

AGENDA
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
REGULAR MEETING
COUNTY GOVERNMENT CENTER BOARD ROOM
101 MOUNTS BAY ROAD, WILLIAMSBURG, VA 23185
September 13, 2023
5:00 PM

A. CALL TO ORDER

B. PUBLIC COMMENT

C. ROLL CALL

D. MINUTES

1. Minutes from the August 9, 2023 Chesapeake Bay Board Regular Meeting
2. Minutes from the August 22, 2023 Chesapeake Bay Board Special Meeting

E. PUBLIC HEARING(S)

1. CBPA-23-0089 : 3096 N. Riverside
2. CBPA-23-0087 : 105 Ambrose Hill
3. CBPA-23-0098 : 109 Brancaster
4. CBPA-23-0085 : 4816 Hickory Signpost

F. BOARD CONSIDERATION(S)

G. MATTERS OF SPECIAL PRIVILEGE

H. ADJOURNMENT

MINUTES
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
REGULAR MEETING
County Government Center, Building F
101 Mounts Bay Road, Williamsburg, Virginia 23188
August 9, 2023
5:00 PM

A. CALL TO ORDER

The Chesapeake Bay Board meeting for August 9, 2023, was called to order.

The responsibility of this Board is to carry out locally the Commonwealth policy to protect against and minimize pollution and deposition of sediment in wetlands, streams, and lakes in James City County, which are tributaries of the Chesapeake Bay.

B. ROLL CALL

Board Members Present:

Charles Roadley, Chair
Scott Maye, Vice Chair
Michael O'Brien
Leslie Bowie, Alternate

Board Members Absent:

Halle Dunn
Larry Waltrip

Other Staff Present:

Toni Small, Director, Stormwater and Resource Protection
Michael Woolson, Resource Protection Section Chief, Stormwater and Resource Protection
Robin Benedict, Watershed Planner, Stormwater and Resource Protection
Trevor Long, Watershed Planner, Stormwater and Resource Protection

C. MINUTES

1. Minutes from the July 12, 2023, Regular Meeting

A motion to Approve the minutes was made by Mr. Maye.

The minutes were Approved on a voice vote.

D. PUBLIC HEARINGS

1. CBPA-23-0070 : 17 Clay Circle

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Passed.
AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2

Ayes: Bowie, Maye, O'Brien, Roadley
Absent: Dunn, Waltrip

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Mr. Candido Ortiz Aguilar, on behalf of Greensprings Mobile Home Park, LLC, for encroachments into the Resource Protection Area (RPA) for the construction of a deck and porch. The property is further identified as James City County Real Estate Tax Map Parcel

No. 3640100001. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing.

Mr. Roadley closed the Public Hearing as no one wished to speak.

The Board discussed the pros and cons of the plan.

2. CBPA-23-0081 : 196 The Maine

A motion to Approve w/ Conditions was made by Michael O'Brien, the motion result was Passed.

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2

Ayes: Bowie, Maye, O'Brien, Roadley

Absent: Dunn, Waltrip

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Ms. Carolyn Hill, for encroachments into the RPA for the construction of a home extension. The property is further identified as James City Real Estate County Tax Map Parcel No. 4540200071. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing.

A. Ms. Camilla Buchanan, 196 The Maine, explained that the proposed addition would accommodate her wife's accessibility requirements. Ms. Buchanan also clarified for the Board that the existing gutters on the house discharge stormwater runoff into the embankment at the site.

Mr. Roadley indicated the benefit of mitigating stormwater runoff with a rain barrel or similar feature as combating erosion and sediment deposition.

Mr. Roadley closed the Public Hearing.

The Board discussed the pros and cons of the plan.

3. CBPA-23-0054 : 3520 Barrett's Ferry Drive

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Passed.

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2

Ayes: Bowie, Maye, O'Brien, Roadley

Absent: Dunn, Waltrip

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Ms. Angelina Ananthram, for encroachments into the RPA for the installation of a walkway and fire pit patio. The property is further identified as James City County Real Estate Tax Map Parcel No. 4310600006. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff clarified for the Board that no visible erosion was present at the site near the installed

walkway.

Mr. Roadley opened the Public Hearing.

A. Mr. Vernon Geddy, Geddy, Harris, Franck & Hickman, LLP, 1177 Jamestown Road, offered an apology on behalf of the property owners for presenting this exception request after-the-fact. Mr. Geddy also confirmed that no trees were cleared for the installation of the walkway.

Mr. Roadley closed the Public Hearing.

The Board discussed the pros and cons of the plan, including an appreciation for the amount of proposed mitigation in relation to the impact of the plan.

4. CBPA-23-0084 : 2521 Goodrich Durfey

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Passed.
AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2
Ayes: Bowie, Maye, O'Brien, Roadley
Absent: Dunn, Waltrip

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Ms. Mary Fox, for encroachments into the RPA for the installation of retaining walls. The property is further identified as James City County Real Estate Tax Map Parcel No. 4840200065. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff confirmed for the Board that there is significant sloughing at the site against which the proposed retaining wall would combat.

Mr. Roadley opened the Public Hearing.

A. Mr. Ryan Linnekin, Williams Landscape & Design, 1554 Penniman Road, clarified for the Board that the proposed retaining wall at the end of the pool serves a cosmetic purpose to level the property's fence around the parcel. Mr. Linnekin also clarified other details of the plan including specific measurements of the proposed retaining walls and planting locations.

Mr. Roadley closed the Public Hearing.

The Board discussed the pros and cons of the plan, including the neutral impact of the proposed retaining wall behind the pool and the benefits of the required infiltration trench.

5. CBPA-24-0094 : 3426 North Riverside Drive

A motion to Approve w/ Conditions was made by Michael O'Brien, the motion result was Passed.
AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2
Ayes: Bowie, Maye, O'Brien, Roadley
Absent: Dunn, Waltrip

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. Daniel Samuels, for encroachments into the RPA for the installation of a sewer force main. The property is further identified as

James City County Real Estate Tax Map Parcel No. 0940100008K. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff confirmed for the Board that their recommendation of denial is based on the availability of a viable alternative to the installation of a sewer force main that would have no impact on the RPA. Staff also confirmed that an exception request would likely be needed in order to permit what appears to be necessary stabilization of the existing access road for potential future use as a permanent driveway for any future dwellings at the site.

Mr. Michael Woolson, Resource Protection Section Chief, Stormwater and Resource Protection, addressed the Board, confirming that the drainfields shown in the project's drawings are indicative of conventional septic system drainfields. Emphasizing the possibility of an alternative wastewater treatment approach that would not impact the RPA, he also noted the necessity of an approved administrative exception request for any work on the existing access road. Responding to the Board's query about potential site constraints preventing future dwellings and septic systems, he assured that ample land is available for such purposes. Additionally, Mr. Woolson provided further insights into the existing platted septic drainfields, as well as those pertinent to potential future septic systems.

Mr. Roadley opened the Public Hearing.

A. Mr. Chase Grogg, LandTech Resources, Inc., 205 Bulifants Boulevard, Suite E, provided additional insights into the plan, including its history and the findings of an Authorized On-site Soil Evaluator's (AOSE) analysis of the soil that indicates the on-site soil conditions only support the installation of a conventional septic system within the existing platted drainfields. Mr. Grogg also confirmed for the Board the negligible impact of the proposed activity on the RPA.

B. Mr. Timothy Porter, 3436 North Riverside Drive, inquired about the impact of the proposed activities on his adjacent parcel. Mr. Porter also confirmed for the Board that the alternative septic installed on his parcel in 2004 and in use by him and his family since 2019, has had no known issues.

Mr. Roadley closed the Public Hearing.

Mr. Roadley observed that the proposed activities seem to have negligible impact on the RPA. He also recommended that Mr. Porter directly engage with the applicant to clarify his inquiry, as it falls outside the immediate jurisdiction of the Board.

The Board continued to discuss the pros and cons of the plan, including how the findings of the soil scientist relate directly to the viability of utilizing wastewater treatment alternative to that which has been proposed by the applicant.

6. CBPA-23-0085 : 4816 Hickory Signpost Road

A motion to Defer was made by Scott Maye, the motion result was Passed.

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2

Ayes: Bowie, Maye, O'Brien, Roadley

Absent: Dunn, Waltrip

Mr. Maye amended his original motion to accept the deferral request to include that the case be presented before the Board again at the September 13, 2023, Regular Meeting.

A motion to Defer was made by Scott Maye, the motion result was Passed.

AYES: 4 NAYS: 0 ABSTAIN: 0 ABSENT: 2

Ayes: Bowie, Maye, O'Brien, Roadley

Absent: Dunn, Waltrip

A. Mr. Grogg requested a deferral of the exception request.

A motion to Approve w/ Conditions was made by Scott Maye, the motion result was Withdrawn.

Mr. Trevor Long, Watershed Planner, presented the exception request submitted by Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. Sone Marcano, for encroachments into the RPA for the construction of a single-family dwelling. The property is further identified as James City County Real Estate Tax Map Parcel No. 4720100045. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Staff confirmed for the Board that the maintenance of private Best Management Practices facilities such as the one proposed in this plan would be the responsibility of the homeowner.

Mr. Roadley opened the Public Hearing.

A. Mr. Chase Grogg, Landtech Resources, Inc., 205 Bulifants Boulevard, Suite E, provided details about the history of the plan, especially as it relates to how it differs from a previous Chesapeake Bay Exception Request that was presented to the Board for the construction of a single-family dwelling on this same parcel.

B. Mr. John Hopke, Hopke/Harrison, Inc., 1156 Jamestown Road, Suite C, explained the rationale behind selecting the house's design, which aimed to harmoniously integrate the house's aesthetics with the surrounding environment while simultaneously reducing as much impact as possible.

In response to Ms. Bowie's inquiry regarding tree clearing, staff clarified the clearing limits as they were described in the staff presentation.

C. Ms. Sone Marcano, 817 23rd Street, Virginia Beach, Virginia, stated her desire to construct a house at this location based on personal and family considerations.

D. Ms. Babs Bengtson, 4824 Hickory Signpost Road, submitted digital copies of pictures of the site post precipitation via portable USB storage device in support of her objection to the plan. Ms. Bengtson also cited the degree of impact on the environment in general as cause for her objection.

E. Ms. Elizabeth Rutherford Bowling and Mr. Gary Bowling, 4676 Hickory Signpost Road, objected to the plan citing its impact to the RPA.

C. Ms. Marcano explained that when she owned the adjacent parcel in 2005, now owned by Ms. Bengtson, she underwent the approval process with the Chesapeake Bay and Wetlands Boards for the construction of a house on that parcel.

E. Mr. Bowling offered his opinion that the site was likely never intended to be developed because of its existing constraints.

Mr. Roadley closed the Public Hearing.

Mr. Maye expressed support for the plan, citing its consideration for the site constraints.

Mr. O'Brien indicated that the plan is within the minimum to afford relief and that it is not necessarily detrimental to water quality.

Ms. Bowie expressed concern for the location of the plan within the surrounding wetlands, despite the efforts made by the applicant to address the site constraints.

Mr. Roadley concurred with the concerns raised by Ms. Bowie as well as indicating that the plan may represent a substantial detriment to water quality.

Mr. Roadley reopened the Public Hearing while Mr. Maye's Motion to Adopt the resolution to grant the exception request was still before the Board.

E. BOARD CONSIDERATIONS

Mr. Woolson informed the Board that there will be a Work Session on August 22, 2023, at 2:00 p.m. in the Board Work Session Room.

F. MATTERS OF SPECIAL PRIVILEGE

None.

G. ADJOURNMENT

A motion to Adjourn was made by Mr. O'Brien and approved on a voice vote.

The meeting adjourned at 7:05 p.m.

MINUTES
JAMES CITY COUNTY CHESAPEAKE BAY BOARD
WORK SESSION
County Government Center, Building F
August 22, 2023
2:00 PM

A. CALL TO ORDER

The Wetlands and Chesapeake Bay Board Work Session for August 22, 2023, was called to order.

B. ROLL CALL

Board Members Present:

Charles Roadley, Chair
Scott Maye, Vice Chair
Leslie Bowie, Alternate

Board Members Absent:

Halle Dunn
Larry Waltrip
Michael O'Brien

Other Staff Present:

Toni Small, Director, Stormwater and Resource Protection
Michael Woolson, Resource Protection Section Chief, Stormwater and Resource Protection
Robin Benedict, Watershed Planner, Stormwater and Resource Protection
Trevor Long, Watershed Planner, Stormwater and Resource Protection
Liz Parman, Deputy County Attorney, County Attorney's Office

C. PRESENTATIONS

1. Upcoming Ordinance Revisions

Mr. Trevor Long, Watershed Planner, presented information regarding upcoming Ordinance revisions for the Chesapeake Bay Ordinance. Discussion for the clarification of these changes ensued.

2. Amendments to Bylaws

Mr. Trevor Long, Watershed Planner, presented information on potential amendments to the Wetlands and Chesapeake Bay Board Bylaws. Discussion regarding these amendments ensued. The Board proposed changes including adding a public comment period during the meetings and limiting the number of times a case can be heard to one year between submittals unless a significant change has been made to the proposal.

3. Board Considerations/Ordinance Requirements

Mr. Trevor Long, Watershed Planner, presented information regarding the Board considerations and Ordinance requirements for legislative cases. Discussion regarding

clarification of the considerations and requirements, as well as questions regarding possible changes to these requirements followed.

4. Board Member Requests

Mr. Trevor Long, Watershed Planner, responded to Board member requests. Discussion on these requests followed.

G. ADJOURNMENT

A motion to Adjourn was made by Mr. Roadley and approved on a voice vote.

The meeting adjourned at 3:47 p.m.

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-23-0089. 3096 North Riverside Drive
Staff Report for the September 13, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Mr. Geoffrey Stephan

Agent: Mr. Sean Thompson, Total Home Improvements

Location: 3096 North Riverside Drive

Parcel Identification No.: 1910200017

Parcel: Lot 17, Section 1, Chickahominy Haven

Lot Size: 0.32 acres

Area of Lot in Resource Protection Area (RPA): 0.10 acres (31%)

Watershed: Yarmouth Creek (JL28)

Floodplain: Zone AE - Base flood elevation 7 feet mean sea level

Proposed Activity: Construction of a deck

Impervious Cover: 156 square feet, proposed
126 square feet, existing

RPA Encroachment: 0 square feet, seaward 50-foot RPA
30 square feet, landward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Sean Thompson, Total Home Improvements, has applied for a Chesapeake Bay Exception on behalf of Mr. Geoffrey Stephan for encroachments into the RPA buffer for the construction of a deck located at 3096 North Riverside Drive within the Chickahominy Haven subdivision and the Yarmouth Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 1910200017. The parcel was platted in 1959, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.32 acres, of which 31% is located within the RPA. The applicant is proposing to construct a new 156-square-foot deck adjacent to the rear of the home. Existing conditions on the property include a 126-square-foot concrete patio in the area of the proposed deck. Total new impacts to the RPA associated with this proposal equate to 30 square feet within the landward 50-foot RPA. Required mitigation for this amount of impervious impacts equals two shrubs.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a deck. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a deck is considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicant any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to two shrubs to the Stormwater and Resource Protection Division prior to project start; and
3. The Applicant must submit a surety of \$250 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

TAL/md
CBPA23-89_3096NRvrsdDr

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-23-0089. 3096 NORTH RIVERSIDE DRIVE

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Sean Thompson, Total Home Improvements, on behalf of Mr. Geoffrey Stephan (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 3096 North Riverside Drive (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 1910200017, as set forth in the application CBPA-23-0089 for the purpose of constructing a deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0089, subject to the following conditions:

1. The Applicant must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicant must submit a mitigation plan equating to two shrubs to the Stormwater and Resource Protection Division prior to project start; and
3. The Applicant must submit a surety of \$250 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

RESOLUTION

CASE NO. CBPA-23-0089. 3096 NORTH RIVERSIDE DRIVE

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Sean Thompson, Total Home Improvements, on behalf of Mr. Geoffrey Stephan (the “Applicant”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 3096 North Riverside Drive (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 1910200017, as set forth in the application CBPA-23-0089 for the purpose of constructing a deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0089.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

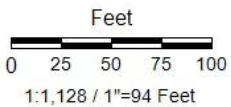
Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-89_3096NRvrsdDrDny-res



Legend

□ Parcels



Title:

Date: 8/14/2023

DISCLAIMER: This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources, and James City County is not responsible for its accuracy or how current it may be.



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, SEPTEMBER 13, 2023 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-23-0010: Mr. Randolph Carnell, Living Shorelines, LLC, on behalf of Ms. Johanna M. Kroenlein and Mr. James Keith Ducker, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 206 The Maine, JCC Tax Map Parcel No. 4540200076.

THE CHESAPEAKEBAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-23-0087: Mr. Joseph Krallinger, The Structures Group, on behalf of Ms. Jeannie S. and Mr Lee Scott Trainum, has applied for a Chesapeake Bay Exception for the installation of a retaining wall on property located at 105 Ambrose Hill, JCC Tax Map Parcel No. 5030400077.

CBPA-23-0089: Mr. Sean Thompson, Total Home Improvements, on behalf of Ms. Jacqueline E. and Mr. Geoffrey A. Stephan, has applied for a Chesapeake Bay Exception for the construction of deck on property located at 3096 North Riverside Drive, JCC Tax Map Parcel No. 1910200017.

