

**AGENDA**  
**JAMES CITY COUNTY CHESAPEAKE BAY BOARD**  
**REGULAR MEETING**  
**COUNTY GOVERNMENT CENTER BOARD ROOM**  
**101 MOUNTS BAY ROAD, WILLIAMSBURG, VA 23185**  
**April 10, 2024**  
**5:00 PM**

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**A. CALL TO ORDER**

**B. ROLL CALL**

**C. MINUTES**

1. Minutes from the March 13, 2024, Regular Meeting

**D. PUBLIC COMMENT**

**E. PUBLIC HEARING(S)**

1. CBPA-23-0174 : 9400 Barnes Road
2. CBPA-24-0028 : 7224 Canal Street
3. CBPA-24-0008 : 3820 Rochambeau Drive and 170 Sand Hill Road
4. CBPA-24-0017 : 196 The Maine
5. CBPA-24-0030 : 136 John Wickham
6. CBPA-23-0152 : 223 Oakmere Park
7. CBPA-24-0031 : 113 Glasgow

**F. BOARD CONSIDERATION(S)**

**G. MATTERS OF SPECIAL PRIVILEGE**

**H. ADJOURNMENT**

**MINUTES**  
**JAMES CITY COUNTY CHESAPEAKE BAY BOARD**  
**REGULAR MEETING**  
**COUNTY GOVERNMENT CENTER BOARD ROOM**  
**101 MOUNTS BAY ROAD, WILLIAMSBURG, VA 23185**  
**March 13, 2024**  
**5:00 PM**

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**A. CALL TO ORDER**

The Chesapeake Bay Board meeting for March 13, 2024, was called to order.

The responsibility of this Board is to carry out locally the Commonwealth policy to protect against and minimize pollution and deposition of sediment in wetlands, streams, and lakes in James City County, which are tributaries of the Chesapeake Bay.

**B. ROLL CALL**

**Board Members Present:**

Charles Roadley, Chair  
Larry Waltrip  
Michael O'Brien, Vice Chair  
Scott Maye  
Leslie Bowie

**Board Members Absent:**

None.

**Other Staff Present:**

Toni Small, Director, Stormwater and Resource Protection  
Michael Woolson, Resource Protection Section Chief, Stormwater and Resource Protection  
Robin Benedict, Watershed Planner, Stormwater and Resource Protection  
Emily Grojean, Watershed Planner, Stormwater and Resource Protection  
Andrew Dean, Assistant County Attorney

**C. MINUTES**

1. Minutes from the February 14, 2024, Regular Meeting

A motion to Approve the minutes was made by Ms. Bowie.

The minutes were approved on a voice vote.

**D. PUBLIC COMMENT**

None.

**E. PUBLIC HEARING(S)**

1. CBPA-23-0157 : 5353 Rockingham Drive

A motion to Approve w/ Conditions was made by Mr. O'Brien, the motion result was Passed.  
AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 0  
Ayes: Bowie, May, O'Brien, Roadley, Waltrip

Ms. Emily Grojean, Watershed Planner, presented the exception request submitted by Ms. Angelique and Mr. John Wellman, for encroachments into the Resource Protection Area (RPA) for the construction of a deck extension. The property is further identified as James City County Real Estate Tax Map Parcel No. 3221200150. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing.

Mr. Maye asked Ms. Grojean a question reiterating the sizing of the proposed deck. The Board discussed the pros and cons of the plan.

Mr. Roadley closed the Public Hearing.

2. CBPA-23-0190 : 123 Whiting Avenue

A motion to Approve w/Conditions was made by Mr. Maye, the motion result was Passed.  
AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 0  
Ayes: Bowie, Maye, O'Brien, Roadly, Waltrip

Ms. Robin Benedict, Watershed Planner, presented the exception request submitted by Mr. Darryl Cook, James City County, on behalf of James City County, for encroachments into the RPA for the completion of the Grove Water Quality project. The property is further identified as James City County Real Estate Tax Map Parcel No. 5230900001A. The presentation described the current and proposed site conditions. If the Board approved the request, staff asked that the suggested conditions be incorporated into the approval.

Mr. Roadley opened the Public Hearing

The Board discussed the pros and cons of the plan.

Mr. Roadley closed the Public Hearing.

**F. BOARD CONSIDERATION(S)**

None.

**G. MATTERS OF SPECIAL PRIVILEGE**

None.

**H. ADJOURNMENT**

A motion to Adjourn was made by Mr. Maye and approved on a voice vote.

The meeting adjourned at 5:30 p.m.

**MEMORANDUM**

DATE: April 10, 2024  
TO: The Chesapeake Bay Board  
FROM: Robin Benedict, Watershed Planner  
SUBJECT: Chesapeake Bay Exception No. CBPA-23-0174. 9400 Barnes Road

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Mr. Ben Swift, Lovett Industrial, has requested a deferral of this application for exception to the Chesapeake Bay Preservation Ordinance while the site plan is finalized for the project. Staff concurs with this request. As this case has been public noticed, staff recommends that the public hearing remain open and stay open until the May 8, 2024, meeting, at which time the case will be heard.

RB/ap  
CBPA23-174\_9400BrnesDef-mem

## Adjacent Property Owner Mailing List for Case Number: CBPA-23-0174

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
430500008	DEFOREST, KERRY ANN	9415 BARNES RD	TOANO	VA	23168-8912
430500002	DILLARD, ROBERT S &	4403 WARE CREEK RD	WILLIAMSBURG	VA	23188-1123
430500007	GRAHAM, MARDINE	9409 BARNES RD	TOANO	VA	23168-8912
430400011	KELLEY, DANNY L TRUSTEE	217 SKILLMAN DR	TOANO	VA	23168-8933
430100017	LI HAZELWOOD FARMS VA INVESTOR LP	401 FRANKLIN ST ~STE 2555	HOUSTON	TX	77002-1569
430500006	MOOREFIELD , KATHRINE ANN & NATHANIEL	8862 HICKS ISLAND RD	LANEXA	VA	23089-9017
	Mr. Mark Boyd Kimley-Horn	2035 Maywill Street, Suite 200	Richmond	VA	23230-30
430500009	NESS, BONNIE BREEDEN	9427 BARNES RD	TOANO	VA	23168-8912
430500004	SMITH, DWAYNE GASTON JR	9347 BARNES ROAD	TOANO	VA	23688-8910
430500003	STUPPY, DAVID W & ANNIE E	9341 BARNES RD	TOANO	VA	23168-8910
430500001	WALLS, RICHARD R & SHARON ANN	9331 BARNES RD	TOANO	VA	23168-8910
430500005	WAVERLY INVESTMENTS LLC	215 MCLAWS CIR ~STE 2B	WILLIAMSBURG	VA	23185-5799
0430400011B	WHEELER, GEORGE L & S DIANE W	219 SKILLMAN DR	TOANO	VA	23168-8933



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-23-0174  
9400 Barnes Road  
Construction of building

March 21, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Mark Boyd, Kimley-Horn, on behalf of LI Hazelwood Farms VA Investor LP, for encroachments into the Resource Protection Area buffer for the construction of a building. The project is located at 9400 Barnes Road, JCC Tax Map Parcel No. 430100017.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov



### **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, FEBRUARY 14, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-23-0012: Mr. Daniel Winall, Waters Edge Construction, on behalf of Mr. George and Ms. Brenda White, has applied for a Wetlands Permit for the repair of a groin on property located at 111 Shellbank Drive, JCC Real Estate Tax Map Parcel No. 4530200009.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-23-0167: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. Paul Koscak and Ms. Karen Savage, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 112 Sugar Bush, JCC Tax Map Parcel No. 3131000015.

CBPA-23-0174: Mr. Mark Boyd, Kimley-Horn, on behalf of LI Hazelwood Farms VA Investor LP, has applied for a Chesapeake Bay Exception for the construction of a building on property located at 9400 Barnes Road, JCC Tax Map Parcel No. 430100017.

CBPA-23-0182: Mr. Paul and Ms. Cynthia Puglia, have applied for a Chesapeake Bay Exception for the extension of a driveway and the installation of a walkway and seating area on property located at 9935 Walnut Creek, JCC Tax Map Parcel No. 0520300014.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

### **NOT FOR PUBLICATION**

DISPLAY: WEDNESDAY – January 31, 2024 and February 7, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-24-0028. 7224 Canal Street  
Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. Ronald and Ms. Joyce Figg

Agent: Mr. Darryl Flattum

Location: 7224 Canal Street

Parcel Identification No.: 1910900038

Parcel: Lot 38, Section 8, Chickahominy Haven

Lot Size: 0.31 acres

Area of Lot in Resource Protection Area (RPA): 0.14 acres (45%)

Watershed: Yarmouth Creek (JL28)

Floodplain: Zone AE - Base flood elevation 7 feet mean sea level

Proposed Activity: Construction of a gazebo and gravel patio

Impervious Cover: 200 square feet

RPA Encroachment: 100 square feet, landward 50-foot RPA  
100 square feet, seaward 50-foot RPA

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Darryl Flattum has applied for a Chesapeake Bay Exception on behalf of Mr. Ronald and Ms. Joyce Figg for encroachments into the RPA buffer for the construction of a gazebo and gravel patio located at 7224 Canal Street within the Chickahominy Haven subdivision and the Yarmouth Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 1910900038. The parcel was platted in 1965, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.31 acres, of which 45% is located within the RPA. The applicants are proposing to construct a gazebo and gravel patio behind the existing home. Total impacts to the RPA associated with this proposal equate to 100 square feet of impacts to the landward 50-foot RPA and 100 square feet of impacts to the seaward 50-foot RPA for a total of 200 square feet of impervious impacts. Required mitigation for this amount of impervious impacts equals six shrubs. The applicants have provided a mitigation plan that equals eight shrubs.



## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a gazebo and gravel patio. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a gazebo and gravel patio is considered accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project, including an Erosion and Sediment Control Plan and Land Disturbing Permit if total impacts to the property exceed 2,500 square feet of disturbance; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plan equaling eight shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

RB/ap  
CBPA24-28\_7224CnlSt

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-24-0028. 7224 CANAL STREET

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Darryl Flattum, on behalf of Mr. Ronald and Ms. Joyce Figg (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 7224 Canal Street (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 1910900038, as set forth in the application CBPA-24-0028 for the purpose of the construction of a gazebo and gravel patio; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0028, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project, including an Erosion and Sediment Control Plan and Land Disturbing Permit if total impacts to the property exceed 2,500 square feet of disturbance; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plan equaling eight shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-28\_7224CnlStApp-res

## RESOLUTION

CASE NO. CBPA-24-0028. 7224 CANAL STREET

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Darryl Flattum, on behalf of Mr. Ronald and Ms. Joyce Figg (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 7224 Canal Street (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 1910900038, as set forth in the application CBPA-24-0028 for the purpose of the construction of a gazebo and gravel patio; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0028.

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Charles Roadley  
Chair, Chesapeake Bay Board

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Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-28\_7224CnlStDny-res

7231

7233

7229

7228

7226

7224

GRAVEL AREA WITH 12' DIAMETER  
CIRCULAR FLOWERBED COURTYARD  
EST. 25' X 15' (500 SQFT TOTAL)

32' FENCE X 6' HIGH PVC WHITE  
8' FENCE X 4' HIGH PVC WHITE  
(40' TOTAL RUN) FENCE

10X10 MANUFACTURED GAZEBO ON  
"FLOATING" WOOD BASE.

72' FENCE X 6' HIGH PVC WHITE  
8' FENCE X 4' HIGH PVC WHITE  
(80' TOTAL RUN) FENCE

10X10 GRAVEL LANDING AREA  
FOR ACCESS TO REAR DOOR/STEPS

39

38

37

7220

36

35



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-24-0028  
7224 Canal Street  
Construction of gazebo gravel  
patio

March 20, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, for encroachments into the Resource Protection Area buffer for the construction of a gazebo gravel patio. The project is located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov

## Adjacent Property Owner Mailing List for Case Number: CBPA-24-0028

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
1910900074	BOLEN, FRANKLIN A & ALICE K	7231 CANAL ST	LANEXA	VA	23089-9424
1910900076	BURNETTE, STEVEN M & GLENDA E	7227 CANAL ST	LANEXA	VA	23089-9424
1910900038	FIGG, RONALD & JOYCE	14124 CHAISSO TER	CHESTERFIELD	VA	23838-2190
1910900075	FORTNER, WILLIAM J	7229 CANAL ST	LANEXA	VA	23089-9424
1910900037	GARDNER, JAMES C	7222 CANAL ST	LANEXA	VA	23089-9423
1910900039	KETRON, WILLIAM R TRUSTEE	5740 STEWARTSVILLE RD	MONETA	VA	24121-5555
1910900036	MEADOWS, CALEB J & CHAMPAGNE, JESS	7220 CANAL ST	LANEXA	VA	23089-9403
	Mr. Darryl Flattum, Jr.	7224 Canal Street	Lanexa	VA	23089



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W



**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-24-0008. 3820 Rochambeau Drive and 170 Sand Hill Road**  
**Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: MCP Stonehouse LLC c/o Mandrake Capital Partners

Agent: Mr. Jeff Huentelman, Land Planning Solutions, Inc.

Locations: 3820 Rochambeau Drive  
170 Sand Hill Road

Parcel Identification Nos.: 1310100008A  
1310100019

Parcels: PT PETTITTS  
Parcel 3, Tankard Tract

Lot Size: 90.46 acres

Area of Lot in Resource Protection Area (RPA): 36.19 acres (40%)

Watershed: Ware Creek (YO62)

Floodplain: None

Proposed Activity: Construction of a waterline and associated grading

Impervious Cover: <1%

RPA Encroachment: 0.23 acres, temporary impacts to RPA  
0.85 acres, permanent impacts to RPA  
1.08 acres, total impacts to RPA

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Jeff Huentelman, Land Planning Solutions, Inc., has applied for a Chesapeake Bay Exception on behalf of MCP Stonehouse LLC c/o Mandrake Capital Partners for encroachments into the RPA buffer for the construction of a waterline and associated grading located at 3820 Rochambeau Drive and 170 Sand Hill Road within the Stonehouse subdivision and the Ware Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel Nos. 1310100008A and 1310100019. This project is also known as Stonehouse Tract 10A. The parcels were platted in 1982 and 1988, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 90.46 acres, of which 40% is located within the RPA. The applicants are proposing to construct a waterline associated with the development of Stonehouse Tract 10A. Total impacts to the RPA associated with this proposal equate to 1.08 acres, of which 0.23 acres are temporary impacts and 0.85 acres are permanent impacts. Required mitigation for this amount of impacts requires the recordation of a Deed of Natural Open Space for an area twice the size of the impacted RPA (94,090 square feet). The Natural Open Space area shall start from the centerline of the middle tributary and extend to the northwest portion of Parcel No. 1310100019.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a waterline and associated grading. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a waterline is proposed by a private developer and not a public authority and is therefore not exempt. Additionally, the construction is proposed within the RPA buffer.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. A Deed of Natural Open Space be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a Land Disturbing Permit; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2026; and

4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2026, six weeks prior to the expiration date.

