in 2000, prior to the changes to the Chesapeake Bay Preservation Ordinance in 2004.

The total lot size of this property is 2.11 acres, of which 98% is located within the RPA. Existing conditions of the property include a wetlands system that runs through the middle of the parcel, conservation easement at the rear of the property, and a drainage, maintenance, and access easement through the middle of the property leading to a timber wall BMP that also exists on the property. The applicant is proposing to construct a one story, single-family dwelling with a patio and balcony. Due to the constraints of the existing wetlands on the lot, the applicant has proposed to impact approximately 594 square feet of wetlands of

which 29 square feet consists of impervious surface. A Nationwide Permit 18 is required from the United States (U.S.) Army Corps of Engineers for the proposed wetland impacts and will be required prior to the issuance of a building permit. In addition to this, approximately 2,819 square feet of impacts are proposed within the seaward 50-foot RPA associated with the proposed dwelling and driveway and 1,074 square feet of impacts to the landward 50-foot RPA are proposed associated with the remainder of the driveway.

This application was deferred to reduce and revise the site plan. Originally, the applicant proposed 5,394 square feet of impacts; therefore, total reductions to the house size equate to 987 square feet. Required mitigation for this amount of impervious impacts equals 13 planting units (13 canopy trees, 26 understory trees, and 39 shrubs). The applicant has also proposed an infiltration trench at the top of the driveway that will capture and treat some of the water from the driveway and home. Additionally, the property has an existing timber wall BMP on-site behind the proposed single-family dwelling.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends approval of the proposed project and, if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. Applicant must submit an affidavit to be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. A chain link fence be installed adjacent to the wetlands prior to the commencement of construction and remain through the duration of construction; and

4. The submittal of a mitigation plan equating to 13 planting units be submitted to the Stormwater and Resource Protection Division prior to project start; and
5. A surety of \$6,500 be submitted in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
6. This exception request approval shall become null and void if construction has not begun by January 11, 2024; and
7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 30, 2023, six weeks prior to the expiration date.

TAL/ap
CBPA-22-120_108Murcar

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-22-0120. 108 MURCAR

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. Daniel McCormick (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3710800077 and further identified as 108 Murcar (the “Property”) as set forth in the application CBPA-22-0120 for the purpose of construction of a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0120, subject to the following conditions:

1. The applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The submittal of a mitigation plan equating to 13 planting units be submitted to the Stormwater and Resource Protection Division prior to project start; and
3. A chain link fence be installed adjacent to the wetlands prior to the commencement of construction and remain through the duration of construction; and
4. Applicant must submit an affidavit to be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
5. A surety of \$6,500 be submitted in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
6. This exception request approval shall become null and void if construction has not begun by December 14, 2024; and
7. Written requests for an extension to an exception shall be submitted to the Stormwater and Resource Protection Division no later than November 2, 2023, six weeks prior to the expiration date.

Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

CBPA-22-120_108MurcarApp-res

RESOLUTION

CASE NO. CBPA-22-0120. 108 MURCAR

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. Daniel McCormick (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on January 11, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property identified as James City County Real Estate Tax Map Parcel No. 3710800077 and further identified as 108 Murcar (the “Property”) as set forth in the application CBPA-22-0120 for the purpose of construction of a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-22-0120.