CBPA-23-0098: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 109 Brancaster, JCC Tax Map Parcel No. 3810300033.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – August 30, 2023 and September 6, 2023
ACCOUNT NO. CU00015112
VIRGINIA GAZETTE
1/8 PAGE, VERTICAL, B/W

Case Number: CBPA-23-0089

PIN	Last Name	Address Line 1	City	State	Zip Code
1910200016	AYRES, MARSHALL PAGE & VALERIE ANN MARIE	3098 N RIVERSIDE DR	LANEXA	VA	23089-9403
	Sean Thompson Total Home Improvement	4724 George Washington Memorial Hwy	Yorktown	VA	23692
1910200018	SIMS, BETTY F	3094 N RIVERSIDE DR	LANEXA	VA	23089-9403
1910200017	STEPHAN, GEOFFREY A & JACQUELINE E	3096 N RIVERSIDE DR	LANEXA	VA	23089-9403



General Services

107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080

General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects

107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet

103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**

101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds

113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste

1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

«Last_Name»
«Address_Line_1»
«City», «State» «Zip_Code»

RE: CBPA-23-0089
3096 North Riverside Drive
Construction of deck

August 23, 2023

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Sean Thompson, Total Home Improvements, on behalf of Ms. Jacqueline E. and Mr. Geoffrey A. Stephan, for encroachments into the Resource Protection Area buffer for the construction of deck. The project is located at 3096 North Riverside Drive, JCC Tax Map Parcel No. 1910200017.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, September 13, 2023, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-23-0087. 105 Ambrose Hill
Staff Report for the September 13, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicants: Mr. Lee Scott and Ms. Jeannie Tranium
Agent: Mr. Joseph Krallinger, The Structures Group, Inc.
Location: 105 Ambrose Hill
Parcel Identification No.: 5030400077
Parcel: Lot 77, Phase 2, Tazewell’s Hundred
Lot Size: 0.54 acres
Area of Lot in Resource Protection Area (RPA): 0.31 acres (54%)
Watershed: College Creek (JL34)
Floodplain: None
Proposed Activity: Construction of two retaining walls
Impervious Cover: 124 square feet
RPA Encroachment: 0 square feet, seaward 50-foot RPA
124 square feet, landward 50-foot RPA
Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Joseph Krallinger, The Structures Group, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. Lee Scott and Ms. Jeannie Tranium for encroachments into the RPA buffer for the construction of two retaining walls located at 105 Ambrose Hill within the Kingsmill subdivision and the College Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 5030400077. The parcel was platted in 1981, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.54 acres, of which 54% is located within the RPA. Existing conditions of the property include a gradual slope to the rear of the property with a timber retaining wall at the top of the slope. The applicants are proposing to remove the existing timber wall and replace and expand with a block retaining wall. Case No. CBPA-22-0104 appeared before the Board on September 14, 2022, for the approval of the replacement and expansion of retaining walls. The applicants have revised the approved plan to account for an additional retaining wall necessary to accommodate James City County Retaining Wall Ordinance. Total impacts to the RPA associated with this proposal equate to 124 square feet of impacts to the landward 50-foot RPA. Required mitigation for this amount of impervious impacts equals the plantings of five shrubs.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of two retaining walls. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of retaining walls is considered accessory in nature.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a mitigation plan equating to five shrubs to the Stormwater and Resource Protection Division prior to project start; and
3. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

TAL/ap
CBPA23-87_105AmbrseHll

Attachments:

1. Resolution
2. Site Plan

RESOLUTION

CASE NO. CBPA-23-0087. 105 AMBROSE HILL

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Mr. Lee Scott and Ms. Jeannie Tranium (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 105 Ambrose Hill (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 5030400077, as set forth in the application CBPA-23-0087 for the purpose of constructing two retaining walls; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0087, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a mitigation plan equating to five shrubs to the Stormwater and Resource Protection Division prior to project start; and
3. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-87_105AmbrseHllApp-res

RESOLUTION

CASE NO. CBPA-23-0087. 105 AMBROSE HILL

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Mr. Lee Scott and Ms. Jeannie Tranium (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 105 Ambrose Hill (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 5030400077, as set forth in the application CBPA-23-0087 for the purpose of constructing two retaining walls; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0087.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-87_105AmbrseHllDny-res

EROSION & SEDIMENT CONTROL NOTES

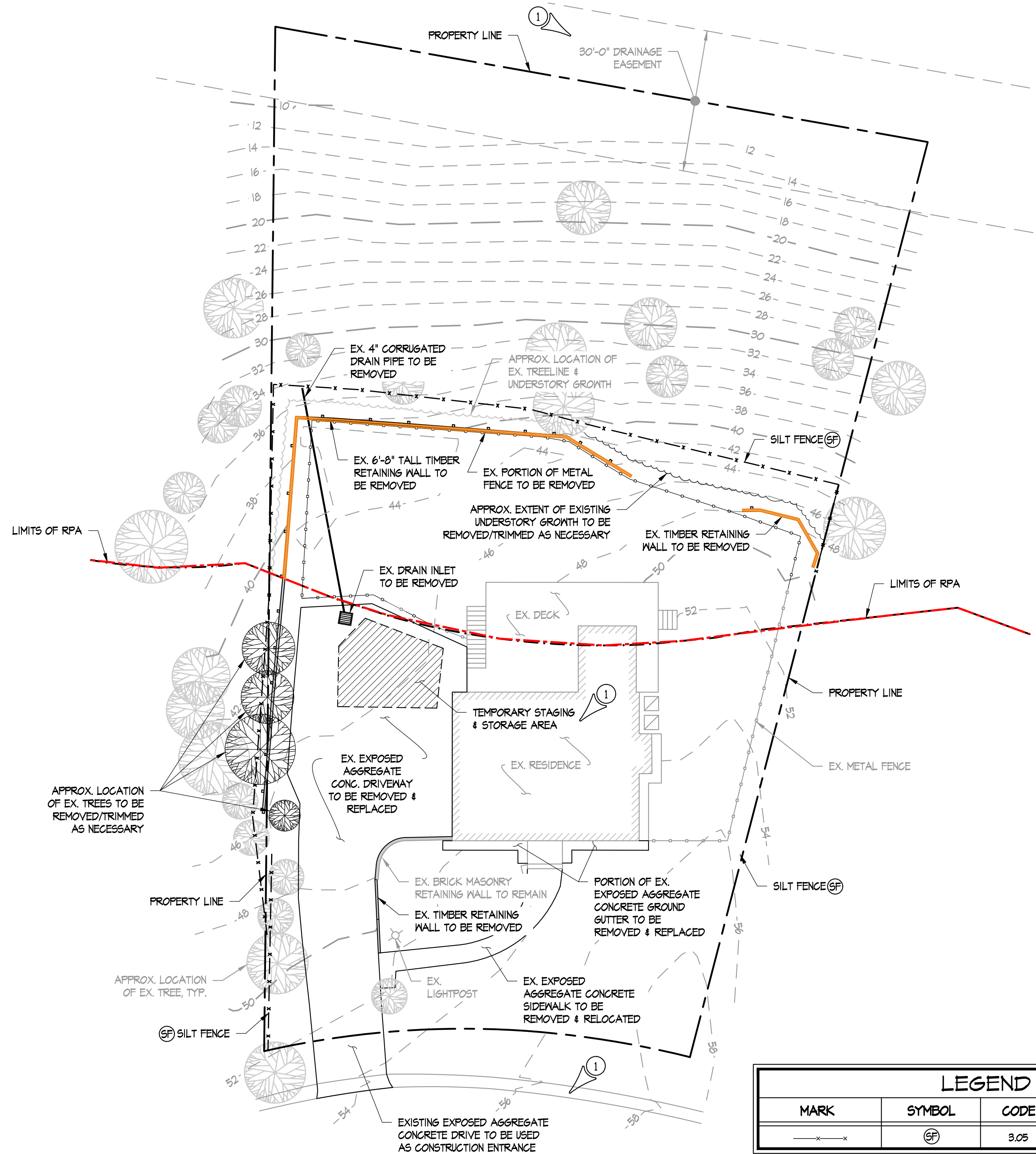
GENERAL:

- THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLAN IS APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
- THIS SITE IS LOCATED WITHIN THE CHESAPEAKE BAY WATERSHED. A PORTION OF THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
- ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LAND TECH RESOURCES, INC. REVISED JUNE 24, 2022.
- THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
- A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE-FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
- ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER HILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDING TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTINGS TO BE VESCH TYPICAL TREATMENT T-1 (JUTE MESH).

JAMES CITY COUNTY STANDARD STORMWATER POLLUTION PREVENTION PLAN NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR PLAN OF DEVELOPMENT PROJECTS IN JAMES CITY COUNTY, VIRGINIA. COMPONENTS OF A SWPPP MAY INCLUDE AS APPLICABLE, A SITE EROSION AND SEDIMENT CONTROL (ES&SC) PLAN, A SITE STORMWATER MANAGEMENT (SWM) PLAN, AND A SITE POLLUTION PREVENTION PLAN (PPP). THE COUNTY'S DIVISION OF ENGINEERING AND RESOURCE PROTECTION IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESCP) AUTHORITY AND VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) AUTHORITY.

- ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (ES&SC) LAW AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS (VSMP), THE VIRGINIA BMP CLEARINGHOUSE WEBSITE, STATE EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESCP AND VSMP AUTHORITY SHALL APPLY TO THE PROJECT.
- MINIMUM STANDARDS NO. 1 THROUGH NO. 19 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840 ET SEQ. SHALL APPLY TO THE PROJECT.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VPDES PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 800, THE VIRGINIA STORMWATER MANAGEMENT PROGRAM REGULATIONS CHAPTER 810; AND IN ACCORDANCE WITH CURRENT REQUIREMENTS OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP), THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, CHAPTER 8 OF THE COUNTY CODE AND THE LOCAL VESCP/VSPM AUTHORITY.
- THE OWNER, APPLICANT, OPERATOR OR PERMITTEE SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE OF COMPETENCE WHO WILL BE RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY PRIOR TO ENGAGING IN THE LAND DISTURBING ACTIVITY. THIS WILL BE NECESSARY PRIOR TO ISSUANCE OF A LOCAL LAND DISTURBING AND/OR STORMWATER CONSTRUCTION PERMIT FOR THE PROJECT. THE RLD IS REQUIRED TO ATTEND THE PRECONSTRUCTION CONFERENCE FOR THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT MISS UTILITY (DIAL 811 IN VA OR 1-800-552-7001) PRIOR TO ANY UTILITY OR SITE WORK EXCAVATIONS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLANNED, DESIGNED, IMPLEMENTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). THE CONTRACTOR SHALL MAINTAIN, INSPECT, AND REPAIR ALL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED THROUGHOUT THE LIFE OF THE PROJECT TO ENSURE CONTINUED ACCEPTABLE PERFORMANCE.
- A PRECONSTRUCTION CONFERENCE (MEETINGS) SHALL BE HELD ON SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCP/VSPM AUTHORITY, THE OWNER/APPLICANT/OPERATOR/PERMITTEE, THE RESPONSIBLE LAND-DISTURBER (RLD), AND THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES, AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OWNER, APPLICANT, OPERATOR OR PERMITTEE IS REQUIRED TO COORDINATE SCHEDULING OF THE PRECONSTRUCTION CONFERENCE BETWEEN ALL APPLICABLE PARTIES. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION AND A REVISED POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF APPLICABLE, TO THE LOCAL VESCP/VSPM AUTHORITY FOR REVIEW AND APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- A POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO: MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER AND OTHER WASH WATERS; MINIMIZE THE EXPOSURE OF ALL MATERIALS ON THE SITE (SUCH AS BUILDING MATERIALS AND PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, ETC.) TO PRECIPITATION AND STORMWATER; MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPILLS AND LEAKS; IMPLEMENT CHEMICAL SPILL AND LEAK PREVENTION AND RESPONSE PROCEDURES; AND INCLUDE EFFECTIVE BEST MANAGEMENT PRACTICES TO PROHIBIT THE DISCHARGE OF WASTEWATER FROM CONCRETE WASHOUT AND WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; DISCHARGE OF FUELS, OILS, OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE ACTIVITIES; AND THE DISCHARGE OF SOAPS AND SOLVENTS USED FOR VEHICLE AND EQUIPMENT WASHING. THIS PLAN SHALL BE AVAILABLE ONSITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCP/VSPM AUTHORITY WHEN REQUESTED.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE IS RESPONSIBLE FOR ALL OPERATOR SELF-INSPECTIONS AS REQUIRED IN THE POLLUTION PREVENTION PLAN (P2 PLAN OR PPP) OR AS REQUIRED AS PART OF A DEVELOPED STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THESE INSPECTIONS SHALL BE MADE AVAILABLE, UPON REQUEST, BY THE LOCAL VESCP/VSPM AUTHORITY.
- ALL PERIMETER EROSION AND SEDIMENT CONTROL (ES&SC) MEASURES SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE ACTIVITY TAKES PLACE.
- ADDITIONAL SAFETY FENCE OR DUST CONTROL MEASURES, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS. 3.01 AND 3.04 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REQUIRED TO BE IMPLEMENTED ON THE SITE IN ADDITION TO THAT SHOWN ON THE APPROVED PLAN AND SPECIFICATIONS IN ORDER TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL.



SITE PLAN

SCALE: 1/16" = 1'-0"
0' 5' 10' 25'

LEGEND			
MARK	SYMBOL	CODE	DESCRIPTION
—x—x—	SF	3.05	SILT FENCE

STATISTICAL INFORMATION

ZONE:	R4 - RESIDENTIAL PLANNED COMMUNITY		
PARCEL ID NO.:	50304000TT		
LRSN NO.:	4625		
OWNER:	TRAINUM, LEE SCOTT & JEANNIE S		
SITE DESCRIPTION:	105 AMBROSE HILL		
PROJECT AREA:	4,980 SQ. FT. (0.11 ACRES)		
IMPERVIOUS COVER FOR PROJECT AREA:			
	PRE-CONSTRUCTION	POST-CONSTRUCTION	NET CHANGE
GREEN AREA	2,107 SQ. FT. (42%)	1,891 SQ. FT. (38%)	-216 SQ. FT. (4%)
IMPERVIOUS AREA	2,881 SQ. FT. (58%)	3,091 SQ. FT. (62%)	+216 SQ. FT. (4%)
TOTAL AREA	4,980 SQ. FT. (100%)	4,980 SQ. FT. (100%)	0 SQ. FT. (0%)
TOTAL LIMITS OF DISTURBANCE:	RETAINING WALLS	280 SQ. FT.	
	DRIVEWAY	2,463 SQ. FT.	
	CONCRETE GROUND GUTTERS	82 SQ. FT.	
	CONCRETE SIDEWALK	272 SQ. FT.	
	PLANTING/GRADING AREA	1,891 SQ. FT.	
	TOTAL AREA	4,980 SQ. FT.	
NET CHANGE TO IMPERVIOUS AREA IN RPA:	+412 SQ. FT.		

PROJECT DESCRIPTION

THIS PROJECT INCLUDES REPLACEMENT OF EXISTING FAILING TIMBER RETAINING WALLS WITH MORE DURABLE CONSTRUCTION MATERIALS.

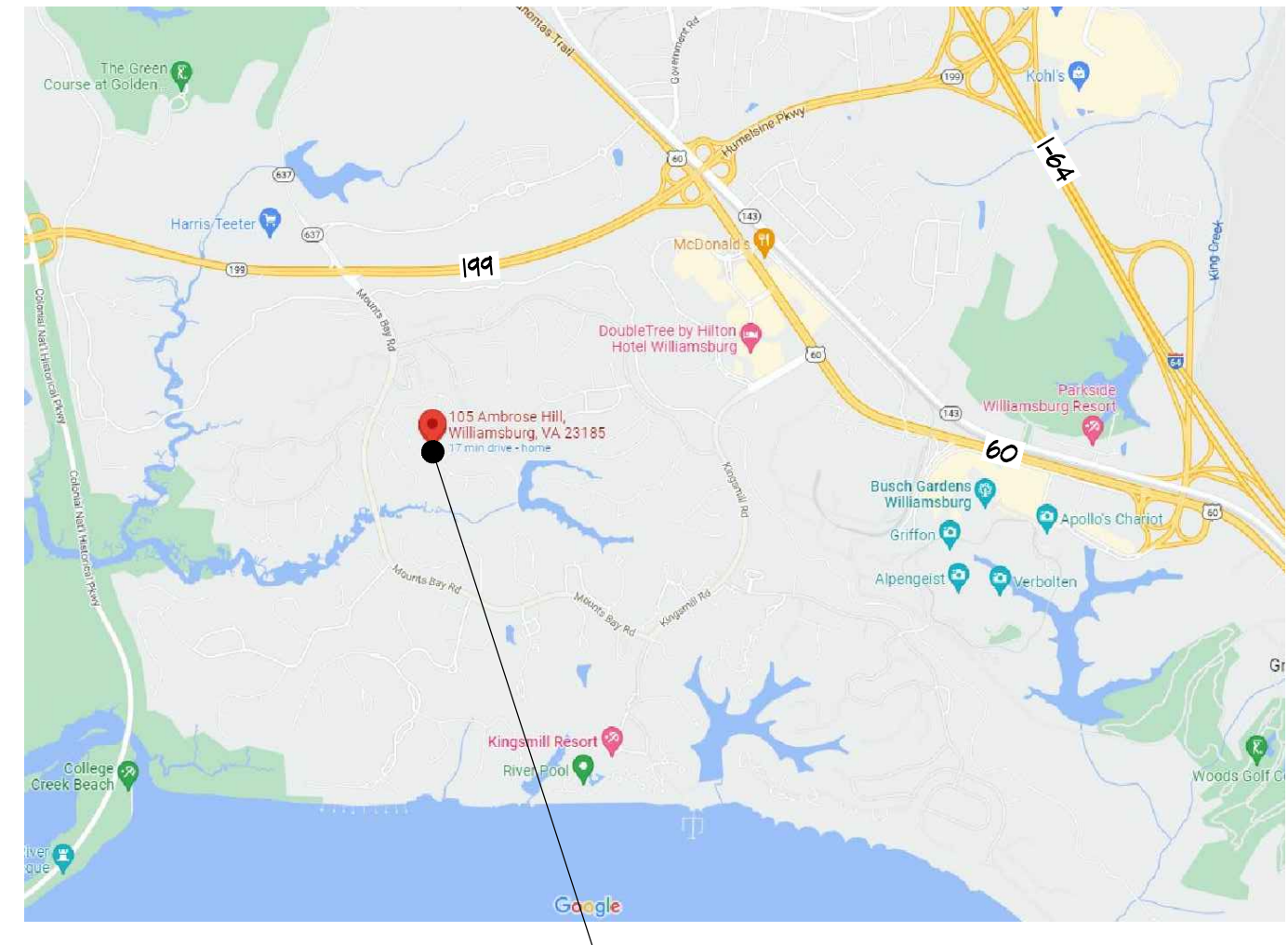
SEQUENCE OF CONSTRUCTION

- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED. STABILIZATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE WITH JAMES CITY COUNTY & STATE REGULATIONS. EXISTING EXPOSED AGGREGATE CONCRETE DRIVEWAY WILL SERVE AS CONSTRUCTION ENTRANCE.
- REMOVE/TRIM LIMITED VEGETATION AS SPECIFICALLY DENOTED ON PLANS & REMOVE DRAINAGE FEATURES & EXISTING TIMBER RETAINING WALLS AS INDICATED ON PLANS.
- CONSTRUCT DRAINAGE IMPROVEMENTS, SEGMENTAL BLOCK RETAINING WALL, & GEO-GRID REINFORCING, & CONSTRUCT MASONRY RETAINING WALL. ALL BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8' LIFTS. BACKFILL MATERIAL SHALL BE BROUGHT TO THE SITE AS NEEDED.
- CONSTRUCT PEDESTRIAN GUARD ASSEMBLY/FENCING.
- STABILIZE ALL RE-GRADED EARTH WITH SEED & STRAW.
- REMOVE & REPLACE EXPOSED AGGREGATE DRIVEWAY, SIDEWALK, & GROUND GUTTERS
- REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.

JAMES CITY COUNTY STANDARD STORMWATER POLLUTION PREVENTION PLAN NOTES (CONT.):

- EROSION AND SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT OR FOLLOWING TIME OF CONSTRUCTION TO ENSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED, TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC, OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL. LOCAL VESCP/VSPM AUTHORITY APPROVAL SHALL BE REQUIRED FOR ANY DEVIATION OF EROSION AND SEDIMENT CONTROL MEASURES FROM THE APPROVED PLAN.
- OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE LOCAL VESCP/VSPM AUTHORITY PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.
- TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
- CULVERT AND STORM DRAIN INLET PROTECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS. 3.01 AND 3.08 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REMOVED AT THE DISCRETION OF THE ASSIGNED LOCAL VESCP/VSPM AUTHORITY COMPLIANCE INSPECTOR, SHOULD PLACEMENT OF THE MEASURE RESULT IN EXCESSIVE ROAD FLOODING, TRAFFIC OR SAFETY HAZARD, OR RESULT IN THE REDIRECTION OF DRAINAGE ONTO OR TOWARD EXISTING LOTS, HOMES, DRIVEWAYS, GARAGES OR OTHER STRUCTURES. DECISIONS SHALL BE MADE BY THE VESCP/VSPM AUTHORITY ON A CASE-BY-CASE BASIS BASED ON FIELD SITUATIONS ENCOUNTERED.
- DRAINAGE FACILITIES SHALL BE INSTALLED AND FUNCTIONAL WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT.
- NO MORE THAN 300 FEET OF TRENCH MAY BE OPEN AT ONE TIME FOR UNDERGROUND UTILITY LINES, INCLUDING STORM WATER CONVEYANCES. ALL OTHER PROVISIONS OF MINIMUM STANDARD NO. 16 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS APPLY.
- PERMANENT OR TEMPORARY STABILIZATION OF DISTURBED SOIL AREAS SHALL COMPLY WITH MINIMUM STANDARD # 1 AND # 3 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION ON THE APPROVED PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED, IN ACCORDANCE WITH MINIMUM STANDARD # 1 AND # 3 FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, MINIMUM STANDARDS & SPECS. 3.24 THROUGH 3.31 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), AND ANY TECHNICAL BULLETINS ISSUED BY THE STATE WATER CONTROL BOARD OR VIRGINIA DEQ, AS APPLICABLE. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL OUTDOOR WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
- IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING IN ACCORDANCE WITH MINIMUM STANDARD & SPEC. 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. REMOVAL SHALL NOT OCCUR WITHOUT AUTHORIZATION BY THE LOCAL VESCP/VSPM AUTHORITY. DISTURBANCES ASSOCIATED WITH THE REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY STABILIZED.
- NO SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE REMOVED UNTIL A) AT LEAST 75 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN SOLD TO A THIRD PARTY FOR THE CONSTRUCTION OF HOMES (UNRELATED TO THE DEVELOPER); AND/OR B) 60 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN ARE COMPLETED AND STABILIZED. A BULK SALE OF THE LOTS TO ANOTHER BUILDER DOES NOT SATISFY THIS PROVISION. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL NOT BE REMOVED WITHOUT AUTHORIZATION OF THE LOCAL VESCP/VSPM AUTHORITY.
- DESIGN AND CONSTRUCTION OF PRIVATE-TYPE STORM DRAINAGE SYSTEMS, OUTSIDE VDOT RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY, ENGINEERING AND RESOURCE PROTECTION DIVISION, STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED), GENERAL DESIGN AND CONSTRUCTION GUIDELINES (IE. COUNTY DRAINAGE STANDARDS).
- RECORD DRAWINGS (ASBUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL STORMWATER FACILITIES INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. THE CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS DEVELOPED BY THE VSMP AUTHORITY. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY'S CHAPTER 8 EROSION AND SEDIMENT CONTROL AND VSMP ORDINANCE AND THE LOCAL VESCP/VSPM AUTHORITY.
- ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCP/VSPM AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITTEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.