RB/md  
CBPA24-8RDSdH-rev

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-24-0008. 3820 ROCHAMBEAU DRIVE AND 170 SAND HILL ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Jeff Huentelman, Land Planning Solutions, Inc., on behalf of MCP Stonehouse LLC c/o Mandrake Capital Partners (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on parcels of property located at 3820 Rochambeau Drive and 170 Sand Hill Road (the “Properties”) and further identified as James City County Real Estate Tax Map Parcel Nos. 1310100008A and 1310100019, as set forth in the application CBPA-24-0008 for the purpose of constructing a waterline and associated grading; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0008, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. A Deed of Natural Open Space be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a Land Disturbing Permit; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2026; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2026, six weeks prior to the expiration date.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

**RESOLUTION**

CASE NO. CBPA-24-0008. 3820 ROCHAMBEAU DRIVE AND 170 SAND HILL ROAD

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Jeff Huentelman, Land Planning Solutions, Inc., on behalf of MCP Stonehouse LLC c/o Mandrake Capital Partners (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on parcels of property located at 3820 Rochambeau Drive and 170 Sand Hill Road (the “Properties”) and further identified as James City County Real Estate Tax Map Parcel Nos. 1310100008A and 1310100019, as set forth in the application CBPA-24-0008 for the purpose of constructing a waterline and associated grading; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0008.

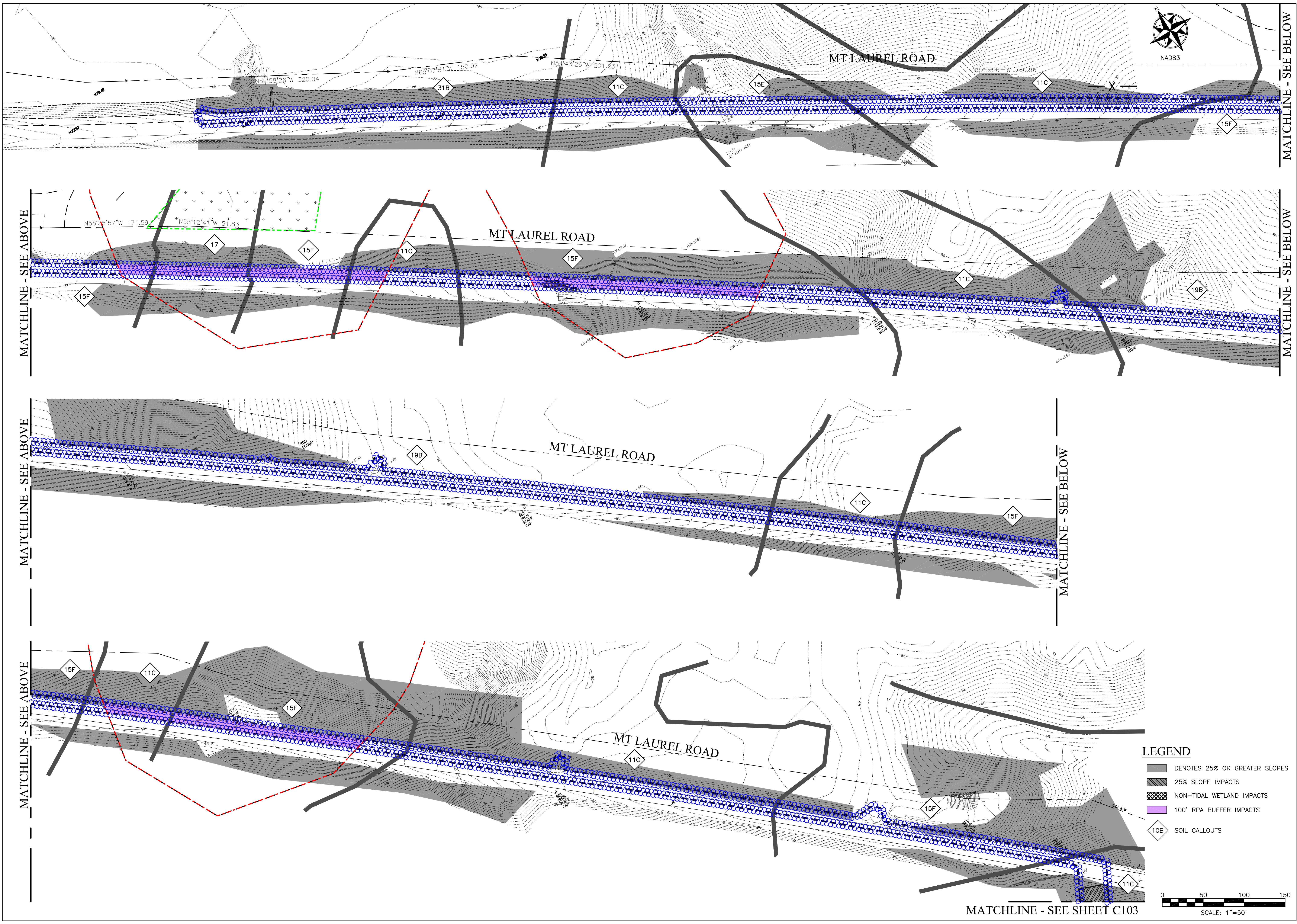
\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

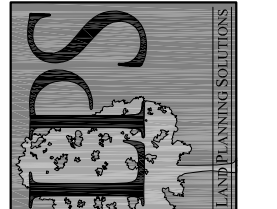
CBPA24-8RDSdHDny-rev-res

C:\Projects\Robinson\_Development\RDG073 - Stonehouse - Offsite Waterline\Cadd\Design\RDG073 - Environmental Inventory and Buffer Impacts.dwg - Last Saved By: Randy - Mar 04, 2024 - 3:53pm



- LEGEND**
- DENOTES 25% OR GREATER SLOPES
  - 25% SLOPE IMPACTS
  - NON-TIDAL WETLAND IMPACTS
  - 100' RPA BUFFER IMPACTS
  - SOIL CALLOUTS

LAND PLANNING SOLUTIONS  
 1403 Greenbrier Pkwy, STE. 205  
 Chesapeake, VA, 23320  
 O 757.935.9014 F 757.935.9015  
 www.landplanningolutions.com

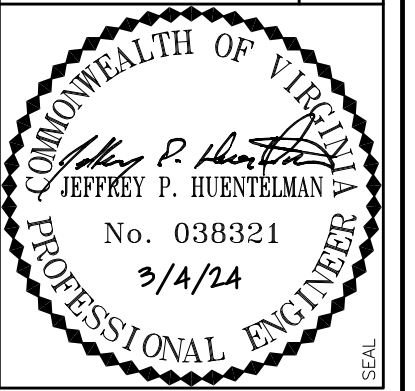


No.	DATE	REVISION

PROJECT No:	RDG073
DATE:	12/JAN/24
DES.:	JMB
DR.:	RLR
CKD.:	JPH

**STONEHOUSE  
 WATER LINE IMPROVEMENTS**  
 MT LAUREL ROAD  
 JAMES CITY COUNTY, VIRGINIA

**ENVIRONMENTAL INVENTORY**



SHEET NO.  
**C102**

O:\Projects\Robinson\_Development\RDG073 - Stonehouse - Offsite Waterline Cadd\Design\RDG073 - Environmental Inventory and Buffer Impacts.dwg\_Lost Saved By: Randy\_Mar\_04\_2024 - 3:53pm

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
11C	Craven-Uchee complex, 6 to 10 percent slopes	Moderately well drained	1.7	37.2%
15E	Emporia complex, 15 to 25 percent slopes	Well drained	0.1	1.2%
15F	Emporia complex, 25 to 50 percent slopes	Well drained	1.1	22.5%
17	Johnston complex	Very poorly drained	0.1	1.3%
19B	Kempville-Emporia fine sandy loams, 2 to 6 percent slopes	Well drained	0.8	17.6%
29A	Stagle fine sandy loam, 0 to 2 percent slopes	Moderately well drained	0.0	0.4%
31B	Suffolk fine sandy loam, 2 to 6 percent slopes	Well drained	0.9	19.8%
<b>Totals for Area of Interest</b>			<b>4.7</b>	<b>100.0%</b>

Map unit symbol	Map unit name	Rating (percent)	Acres in AOI	Percent of AOI
11C	Craven-Uchee complex, 6 to 10 percent slopes	1.5	1.7	37.2%
15E	Emporia complex, 15 to 25 percent slopes	1.5	0.1	1.2%
15F	Emporia complex, 25 to 50 percent slopes	1.5	1.1	22.5%
17	Johnston complex	1.5	0.1	1.3%
19B	Kempville-Emporia fine sandy loams, 2 to 6 percent slopes	1.5	0.8	17.6%
29A	Stagle fine sandy loam, 0 to 2 percent slopes	1.5	0.0	0.4%
31B	Suffolk fine sandy loam, 2 to 6 percent slopes	1.5	0.9	19.8%
<b>Totals for Area of Interest</b>			<b>4.7</b>	<b>100.0%</b>

**SHRINK-SWELL SOILS**

LINEAR EXTENSIBILITY	RATING
<3%	LOW
3-6%	MODERATE
6-9%	HIGH
>9%	VERY HIGH

**NOTES**

**PROJECT DESCRIPTION**  
 THIS PROJECT PROVIDES FOR THE DEVELOPMENT OF STONEHOUSE TRACT 10A INTO 152 TOWNHOUSE UNITS AND 48 MULTI-FAMILY UNITS. THE PROJECT ALSO PROVIDES FOR THE CONSTRUCTION OF STORMWATER BASINS AND RELATED DRAINAGE INFRASTRUCTURE. THE LIMITS OF IMPROVEMENTS WILL BE APPROXIMATELY 26.3 ACRES.

**EXISTING CONDITIONS**  
 STONEHOUSE TRACT 10A IS CURRENTLY UNDEVELOPED, FORESTED LAND. STORMWATER RUNOFF CURRENTLY SHEET FLOWS ACROSS THE PARCEL INTO THE NEIGHBORING WETLANDS.

**STORMWATER MANAGEMENT**  
 STORMWATER RUNOFF WILL BE COLLECTED IN DRAINAGE INFRASTRUCTURE ALONG THE PRIVATE ROADS AND CONVEYED TO OUTLET POINTS THAT DISCHARGE INTO THE NEIGHBORING WETLANDS.

**SOIL DESCRIPTION**  
 SEE THIS SHEET

**CRITICAL AREAS**






- THIS PROJECT WILL IMPACT EXISTING NON-TIDAL WETLANDS
- LAND WITH SLOPES EXCEEDING 25% AND THE 100' RPA BUFFER WILL BE IMPACTED.
- SOILS THAT ARE CLASSIFIED AS FULLY-HYDRIC WILL NOT BE IMPACTED.

**EROSION AND SEDIMENT CONTROL MEASURES**  
 TO PREVENT SEDIMENT FROM LEAVING SITE AND ENTERING THE SURROUNDING FORESTS, MEASURES SUCH AS SILT FENCE, CHECK DAMS, CONSTRUCTION ENTRANCE AND TEMPORARY SEEDING WILL BE IMPLEMENTED. INSTALLATION AND MAINTENANCE OF TEMPORARY MEASURES WILL CONFORM TO THE GUIDELINES PUBLISHED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), 3RD EDITION.

**PERMANENT SEEDING**  
 PERMANENT SEEDING, LANDSCAPING AND TURF WILL BE USED TO STABILIZE THE SITE AFTER CONSTRUCTION IS COMPLETE.

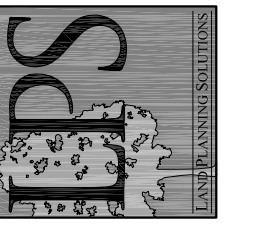
**TEMPORARY OFFSET AREAS**  
 THERE ARE NO ADDITIONAL OFFSITE LAND DISTURBANCES PROPOSED WITH THIS PROJECT.

**LEGEND**

-  DENOTES 25% OR GREATER SLOPES
-  25% SLOPE IMPACTS
-  NON-TIDAL WETLAND IMPACTS
-  100' RPA BUFFER IMPACTS
-  SOIL CALLOUTS

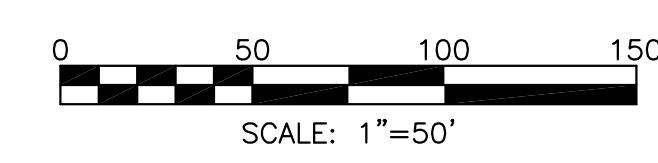
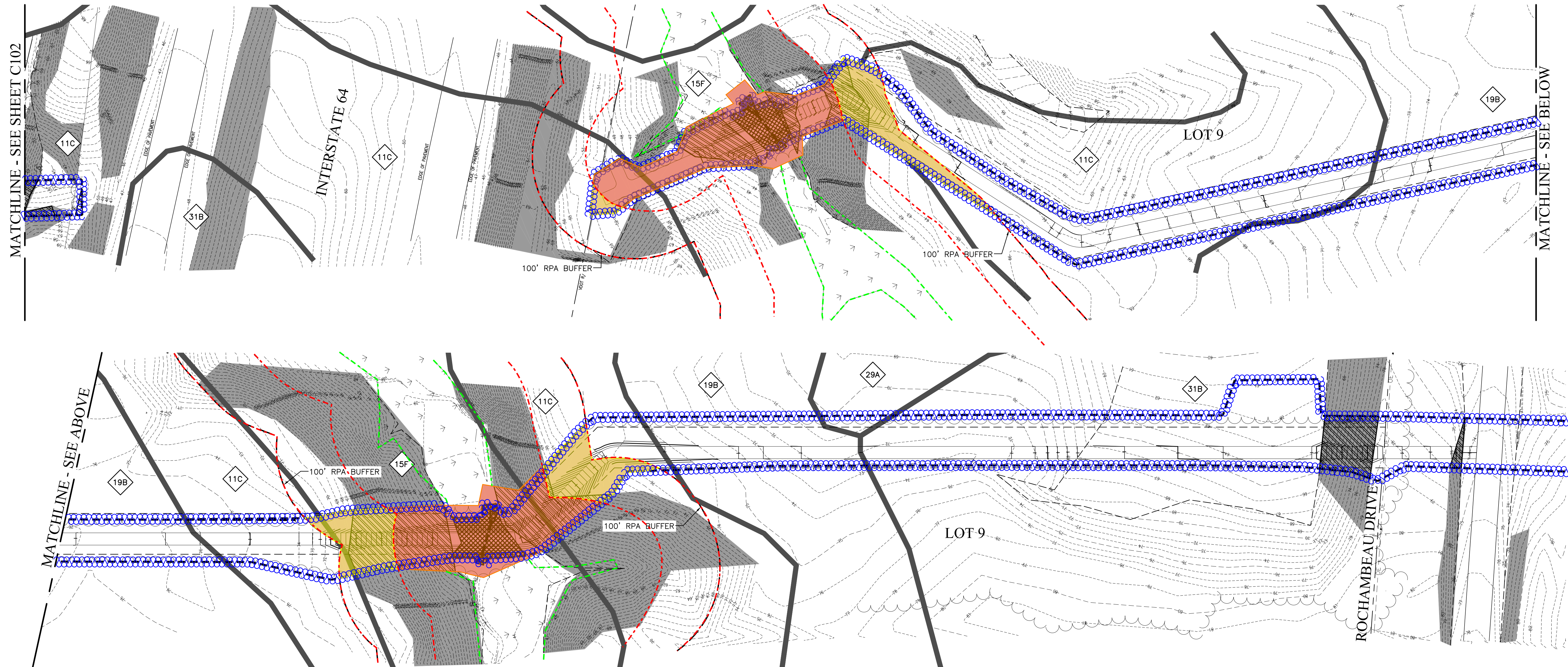