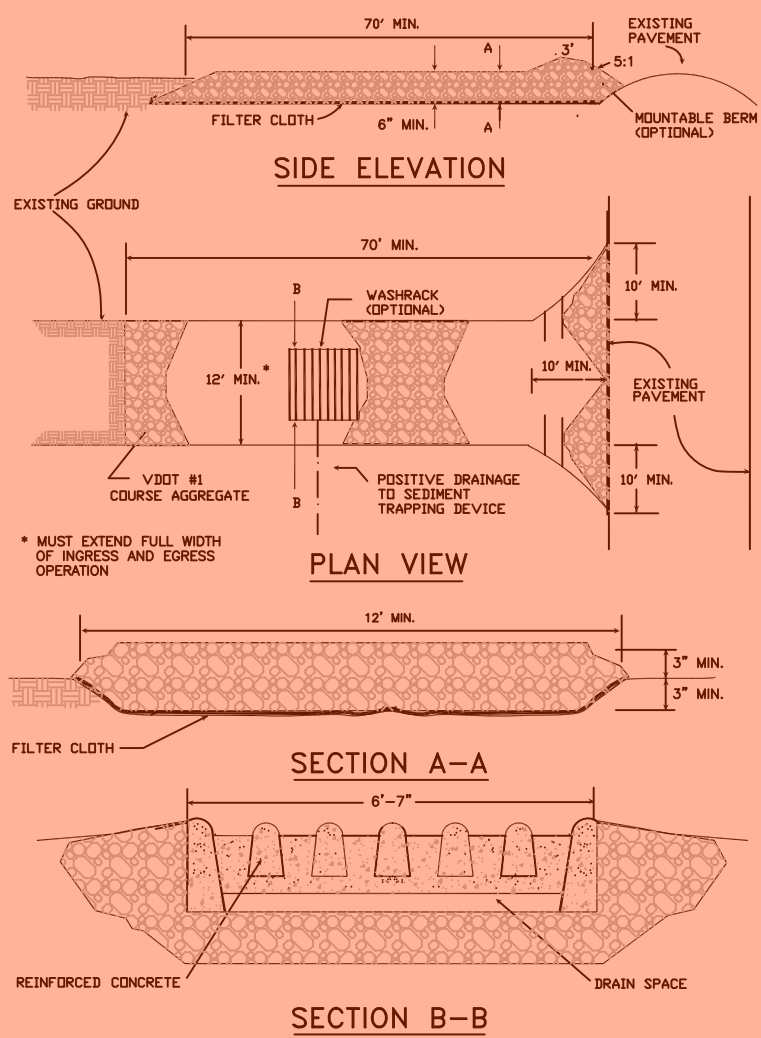
Halle Dunn
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 11th day of January, 2023.