NOTE: IT SHOULD BE NOTED THAT THE EXISTING DETERIORATED TIMBER RETAINING WALLS TO BE REPLACED WERE IN PLACE PRIOR TO JAMES CITY COUNTY ORDINANCE SECTION 23-4.1, TITLED PERFORMANCE STANDARDS FOR RETAINING WALLS, AND ENACTED MAY 11, 2021



VICINITY MAP

Sheet: **S1** | of 4

EROSION & SEDIMENT CONTROL NOTES, SITE PLAN, VICINITY MAP, & STATISTICAL INFORMATION

Project #: VA2115DES | Date: 10/14/22

Reviewed by: MAM | Drawn by: JMK

JCC Building Safety & Permits | Review Comments | Erosion & Sediment Control | Plan Revisions

No.	Revisions	Date
2	JCC Building Safety & Permits Review Comments	6/29/23
1	Erosion & Sediment Control Plan Revisions	2/14/23

VA

The Structures Group, Inc.
1200 Old Colony Lane • Williamsburg, VA 23185
(757) 220-0465 • Fax: (757) 220-1546
www.thestructuresgroup.com

GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUBC), 2018 EDITION
 - THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION AS AMENDED BY THE VUBC.
 - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- DESIGN LOADS:

A. BUILDING CLASSIFICATION CATEGORY	IS PSF
B. GROUND SNOW P _s	05 MPH
C. ULTIMATE WIND SPEED	B
D. SOIL UNIT WEIGHT	120 PCF
E. LIVE LOADS:	
LANDSCAPE & MAINTENANCE	UNIFORM 50 PSF
VEHICLE SURCHARGE	250PSF
- SEISMIC DESIGN:

SEISMIC IMPORTANCE FACTOR	1.0
MAPPED SPECTRAL RESPONSE ACCELERATION S _s	0.111
MAPPED SPECTRAL RESPONSE ACCELERATION S ₁	0.043
SITE SOIL CLASS	D
SPECTRAL COEFFICIENT, S _{ds}	0.118
SPECTRAL COEFFICIENT, S _{d1}	0.068
SEISMIC DESIGN CATEGORY	B
BASIC STRUCTURAL SYSTEM	SEGMENTAL BLOCK RETAINING WALL

- THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY OF VIRGINIA" PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR COSTS ASSOCIATED WITH DAMAGE AND REPAIR OF ANY LINES MARKED BY MISS UTILITY OF VIRGINIA.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO RESIST SOIL PRESSURE AND OTHER LOADS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS, SPRINKLERS, TREES AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COSTS TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION.
- UNLESS NOTED OTHERWISE, ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS THROUGH THE RETAINING WALL. STEP FOOTINGS WHERE REQUIRED.

SEGMENTAL BLOCK RETAINING WALL LEVELING PAD:

- LEVELING PAD FOR SEGMENTAL BLOCK RETAINING WALLS SHALL BE A MINIMUM OF 8" THICK COMPACTED NO. 21A CRUSHED STONE WRAPPED IN FILTER CLOTH. ALTERNATELY, 8" THICK 350 PSI FLOWABLE FILL MAY BE UTILIZED FOR THE LEVELING PAD.
- ALL FLOWABLE FILL SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- ALL FLOWABLE FILL SHALL HAVE A SLUMP OF 1" ± 1" UNLESS NOTED OTHERWISE.
- ALL FLOWABLE FILL TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 11 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
- ALL FLOWABLE FILL TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 12 OF ACI 305R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.

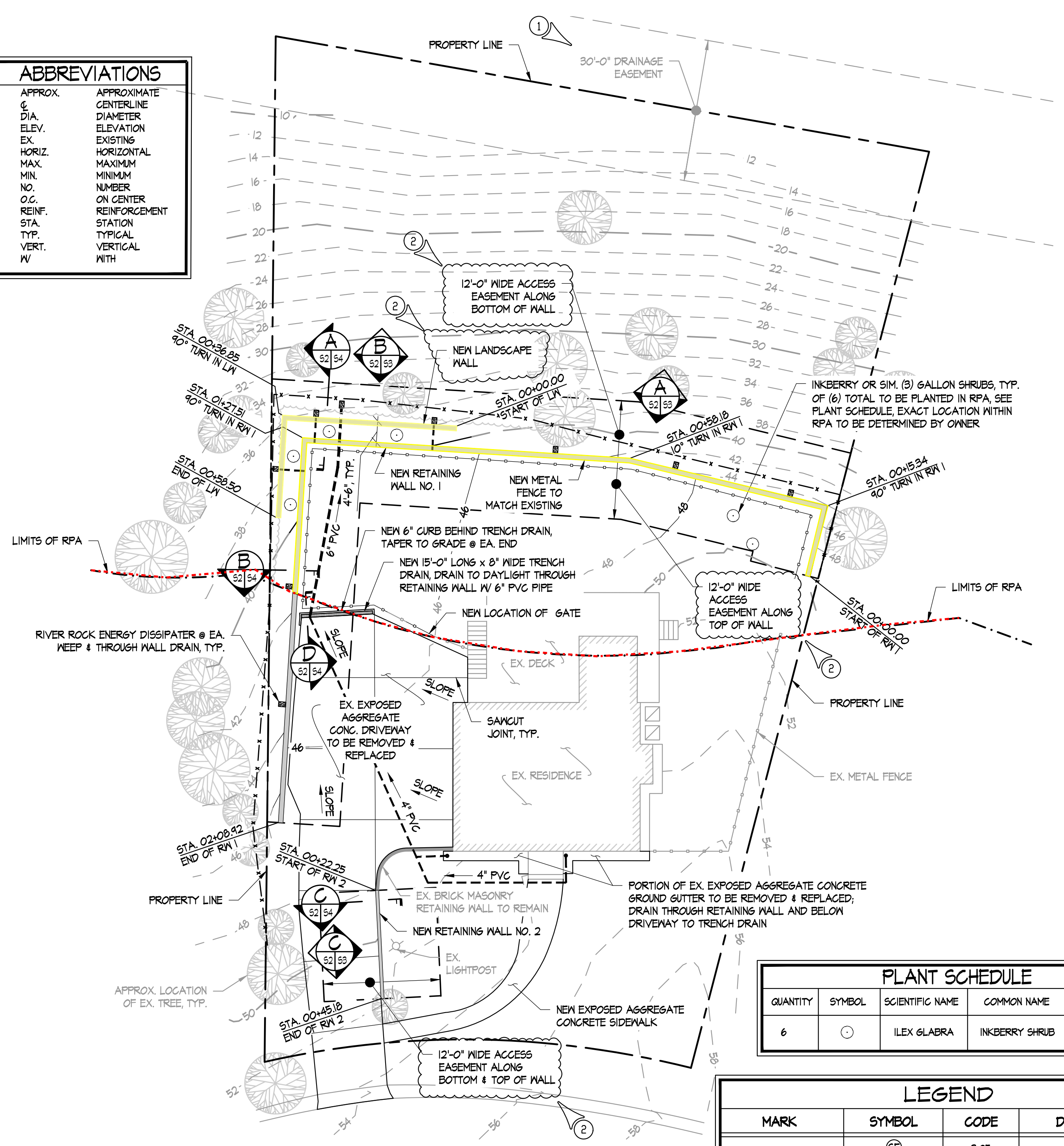
MASONRY RETAINING WALL FOOTING:

- CONCRETE FOR MASONRY RETAINING WALL FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND A MAXIMUM WATER/CEMENT RATIO OF 0.55.
- ALL CONCRETE SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
- ALL CONCRETE SHALL HAVE A SLUMP OF 4" ± 1" UNLESS NOTED OTHERWISE.
- ALL CONCRETE TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 11 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
- ALL CONCRETE TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 12 OF ACI 305R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.
- REINFORCING BARS SHALL BE ASTM A-615, GRADE 60.
- ALL CONCRETE REINFORCING SHALL BE DETAILED AND CONSTRUCTED PER ACI 318.

RETAINING WALLS:

- ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LAND TECH RESOURCES, INC. REVISED JUNE 24, 2022.
- EXISTING SITE SOILS ARE EMPORIA COMPLEX AND GRAVEN-UCHEE COMPLEX WITH MODERATE SHRINK-SWELL POTENTIAL BASED ON THE USDA SOIL SURVEY.
- FOOTINGS FOR RETAINING WALLS ARE DESIGNED TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE AND A MINIMUM OF 2'-2" BELOW THE EXISTING GRADE WITH A MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF UNLESS NOTED OTHERWISE.
- BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL SM OR BETTER, UNLESS NOTED TO BE STONE. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 25 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE SM OR BETTER WITH MINIMUM FRICTION ANGLE OF 30 DEGREES.
- CHIMNEY DRAIN ADJACENT TO RETAINING WALLS AND MATERIAL USED TO FILL MODULAR CONCRETE UNITS SHALL BE VIBRATORY PLATE COMPACTED NO. 57 STONE, OR A WELL GRADED COMPACTIBLE NO. 21A STONE, 1/4" TO 1 1/2" DIAMETER WITH NO MORE THAN 10% PASSING THE #200 SIEVE.
- PLACE A 4" DIAMETER PERFORATED PVC DRAIN PIPE WRAPPED IN FILTER CLOTH ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT AND MASONRY RETAINING WALLS. PROVIDE DRAINAGE TO DAYLIGHT.
- ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALLS, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALLS, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD.
- ALL GEOSGRID REINFORCEMENT TO BE MIRASGRID 3XT SERIES MANUFACTURED BY TENCATE GEOSYNTHETICS. LENGTH OF GEOSGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOSGRID SHALL BE PULLED TAUGHT PRIOR TO INFILLING BACKFILL.
- SEGMENTAL RETAINING WALL UNITS SHALL BE DIAMOND PRO MANUFACTURED BY ANCHOR WALL SYSTEMS, LLC.
- CONTRACTOR SHALL FOLLOW INSTRUCTIONS PROVIDED BY BLOCK MANUFACTURER REGARDING THE CONSTRUCTION OF THE MODULAR CONCRETE UNIT WALLS. ANY INSTRUCTIONS THAT DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C-40. MORTAR TO CONFORM TO ASTM C-270, TYPE "S" BELOW GRADE AND TYPE "N" ABOVE GRADE. MASONRY GROUT TO CONFORM TO ASTM C416.
- ALL CMU REINFORCING SHALL BE DETAILED AND CONSTRUCTED PER ACI 530.
- ALL CONCRETE MASONRY CONSTRUCTION SHALL BE CONSTRUCTED TO HAVE A MINIMUM DESIGN COMPRESSIVE STRENGTH (F_m) OF 1,500 PSI. ALL MASONRY GROUT SHALL HAVE A MINIMUM TWENTY-EIGHT (28) DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- HORIZONTAL REINFORCING FOR SINGLE PLY AND MULTI-PLY COMPOSITE MASONRY WALLS SHALL BE DUR-O-WAL TRUSS TYPE WALL REINFORCING WITH #4 DEFORMED SIDE BARS AND #4 CROSS BARS. MINIMUM VERTICAL SPACING 16" O.C. ABOVE GRADE AND 8" O.C. BELOW GRADE. BRICK VENEER WALLS TO HAVE NON-CORROSIVE METAL TIES AT 16" O.C. VERTICALLY AND HORIZONTALLY.
- BRICK MASONRY UNITS SHALL BE IN ACCORDANCE WITH ASTM C-216. COLOR AND BRICK TYPE SHALL BE SELECTED BY THE OWNER FROM CONTRACTOR SUPPLIED SAMPLES.
- PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE. GUARD RAILINGS, FENCINGS, AND/OR LANDSCAPE SHRUBBERY SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE.
- RETAINING WALL MINIMUM DESIGN SAFETY FACTORS:
 - OVERTURNING - 2.0
 - SLIDING - 1.5
 - GLOBAL STABILITY - 1.3

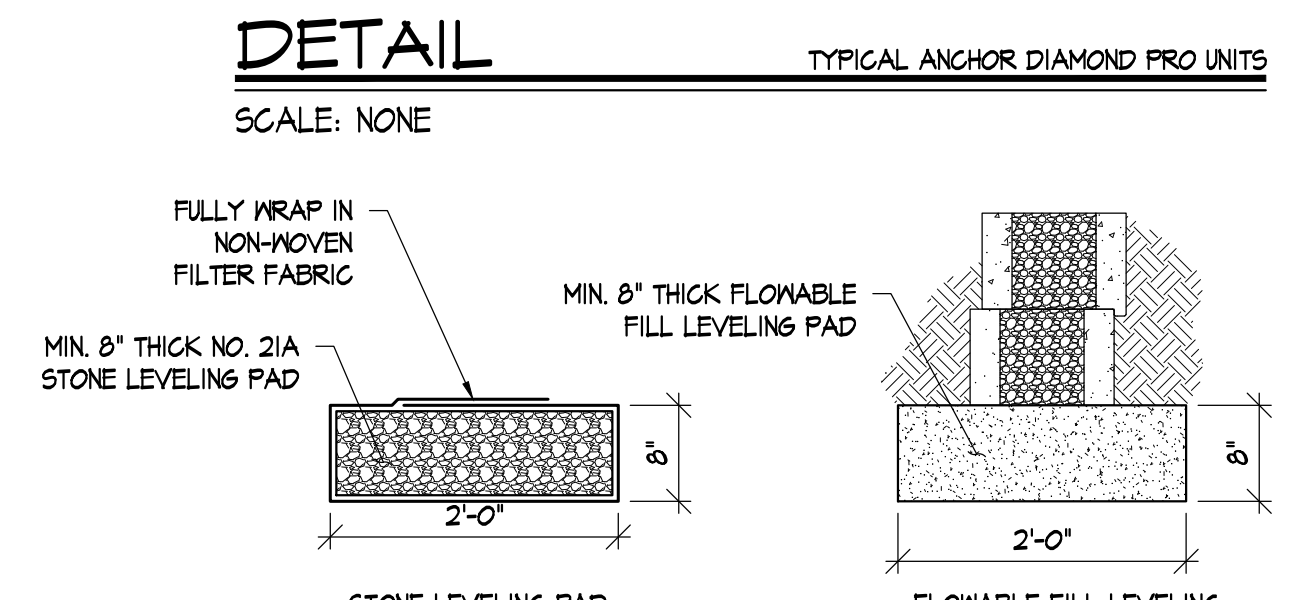
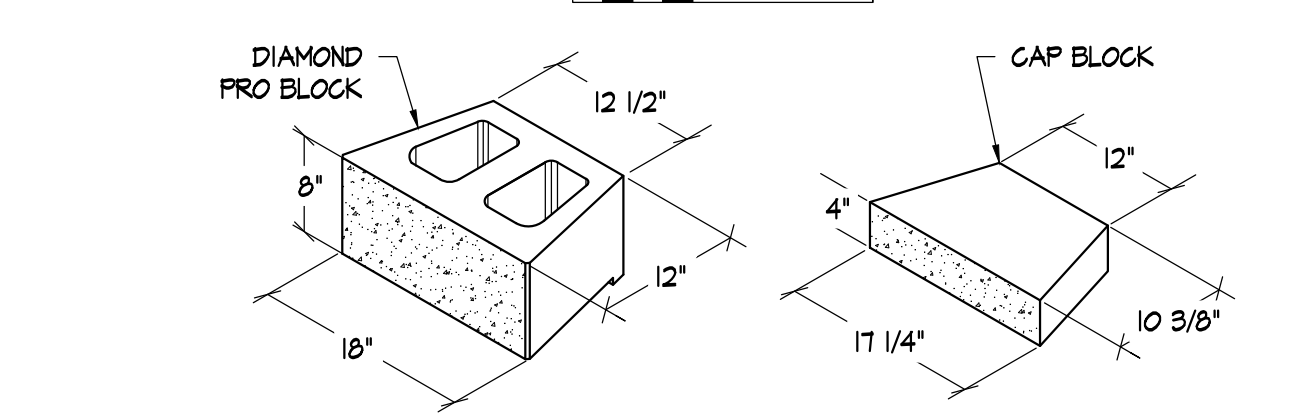
ABBREVIATIONS	
APPROX. Q.	APPROXIMATE CENTERLINE
DIA.	DIAMETER
ELEV.	ELEVATION
EX.	EXISTING
HORIZ.	HORIZONTAL
MAX.	MAXIMUM
MIN.	MINIMUM
NO.	NUMBER
O.C.	ON CENTER
REINF.	REINFORCEMENT
STA.	STATION
TYP.	TYPICAL
VERT.	VERTICAL
W	WITH



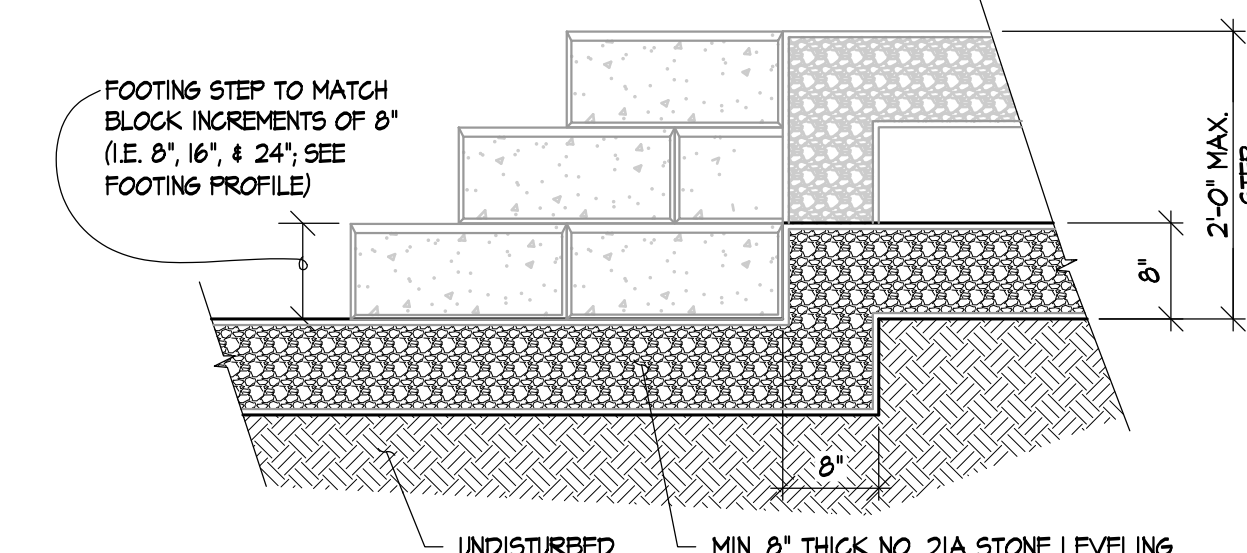
PLANT SCHEDULE				
QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
6	⊙	ILEX GLABRA	INKBERRY SHRUB	18" MIN.