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 www.landplanningsolutions.com



**ENVIRONMENTAL INVENTORY IMPACTS**

TIDAL WETLANDS:	NONE ON SITE
TIDAL SHORES:	NONE ON SITE
NON-TIDAL WETLANDS:	0.09 AC IMPACTED
100' RPA BUFFER:	1.08 AC IMPACTED
FULLY-HYDRIC SOILS (100%):	0 AC IMPACTED
25% SLOPES OR GREATER:	0.44 AC IMPACTED

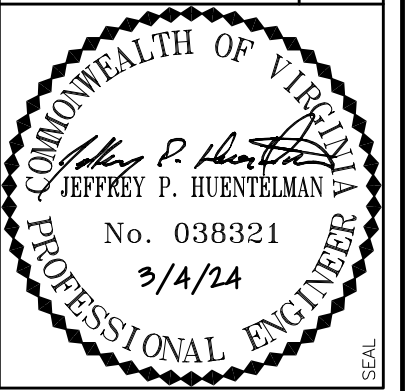


No.	DATE	REVISION

PROJECT No:	RDG073
DATE:	12/JAN/24
DES.:	JMB
DR.:	RJR
CKD.:	JPH

**STONEHOUSE WATER LINE IMPROVEMENTS**  
 MT LAUREL ROAD  
 JAMES CITY COUNTY, VIRGINIA

**ENVIRONMENTAL INVENTORY**



SHEET No.  
**C103**

## Adjacent Property Owner Mailing List for Case Number: CBPA-24-0008

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>
1310100008K	BRADBY, LESLEY L	3706 ROCHAMBEAU DR	WILLIAMSBURG	VA
1310100008B	CARROLL, GUY R	100 SAND HILL RD	WILLIAMSBURG	VA
1310100007	COLLINS, BRENDAN J & JAMES RICHARD JR	106 SAND HILL RD	WILLIAMSBURG	VA
1310100008J	CURRIER, JUSTIN T & REBECCA	3702 ROCHAMBEAU DR	WILLIAMSBURG	VA
1310100008C	DAVIS, TIMOTHY W &	98 SAND HILL RD	WILLIAMSBURG	VA
	Jeff Huentelman Land Planning Solutions	1403 Greenbrier Parkway, Ste 205	Chesapeake	VA
1310100008	JONES, DEANDREW L	7272 PEYTON RANDOLPH LN	NEW KENT	VA
1310100008A	MCP STONEHOUSE LLC	40 W 57TH ST ~STE 1420	NEW YORK	NY
1310100005	RAKES, MARLA M	118 SAND HILL RD	WILLIAMSBURG	VA
1310100006	VARBONCOEUR, EMILY E & SHANER, PATRICK	110 SAND HILL RD	WILLIAMSBURG	VA



# Adjacent Property Owner Mailing List for Case Number: CBPA-24-0008

<b>Zip Code</b>
23188-6616
23188-6606
23188-6606
23188-6616
23188-6600
23320
23124-2772
10019-4001
23188-6606
23188-9331



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
jamescitycountyva.gov

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-24-0008  
3820 Rochambeau Drive  
Installation of watermain,  
associated grading

March 20, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, for encroachments into the Resource Protection Area buffer for the installation of a watermain and associated grading. The project is located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-24-0017. 196 The Maine  
Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

---

**EXISTING SITE DATA AND INFORMATION**

Applicants: Ms. Carolyn Hill and Ms. Camilla Buchanan

Agent: Mr. Joseph Krallinger, The Structures Group, Inc.

Location: 196 The Maine

Parcel Identification No.: 4540200071

Parcel: Lot 71, Section 3, First Colony

Lot Size: 0.59 acres

Area of Lot in Resource Protection Area (RPA): 0.21 acres (34%)

Watershed: James River (JL30)

Floodplain: Zone VE - Base flood elevation 15 feet mean sea level

Proposed Activity: Removal of the existing timber retaining wall and replacement with a new concrete segmental block retaining wall

Impervious Cover: 1,529 square feet

RPA Encroachment: 26 square feet, landward 50-foot RPA

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Joseph Krallinger, The Structures Group, Inc., has applied for a Chesapeake Bay Exception on behalf of Ms. Carolyn Hill and Ms. Camilla Buchanan for encroachments into the RPA buffer for the removal of the existing timber retaining wall and replacement with a new concrete segmental block retaining wall located at 196 The Maine within the First Colony subdivision and the James River watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 4540200071. The parcel was platted in 1963, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990. The RPA affected this lot with the 2004 revisions to the Chesapeake Bay Preservation Ordinance.

The total lot size of this property is 0.59 acres, of which 34% is located within the RPA. The applicants are proposing to remove the existing timber retaining wall in the RPA and replace it with a new 26-foot concrete segmental block retaining wall. A previous exception for an addition to the existing house was approved under CBPA-23-0081 on August 9, 2023. The existing retaining wall is showing early signs of failure and has resulted in the need for its replacement. Total impacts to the RPA associated with this proposal equate to 26 square feet of impacts to the landward 50-foot RPA. Required mitigation for this amount of impervious impacts equals two shrubs. The applicants have submitted a mitigation plan equaling eight shrubs and two understory trees, satisfying the requirements for both the previous exception and this case.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the removal of the existing timber retaining wall and replacement with a new concrete segmental block retaining wall. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the proposed work is accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve this request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plan equaling two shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

RB/ap  
CBPA24-17\_196TheMaine

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-24-0017. 196 THE MAINE

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn Hill and Ms. Camilla Buchanan (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 196 The Maine (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 4540200071, as set forth in the application CBPA-24-0017 for the purpose of removing the existing timber retaining wall and replacement with a new concrete segmental block retaining wall; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0017, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plan equaling two shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-17\_196TheMaineApp-res

**RESOLUTION**

CASE NO. CBPA-24-0017. 196 THE MAINE

JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn Hill and Ms. Camilla Buchanan (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 196 The Maine (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 4540200071, as set forth in the application CBPA-24-0017 for the purpose of removing the existing timber retaining wall and replacement with a new concrete segmental block retaining wall; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0017.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-17\_196TheMaineDny-res



# EROSION & SEDIMENT CONTROL NOTES

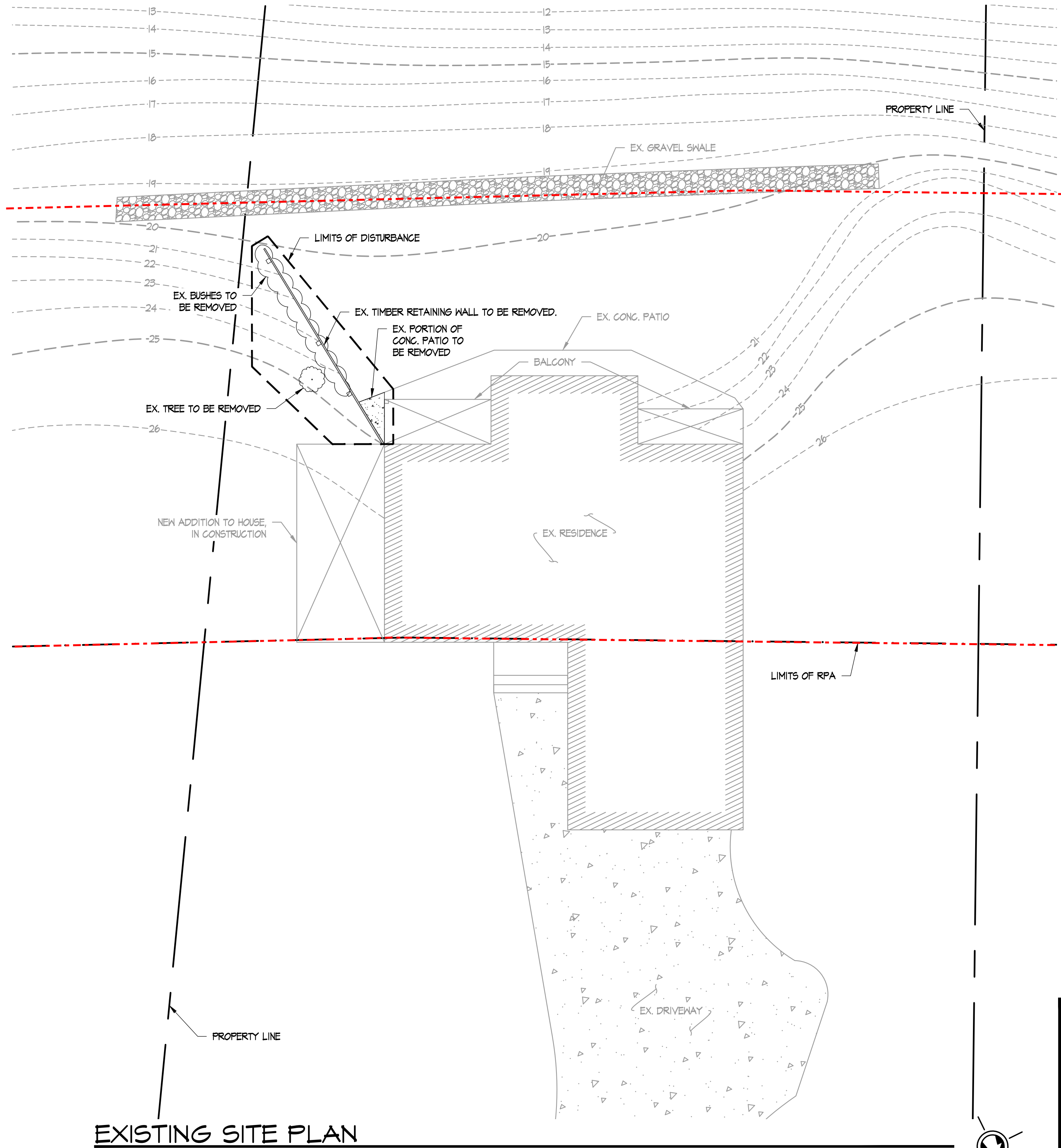
## GENERAL:

- THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
- THIS SITE IS LOCATED WITHIN THE CHESAPEAKE BAY WATERSHED. THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
- ELEVATIONS SHOWN ARE APPROXIMATE, AND ARE BASED ON TOPOGRAPHIC MAP PROVIDED BY THE JAMES CITY COUNTY GEOGRAPHICAL INFORMATION SYSTEM (GIS).
- THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
- A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
- ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDING TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-1 (LITE MESH).

## JAMES CITY COUNTY STANDARD STORMWATER POLLUTION PREVENTION PLAN NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR PLAN OF DEVELOPMENT PROJECTS IN JAMES CITY COUNTY, VIRGINIA. COMPONENTS OF A SWPPP MAY INCLUDE AS APPLICABLE, A SITE EROSION AND SEDIMENT CONTROL (E45C) PLAN, A SITE STORMWATER MANAGEMENT (SWM) PLAN, AND A SITE POLLUTION PREVENTION PLAN (PPP). THE COUNTY'S DIVISION OF ENGINEERING AND RESOURCE PROTECTION IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESC/P) AUTHORITY AND VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) AUTHORITY.

- ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (E45C) LAW AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS (VSMP), THE VIRGINIA BMP CLEARINGHOUSE WEBSITE, STATE EROSION AND SEDIMENT CONTROL, AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESC/P AND VSMP AUTHORITY SHALL APPLY TO THE PROJECT.
- MINIMUM STANDARDS NO. 1 THROUGH NO. 19 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840 ET SEQ. SHALL APPLY TO THE PROJECT.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VPDES PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 800, THE VIRGINIA STORMWATER MANAGEMENT PROGRAM REGULATIONS CHAPTER 810, AND IN ACCORDANCE WITH CURRENT REQUIREMENTS OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP), THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, CHAPTER 8 OF THE COUNTY CODE AND THE LOCAL VESC/PVSMP AUTHORITY.
- THE OWNER, APPLICANT, OPERATOR OR PERMITTEE SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE OF COMPETENCE WHO WILL BE RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY PRIOR TO ENGAGING IN THE LAND DISTURBING ACTIVITY. THIS WILL BE NECESSARY PRIOR TO ISSUANCE OF A LOCAL LAND DISTURBING AND/OR STORMWATER CONSTRUCTION PERMIT FOR THE PROJECT. THE RLD IS REQUIRED TO ATTEND THE PRECONSTRUCTION CONFERENCE FOR THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT MISS UTILITY (DIAL 811 IN VA OR 1-800-552-1001) PRIOR TO ANY UTILITY OR SITE WORK EXCAVATIONS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLANNED, DESIGNED, IMPLEMENTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). THE CONTRACTOR SHALL MAINTAIN, INSPECT, AND REPAIR ALL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED THROUGHOUT THE LIFE OF THE PROJECT TO ENSURE CONTINUED ACCEPTABLE PERFORMANCE.
- A PRECONSTRUCTION CONFERENCE (MEETING) SHALL BE HELD ON SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESC/PVSMP AUTHORITY, THE OWNER/APPLICANT/OPERATOR/PERMITTEE, THE RESPONSIBLE LAND-DISTURBER (RLD), AND THE CONTRACTOR/ENGINEER, AND OTHER RESPONSIBLE AGENCIES AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OWNER, APPLICANT, OPERATOR OR PERMITTEE IS REQUIRED TO COORDINATE SCHEDULING OF THE PRECONSTRUCTION CONFERENCE BETWEEN ALL APPLICABLE PARTIES. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION AND A REVISED POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF APPLICABLE, TO THE LOCAL VESC/PVSMP AUTHORITY FOR REVIEW AND APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- A POLLUTION PREVENTION PLAN (P2 PLAN OR PPP), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO: MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER AND OTHER WASH WATERS; MINIMIZE THE EXPOSURE OF ALL MATERIALS ON THE SITE (SUCH AS BUILDING MATERIALS AND PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, ETC.) TO PRECIPITATION AND STORMWATER; MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPILLS AND LEAKS; IMPLEMENT CHEMICAL SPILL AND LEAK PREVENTION AND RESPONSE PROCEDURES; AND INCLUDE EFFECTIVE BEST MANAGEMENT PRACTICES TO PROHIBIT THE DISCHARGE OF WASTEWATER FROM CONCRETE WASHOUT AREAS, DISCHARGE OF WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; DISCHARGE OF FUELS, OILS, OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE ACTIVITIES; AND THE DISCHARGE OF SOAPS AND SOLVENTS USED FOR VEHICLE AND EQUIPMENT WASHING. THIS PLAN SHALL BE AVAILABLE ON-SITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESC/PVSMP AUTHORITY WHEN REQUESTED.
- THE OWNER, APPLICANT, OPERATOR, OR PERMITTEE IS RESPONSIBLE FOR ALL OPERATOR SELF-INSPECTIONS AS REQUIRED IN THE POLLUTION PREVENTION PLAN (P2 PLAN OR PPP) OR AS REQUIRED AS PART OF A DEVELOPED STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THESE INSPECTIONS SHALL BE MADE AVAILABLE, UPON REQUEST, BY THE LOCAL VESC/PVSMP AUTHORITY.
- ALL PERIMETER EROSION AND SEDIMENT CONTROL (E45C) MEASURES SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE ACTIVITY TAKES PLACE.
- ADDITIONAL SAFETY FENCE OR DUST CONTROL MEASURES, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS. 3.01 AND 3.34 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REQUIRED TO BE IMPLEMENTED ON THE SITE IN ADDITION TO THAT SHOWN ON THE APPROVED PLAN AND SPECIFICATIONS IN ORDER TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL.



## EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

## STATISTICAL INFORMATION

ZONE:	RI LIMITED RESIDENTIAL		
PARCEL ID NO.:	4540200071		
OWNER:	HILL, G DEBRA TRUSTEE & BUCHANAN, CA		
ADDRESS:	196 THE MAINE WILLIAMSBURG, VA 231851423		
SITE DESCRIPTION:	L-T1 S-3 FIRST COLONY		
PROJECT AREA:	216 SQ. FT (0.175 ACRES)		
IMPERVIOUS COVER FOR PROJECT AREA:			
	PRE-CONSTRUCTION	POST-CONSTRUCTION	NET CHANGE
GREEN AREA	196.4 SQ. FT (91%)	184 SQ. FT (85%)	12.4 SQ. FT (6%)
IMPERVIOUS AREA	19.6 SQ. FT (9%)	32 SQ. FT (15%)	-12.4 SQ. FT (6%)
TOTAL AREA	216 SQ. FT (100%)	216 SQ. FT (100%)	0 SQ. FT (0%)

ABBREVIATIONS			
APPROX. C.	APPROXIMATE CENTERLINE	MAX. MIN.	MAXIMUM MINIMUM
CLR	CLEAR	LN	LANDSCAPE WALL ON CENTER
CONC.	CONCRETE	O.C.	ON CENTER
CONN.	CONNECTION	REINF.	REINFORCEMENT
CONT.	CONTINUOUS	STA.	STATION
CJ	CONTROL JOINT	TYP.	TYPICAL
DIA.	DIAMETER	W	WITH
ELEV.	ELEVATION	V.I.F.	VERIFY IN FIELD
EQ.	EQUAL	VERT.	VERTICAL
EX.	EXISTING	W/F	WELDED WIRE FABRIC
HORIZ.	HORIZONTAL		

## PROJECT DESCRIPTION

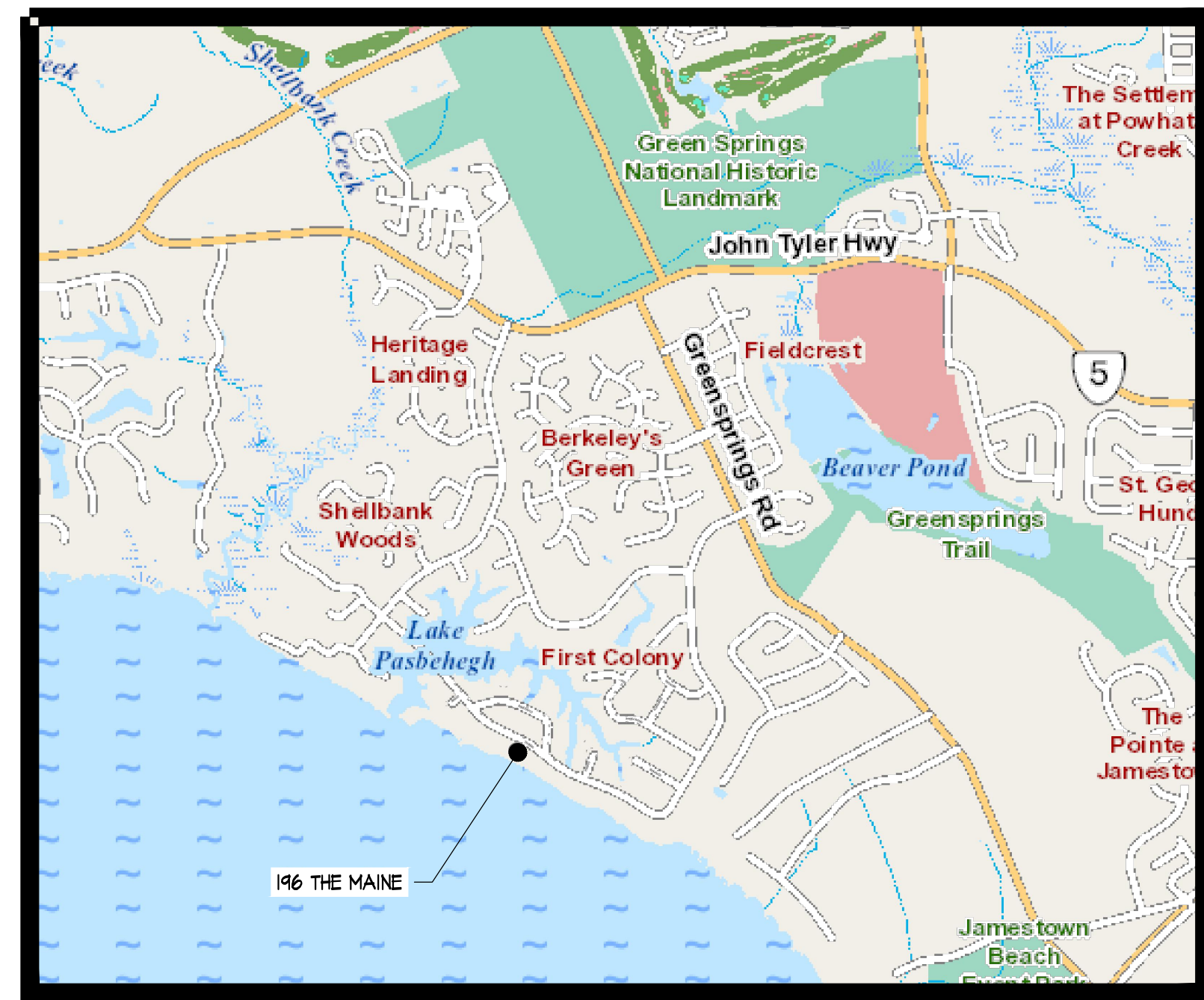
THIS PROJECT INCLUDES THE REMOVAL OF AN EXISTING TIMBER RETAINING WALL AND THE CONSTRUCTION OF A NEW SEGMENTAL BLOCK RETAINING WALL.

## SEQUENCE OF CONSTRUCTION

- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED.
- REMOVE WOOD RETAINING WALLS, SHRUBS & TREES AS INDICATED ON PLANS.
- CONSTRUCT SEGMENTAL BLOCK RETAINING WALLS & GEO-GRID REINFORCING, BACKFILL MATERIAL TO BE COMPACTED TO 45% STANDARD PENDENSITY IN MAXIMUM 8' LIFTS
- CONSTRUCT PEDESTAL ASSEMBLY
- STABILIZE ALL EXPOSED EARTH WITH SEED & STRAW
- REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.

## JAMES CITY COUNTY STANDARD STORMWATER POLLUTION PREVENTION PLAN NOTES (CONT.):

- EROSION AND SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT OR FOLLOWING TIME OF CONSTRUCTION TO ENSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED, TO ENSURE ADEQUATE PROTECTION OF THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC, OR IF SITE CONDITIONS CHANGE, BECOME APPARENT OR ALTER SIGNIFICANTLY FOLLOWING THE DATE OF PLAN APPROVAL. LOCAL VESC/PVSMP AUTHORITY APPROVAL SHALL BE REQUIRED FOR ANY DEVIATION OF EROSION AND SEDIMENT CONTROL MEASURES FROM THE APPROVED PLAN.
- OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE LOCAL VESC/PVSMP AUTHORITY PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.
- TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
- CULVERT AND STORM DRAIN INLET PROTECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF MINIMUM STANDARDS & SPECS. 3.07 AND 3.08 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), MAY BE REMOVED AT THE DISCRETION OF THE ASSIGNED LOCAL VESC/PVSMP AUTHORITY COMPLIANCE INSPECTOR, SHOULD PLACEMENT OF THE MEASURE RESULT IN EXCESSIVE ROAD FLOODING, TRAFFIC OR SAFETY HAZARD, OR RESULT IN THE REDIRECTION OF DRAINAGE ONTO OR TOWARD EXISTING LOTS, HOMES, DRIVEWAYS, GARAGES OR OTHER STRUCTURES. DECISIONS SHALL BE MADE BY THE VESC/PVSMP AUTHORITY ON A CASE-BY-CASE BASIS BASED ON FIELD SITUATIONS ENCOUNTERED.
- DRAINAGE FACILITIES SHALL BE INSTALLED AND FUNCTIONAL WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT.
- NO MORE THAN 300 FEET OF TRENCH MAY BE OPEN AT ONE TIME FOR UNDERGROUND UTILITY LINES, INCLUDING STORM WATER CONVEYANCES. ALL OTHER PROVISIONS OF MINIMUM STANDARD NO. 16 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS APPLY.
- PERMANENT OR TEMPORARY STABILIZATION OF DISTURBED SOIL AREAS SHALL COMPLY WITH MINIMUM STANDARD # 1 AND # 3 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS.
- THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION ON THE APPROVED PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED, IN ACCORDANCE WITH MINIMUM STANDARD # 1 AND # 3 FROM THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, MINIMUM STANDARDS & SPECS. 3.24 THROUGH 3.31 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH), AND ANY TECHNICAL BULLETINS ISSUED BY THE STATE WATER CONTROL BOARD OR VIRGINIA DEQ, AS APPLICABLE. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL OUTDOOR WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
- IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING IN ACCORDANCE WITH MINIMUM STANDARD # SPEC. 3.35 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. REMOVAL SHALL NOT OCCUR WITHOUT AUTHORIZATION BY THE LOCAL VESC/PVSMP AUTHORITY. DISTURBANCES ASSOCIATED WITH THE REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY STABILIZED.
- NO SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE REMOVED UNTIL A) AT LEAST 75 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN SOLD TO A THIRD PARTY FOR THE CONSTRUCTION OF HOMES (UNRELATED TO THE DEVELOPER) AND/OR B) 60 PERCENT OF THE SINGLE-FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN ARE COMPLETED AND STABILIZED. A BULK SALE OF THE LOTS TO ANOTHER BUILDER DOES NOT SATISFY THIS PROVISION. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL NOT BE REMOVED WITHOUT AUTHORIZATION OF THE LOCAL VESC/PVSMP AUTHORITY.
- DESIGN AND CONSTRUCTION OF PRIVATE-TYPE STORM DRAINAGE SYSTEMS, OUTSIDE VDOT RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY, ENGINEERING AND RESOURCE PROTECTION DIVISION, STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED), GENERAL DESIGN AND CONSTRUCTION GUIDELINES (IE. COUNTY DRAINAGE STANDARDS).
- RECORD DRAWINGS (ASBUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL STORMWATER FACILITIES INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. THE CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS DEVELOPED BY THE VSMP AUTHORITY. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY'S CHAPTER 8 EROSION AND SEDIMENT CONTROL AND VSMP ORDINANCE AND THE LOCAL VESC/PVSMP AUTHORITY.
- ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESC/PVSMP AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITTEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.