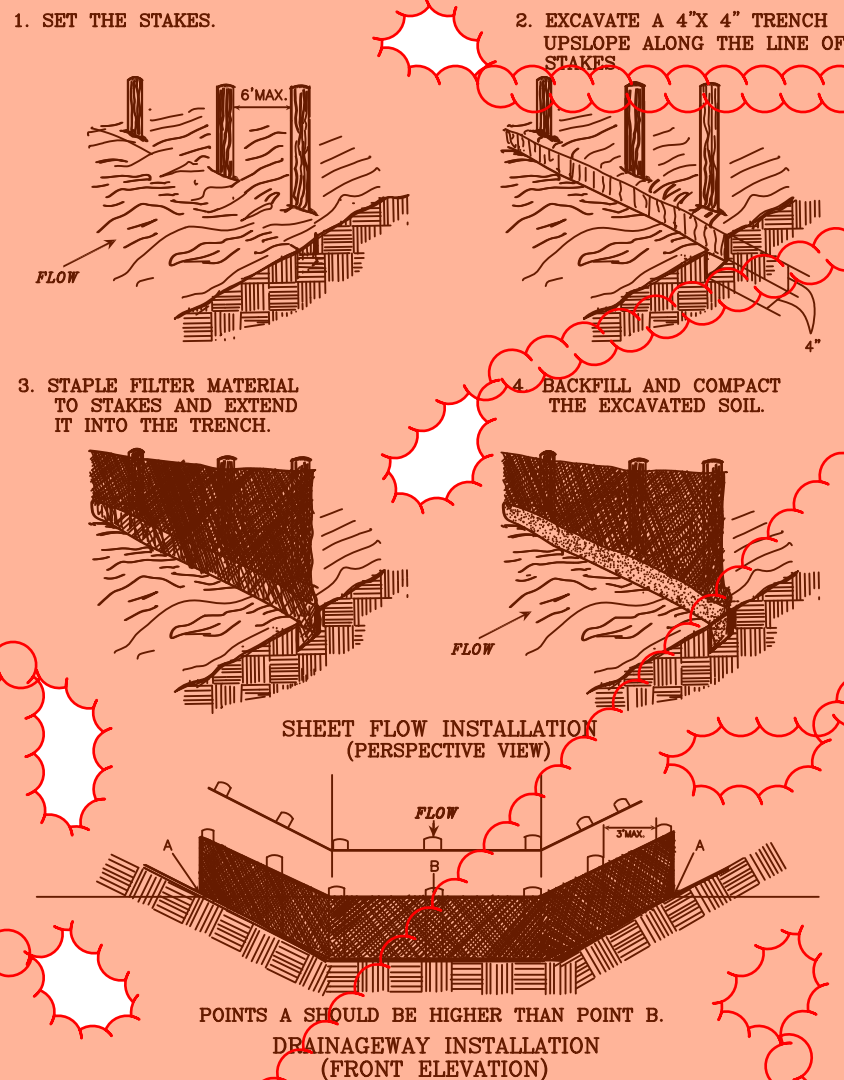
CBPA-22-120_108MurcarDny-res

STONE CONSTRUCTION ENTRANCE



SOURCE: ADAPTED FROM 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

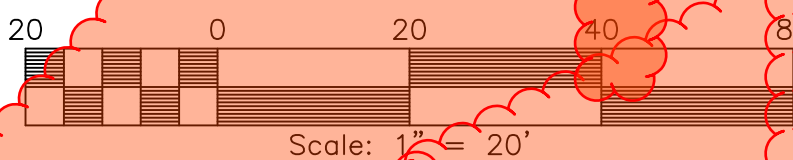
CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



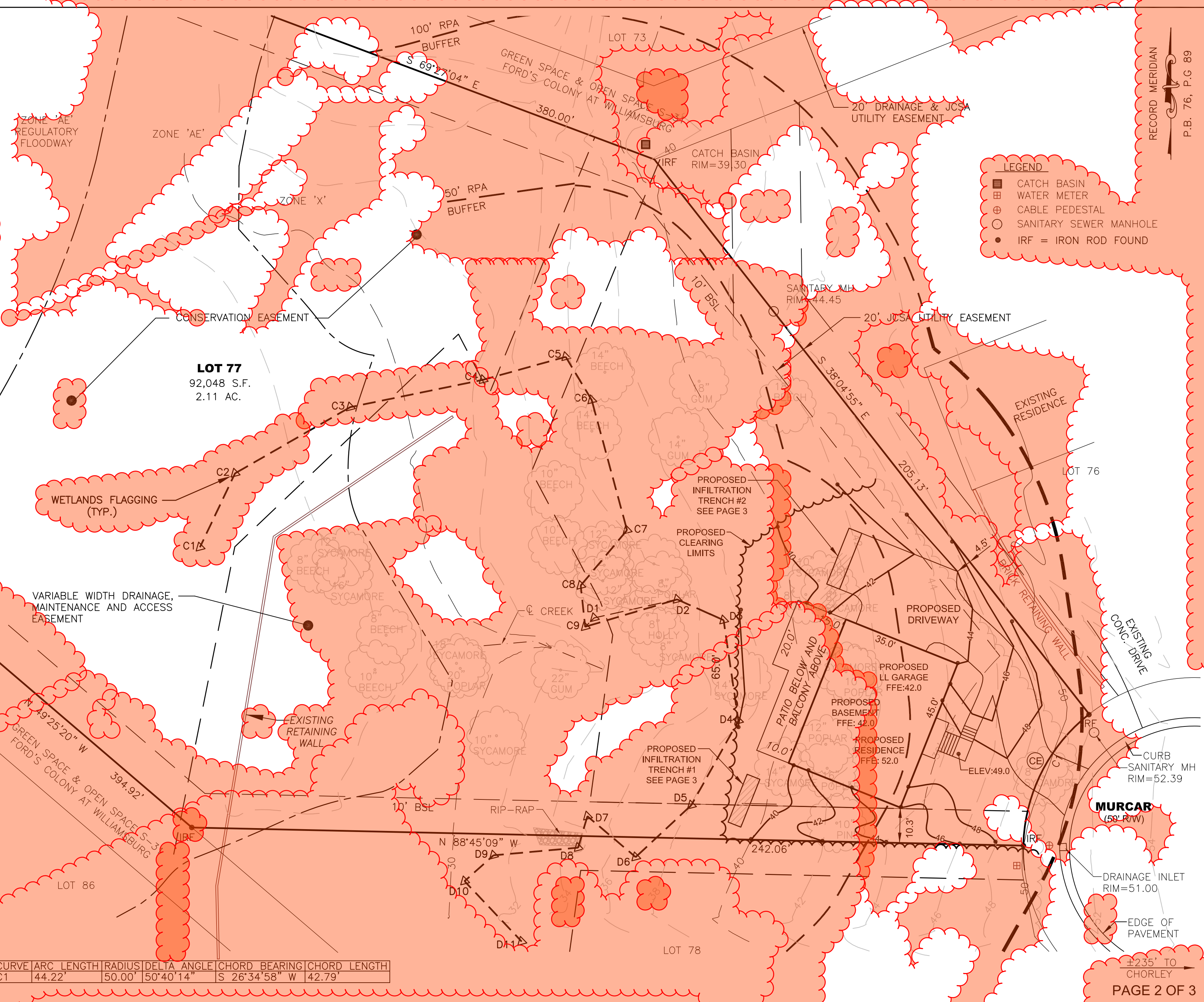
SOURCE: ADAPTED FROM Installation of Straw and Fabric Filter Barriers for Sediment Control, VA DSWC Sherwood and Wyant PLATE 3.05-2