LEGEND			
MARK	SYMBOL	CODE	DESCRIPTION
---	⊙	3.05	SILT FENCE

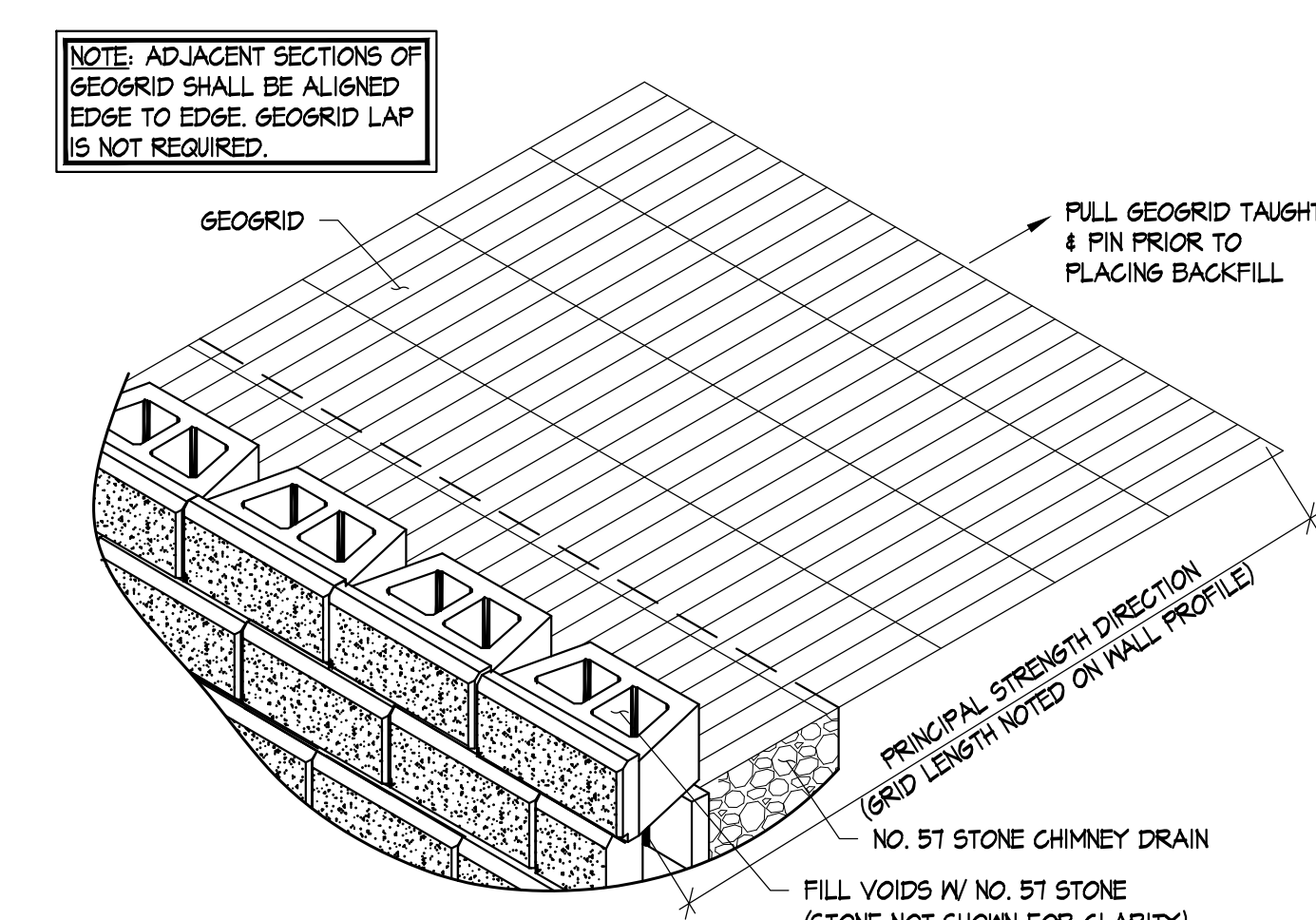
NOTE: IT SHOULD BE NOTED THAT THE EXISTING DETERIORATED TIMBER RETAINING WALLS TO BE REPLACED WERE IN PLACE PRIOR TO JAMES CITY COUNTY ORDINANCE SECTION 23-41, TITLED PERFORMANCE STANDARDS FOR RETAINING WALLS, AND ENACTED MAY 11, 2021



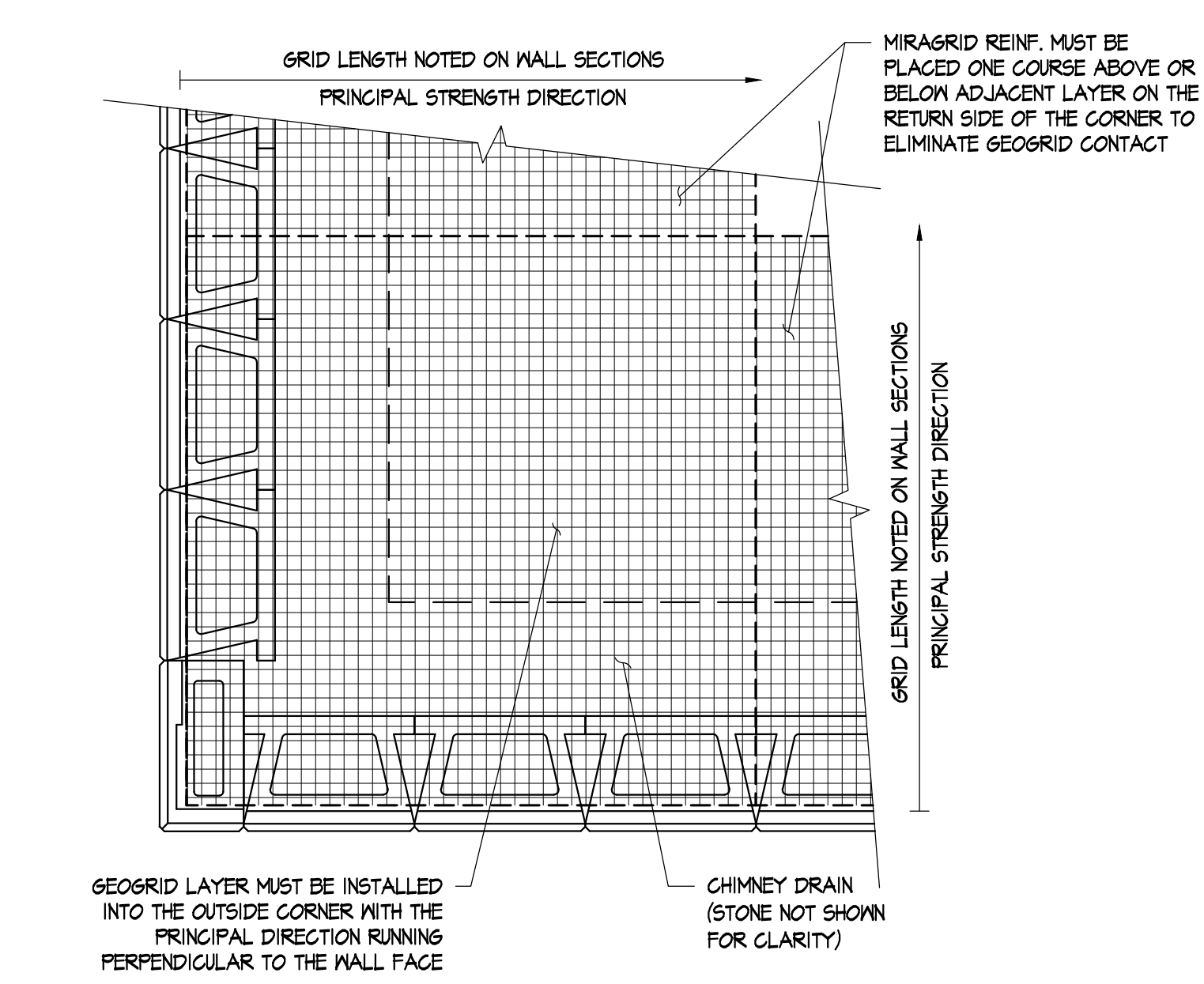
DETAIL
SCALE: 3/4" = 1'-0"



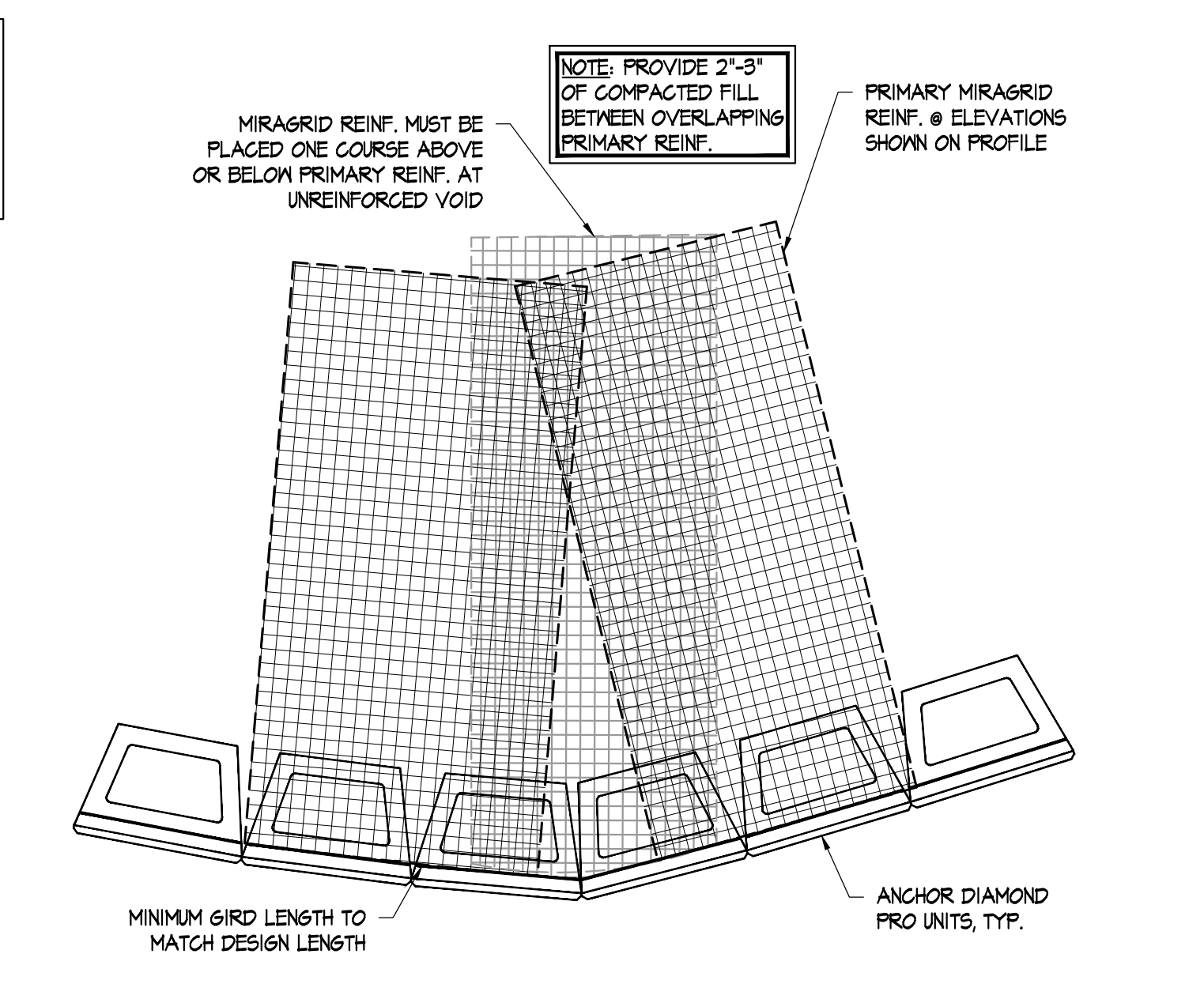
DETAIL
SCALE: 3/4" = 1'-0"



DETAIL
SCALE: 3/4" = 1'-0"

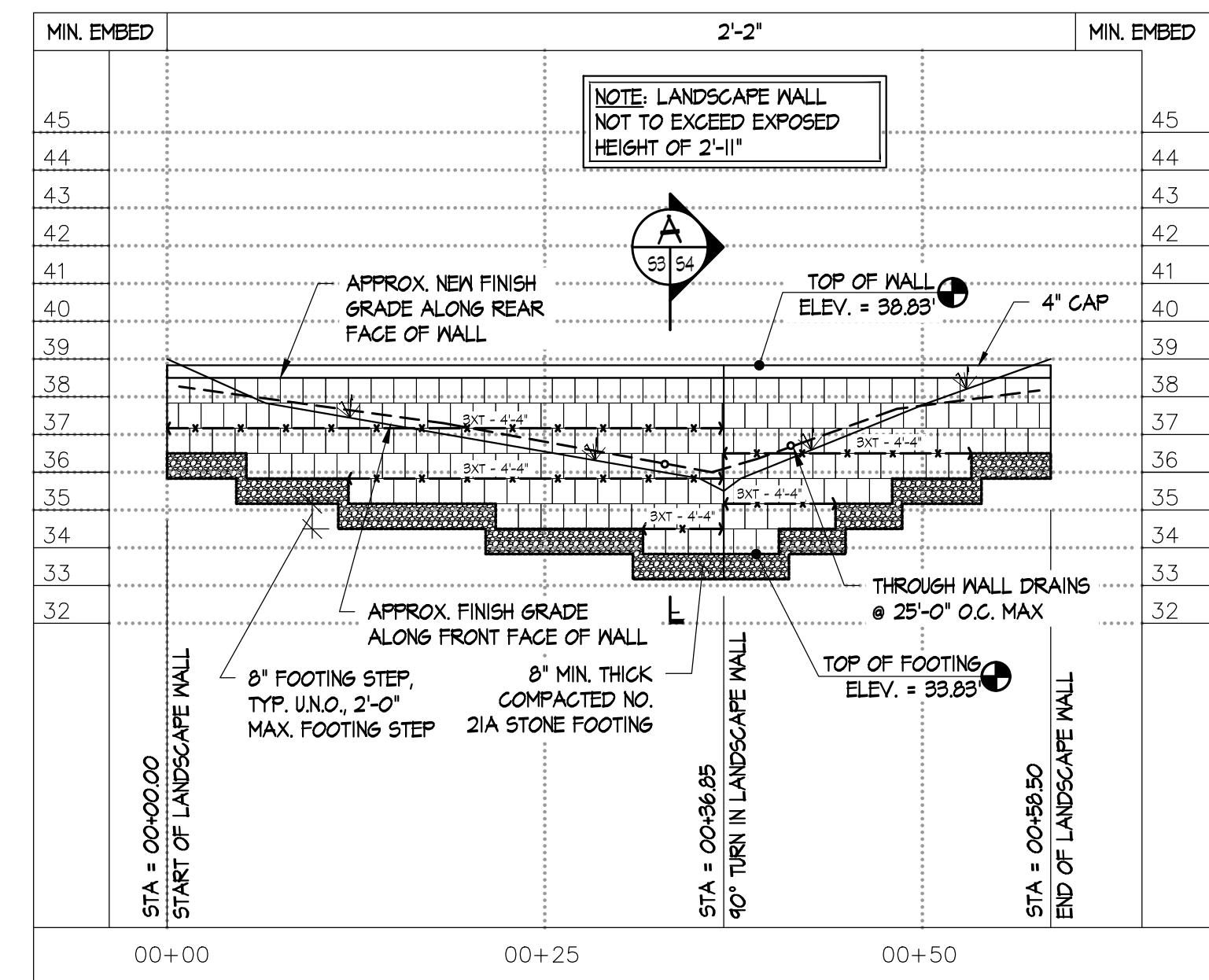
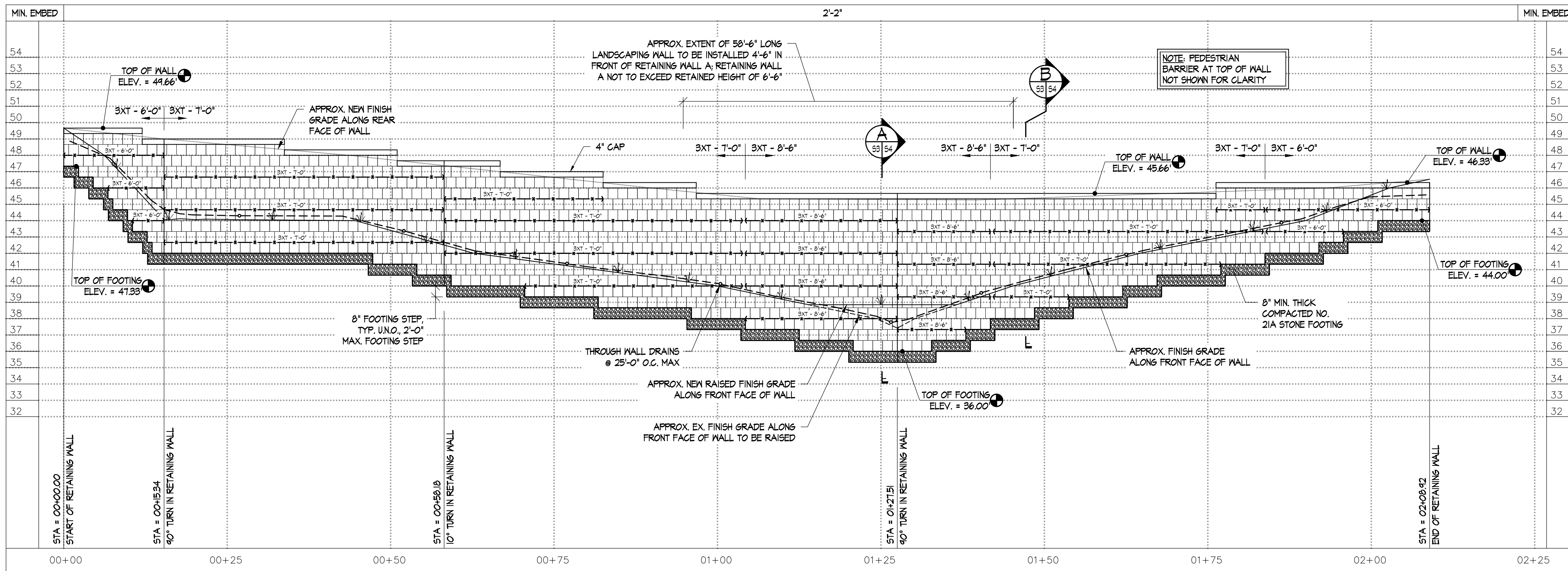


DETAIL
SCALE: 3/4" = 1'-0"



DETAIL
SCALE: 3/4" = 1'-0"

Reviewed by: MAM
 Drawn by: JMK
 Project #: VA2115DES
 Date: 10/14/22
 JCC Building Safety & Permits Review Comments: 6/29/23
 Erosion & Sediment Control Plan Revisions: 2/14/23
 Revisions: 1
 No. 2
 VA
 RETAINING WALL TRAINUM RESIDENCE 105 AMBROSE HILL JAMES CITY COUNTY
 The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23185 (757) 220-0465 • Fax: (757) 220-1546 www.thestructuresgroup.com
 SHEET 52 OF 4
 Page 23 of 52