## VICINITY MAP

SCALE: 1/2" = 300'

0 150 300 600

Reviewed by: MAM  
Drawn by: DAS  
Project #: VA24004-DES  
Date: 1/8/2024

**PRELIMINARY NOT FOR CONSTRUCTION**  
DATE: 1/31/24

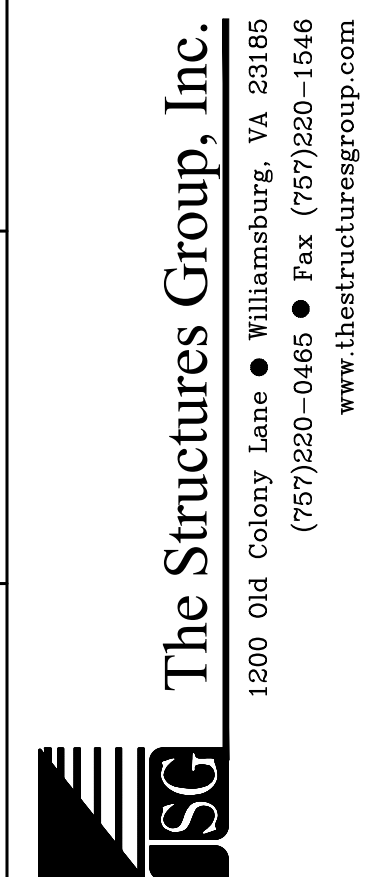
EROSION & SEDIMENT CONTROL NOTES, VICINITY MAP, PROJECT DESCRIPTION, STATISTICAL INFORMATION, & EXISTING SITE PLAN

RETAILING WALL 196 THE MAINE

VIRGINIA

Williamsburg

1 of 2



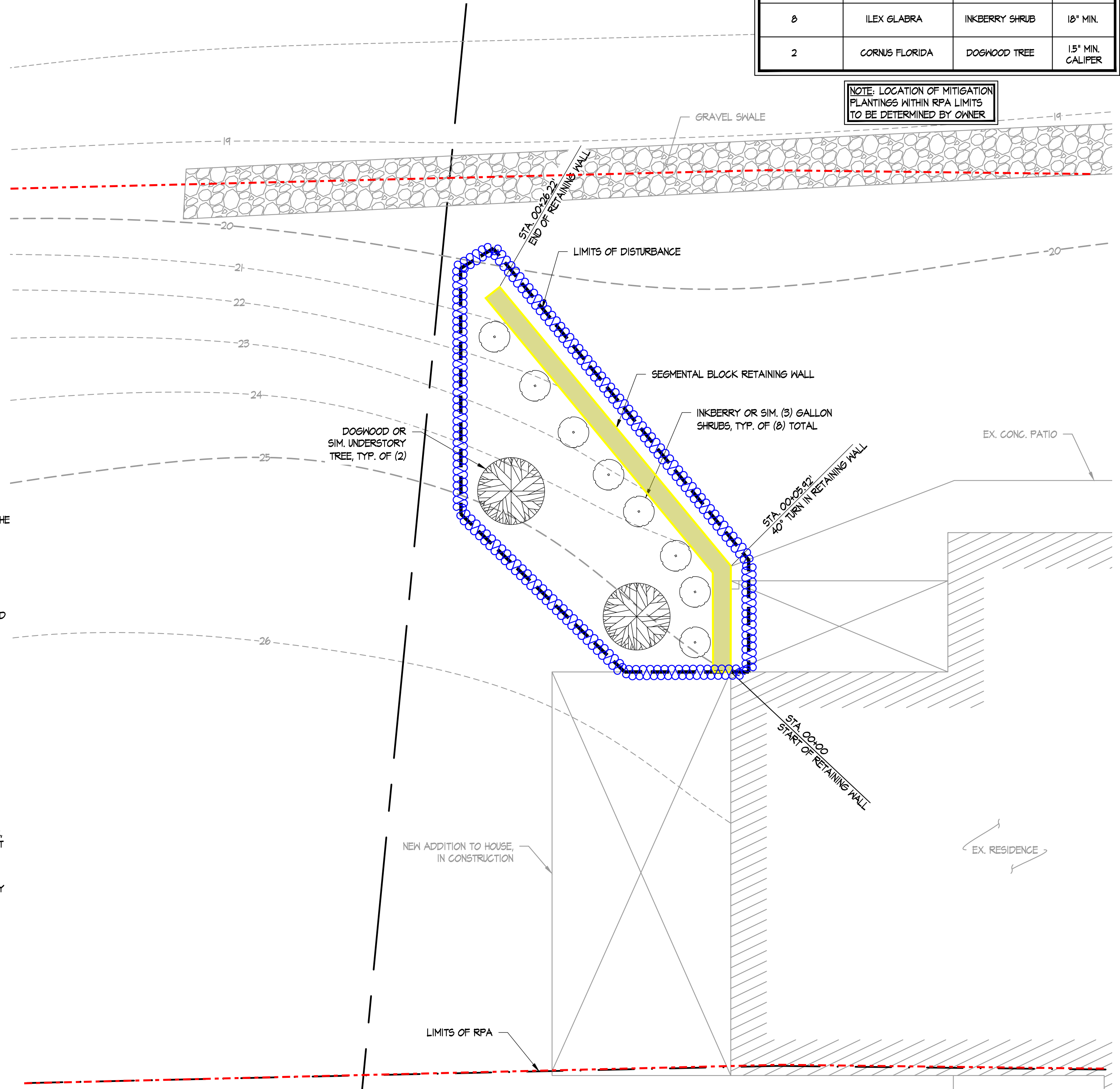
# GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
    - THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUBEC), 2018 EDITION
    - THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION AS AMENDED BY THE VUBEC.
    - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
  - DESIGN LOADS:
 

A. BUILDING CLASSIFICATION CATEGORY	5 PSF
B. GROUND SNOW P <sub>g</sub>	05 MPH
C. ULTIMATE WIND SPEED	D
D. SOIL UNIT WEIGHT	120 PCF
E. LIVE LOADS:	UNIFORM 50 PSF
  - THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK.
  - CONTRACTOR SHALL NOTIFY "MISS UTILITY OF VIRGINIA" PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR COSTS ASSOCIATED WITH DAMAGE AND REPAIR OF ANY LINES MARKED BY MISS UTILITY OF VIRGINIA.
  - PROVIDE TEMPORARY BRACING AS REQUIRED TO RESIST SOIL PRESSURE AND OTHER LOADS DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS, SPRINKLERS, TREES AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COSTS TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION.
- LEVELING PAD:**
- LEVELING PAD FOR SEGMENTAL BLOCK RETAINING WALLS SHALL BE A MINIMUM OF 8" THICK COMPACTED NO. 21A CRUSHED STONE WRAPPED IN FILTER CLOTH. ALTERNATELY, 8" THICK 350 PSI FLOWABLE FILL MAY BE UTILIZED FOR THE LEVELING PAD.
  - ALL FLOWABLE FILL SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
  - ALL FLOWABLE FILL SHALL HAVE A SLUMP OF 7" ± 1" UNLESS NOTED OTHERWISE.
  - ALL FLOWABLE FILL TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 11 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
  - ALL FLOWABLE FILL TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 12 OF ACI 305R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.
- RETAINING WALL:**
- ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY JAMES CITY COUNTY GIS.
  - EXISTING SITE SOILS ARE PEANICK SILT LOAM AND EMPORIA COMPLEX WITH MODERATE TO HIGH SHRINK-SWELL POTENTIAL BASED ON THE USDA SOIL SURVEY.
  - LEVELING PAD WAS DESIGNED TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE AND A MINIMUM OF 1'-6" BELOW THE EXISTING GRADE UNLESS NOTED OTHERWISE WITH A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF UNLESS NOTED OTHERWISE.
  - BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL 5M OR BETTER, UNLESS NOTED TO BE STONE. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 25 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE 5M OR BETTER WITH MINIMUM FRICTION ANGLE OF 30 DEGREES.
  - CHIMNEY DRAIN ADJACENT TO MODULAR WALL UNITS AND MATERIAL USED TO FILL MODULAR WALL UNITS SHALL BE VIBRATORY PLATE COMPACTED NO. 51 STONE, OR A WELL GRADED COMPACTIBLE NO. 21A STONE, 1/4" TO 1 1/2" DIAMETER WITH NO MORE THAN 10% PASSING THE #200 SIEVE.
  - PLACE A 4" DIAMETER PERFORATED PVC DRAIN PIPE WRAPPED IN FILTER CLOTH ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALL. PROVIDE DRAINAGE TO DAYLIGHT.
  - ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALL, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALL, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD.
  - ALL GEOSGRID REINFORCEMENT TO BE MIRAGRID 3XT SERIES MANUFACTURED BY TENCATE GEOSYNTHETICS. LENGTH OF GEOSGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOSGRID SHALL BE PULLED TAUGHT PRIOR TO INFILLING BACKFILL.
  - SEGMENTAL RETAINING WALL UNITS SHALL BE DIAMOND PRO MANUFACTURED BY ANCHOR WALL SYSTEMS, LLC.
  - CONTRACTOR SHALL FOLLOW INSTRUCTIONS PROVIDED BY BLOCK MANUFACTURER REGARDING THE CONSTRUCTION OF THE MODULAR CONCRETE UNIT WALLS. ANY INSTRUCTIONS THAT DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
  - PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE. GUARD RAILING, FENCING, AND/OR LANDSCAPE SHRUBBERY SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE.
  - RETAINING WALL MINIMUM DESIGN SAFETY FACTORS:
    - OVERTURNING - 2.0
    - SLIDING - 1.5
    - GLOBAL STABILITY - 1.3

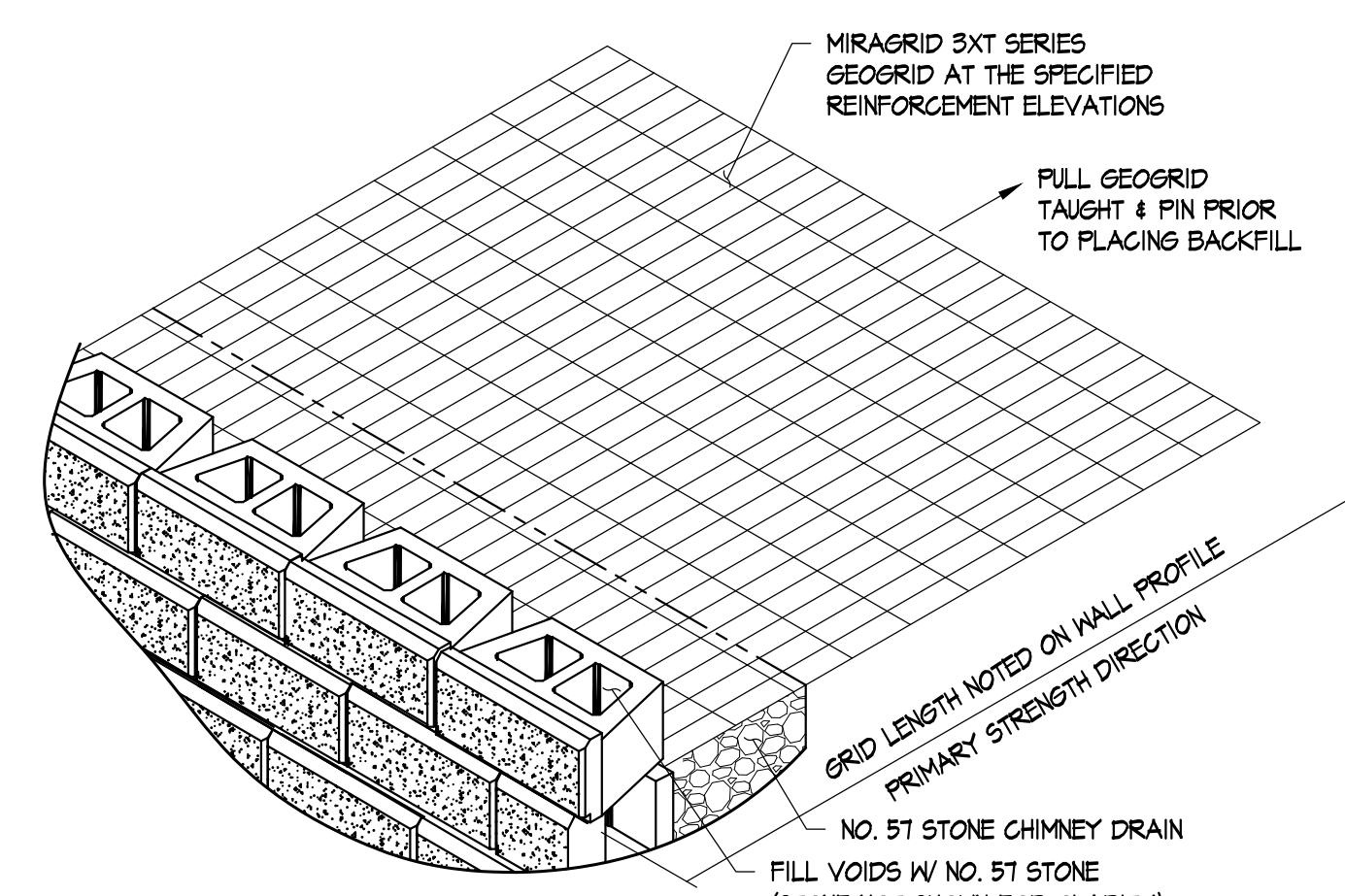
PLANT SCHEDULE			
QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
8	ILEX GLABRA	INKBERRY SHRUB	18" MIN.
2	CORNUS FLORIDA	DOGWOOD TREE	15" MIN. CALIPER

NOTE: LOCATION OF MITIGATION PLANTINGS WITHIN RPA LIMITS TO BE DETERMINED BY OWNER



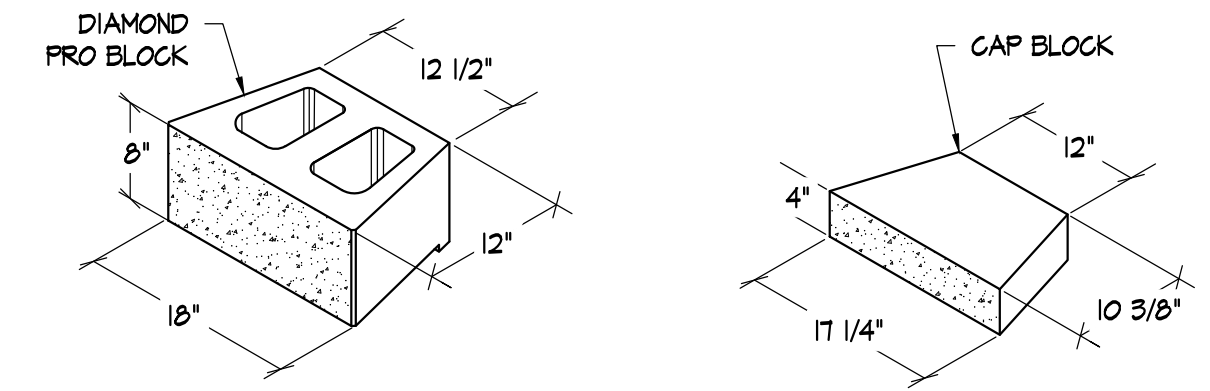
## RETAINING WALL PLAN

SCALE: 1/4" = 1'-0"