ADDRESS

108 MURCAR
JAMES CITY COUNTY, VIRGINIA



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	44.22'	50.00'	50°40'14"	S 26°34'58" W	42.79'

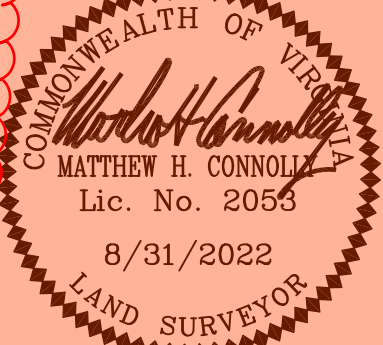


- LEGEND**
- CATCH BASIN
 - WATER METER
 - CABLE PEDESTAL
 - SANITARY SEWER MANHOLE
 - IRF = IRON ROD FOUND

RECORD MERIDIAN
P.B. 76, P.G. 89

PLOT PLAN OF
LOT 77, SECTION XXXI
FORD'S COLONY
FOR
DANIEL J McCORMICK
JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE



DATE: 8/31/2022
DRAWN BY: AEQ
PROJECT No. 18-379
FILE NAME: 18-379.DWG
REFERENCES:
P.B. 76, PG. 87-89

LRI LANDTECH
RESOURCES, INC.
ENGINEERING . SURVEYING . GPS
3925 Midlands Road Williamsburg, VA 23188
Ph: (757) 565-1677 Fax: (757) 565-0782
Web: landtechresources.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND THE CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, JANUARY 11, 2023 AT 5 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA-22-0029: Ms. Karla Havens, Mid-Atlantic Resource Consulting, has applied on behalf of Mr. James and Mrs. Patricia Mishler for a wetlands permit for the installation of a quarry stone revetment on property located at 213 Southpoint Dr, JCC Parcel No. 4930270014.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-22-0119: Mr. Jeff Huentelman, Land Planning Solutions, has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse, LLC c/o Mandrake Capital Partners for encroachments into the Resource Protection Area (RPA) buffer for site grading associated with the development of Stonehouse Tract 10A on property located at 9101 Six Mount Zion Rd, JCC Parcel No. 0540100002.

CBPA-22-0151: Mr. Carl Story, Williamsburg Landing, Inc., has applied for a Chesapeake Bay Exception on behalf of Williamsburg Landing, Inc. for encroachments into the RPA buffer for the replacement and expansion of a deck on property located at 3011 Willow Spring Ct, JCC Parcel No. 4820100002.

CBPA-22-0154: Mr. Daniel Gasink has applied for a Chesapeake Bay Exception for encroachments into the RPA buffer for the construction of a patio and installation of a hot tub on property located at 130 Jameswood, JCC Parcel No. 4510400082.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – Dec 28, 2022 and Jan 4, 2023.

ACCOUNT NO. CU00015112

VIRGINIA GAZETTE

1/8 PAGE, VERTICAL, B/W

CARD # x6648