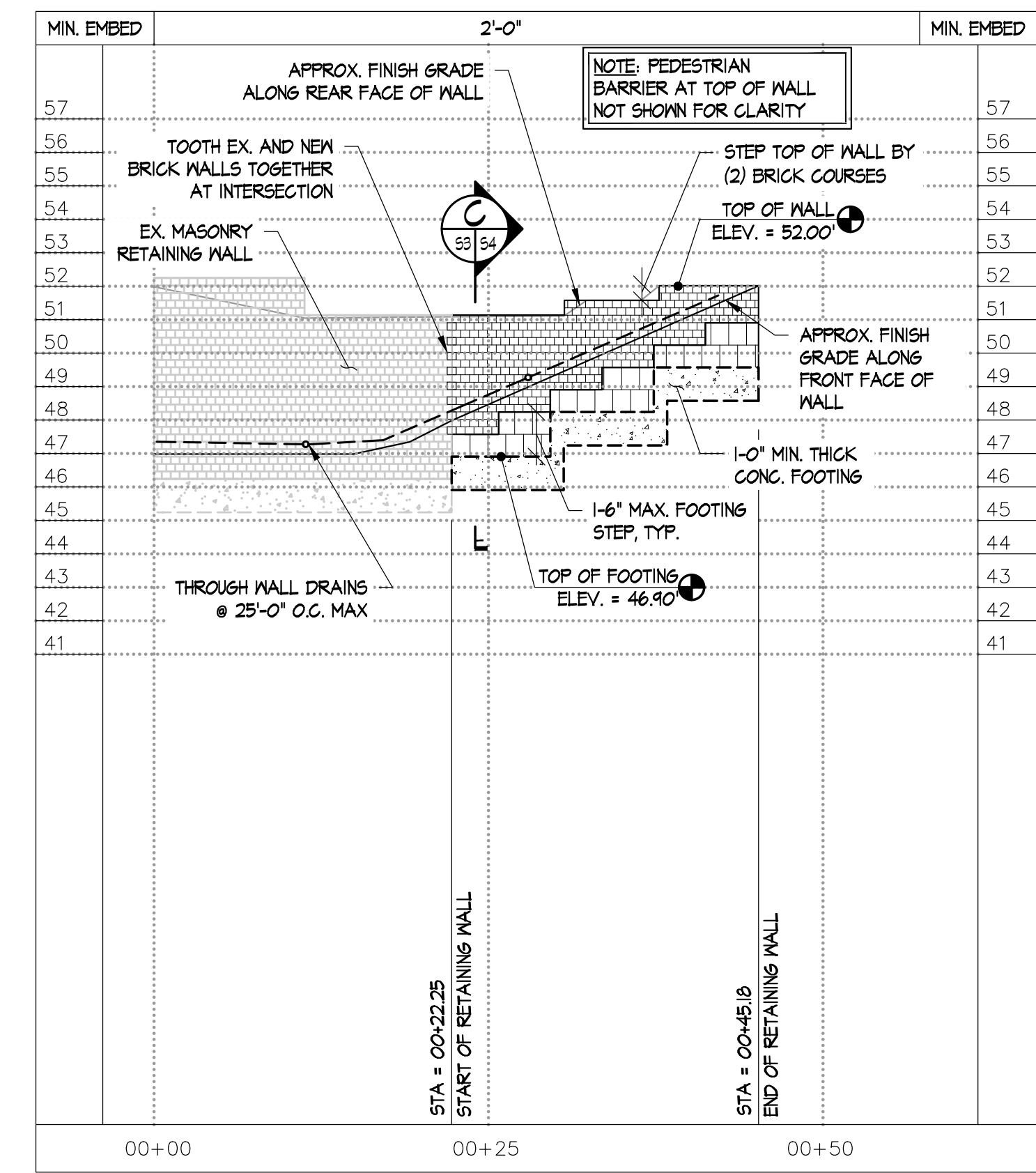


WALL PROFILE RETAINING WALL NO. 1

HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0"

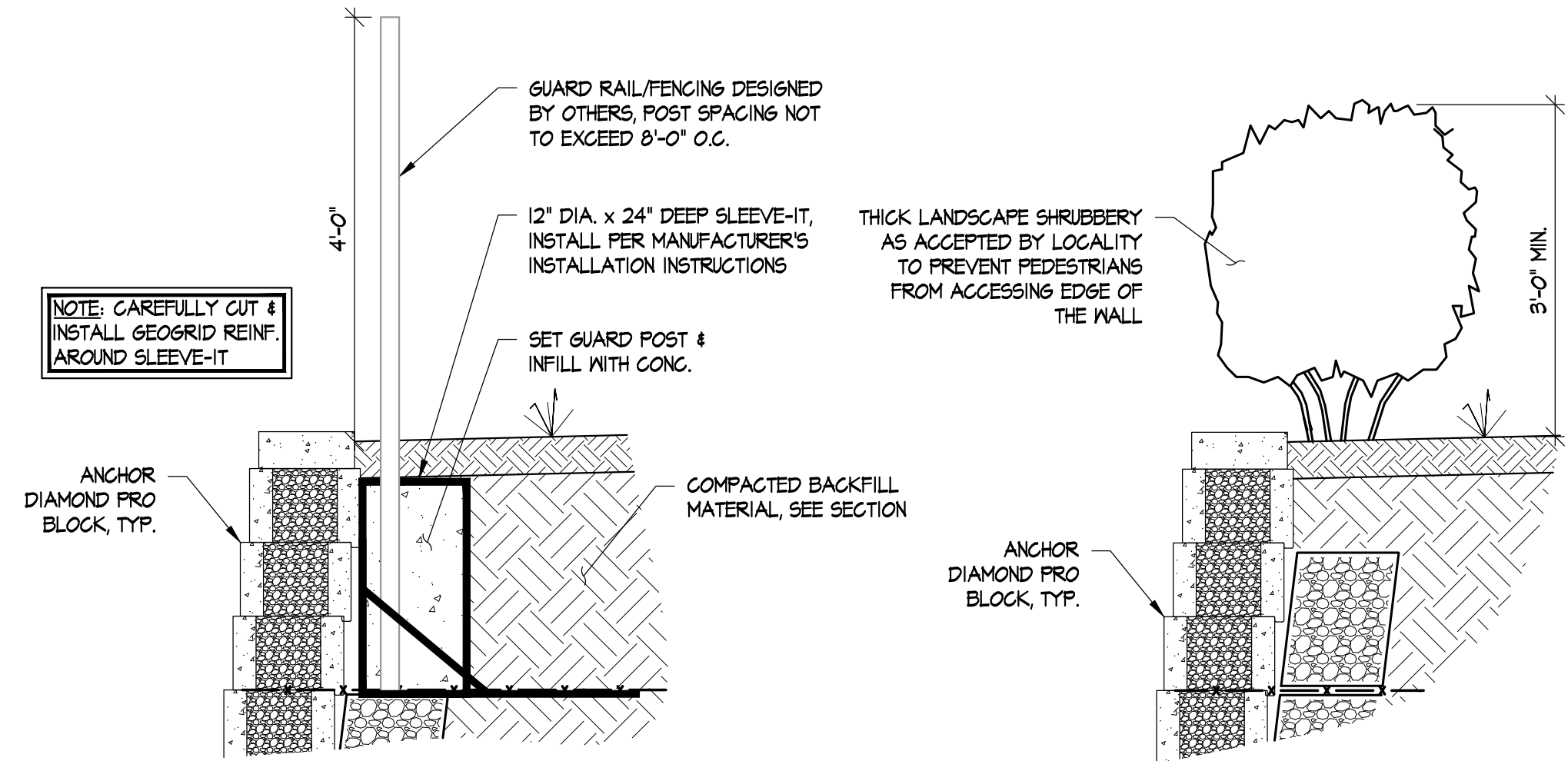
WALL PROFILE LANDSCAPE WALL

HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0"



WALL PROFILE RETAINING WALL NO. 2

HORIZ. SCALE: 1"=10'-0", VERT. SCALE: 1"=4'-0"



DETAIL PEDESTRIAN BARRIER

SCALE: 3/4" = 1'-0"

Sheet

3 of 4

93

RETAINING WALL PROFILES & DETAILS

RETAINING WALL TRAINUM RESIDENCE 105 AMBROSE HILL

JAMES CITY COUNTY VA

JCC Building Safety & Permits Review Comments

6/29/23

Revisions

2

No.

VA

Date

6/29/23

10/14/22

Project #:

VA2115DES

Drawn by:

JMK

Reviewed by:

MAM

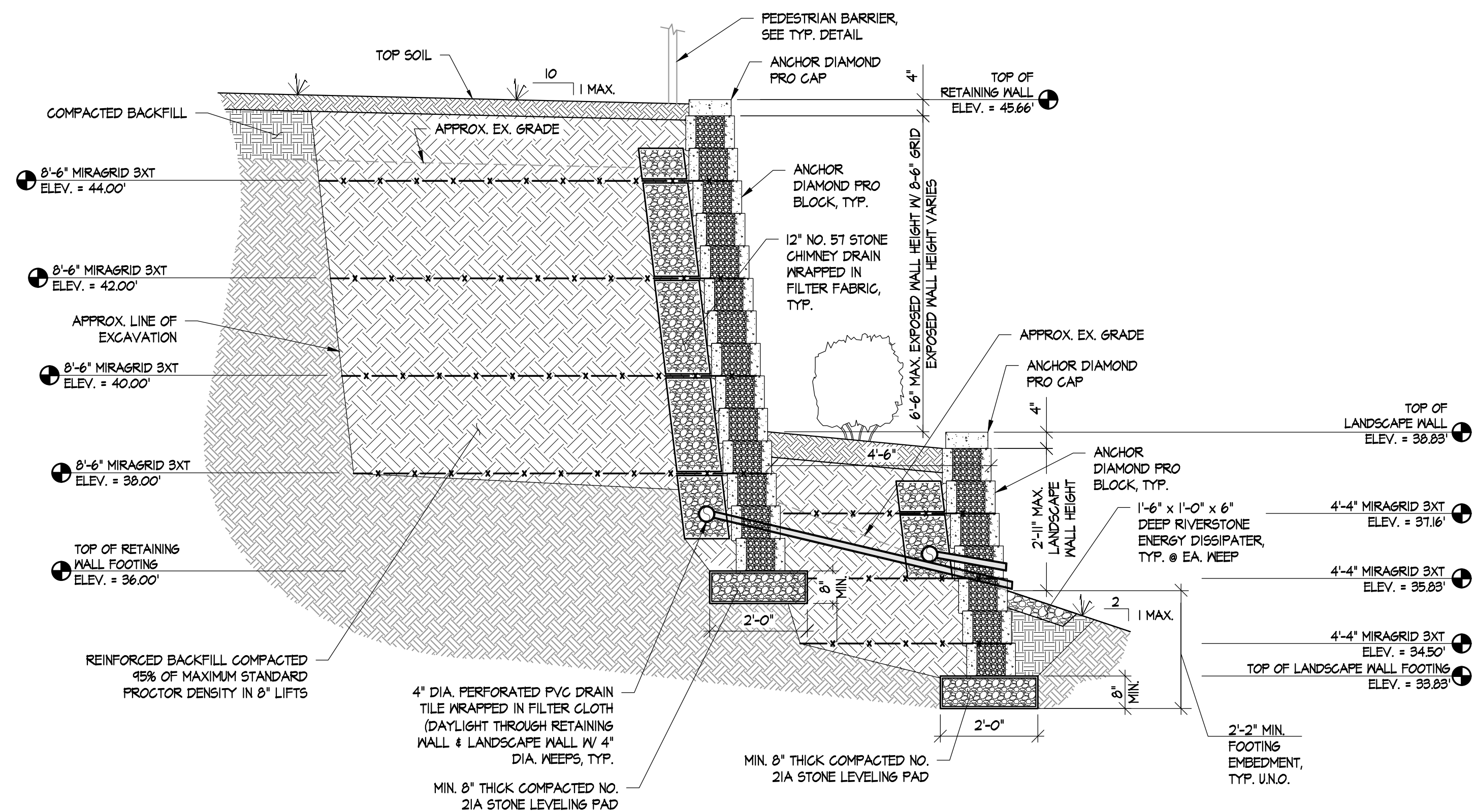
The Structures Group, Inc.
1200 Old Colony Lane • Williamsburg, VA 23185
(757)220-0465 • Fax: (757)220-1546
www.structuresgroup.com

10/14/22

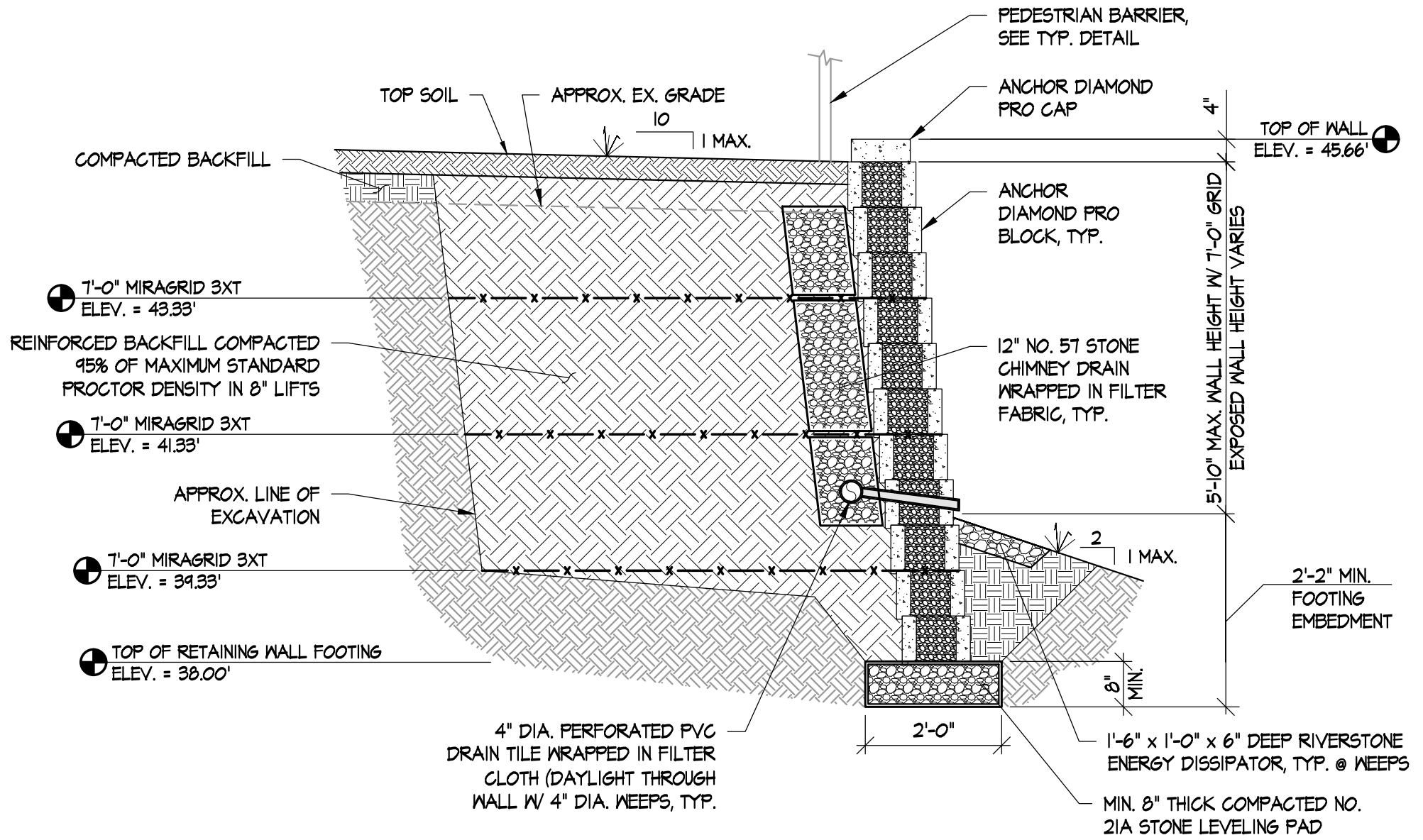
PROFESSOR

MICHAEL A. MATTHEWS

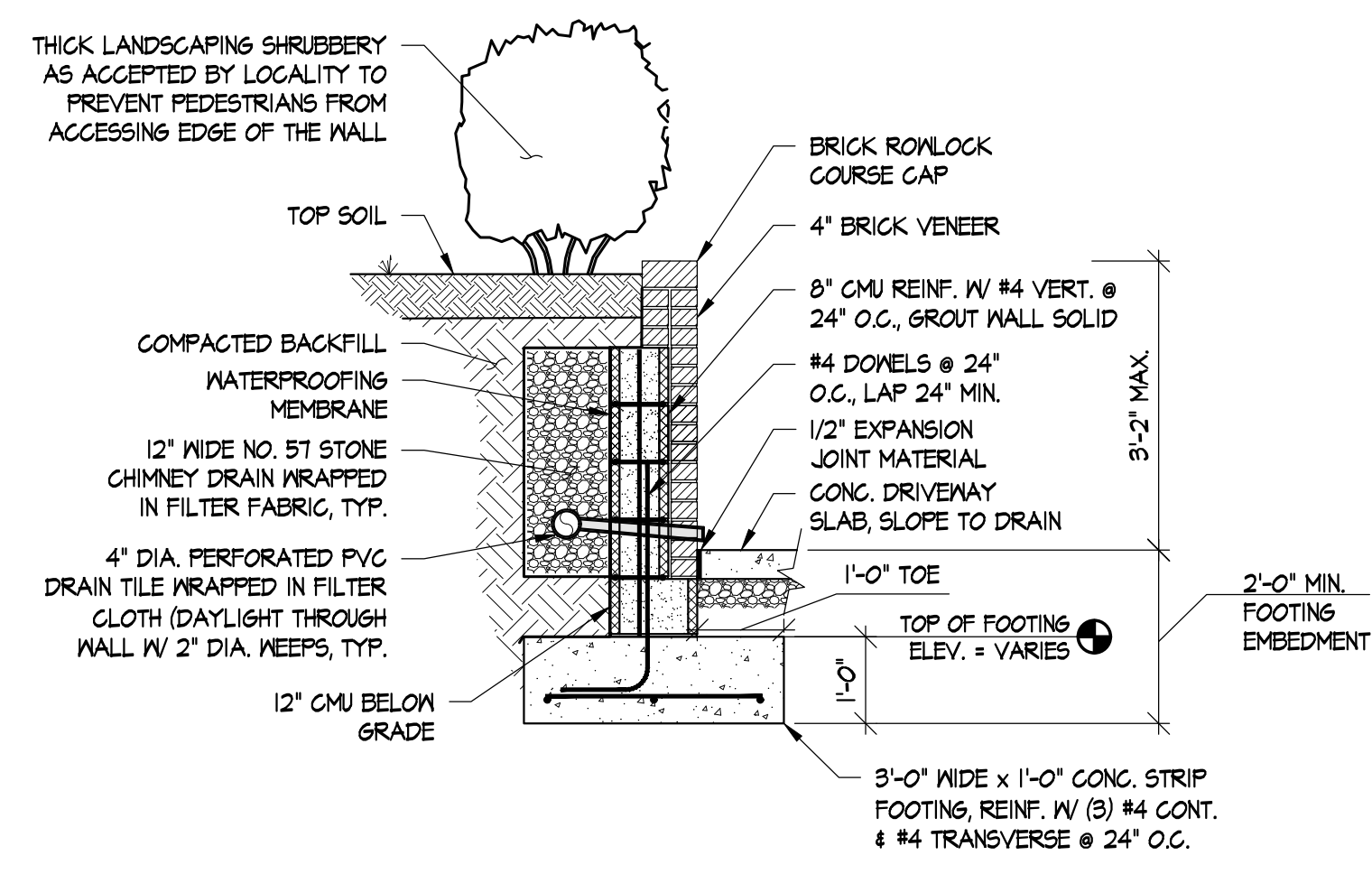
10/14/22



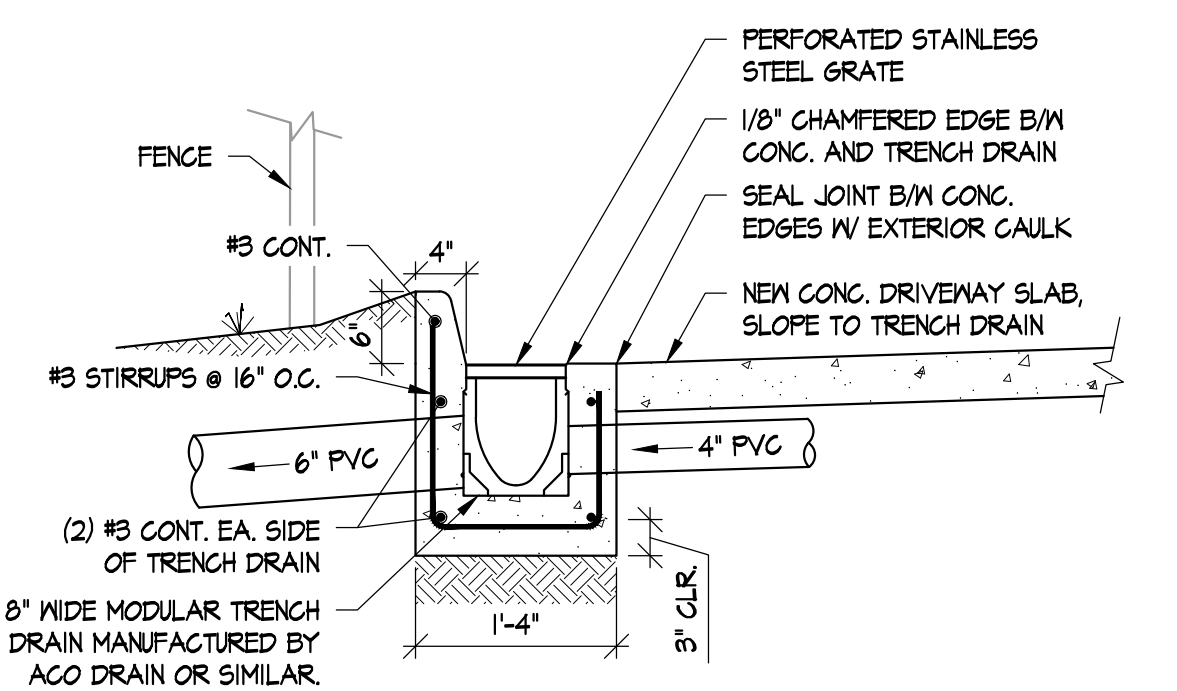
SECTION A
RETAINING WALL NO. 1 & LANDSCAPE WALL
SCALE: 1/2"=1'-0"



SECTION B
RETAINING WALL NO. 1
SCALE: 1/2"=1'-0"

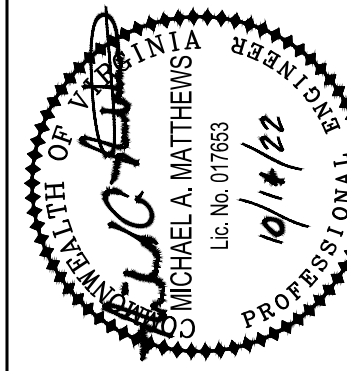


SECTION C
RETAINING WALL NO. 2
SCALE: 1/2"=1'-0"



SECTION D
TRENCH DRAIN
SCALE: 1/2"=1'-0"

Sheet	S4	4 of 4	RETAINING WALL & DRAINAGE SECTIONS	RETAINING WALL TRAINUM RESIDENCE HILL 105 AMBROSE HILL JAMES CITY COUNTY VA	JCC Building Safety & Permits Review Comments 6/29/23 Revisions	Date	10/14/22	Project #:	VA2115DES	Drawn by:	JMK	Reviewed by:	MAM



The Structures Group, Inc.
 1200 Old Colony Lane • Williamsburg, VA 23185
 (757)220-0465 • Fax (757)220-1546
 www.thestructuresgroup.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, SEPTEMBER 13, 2023 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-23-0010: Mr. Randolph Carnell, Living Shorelines, LLC, on behalf of Ms. Johanna M. Kroenlein and Mr. James Keith Ducker, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 206 The Maine, JCC Tax Map Parcel No. 4540200076.