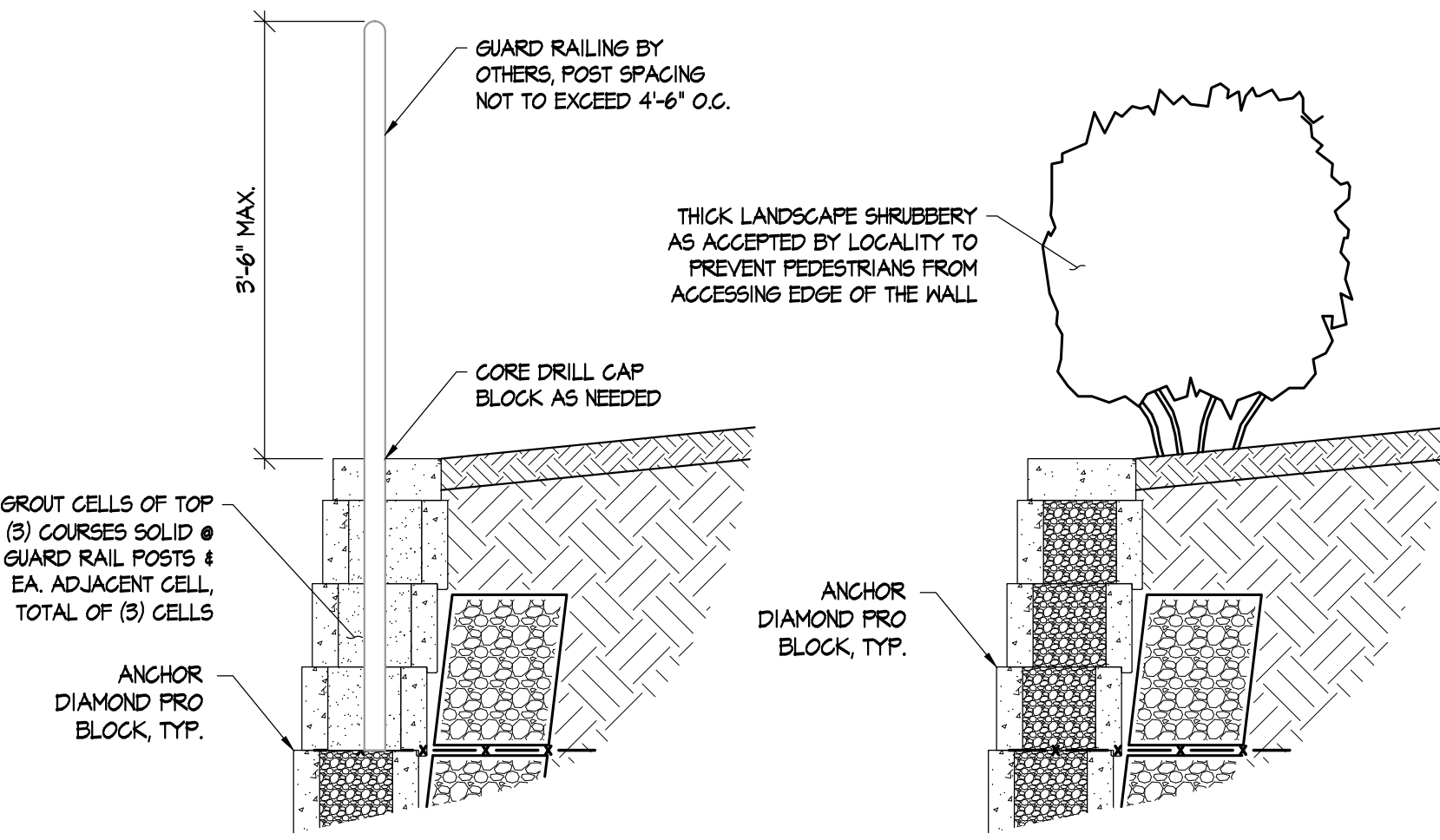
### DETAIL

SCALE: 3/4" = 1'-0"



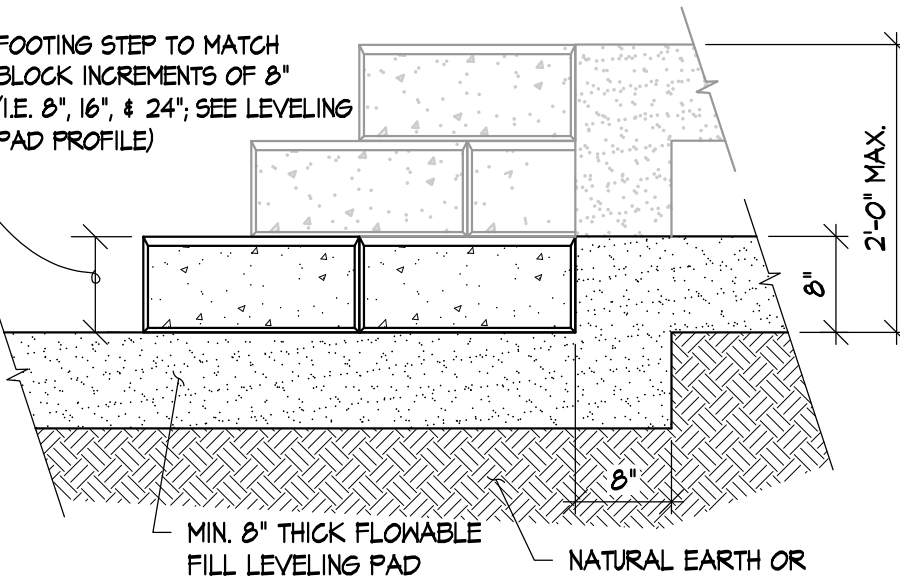
### DETAIL

SCALE: NONE



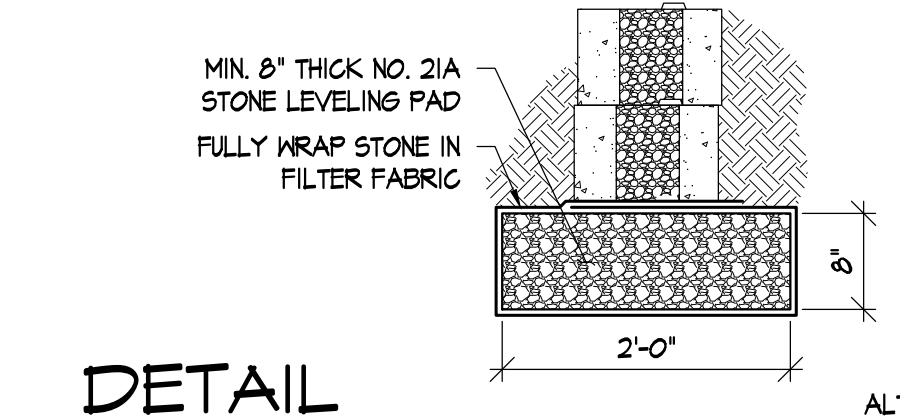
### DETAIL

SCALE: 3/4" = 1'-0"



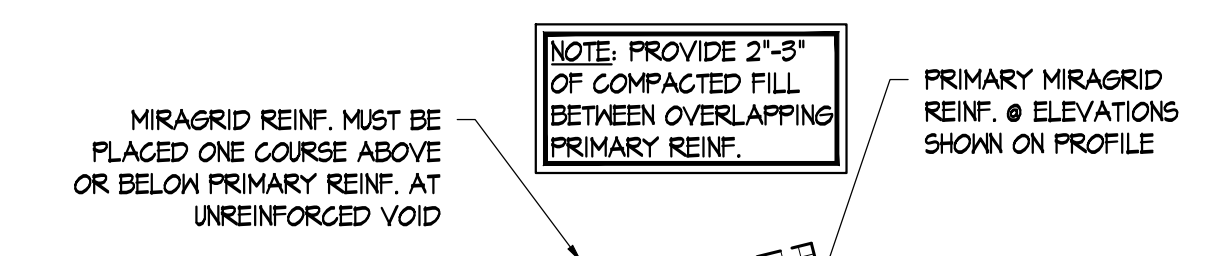
### DETAIL

SCALE: 3/4" = 1'-0"



### DETAIL

SCALE: 3/4" = 1'-0"



### DETAIL

SCALE: 3/4" = 1'-0"

Sheet: **S2** | Project #: VA24004-DES | Date: 1/31/2024 | Drawn by: DAS | Reviewed by: MAM | Retaining Wall Plan, General Notes, Block Details | **PRELIMINARY NOT FOR CONSTRUCTION** | DATE: 1/31/24 | VIRGINIA | 2 of 2 | WILLIAMSBURG

The Structures Group, Inc.  
 1200 Old Colony Lane • Williamsburg, VA 23185  
 (757) 220-0465 • Fax: (757) 220-1546  
 www.thestructuresgroup.com



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
jamescitycountyva.gov

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-24-0017  
196 The Maine  
Replacement of retaining wall

March 20, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, for encroachments into the Resource Protection Area buffer for the replacement of a retaining wall. The project is located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov

## Adjacent Property Owner Mailing List for Case Number: CBPA-24-0017

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
4540200092	ANDRESKY, NIKOLAI L & WALLACE,	197 THE MAINE	WILLIAMSBURG	VA	23185-1441
4540200071	HILL, C DEBRA TRUSTEE & BUCHANAN, C	196 THE MAINE	WILLIAMSBURG	VA	23185-1423
4540200070	HOBBS, DAVID E & KROENLEIN,	20 BAYBERRY TRL	SOUTH WINDSOR	CT	60743-3809
	Mr. Joseph Krallinger The Structures Group	1200 Old Colony Lane	Williamsburg	VA	23185
4540200072	REILLY, PAUL DAVID TRUSTEE & KAREN S	198 THE MAINE	WILLIAMSBURG	VA	23185-1423
4540200093	REITZ, DANIEL LEE & MEGHAN	195 THE MAINE	WILLIAMSBURG	VA	23185-1441



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-24-0030. 136 John Wickham  
Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. Scott and Ms. Janet Kruger

Agent: Mr. David Soto, The Structures Group, Inc.

Location: 136 John Wickham

Parcel Identification No.: 5130200009

Parcel: Lot 9, Wickham’s Grant

Lot Size: 2.01 acres

Area of Lot in Resource Protection Area (RPA): 1.63 acres (81%)

Watershed: Skiffes Creek (JL35)

Floodplain: None

Proposed Activity: Construction of a retaining wall

Impervious Cover: 76 square feet

RPA Encroachment: 27 square feet, landward 50-foot RPA  
49 square feet, seaward 50-foot RPA

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. David Soto, The Structures Group, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. Scott and Ms. Janet Kruger for encroachments into the RPA buffer for the construction of a retaining wall located at 136 John Wickham within the Kingsmill subdivision and the Skiffes Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 5130200009. The parcel was platted in 1988, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 2.01 acres, of which 81% is located within the RPA. The applicants are proposing to construct a segmental block retaining wall to combat erosion on the property. Total impacts to the RPA associated with this proposal equate to 27 square feet of impacts within the landward 50-foot RPA and 49 square feet of impacts to the seaward 50-foot RPA for a total of 76 square feet of impervious impacts. Required mitigation for this amount of impervious impacts equals three shrubs. The applicants have provided a mitigation plan equal to two understory trees and seven shrubs, therefore satisfying County mitigation requirements.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a retaining wall. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a retaining wall is considered accessory in nature.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be minor for the proposed development. Staff recommends approval for this exception request and if the Board wishes to approve the request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plan equaling two understory trees and seven shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

RB/md  
CBPA24-30\_136JWkham

Attachments:

1. Resolution
2. Site Plan



## RESOLUTION

CASE NO. CBPA-24-0030. 136 JOHN WICKHAM

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 136 John Wickham (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 5130200009, as set forth in the application CBPA-24-0030 for the purpose of the constructing a retaining wall; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0030, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. The Applicants must submit a surety of \$500 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plan equaling two understory trees and seven shrubs; and
3. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
4. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-30\_136JWkhamApp-res

**RESOLUTION**

**CASE NO. CBPA-24-0030. 136 JOHN WICKHAM**

**JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION**

WHEREAS, Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 136 John Wickham (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 5130200009, as set forth in the application CBPA-24-0030 for the purpose of the constructing a retaining wall; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0030.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-30\_136JWkhamDny-res

# EROSION & SEDIMENT CONTROL NOTES

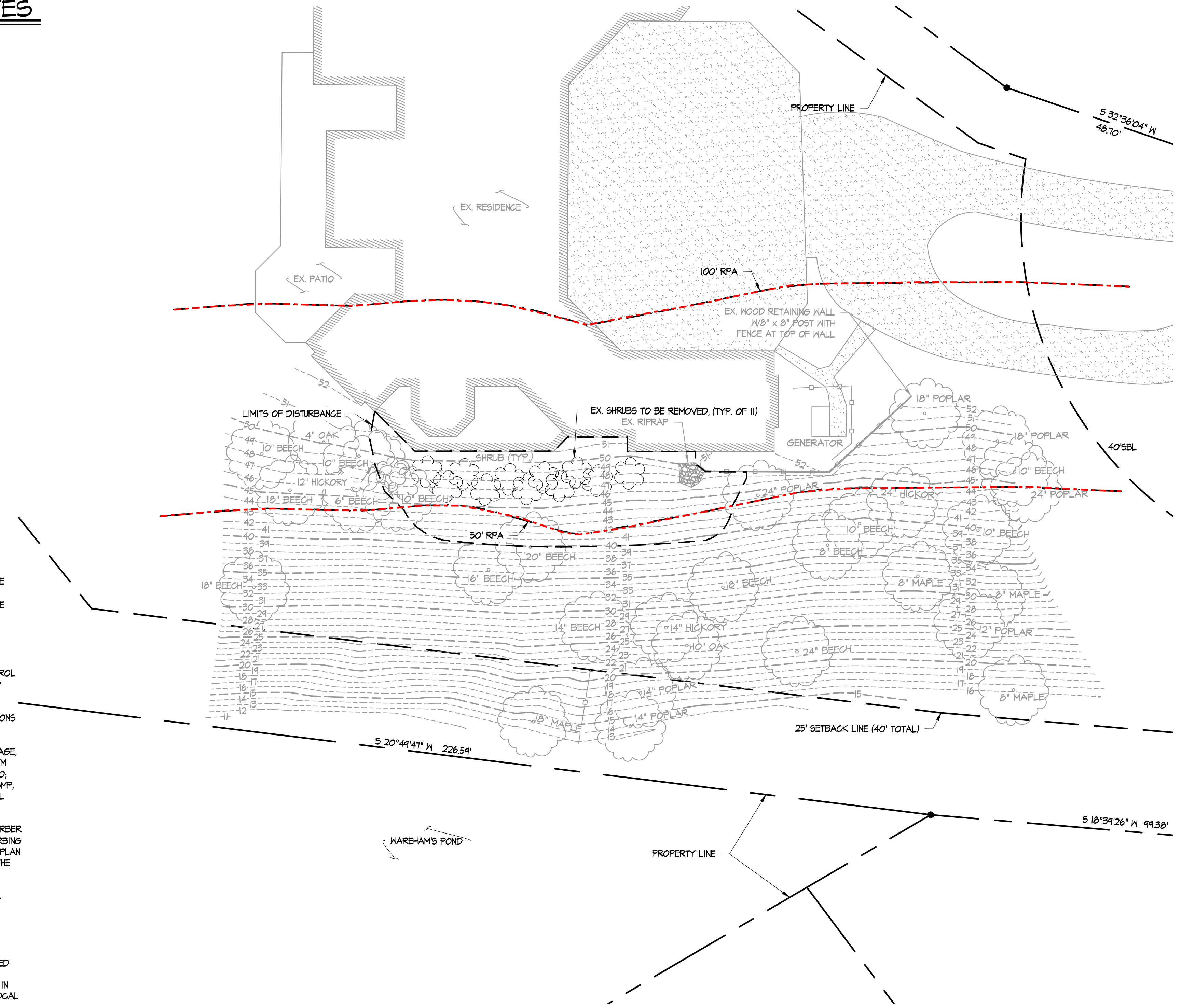
## GENERAL:

- THE PROFESSIONAL ENGINEER WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR THE PLAN REVIEW PHASE OF THIS PROJECT. ONCE THE PLANS ARE APPROVED, THE OWNER/GENERAL CONTRACTOR SHALL DESIGNATE THE "RESPONSIBLE LAND DISTURBER" AND PROVIDE THE COUNTY WITH THE NAME AND CERTIFICATION NO. OF THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT.
- THIS SITE IS LOCATED WITHIN THE THE CHESAPEAKE BAY WATERSHED. THE PROJECT AREA IS LOCATED WITHIN THE LIMITS OF THE CHESAPEAKE BAY PRESERVATION ACT RPA/RMA AREAS.
- ELEVATIONS SHOWN ARE APPROXIMATE, AND ARE BASED ON TOPOGRAPHIC MAP PROVIDED BY THE JAMES CITY COUNTY GEOGRAPHICAL INFORMATION SYSTEM (GIS).
- THE EXISTENCE AND LOCATION (HORIZONTAL AND VERTICAL) OF EXISTING UTILITIES ARE NOT GUARANTEED AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- THERE ARE NO ANTICIPATED OFFSITE LAND DISTURBING AREAS ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE.
- A LAND DISTURBING PERMIT IS NOT REQUIRED FOR SINGLE-FAMILY RESIDENCE PROJECTS DISTURBING LESS THAN 1 ACRE AND NOT PART OF LARGER COMMON PLAN OF DEVELOPMENT OR SALE, INCLUDING ADDITIONS OR MODIFICATIONS TO EXISTING SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURES. HOWEVER, LOCALITIES SUBJECT TO THE CHESAPEAKE BAY PRESERVATION ACT MAY REGULATE THESE SINGLE FAMILY RESIDENCES WHERE LAND DISTURBANCE EXCEEDS 2500 SQUARE FEET.
- ALL OBJECTIONABLE AND DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A STATE APPROVED FACILITY MEETING ALL REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. SEEDING SHALL BE DONE WITH THE MINIMUM CARE LAWN BLEND ACCORDING TO TABLE 3.32-D OF STANDARD AND SPECIFICATION 3.32, "PERMANENT SEEDING", OF THE VESCH. EROSION BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEED TO PROTECT THE SLOPES FROM RILL AND GULLY EROSION TO ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL STABILIZATION MATTING TO BE VESCH TYPICAL TREATMENT T-1 (LITE MESH).

## JAMES CITY COUNTY STANDARD STORMWATER NOTES:

THE FOLLOWING STANDARD COUNTY NOTES SHALL BECOME PART OF ANY APPROVED EROSION AND SEDIMENT CONTROL OR STORMWATER MANAGEMENT PLAN OF DEVELOPMENT PROJECT IN JAMES CITY COUNTY, VIRGINIA. THE COUNTY'S DIVISION OF STORMWATER AND RESOURCE PROTECTION (SRP) IS DESIGNATED BY CHAPTER 8 OF THE COUNTY CODE AS THE LOCAL VIRGINIA EROSION AND SEDIMENT CONTROL PROGRAM (VESCP) AUTHORITY AND THE LOCAL VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMF) AUTHORITY.

- ALL THE PROVISIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL (E45C) LAW AND REGULATIONS, THE VIRGINIA STORMWATER MANAGEMENT ACT AND REGULATIONS, THE VIRGINIA BEST MANAGEMENT PRACTICE (BMP) CLEARINGHOUSE WEBSITE, STATE E45C AND STORMWATER MANAGEMENT HANDBOOKS, AND ANY ASSOCIATED TECHNICAL BULLETINS AND GUIDANCE DOCUMENTS AS PUBLISHED BY THE STATE WATER CONTROL BOARD, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), AND THE LOCAL VESCP AND VSMF AUTHORITY SHALL APPLY TO THE PROJECT.
- MINIMUM STANDARDS NUMBERS 1 THROUGH 14 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS 9VAC25-840 SHALL APPLY TO THE PROJECT.
- THE OPERATOR SHALL BE RESPONSIBLE TO REGISTER FOR CONSTRUCTION GENERAL PERMIT (CGP) COVERAGE, AS APPLICABLE, IN ACCORDANCE WITH THE GENERAL VIRGINIA POLLUTANT DISCHARGE ELIMINATION SYSTEM (VPDES) PERMIT FOR DISCHARGE OF STORMWATER FROM CONSTRUCTION ACTIVITIES (VARIO) CHAPTER 880; THE VSMF REGULATIONS CHAPTER 870; AND IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE VSMF, THE STATE WATER CONTROL BOARD, THE VIRGINIA DEQ, CHAPTER 8 OF THE COUNTY CODE, AND THE LOCAL VESCP/VSMF AUTHORITY.
- THE OPERATOR SHALL PROVIDE THE NAME OF AN INDIVIDUAL HOLDING A VALID RESPONSIBLE LAND DISTURBER (RLD) CERTIFICATE ISSUED BY DEQ SIGNIFYING WHO IS RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY IN ACCORDANCE WITH THE APPROVED E45C PLAN. THE RLD MUST BE DESIGNATED ON THE E45C PLAN OR PERMIT AS A PREREQUISITE FOR ENGAGING IN LAND DISTURBANCE. THE RLD IS REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING FOR THE PROJECT.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD ON-SITE AND INCLUDE REPRESENTATIVES FROM THE LOCAL VESCP/VSMF AUTHORITY, THE OPERATOR, THE RLD, THE CONTRACTOR, ENGINEER, AND OTHER RESPONSIBLE AGENCIES, AS APPLICABLE, PRIOR TO AUTHORIZATION AND ISSUANCE OF A LOCAL LAND DISTURBING OR STORMWATER CONSTRUCTION PERMIT. THE OPERATOR IS REQUIRED TO COORDINATE SCHEDULING OF THE PRE-CONSTRUCTION MEETING WITH THE JAMES CITY COUNTY (JCC) SRP DIVISION.
- A POLLUTION PREVENTION PLAN (P2 PLAN), IF REQUIRED, SHALL BE DEVELOPED, IMPLEMENTED, AND UPDATED AS NECESSARY AND MUST DETAIL THE DESIGN, INSTALLATION, IMPLEMENTATION, AND MAINTENANCE OF EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS AS SPECIFIED IN 9VAC25-870-56. THIS PLAN SHALL BE AVAILABLE ON-SITE FOR REVIEW AT REASONABLE TIMES BY THE LOCAL VESCP/VSMF AUTHORITY WHEN REQUESTED.
- OFF-SITE AREAS SHALL BE APPROVED BY THE LOCAL VESCP/VSMF AUTHORITY PRIOR TO LAND DISTURBING ACTIVITY AT THE SEPARATE LOCATION. OFF-SITE AREAS SHALL BE INCLUDED AS PART OF THE PROPOSED LAND DISTURBING ACTIVITY OR COVERED BY A SEPARATE APPROVED E45C PLAN.
- TEMPORARY SOIL STOCKPILES SHALL COMPLY WITH THE PROVISIONS OF SECTION 24-46 OF THE COUNTY CODE.
- LOCAL VESCP/VSMF AUTHORITY WRITTEN APPROVAL SHALL BE REQUIRED PRIOR TO DEVIATIONS FROM THE APPROVED EROSION AND SEDIMENT MEASURES, SEQUENCE OF CONSTRUCTION, OR STORMWATER MANAGEMENT PLAN. SIGNIFICANT DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE THE SUBMITTAL OF AN AMENDED PLAN FOR REVIEW AND APPROVAL.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR. IRRIGATION, IF NECESSARY, SHALL COMPLY WITH ALL APPLICABLE SEASONAL WATER USE RESTRICTIONS OF THE JAMES CITY SERVICE AUTHORITY.
- FOR THE PURPOSES OF BOND REDUCTIONS OR RELEASES, FINAL STABILIZATION WILL BE DEFINED AS THE COMPLETION OF ALL SOIL DISTURBING ACTIVITIES AT THE SITE AND THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM (E.G., EVENLY DISTRIBUTED), MATURE ENOUGH TO SURVIVE, AND WILL INHIBIT EROSION.
- DESIGN AND CONSTRUCTION OF PRIVATE STORM DRAINAGE SYSTEMS, OUTSIDE OF ANY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) RIGHT-OF-WAY, SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE COUNTY'S STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED) GENERAL DESIGN AND CONSTRUCTION GUIDELINES.
- RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE REQUIRED FOR ALL APPLICABLE STORMWATER FACILITIES, INCLUDING STORMWATER MANAGEMENT/BMP FACILITIES AND STORM DRAINAGE CONVEYANCE SYSTEMS. RECORD DRAWINGS AND CONSTRUCTION CERTIFICATIONS MUST MEET ESTABLISHED PROGRAM REQUIREMENTS OF THE COUNTY CODE AND THE VESCP/VSMF AUTHORITY.
- ALL STORMWATER FACILITIES INCLUDING BMPs, STORM DRAINAGE PIPES, STORMWATER CONVEYANCES, INLETS, MANHOLES, OUTFALLS, AND ROADSIDE AND OTHER OPEN CHANNELS SHALL BE INSPECTED BY THE LOCAL VESCP/VSMF AUTHORITY, THE OWNER, AND THE APPLICANT/OPERATOR/PERMITEE DESIGNATED GEOTECHNICAL ENGINEER FOR THE PROJECT IN ACCORDANCE WITH THE ESTABLISHED COUNTY STORMWATER FACILITY INSPECTION PROGRAM REQUIREMENTS.
- THE FINAL PROJECT CERTIFICATION PROCESS SHALL INCLUDE AN INTERNAL CLOSED-CIRCUIT TELEVISION CAMERA (CCTV) POST INSTALLATION INSPECTION PERFORMED BY THE OWNER IN ACCORDANCE WITH THE JCC CCTV ADMINISTRATIVE GUIDELINES DEVELOPED BY THE VSMF AUTHORITY.



## EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"

## STATISTICAL INFORMATION

ZONE: R4 RESIDENTIAL PLANNED COMMUNITY  
 PARCEL ID NO.: 5130200004  
 OWNER: KRUGER, SCOTT TRUSTEE & JANET R TRUS  
 ADDRESS: 136 JOHN WICKHAM WILLIAMSBURG, VA 23185400  
 SITE DESCRIPTION: L-4 WICKHAM'S GRANT  
 PROJECT AREA: 1921 SQ. FT (0.04 ACRES)  
 IMPERVIOUS COVER FOR PROJECT AREA:

	PRE-CONSTRUCTION	POST-CONSTRUCTION	NET CHANGE
GREEN AREA	1921 SQ. FT (0%)	1891.5 SQ. FT (0%)	-29.5 SQ. FT (0%)
IMPERVIOUS AREA	0 SQ. FT (0%)	75.5 SQ. FT (0%)	+75.5 SQ. FT (0%)
TOTAL AREA	1921 SQ. FT (100%)	1921 SQ. FT (100%)	0 SQ. FT (0%)

ABBREVIATIONS		
APPROX.	APPROXIMATE	MAX.
CL	CENTERLINE	MIN.
CLR	CLEAR	O.C.
CONC.	CONCRETE	REINF.
CONN.	CONNECTION	RW
CONT.	CONTINUOUS	STA.
CJ	CONTROL JOINT	TYP.
DIA.	DIAMETER	TON
ELEV.	ELEVATION	W/
EQ.	EQUAL	V.I.F
EX.	EXISTING	VERT.
HORIZ.	HORIZONTAL	W/F
		MAXIMUM
		MINIMUM
		ON CENTER
		REINFORCEMENT
		RETAINING WALL
		STATION
		TYPICAL
		TOP OF WALL
		TON
		WITH
		VERIFY IN FIELD
		VERTICAL
		WELDED WIRE FABRIC

## PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW SEGMENTAL BLOCK RETAINING WALL.

## SEQUENCE OF CONSTRUCTION

- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED.
- REMOVE WOOD RETAINING WALLS, SHRUBS, & TREES INDICATED ON PLANS.
- CONSTRUCT SEGMENTAL BLOCK RETAINING WALLS & GEO-GRID REINFORCING, BACKFILL MATERIAL TO BE COMPACTED TO 95% STANDARD PENN STATE DENSITY IN MAXIMUM 8' LIFTS
- CONSTRUCT PEDESTAL AND FINISH ASSEMBLY
- STABILIZE ALL EXPOSED EARTH WITH SEED & STRAW.
- REMOVE SILT FENCE UPON WRITTEN NOTIFICATION FROM JAMES CITY COUNTY INSPECTOR.