THE CHESAPEAKEBAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-23-0087: Mr. Joseph Krallinger, The Structures Group, on behalf of Ms. Jeannie S. and Mr Lee Scott Trainum, has applied for a Chesapeake Bay Exception for the installation of a retaining wall on property located at 105 Ambrose Hill, JCC Tax Map Parcel No. 5030400077.

CBPA-23-0089: Mr. Sean Thompson, Total Home Improvements, on behalf of Ms. Jacqueline E. and Mr. Geoffrey A. Stephan, has applied for a Chesapeake Bay Exception for the construction of deck on property located at 3096 North Riverside Drive, JCC Tax Map Parcel No. 1910200017.

CBPA-23-0098: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 109 Brancaster, JCC Tax Map Parcel No. 3810300033.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – August 30, 2023 and September 6, 2023
ACCOUNT NO. CU00015112
VIRGINIA GAZETTE
1/8 PAGE, VERTICAL, B/W

Case Number: CBPA-23-0087

PIN	Last Name	Address Line 1	City	State	Zip Code
5030400078	CARIN, FRANKLIN D & RIEKO	101 AMBROSE HL	WILLIAMSBURG	VA	23185-6556
5030400076	DAHL, JEFFREY M & CATHY R	109 AMBROSE HL	WILLIAMSBURG	VA	23185-6556
	Joseph Krallinger The Structures Group	1200 Old Colony Lane	Williamsburg	VA	23185
5030400048	LINKENAUER, MONT M & DEBOLD,	124 FRANCIS JESSUP	WILLIAMSBURG	VA	23185-6501
5030400079	MEADOWS, ROBERT JAMES & DE ROSIER,	504 E TAZEWELLS WAY	WILLIAMSBURG	VA	23185-6516
5030400077	TRAINUM, LEE SCOTT & JEANNIE S	105 AMBROSE HL	WILLIAMSBURG	VA	23185-6556
5030400049	WIER, WILLIAM H TRUSTEE &	120 FRANCIS JESSUP	WILLIAMSBURG	VA	23185-6501



General Services

107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080

General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects

107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet

103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**

101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds

113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste

1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

«Last_Name»
«Address_Line_1»
«City», «State» «Zip_Code»

RE: CBPA-23-0087
105 Ambrose Hill
Installation of retaining wall

August 23, 2023

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Joseph Krallinger, The Structures Group, on behalf of Ms. Jeannie S. and Mr Lee Scott Trainum, for encroachments into the Resource Protection Area buffer for the installation of a retaining wall. The project is located at 105 Ambrose Hill, JCC Tax Map Parcel No. 5030400077.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, September 13, 2023, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

RESOLUTION

CASE NO. CBPA-23-0098. 109 BRANCASTER

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 109 Brancaster (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3810300033, as set forth in the application CBPA-23-0098 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0098, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$6,750 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

RESOLUTION

CASE NO. CBPA-23-0098. 109 BRANCASTER

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 109 Brancaster (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3810300033, as set forth in the application CBPA-23-0098 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0098.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-98_109BrcnstrDny-res

GENERAL NOTES

1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN P.B. 45, PG. 37-41.
2. ELEVATIONS SHOWN HEREON ARE IN FEET AND ARE CLOSELY RELATED TO JCC GIS (NAVD88).
3. WETLANDS, IF ANY, WERE NOT RESEARCHED OR LOCATED FOR THIS PLAT.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
5. PARCEL LIES IN F.I.R.M. ZONE "X", ZONE "AE" (ELEV 33') ACCORDING TO COMMUNITY PANEL #51095C0117D, DATED DECEMBER 16, 2015.
6. LOT SERVED BY PUBLIC WATER AND SEWER. CONTRACTOR TO COORDINATE CONNECTIONS WITH JAMES CITY COUNTY UTILITIES.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS SHOWN HEREON.
8. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY.
9. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION AFTER EXCAVATION.
10. PROPOSED RESIDENCE SHOWN BASED OFF OF PLANS PROVIDED BY CLIENT. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
11. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ORANGE SAFETY FENCE AROUND LIMITS OF CONSTRUCTION

EROSION & SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK 1992 THIRD EDITION". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.

BUILDING INFORMATION

PROPOSED BUILDING IS A 1-STORY FRAME & BASEMENT
 PROPOSED GARAGE IS FRONT LOADING

SITE INFORMATION

PARCEL ID: 3810300033
 TOTAL AREA: 23,938 S.F. / 0.5495 AC.
 IMPERVIOUS AREA 50' RPA: 1,783 S.F. / 0.041 AC.
 IMPERVIOUS AREA 100' RPA: 1,623 S.F. / 0.037 AC.
 IMPERVIOUS AREA TOTAL: 3,615 S.F. / 0.083 AC.
 DISTURBED AREA 50' RPA: 4,848 S.F. / 0.111 AC.
 DISTURBED AREA 100' RPA: 3,535 S.F. / 0.081 AC.
 DISTURBED AREA TOTAL: 9,650 S.F. / 0.222 AC.
 ZONING DISTRICT: R4 - RESIDENTIAL PLANNED COMMUNITY
 EXISTING SITE IS PARTLY WOODED AS SHOWN
 ARC MINIMUM FIRST FLOOR S.F.: 1,500

BUILDING SETBACK (SBL)

FRONT: 30'
 REAR: 25' OR 25% WHICHEVER IS GREATER
 SIDE: 10'

EXISTING ADDRESS:

109 BRANCASTER
 JAMES CITY COUNTY, VIRGINIA

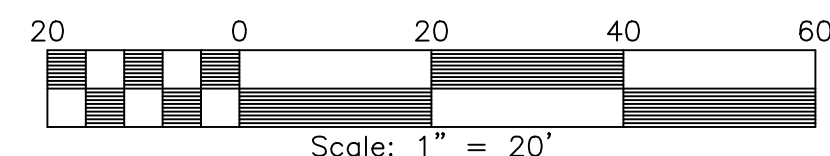
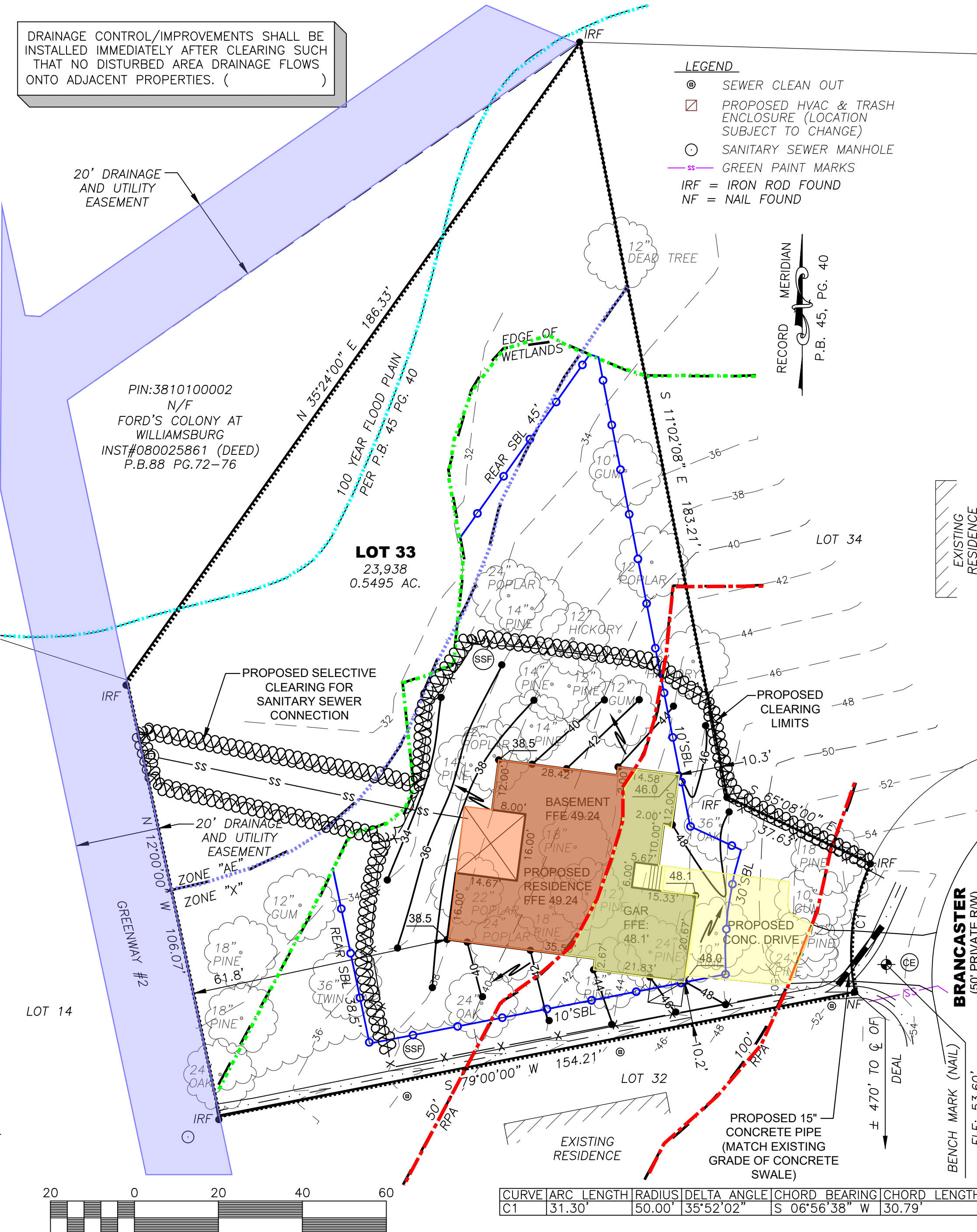
SURVEYORS CERTIFICATION

THIS DRAWING REPRESENTS AN ACTUAL FIELD SURVEY. ALL THE INFORMATION SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. LANDTECH RESOURCES, INC. HAS BEEN RETAINED AND PAID TO STAKE, AS A MINIMUM, THE BUILDING ENVELOPE & ANY DETACHED ACCESSORY STRUCTURE.

Matthew H. Connolly 7/10/2023
 MATTHEW H. CONNOLLY, L.S. DATE

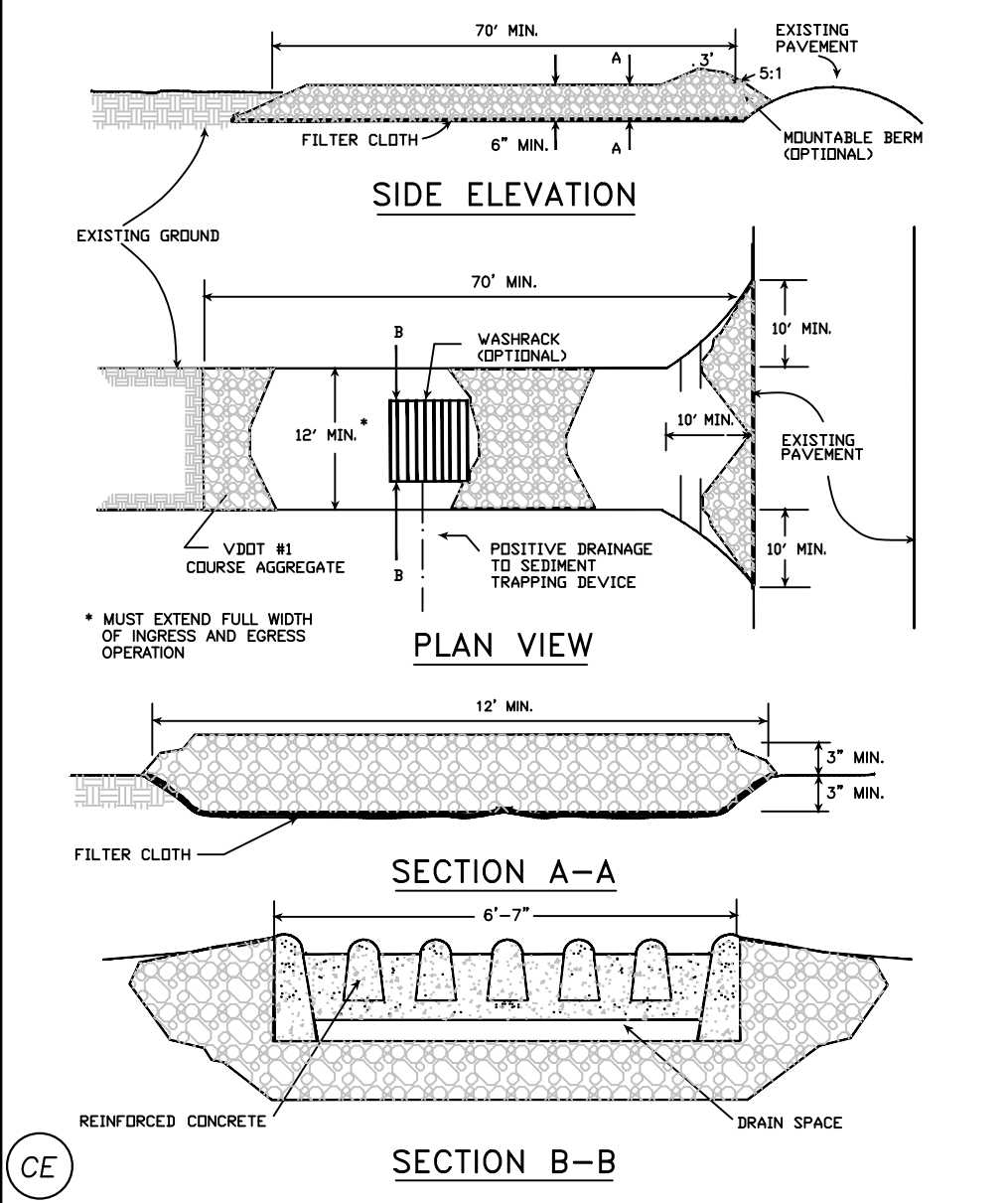
BEFORE CLEARING MARK TREES TO BE PRESERVED WITH PLASTIC TAPE TO BE REVIEWED AND APPROVED WITH THE ARC INSPECTOR. ()

DRAINAGE CONTROL/IMPROVEMENTS SHALL BE INSTALLED IMMEDIATELY AFTER CLEARING SUCH THAT NO DISTURBED AREA DRAINAGE FLOWS ONTO ADJACENT PROPERTIES. ()



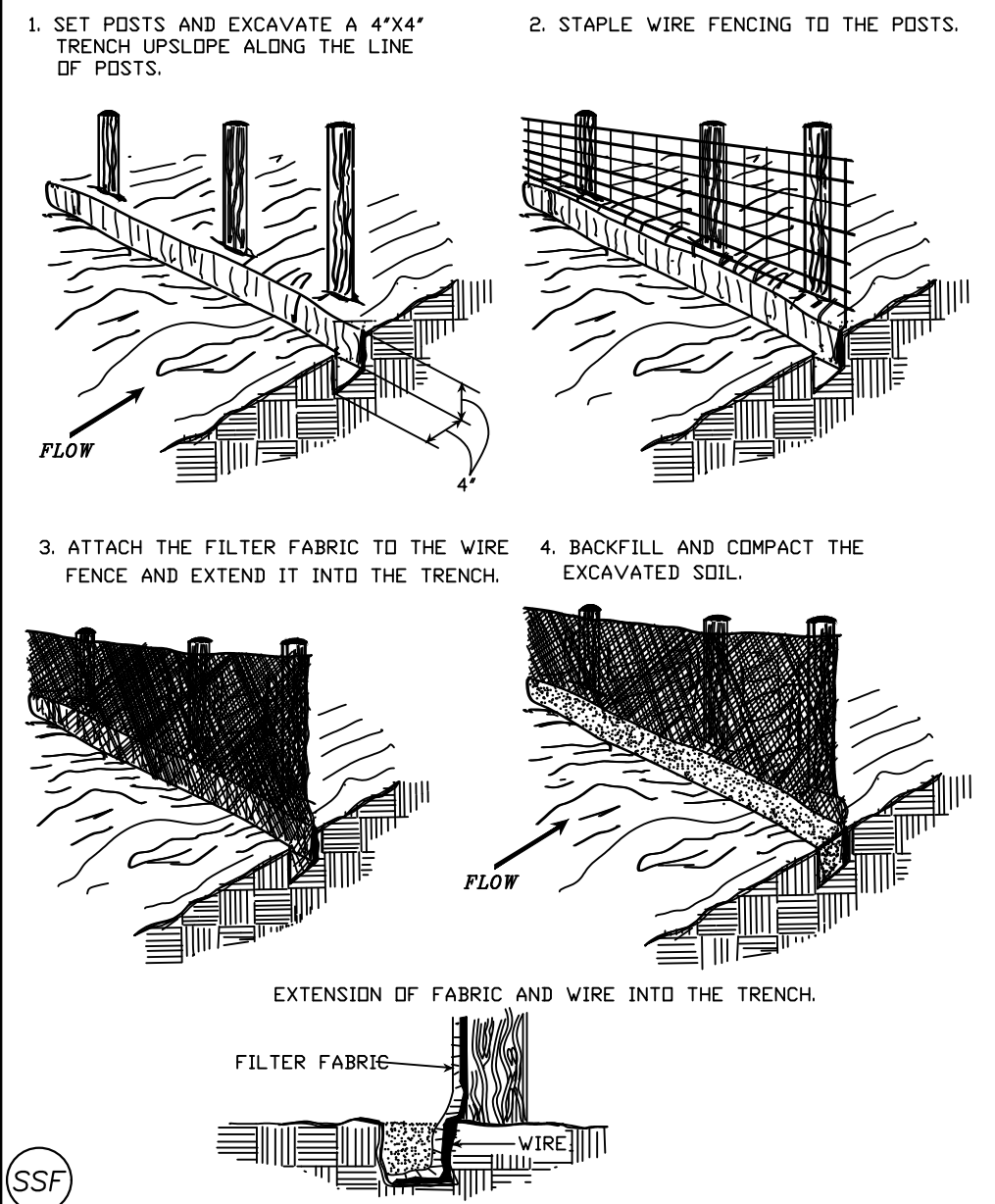
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.30'	50.00'	35°52'02"	S 06°56'38" W	30.79'

STONE CONSTRUCTION ENTRANCE

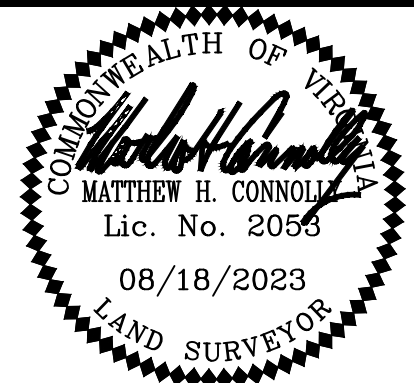


SOURCE: ADAPTED FROM 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood & Ryan PLATE 3.05-1



DATE: 7/18/2023
 DRAWN BY: AEQ
 PROJECT No. 23-216
 FILE NAME: 23-216.DWG
 REFERENCES:
 P.B. 45, PG. 37-41

LOT PLAN OF
 LOT 33 SECTION VI
 FORD'S COLONY
 FOR
 DARNELL COVIL
 JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
1	8/18/2023	REVISED PER COUNTY COMMENTS

LRI
LANDTECH
RESOURCES, INC.
 ENGINEERING & SURVEYING CONSULTANTS
 205 Bullfants Blvd., Suite E, Williamsburg, VA 23188
 Ph: (757) 565-1677 Fax: (757) 565-0782
 web: landtechresources.com

BUILDING INFORMATION

PROPOSED BUILDING IS A 1 STORY WITH WALKOUT BASEMENT
 PROPOSED GARAGE IS FRONT LOADING
 BUILDING FIRST FLOOR : 1,580 S.F.
 SECTION VI MINIMUM S.F.: 1,500 S.F.

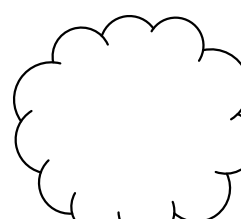


MITIGATION TABLE: 3,406 S.F./400 S.F.= 9 CREDITS

MITIGATION MEASURE	QTY.(NEEDED)
NATIVE CANOPY TREES	9
NATIVE UNDERSTORY TREES	18
NATIVE SHRUBS	27

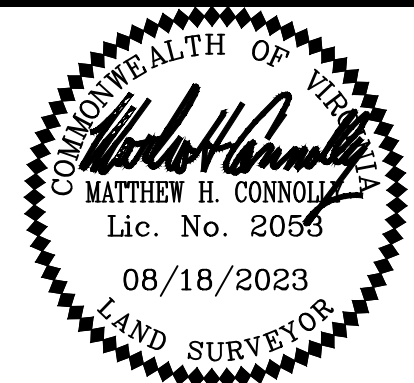
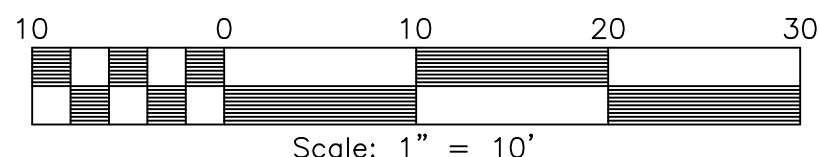
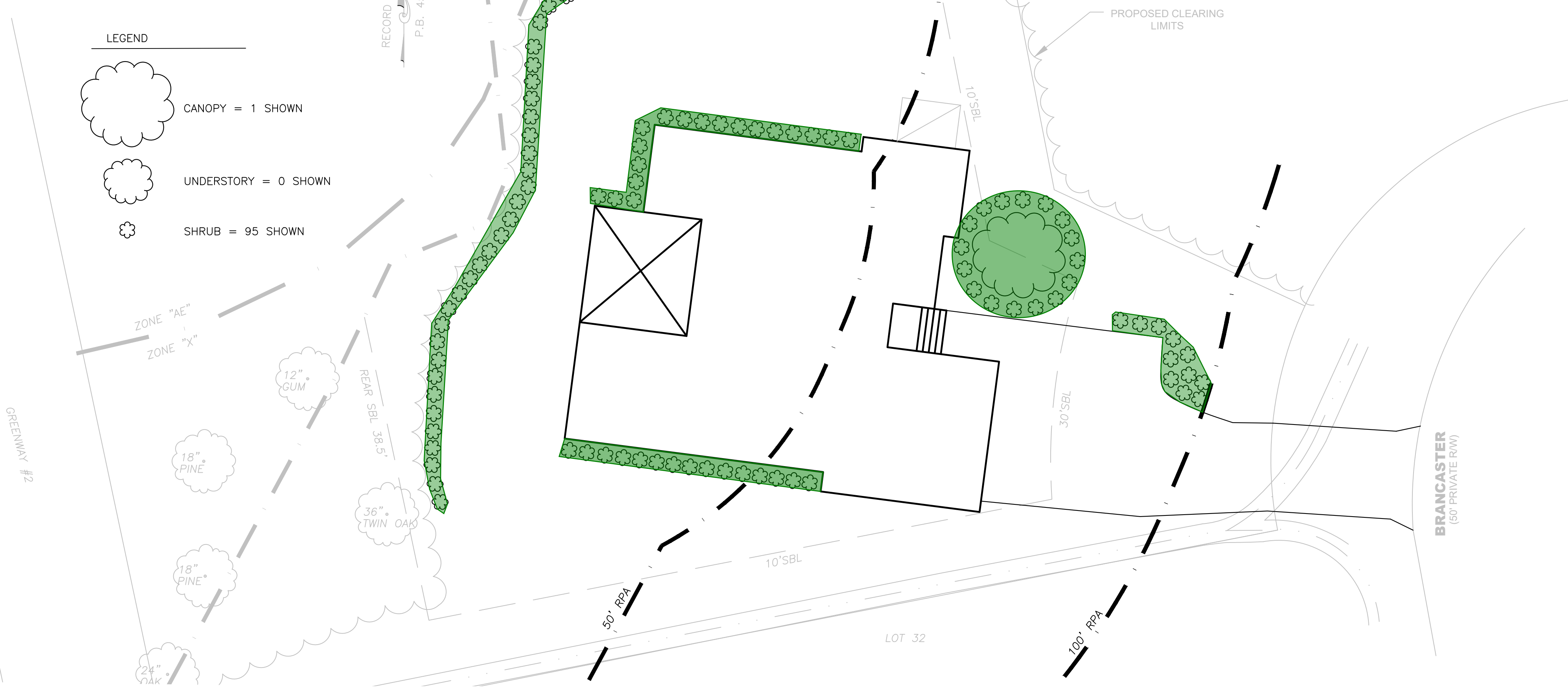
* CONTRACTOR/OWNER TO COORDINATE WITH JAMES CITY COUNTY FOR REQUIREMENTS ON MITIGATION PLANTING.

LANDSCAPING NOTES
 SPECIES OF PLANTS & LOCATION TO BE COORDINATED WITH JAMES CITY COUNTY ENGINEERING AND RESOURCE PROTECTION COMMISSION.

LEGEND

-  CANOPY = 1 SHOWN
-  UNDERSTORY = 0 SHOWN
-  SHRUB = 95 SHOWN

RECORD MERIDIAN
 P.B. 45, PG. 40



DATE: 7/18/2023
 DRAWN BY: AR
 PROJECT No. 22-216
 FILE NAME: 23-216.DWG
 REFERENCES:
 P.B. 45, PG. 37-41

LOT PLAN OF
 LOT 33, SECTION VI,
 FORD'S COLONY
 FOR
 DARNELL COVIL
 JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
1	8/18/2023	REVISED PER COUNTY COMMENTS





PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, SEPTEMBER 13, 2023 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-23-0010: Mr. Randolph Carnell, Living Shorelines, LLC, on behalf of Ms. Johanna M. Kroenlein and Mr. James Keith Ducker, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 206 The Maine, JCC Tax Map Parcel No. 4540200076.

THE CHESAPEAKEBAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-23-0087: Mr. Joseph Krallinger, The Structures Group, on behalf of Ms. Jeannie S. and Mr Lee Scott Trainum, has applied for a Chesapeake Bay Exception for the installation of a retaining wall on property located at 105 Ambrose Hill, JCC Tax Map Parcel No. 5030400077.

CBPA-23-0089: Mr. Sean Thompson, Total Home Improvements, on behalf of Ms. Jacqueline E. and Mr. Geoffrey A. Stephan, has applied for a Chesapeake Bay Exception for the construction of deck on property located at 3096 North Riverside Drive, JCC Tax Map Parcel No. 1910200017.

CBPA-23-0098: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 109 Brancaster, JCC Tax Map Parcel No. 3810300033.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – August 30, 2023 and September 6, 2023
ACCOUNT NO. CU00015112
VIRGINIA GAZETTE
1/8 PAGE, VERTICAL, B/W

Case Number: CBPA-23-0098

PIN	Last Name	Address Line 1	City	State	Zip Code
3810300034	BUDNICK, DAVID W & WENDY L	200 REGENCY DR	NORTH WALES	PA	19454-1612
3810300033	COVIL, DARNELL LAMONT & HILLARY BROWN	253 NEWPORT NEWS AVE	HAMPTON	VA	23669-4146
3810300014	CRAFFORD, GLENN	116 ALEXANDER WALKER	WILLIAMSBURG	VA	23185-8918
3810300035	DESCHAIINE, CHARLES C & DIANE	106 BRANCASTER	WILLIAMSBURG	VA	23188-9179
3810100002	FORDS COLONY AT WILLIAMSBURG	100 MANCHESTER	WILLIAMSBURG	VA	23188-7404
3810300032	HOELL, RICHARD C TRUSTEE &	107 BRANCASTER	WILLIAMSBURG	VA	23188-9179
	Mr. Chase Grogg LandTech Resources, Inc.	205-E Bulifants Blvd	Williamsburg	VA	23188



General Services

107 Tewning Road
Williamsburg, VA 23188
P: 757-259-4080

General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects

107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet

103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**

101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds

113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste

1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

«Last_Name»
«Address_Line_1»
«City», «State» «Zip_Code»

RE: CBPA-23-0098
109 Brancaster
Construction of single-family
dwelling

August 23, 2023

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil, for encroachments into the Resource Protection Area buffer for the construction of a single-family dwelling. The project is located at 109 Brancaster, JCC Tax Map Parcel No. 3810300033.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, September 13, 2023, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-23-0098. 109 Brancaster
Staff Report for the September 13, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicants: Ms. Hillary Brown and Mr. Darnell Lamont Covil
Agent: Mr. Chase Grogg, LandTech Resources, Inc.
Location: 109 Brancaster
Parcel Identification No.: 3810300033
Parcel: Lot 33, Section 6, Ford’s Colony
Lot Size: 0.55 acres
Area of Lot in Resource Protection Area (RPA): 0.52 acres (95%)
Watershed: Powhatan Creek (JL31)
Floodplain: Zone AE
Proposed Activity: Construction of a single-family dwelling
Impervious Cover: 3,406 square feet
RPA Encroachment: 1,783 square feet, landward 50-foot RPA
1,623 square feet, seaward 50-foot RPA
Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Chase Grogg, LandTech Resources, Inc., has applied for a Chesapeake Bay Exception on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil for encroachments into the RPA buffer for the construction of a single-family dwelling located at 109 Brancaster within the Ford’s Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 3810300033. The parcel was platted in 1981, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.55 acres, of which 95% is located within the RPA. The applicants are proposing to construct a single-family dwelling. Impacts to the RPA associated with this proposal equate to 1,783 square feet of impacts to the landward 50-foot RPA and 1,623 square feet of impacts to the seaward 50-foot RPA for a total of 3,406 square feet of impacts. The minimum first floor square footage required for this section of Ford’s Colony is 1,500 square feet. The proposed residence has a first floor square footage equal to 1,580 square feet, a 6% increase. Required mitigation for this amount of impervious impacts equals eight and a half planting units. The applicants have provided a mitigation plan that satisfies this requirement. Staff is also requesting that an affidavit be recorded in the Williamsburg/James City County Courthouse due to the environmental sensitivity of this lot.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$6,750 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
4. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

TAL/md
CBPA23-98_109Brncstr

Attachments:

1. Resolution
2. Site Plan

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-23-0085. 4816 Hickory Signpost Road
Staff Report for the September 13, 2023, Chesapeake Bay Board Public Hearing**

This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicants: Mr. and Ms. Sone Marcano

Agent: Mr. Chase Grogg, LandTech Resources, Inc.

Location: 4816 Hickory Signpost Road

Parcel Identification No.: 4720100045

Parcel: Lot 11, Point of Thomas

Lot Size: 0.56 acres

Area of Lot in Resource Protection Area (RPA): 0.56 acres (100%)

Watershed: Mill Creek (JL33)

Floodplain: None

Proposed Activity: Construction of a single-family dwelling

Impervious Cover: 1,082 square feet

RPA Encroachment: 134 square feet, landward 50-foot RPA
948 square feet, seaward 50-foot RPA

Staff Contact: Trevor A. Long, Watershed Planner Phone: 253-6789

BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES

Mr. Chase Grogg, LandTech Resources, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. and Ms. Sone Marcano for encroachments into the RPA buffer for the construction of a single-family dwelling located at 4816 Hickory Signpost Road within the Mill Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 4720100045. The parcel was platted in 1970, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.56 acres, of which 100% is located within the RPA. The applicants are proposing to construct a 420-square-foot single-family dwelling. Total impacts to the RPA associated with this proposal equate to 134 square feet of impacts to the landward 50-foot RPA and 948 square feet of impacts to the seaward 50-foot RPA for a total of 1,082 square feet of impacts.

In May 2022, the applicants gained approval from the Board of Zoning Appeals to move the building setback from 60 feet to 30 feet in an effort to move the proposed dwelling further from the wetlands. This property appeared before the Chesapeake Bay Board in June 2022 for the approval of a 548-square-foot single-family dwelling with a 140-square-foot deck, 109-square-foot patio, and 942-square-foot driveway.

This exception request, Case No. CBPA-22-0060 was denied during this meeting. A new application, Case No. CBPA-22-0082 was then brought before the Chesapeake Bay Board in July 2022 for the approval of a 550-square-foot single-family dwelling with a 135-square-foot patio, 20-square-foot balcony, and 555-square-foot driveway. This application was denied during the meeting. The current proposal was brought before the Board at its August 9, 2023, meeting, and was deferred.

The applicants are now proposing a 420-square-foot single-family dwelling with an 88-square-foot balcony and a 566-square-foot driveway. Required mitigation for this amount of impervious impacts equals three planting units (three canopy trees, six understory trees, and nine shrubs). Additionally, the applicants have proposed a Bioretention Best Management Practice (BMP) on the property which will treat water from all the proposed impervious cover in this project. Staff is requesting that an affidavit be recorded in the Williamsburg/James City County Courthouse due to the environmental sensitivity of this lot. The current proposal is a 657-square-foot reduction from the June 2022 submittal.

STAFF EVALUATION

Staff has evaluated the application and exception request for the construction of a single-family dwelling. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling extends into the seaward 50-foot RPA.

CONSIDERATION BY THE CHESAPEAKE BAY BOARD

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or non-conforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

STAFF RECOMMENDATIONS

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be moderate for the proposed development. If the Board wishes to approve this request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and

3. The Applicants must submit a mitigation plan equating to three planting units (three canopy trees, six understory trees, and nine shrubs) and the Bioretention BMP facility to the Stormwater and Resource Protection Division prior to project start; and
4. The Applicants must submit a surety of \$3,000 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plantings; and
5. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
6. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

TAL/ap
CBPA23-85_4816HckrySpst

- Attachments:
1. Resolution
 2. Site Plan

RESOLUTION

CASE NO. CBPA-23-0085. 4816 HICKORY SIGNPOST ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. and Ms. Sone Marcano (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 4816 Hickory Signpost Road (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 4720100045, as set forth in the application CBPA-23-0085 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0085, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a mitigation plan equating to three planting units (three canopy trees, six understory trees, and nine shrubs) and the Bioretention Best Management Practice facility to the Stormwater and Resource Protection Division prior to project start; and
4. The Applicants must submit a surety of \$3,000 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plantings; and
5. This exception request approval will become null and void if construction has not begun by September 13, 2024; and
6. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than August 2, 2024, six weeks prior to the expiration date.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-85_4816HckrySpstApp-res

RESOLUTION

CASE NO. CBPA-23-0085. 4816 HICKORY SIGNPOST ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. and Ms. Sone Marcano (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on September 13, 2023, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 4816 Hickory Signpost Road (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 4720100045, as set forth in the application CBPA-23-0085 for the purpose of constructing a single-family dwelling; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0085.

Charles Roadley
Chair, Chesapeake Bay Board

Trevor A. Long
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 13th day of September, 2023.

CBPA23-85_4816HckrySpstDny-res

BMP #1-BIO-RETENTION FILTER (LEVEL 2)

IMPERVIOUS AREA: 1,146 S.F. / 0.026 AC. (D SOILS)
 TURF AREA: 2,514 S.F. / 0.066 AC. (D SOILS)
 TOTAL CDA: 3,660 S.F. / 0.084 AC. (D SOILS)

TREATMENT VOLUME, T_v PER VRRM SPREADSHEET
 $T_v = 160$ cf

MEDIA DEPTH -
 SOIL MEDIA ($V_r=0.25$): DEPTH=24"
 GRAVEL ($V_r=0.40$): DEPTH=12"
 CHOKER ($V_r=0.20$): DEPTH=3"
 SURFACE PONDING ($V_r=1.00$): DEPTH=12"

BIO FILTER EQUIVALENT STORAGE DEPTH -
 $D_{eq} = (2.00' \times 0.25) + (1.00' \times 0.40) + (0.25 \times 0.20) + (1.00' \times 1.00)$
 $D_{eq} = 1.95'$

BIO FILTER SURFACE AREA -
 SURFACE AREA (SA) = TREATMENT VOLUME (T_v) / D_{eq}
 $SA = 160$ cf / $1.95'$
 SA REQUIRED = 82 S.F.
 SA PROVIDED = 135 S.F.

- NOTES:
- A 6" UNDERDRAIN IS REQUIRED WITHOUT PROPER INFILTRATION TESTING.
 - SIDE SLOPE EXCAVATION IS NOT TO BE VERTICAL.
 - BIO-RETENTION PLANTINGS TO BE TAKEN FROM VA DEQ STORMWATER DESIGN SPECIFICATION NO. 9 TABLE 9.4.
 - BIO-RETENTION MATERIAL SPECIFICATIONS TO BE TAKEN FROM VA DEQ STORMWATER DESIGN SPECIFICATION NO. 9 TABLE 9.6.
 - INSTALLATION OF THE BIO-RETENTION FACILITY SHOULD BE OBSERVED BY A LICENSED ENGINEER.**

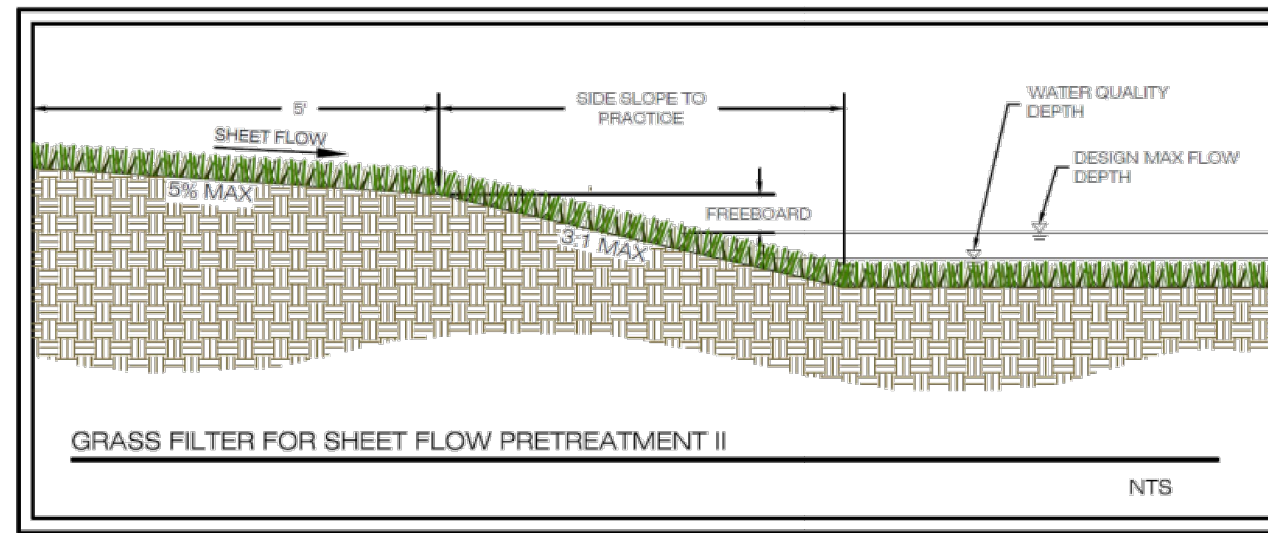


Figure 9.7 - Pretreatment I and II - Grass Filter for Sheet Flow

VA DEQ STORMWATER DESIGN SPECIFICATION NO. 9 BIORETENTION

Table 9.4. Popular Native Plant Materials for Bioretention

Perennials/Herbaceous	Shrubs	Trees
Virginia Wild Rye (<i>Elymus virginicus</i>)	Common Winterberry (<i>Ilex verticillata</i>)	River Birch (<i>Betula nigra</i>)
Redtop Grass (<i>Agrostis alba</i>)	Inkberry (<i>Ilex glabra</i>)	Red Maple (<i>Acer rubrum</i>)
Sweet Peppercorn (<i>Asclepias incarnata</i>)	Sweet Peppercorn (<i>Clethra alnifolia</i>)	Pin Oak (<i>Quercus palustris</i>)
Swainson's Thistle (<i>Cirsium vulgare</i>)	Wax Myrtle (<i>Myrica cerifera</i>)	Willow Oak (<i>Quercus phellos</i>)
Cardinal Flower (<i>Lobelia cardinalis</i>)	Virginia Sweetpire (<i>Iris virginica</i>)	Sweetgum (<i>Liquidambar styraciflua</i>)
Common Three Square (<i>Scirpus americanus</i>)	Swamp Azalea (<i>Azalea viscosum</i>)	Black Willow (<i>Salix nigra</i>)
Sensitive Fern (<i>Crocodylus sensibilis</i>)	Button Bush (<i>Copahalanthus occidentalis</i>)	Grey Birch (<i>Betula populifolia</i>)
Blue Flag (<i>Iris versicolor</i>)	Black Haw (<i>Viburnum prunifolium</i>)	Black Gum (<i>Nyssa sylvatica</i>)
Woodgrass (<i>Scirpus cyparissinus</i>)	Indigo Bush (<i>Amaranthus fruticosus</i>)	Sycamore (<i>Platanus occidentalis</i>)
Indian Grass (<i>Scorphastrum nutans</i>)	Arrowwood (<i>Viburnum dentatum</i>)	Green Ash (<i>Fraxinus pennsylvanica</i>)
Marsh Marigold (<i>Caltha palustris</i>)		Sweetbay Magnolia (<i>Magnolia virginiana</i>)
Joe Pye Weed (<i>Eupatorium purpureum</i>)		Atlantic White Cedar* (<i>Chamaecyparis thyoides</i>)
Turk's cap Lily (<i>Lilium superbum</i>)		Bald Cypress* (<i>Taxodium distichum</i>)
Bee Balm (<i>Morharia didyma</i>)		Grey Dogwood (<i>Cornus racemosa</i>)
Northern Sea Oats (<i>Chasmanthium latifolium</i>)		Smooth Alder (<i>Alnus serrulata</i>)
		Serviceberry (<i>Amelanchier canadensis</i>)
		Redbud (<i>Cercis canadensis</i>)
		Box Elder (<i>Acer negundo</i>)
		Fringe Tree (<i>Chionanthus virginicus</i>)

Note: Prior to selection, please consult bioretention plant lists for more detailed information regarding inundation, drought and salt tolerance for each species.
 *most applicable to the coastal plain

Version 1.9, March 1, 2011

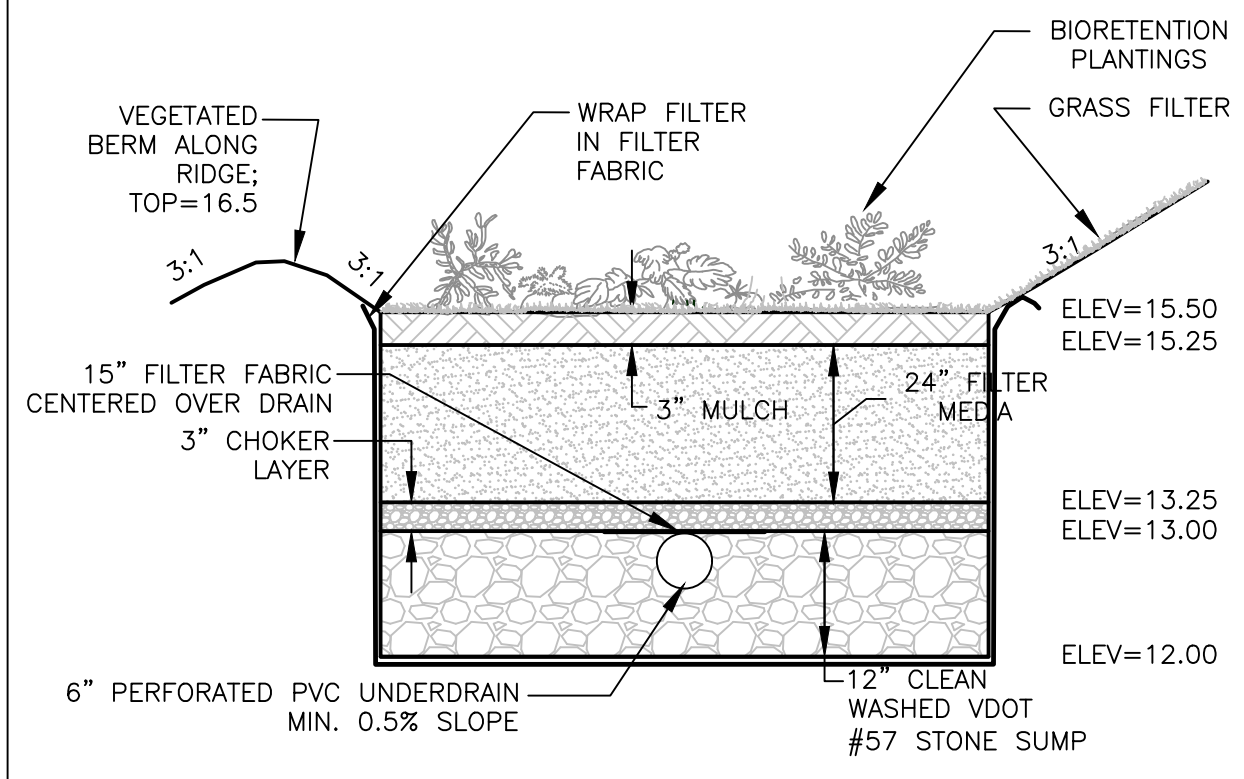
Page 28 of 54

VA DEQ STORMWATER DESIGN SPECIFICATION NO. 9 BIORETENTION

Table 9.6. Bioretention Material Specifications

Material	Specification	Notes
Filter Media Composition	Filter Media to contain: • 85%-88% sand • 8%-12% soil fines • 3%-5% organic matter in the form of leaf compost	The volume of filter media based on 110% of the plan volume, to account for settling or compaction.
Filter Media Testing	P-index range = 10-30, OR Between 7 and 21 mg/kg of P in the soil media.	The media must be procured from approved filter media vendors.
Mulch Layer	Use aged, shredded hardwood bark mulch.	Lay a 2 to 3 inch layer on the surface of the filter bed.
Alternative Surface Cover	Use river stone or pea gravel, cor and jute matting, or turf cover.	Lay a 2 to 3 inch layer of to suppress weed growth.
Top Soil For Turf Cover	Loamy sand or sandy loam texture, with less than 5% clay content, pH corrected to between 6 and 7, and an organic matter content of at least 2%.	3 inch surface depth.
Geotextile/Liner	Use a non-woven geotextile fabric with a flow rate of > 110 gal/min/ft. (e.g., Geotex 351 or equivalent)	Apply only to the sides and above the underdrain. For hotspots and certain karst sites only, use an appropriate liner on bottom.
Choking Layer	Lay a 2 to 4 inch layer of sand over a 2 inch layer of choker stone (typically #8 or #59 washed gravel), which is laid over the underdrain stone.	12 inches for the underdrain; 12 to 18 inches for the stone storage layer, if needed.
Stone Jacket for Underdrain and/or Storage Layer	1 inch stone should be double-washed and clean and free of all fines (e.g., VDOT #57 stone).	
Underdrains, Cleanouts, and Observation Wells	Use 6 inch rigid schedule 40 PVC pipe (or equivalent corrugated HDPE for micro-bioretention), with 3/8-inch perforations at 6 inches on center; position each underdrain on a 1% or 2% slope located not more than 20 feet from the next pipe.	Lay the perforated pipe under the length of the bioretention cell, and install non-perforated pipe as needed to connect with the storm drain system. Install T's and Y's as needed, depending on the underdrain configuration. Extend cleanout pipes to the surface with vented caps at the T's and Y's.
Plant Materials	Plant one tree per 250 square feet (15 feet on-center, minimum 1 inch caliper). Shrubs a minimum of 30 inches high planted a minimum of 10 feet on-center. Plant ground cover plugs at 12 to 18 inches on-center. Plant container-grown plants at 18 to 24 inches on-center, depending on the initial plant size and how large it will grow.	Establish plant materials as specified in the landscaping plan and the recommended plant list. In general, plant spacing must be sufficient to ensure the plant material achieves 80% cover in the proposed planting areas within a 3-year period. If seed mixes are used, they should be from a qualified supplier, should be appropriate for stormwater basin applications, and should consist of native species (unless the seeding is to establish maintained turf).

Version 1.9, March 1, 2011

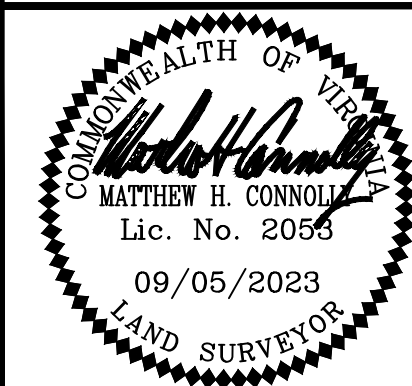


MITIGATION TABLE

MITIGATION MEASURE	QTY.(NEEDED)	QTY.
NATIVE CANOPY TREES	3	3
NATIVE UNDERSTORY TREES	6	6
NATIVE SHRUBS	9	9

2 SHRUBS PER UNDERSTORY TREE AND 4 SHRUBS PER CANOPY TREE

SHEET 2 OF 2



DATE: 6/28/2023
 DRAWN BY: CG
 PROJECT No. 17-590
 FILE NAME: 17-590PP.DWG
 REFERENCES:
 P.B. 28, PG. 9

PLOT PLAN OF
 LOT 11,
 DIVISION OF ESTATE OF: EVA SLADE ROWE
 FOR
 SONE MARCANO

JAMES CITY COUNTY

VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
7	9/5/2023	REVISED TO SHOW EXISTING TREES, LOD, STAIRS AND BMP
6	6/28/2023	NEW HOUSE
5	6/30/2022	REVISED PER COUNTY COMMENTS
4	6/28/2022	UPDATED BMP CALCULATIONS
3	6/20/2022	REVISED PER COUNTY COMMENTS
2	6/8/2022	CORRECTED IMPERVIOUS CALCULATIONS
1	6/1/2022	REVISED PER COUNTY COMMENTS

LRI
LANDTECH
RESOURCES, INC.
 ENGINEERING · SURVEYING · GPS

205 E Bullfanta Blvd., Williamsburg, VA 23188
 Ph: (757) 565-1677 Fax: (757) 565-0782
 web: landtechresources.com



PUBLIC HEARING NOTICE

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, SEPTEMBER 13, 2023 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-23-0010: Mr. Randolph Carnell, Living Shorelines, LLC, on behalf of Ms. Johanna M. Kroenlein and Mr. James Keith Ducker, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 206 The Maine, JCC Tax Map Parcel No. 4540200076.

THE CHESAPEAKEBAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-23-0087: Mr. Joseph Krallinger, The Structures Group, on behalf of Ms. Jeannie S. and Mr Lee Scott Trainum, has applied for a Chesapeake Bay Exception for the installation of a retaining wall on property located at 105 Ambrose Hill, JCC Tax Map Parcel No. 5030400077.

CBPA-23-0089: Mr. Sean Thompson, Total Home Improvements, on behalf of Ms. Jacqueline E. and Mr. Geoffrey A. Stephan, has applied for a Chesapeake Bay Exception for the construction of deck on property located at 3096 North Riverside Drive, JCC Tax Map Parcel No. 1910200017.

CBPA-23-0098: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Ms. Hillary Brown and Mr. Darnell Lamont Covil, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 109 Brancaster, JCC Tax Map Parcel No. 3810300033.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101-E Mounts Bay Road, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – August 30, 2023 and September 6, 2023
ACCOUNT NO. CU00015112
VIRGINIA GAZETTE
1/8 PAGE, VERTICAL, B/W

Case Number: CBPA-23-0085

PIN	Last Name	Address Line 1	City	State	Zip Code
4720100044	Bengtson, Babs Lauren	4824 Hickory Signpost Rd	Williamsburg	VA	23185-2406
4721800005	Bishop, Ruby Diane	4847 Hickory Signpost Rd	Williamsburg	VA	23185-2418
4720100046A	James City Service Authority	119 Tewing Rd	Williamsburg	VA	23188-2639
4720100045	Marcano, Sone L	817 23RD Street	Virginia Beach	VA	23451-6310
	Mr. Chase Grogg LandTech Resources, Inc.	205-E Bulifants Blvd	Williamsburg	VA	23188
4710100080	Rutherford, Sallie Smith Estate C/o Bowling, Elizabeth Rutherford Ex	4676 Hickory Signpost Rd	Williamsburg	VA	23185-2462
4711900001A	Settlers Mill Association C/o Town Management	4801 Courthouse St ~ste 202	Williamsburg	VA	23188-2678



General Services

107 Tewning Road
Williamsburg, VA 23188

P: 757-259-4080

General.Services@jamescitycountyva.gov
jamescitycountyva.gov

Capital Projects

107 Tewning Road
Williamsburg, VA 23188
757-259-4080

Fleet

103 Tewning Road
Williamsburg, VA 23188
757-259-4122

**Stormwater and
Resource Protection**

101-E Mounts Bay Road
Williamsburg, VA 23185
757-259-6670

Facilities & Grounds

113 Tewning Road
Williamsburg, VA 23188
757-259-4080

Solid Waste

1204 Jolly Pond Road
Williamsburg, VA 23188
757-565-0971

«Last_Name»
«Address_Line_1»
«City», «State» «Zip_Code»

RE: CBPA-23-0085
4816 Hickory Signpost Rd
Construction of single-family
dwelling

August 23, 2023

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Chase Grogg, Landtech Resources, Inc., on behalf of Ms. Sone Marcano, for encroachments into the Resource Protection Area buffer for the construction of a single-family dwelling. The project is located at 4816 Hickory Signpost Rd, JCC Tax Map Parcel No. 4720100045.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, September 13, 2023, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Trevor Long

Trevor Long
Chesapeake Bay Board Secretary
757-253-6789
trevor.long@jamescitycountyva.gov

July 27, 2022

Ruth Larson
Berkeley District Supervisor
James City County Board of Supervisors

Dear Ruth Larson:

I am writing to you to request your help in preserving the wetlands at 4816 Hickory Signpost Road which is currently undeveloped. The property owners have decided to build on the property and have made several applications for exceptions to build in the wetlands. I am providing a brief overview of the hearings held thus far concerning the property:

May 5, 2022 – Hearing before the Zoning Board - setback requirement exception. The Board voted in favor of the exception thereby reducing the setback requirement from 60 feet to 30 feet.

June 11, 2022 – Hearing before the Chesapeake Bay Board concerning the application for an exception to build within the wetlands Resource Protection Area (RPA). The proposed construction is 100% within both Seaward (50 feet) and Landward (100 feet) RPA Buffers. The application for an exception was denied. The Chesapeake Bay Board members had several objections to the application and deemed the property “unbuildable.”

July 13, 2022 – Hearing before the Chesapeake Bay Board – Appeal. The property owners appealed the decision and re-submitted an application for an exception to build within the wetlands RPA Seaward and Landward Buffers. The building contractor came up with ideas for countering each of the Board’s previous objections. The Board once again denied the application for an exception.

Since the property owners can keep submitting appeals, this could become an ongoing battle with no end in sight. Therefore I am writing to make a bold request: I would like James City County to purchase the property from the current owners forever preserving the wetlands. I am making the request based on the following:

Designated as Wetlands in 1970 – The Stormwater & Resource Protection staff produced a 1970 map at the May 5th hearing of the Zoning Board. The map clearly shows the property was within the wetlands. The staff acknowledged this and further stated that if the property was zoned today, it would not be zoned as residential.

Property Owners Rights – I feel for the property owners. I do not know them. I have not met them. They purchased property that is problematic for building even though the county zoned it long ago as limited residual use. The property was zoned long before our current understanding of the important role of wetlands.

Need for Preserving this Particular Property – At the June 11th hearing of the Chesapeake Bay Board, I showed pictures I have taken of the area over the last five years. I took the pictures at various times because I have never lived near wetlands before my move to Hickory Signpost Road. Since living here, I have been captivated by the wetlands beauty and the way they so quickly move excess water from an area. The pictures (which I am including with this note) show the wetlands under normal conditions, after an average rain, after a heavy rain, and then in flood-like conditions.

I showed the pictures at the hearing because several people from both boards have shown up to personally look at the property, which is a good thing. However, all of them arrived on a sunny day when the property looks beautiful and pristine. They didn't come during or after a heavy rain to see the area under water. The pictures illustrate how very important this property is for the filtering of all the excess water this area gets.

The property owners have rights but so do the members of the community who depend on the wetlands to do the job they were designed to do. Therefore I am asking the Board of Supervisors to purchase the land from the current property owners, thus making them whole, and preserving the wetlands for the protection of the community.

Thank you for your consideration of this matter. Feel free to contact me if you would like to have further information.

Babs L Bengtson
4824 Hickory Signpost Road
Phone: 814-404-4900
Email: babs.bengtson@gmail.com



Ruth Larson ▾

✉ ruth.larson@jamescitycoun...

📄 ☆ ↻ me

Wetlands Preservation on Hickory Signpost Road - Greetings, Ms. Larson I a...

7/27/22

📄 Larson Letter.d...

📄 PDF Hickory Signpo...

Wetlands Preservation on Hickory Signpost Road ▾



Babs Bengtson <babs.bengtson@gmail.com>
to ruth.larson ▾

📧 Wed, Jul 27, 2022, 4:34 AM



Greetings, Ms. Larson

I am attaching a letter that presents my request for the Board of Supervisors action. I thought a letter would be best instead of a very long email. I am also attaching pictures that I presented at the Chesapeake Bay Board meeting in June.

I've included my contact information in the letter and am available for further discussion.

Thank you for your consideration of my request.
Babs L Bengtson

2 Attachments • Scanned by Gmail ⓘ



Preserving the Wetlands on Hickory Signpost Road ▾



Babs Bengtson <babs.bengtson@gmail.com>
to john.mcglennon ▾

📧 Wed, Jul 27, 2022, 4:41 AM



Greetings Mr. McGlennon,

I am attaching a letter that I sent to my representative, Ruth Larson. I wanted to send it to you as well as you are the Chair of the Board of Supervisors. I am also including some pictures that I presented at the June meeting of the Chesapeake Bay Board.

My contact information is included on the letter. In your profile, I saw that you work at William & Mary. I also work at the university. You can contact me at my work email (blbengtson@wm.edu) or phone (757-221-1845).

Thank you for your consideration of my request.

Babs L Bengtson

2 Attachments • Scanned by Gmail ⓘ