## VICINITY MAP

SCALE: 1/4" = 400'

0 600 2400

<b>PRELIMINARY NOT FOR CONSTRUCTION</b>	<b>DATE: 2/28/24</b>	Date	Revisions	No.	Date
RETAINING WALL 136 JOHN WICKHAM	VIRGINIA	WILLIAMSBURG	1 of 2	51	Sheet
EROSION & SEDIMENT CONTROL NOTES, VICINITY MAP, PROJECT DESCRIPTION, STATISTICAL INFORMATION, & EXISTING SITE PLAN	The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23185 (757) 220-0465 • Fax: (757) 220-1546 www.thestructuresgroup.com	Project #: VA25060DES	Drawn by: DAS	Reviewed by: MAM	Date: 2/28/24

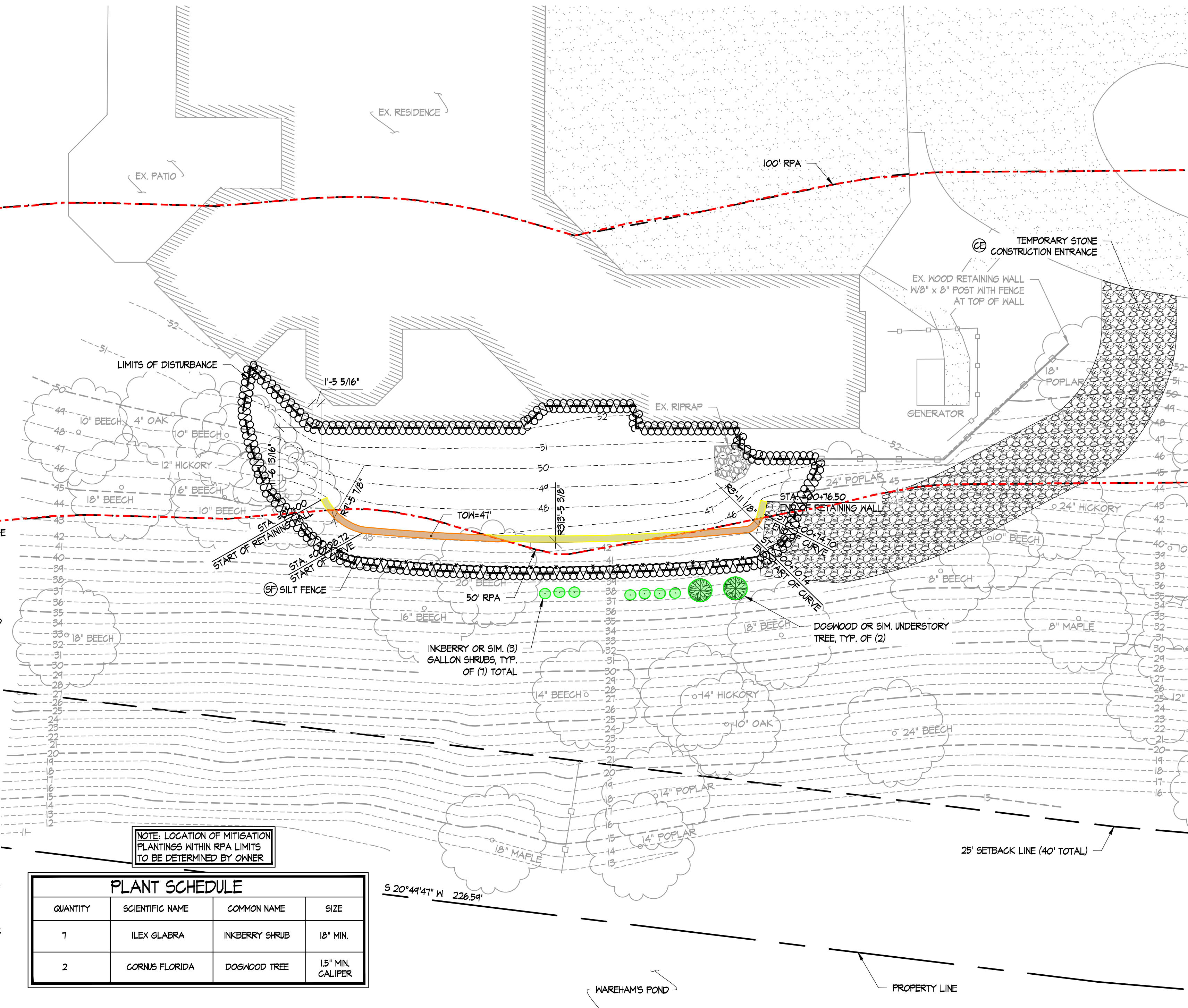
# GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
  - THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUBC), 2018 EDITION
  - THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION AS AMENDED BY THE VUBC.
  - ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- DESIGN LOADS:
 

A. BUILDING CLASSIFICATION CATEGORY	II
B. GROUND SNOW P <sub>s</sub>	15 PSF
C. ULTIMATE WIND SPEED	115 MPH
EXPOSURE	B
D. SOIL UNIT WEIGHT	120 PCF
E. LIVE LOADS:	
LANDSCAPE & MAINTENANCE	UNIFORM 50 PSF
- F. SEISMIC DESIGN:
 

SEISMIC IMPORTANCE FACTOR, I	1.0
MAPPED SPECTRAL RESPONSE ACCELERATION S <sub>a</sub> (0.1)	0.01
MAPPED SPECTRAL RESPONSE ACCELERATION S <sub>a</sub> (0.4)	0.043
SITE SOIL CLASS	E
SPECTRAL COEFFICIENT, S <sub>ds</sub>	0.176
SPECTRAL COEFFICIENT, S <sub>d1</sub>	0.119
SEISMIC DESIGN CATEGORY	B
BASIC STRUCTURAL SYSTEM	
- THE CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION OF MEMBERS AND COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY "MISS UTILITY OF VIRGINIA" PRIOR TO BEGINNING EXCAVATION FOR LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR COSTS ASSOCIATED WITH DAMAGE AND REPAIR OF ANY LINES MARKED BY MISS UTILITY OF VIRGINIA.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO RESIST SOIL PRESSURE AND OTHER LOADS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, EQUIPMENT, ADJACENT GROUNDS, SPRINKLERS, TREES AND PLANTS DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT NO ADDITIONAL COST TO THE OWNER, ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

- LEVELING PAD:**
- LEVELING PAD FOR SEGMENTAL BLOCK RETAINING WALLS SHALL BE A MINIMUM OF 8" THICK COMPACTED NO. 21A CRUSHED STONE WRAPPED IN FILTER CLOTH. ALTERNATELY, 8" THICK 350 PSI FLOWABLE FILL MAY BE UTILIZED FOR THE LEVELING PAD.
  - ALL FLOWABLE FILL SHALL BE MIXED, PLACED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
  - ALL FLOWABLE FILL SHALL HAVE A SLUMP OF 1" ± 1" UNLESS NOTED OTHERWISE.
  - ALL FLOWABLE FILL TO BE POURED IN COLD WEATHER, AS DEFINED IN SECTION 11 OF ACI 306R, COLD WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 306.1, STANDARD SPECIFICATIONS FOR COLD WEATHER CONCRETING, AND 306R.
  - ALL FLOWABLE FILL TO BE POURED IN HOT WEATHER, AS DEFINED IN SECTION 12 OF ACI 305R, HOT WEATHER CONCRETING, SHALL FULLY COMPLY WITH ACI 305.1, STANDARD SPECIFICATIONS FOR HOT WEATHER CONCRETING, AND ACI 305R.
- RETAINING WALL:**
- ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHIC SURVEY PROVIDED BY LANDTECH RESOURCES, INC. ENGINEERING SURVEYING CONSULTANTS, DATED 01/18/2024.
  - EXISTING SITE SOIL IS EMPORIA COMPLEX SOIL SERIES WITH LOW SHRINK-SWELL POTENTIAL BASED ON THE EGS MID-ATLANTIC LLC SOIL SURVEY, DATED ON 1/24/2024.
  - LEVELING PAD WAS DESIGNED TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE AND A MINIMUM OF 1'-6" BELOW THE EXISTING GRADE UNLESS NOTED OTHERWISE WITH A MINIMUM SOIL BEARING PRESSURE OF 2,000 PSF UNLESS NOTED OTHERWISE.
  - BACKFILL MATERIAL MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN MAXIMUM 8" LIFTS USING A VIBRATORY PLATE COMPACTOR. ALL BACKFILL SHALL BE FREE-DRAINING, NON-FROST SUSCEPTIBLE GRANULAR MATERIAL SM OR BETTER, UNLESS NOTED TO BE STONE. RETAINED BACKFILL MATERIAL SHALL HAVE A MINIMUM FRICTION ANGLE OF 25 DEGREES, EXCEPT IN THE REINFORCED ZONE. BACKFILL MATERIAL TO BE USED IN THE REINFORCED ZONE SHALL BE SM OR BETTER WITH MINIMUM FRICTION ANGLE OF 30 DEGREES.
  - CHIMNEY DRAIN ADJACENT TO MODULAR WALL UNITS AND MATERIAL USED TO FILL MODULAR WALL UNITS SHALL BE VIBRATORY PLATE COMPACTED NO. 51 STONE, OR A WELL GRADED COMPACTIBLE NO. 21A STONE, 1/4" TO 1/2" DIAMETER WITH NO MORE THAN 10% PASSING THE #200 SIEVE.
  - PLACE A 4" DIAMETER PERFORATED PVC DRAIN PIPE WRAPPED IN FILTER CLOTH ADJACENT TO INSIDE FACE OF THE MODULAR CONCRETE UNIT RETAINING WALL. PROVIDE DRAINAGE TO DAYLIGHT.
  - ANY VARIATION IN LOCATION OR ELEVATION OF RETAINING WALL, ELEVATION IN THE GRADE EITHER ABOVE OR BELOW THE WALL, OR THE RECOMMENDED INSTALLATION DETAILS, REQUIRE REVIEW BY THE ENGINEER OF RECORD.
  - ALL GEOGRID REINFORCEMENT TO BE MIRAGRID 3XT SERIES MANUFACTURED BY TENCATE GEOSYNTHETICS. LENGTH OF GEOGRID SHOWN ON DRAWINGS IS TAKEN FROM OUTSIDE FACE OF RETAINING WALL. GEOGRID SHALL BE PULLED TAUGHT PRIOR TO INFILLING BACKFILL.
  - SEGMENTAL RETAINING WALL UNITS SHALL BE DIAMOND PRO MANUFACTURED BY ANCHOR WALL SYSTEMS, LLC.
  - CONTRACTOR SHALL FOLLOW INSTRUCTIONS PROVIDED BY BLOCK MANUFACTURER REGARDING THE CONSTRUCTION OF THE MODULAR CONCRETE UNIT WALLS. ANY INSTRUCTIONS THAT DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
  - PEDESTRIAN PROTECTION IS REQUIRED WHEN WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE. GUARD RAILING, FENCING, AND/OR LANDSCAPE SHRUBBERY SHALL BE PROVIDED WHERE WALL HEIGHT EXCEEDS 30" ABOVE FINISH GRADE.
  - RETAINING WALL MINIMUM DESIGN SAFETY FACTORS:
    - OVERTURNING - 2.0
    - SLIDING - 1.5
    - GLOBAL STABILITY - 1.3



NOTE: LOCATION OF MITIGATION PLANTINGS WITHIN RPA LIMITS TO BE DETERMINED BY OWNER

PLANT SCHEDULE			
QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE
7	ILEX GLABRA	INKBERRY SHRUB	18" MIN.
2	CORNUS FLORIDA	DOGWOOD TREE	15" MIN. CALIPER

## RETAINING WALL PLAN

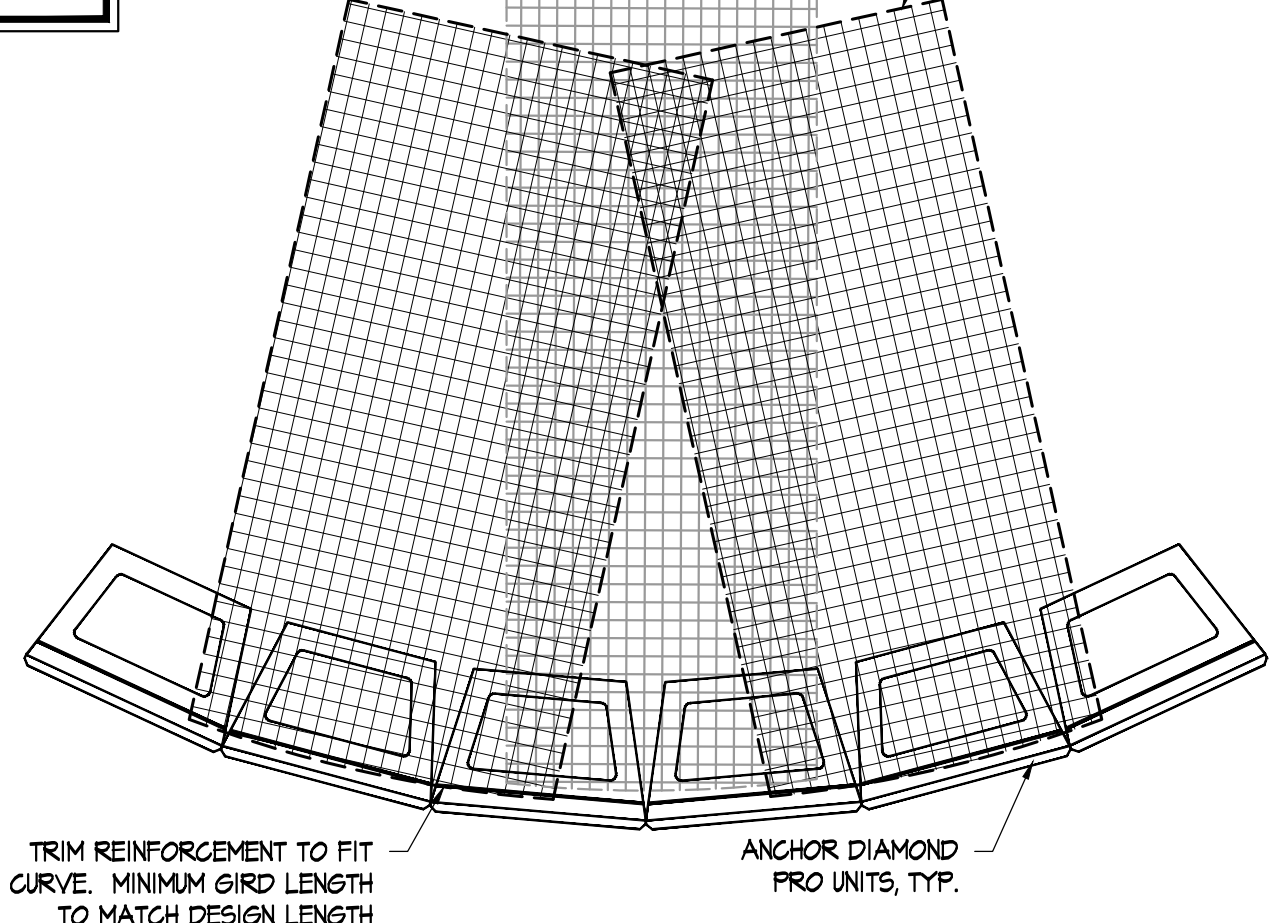
SCALE: 3/32" = 1'-0"

LEGEND			
MARK	SYMBOL	CODE	DESCRIPTION
—x—x—	⊕	3.05	SILT FENCE
⊕	⊕	3.02	CONSTRUCTION ENTRANCE

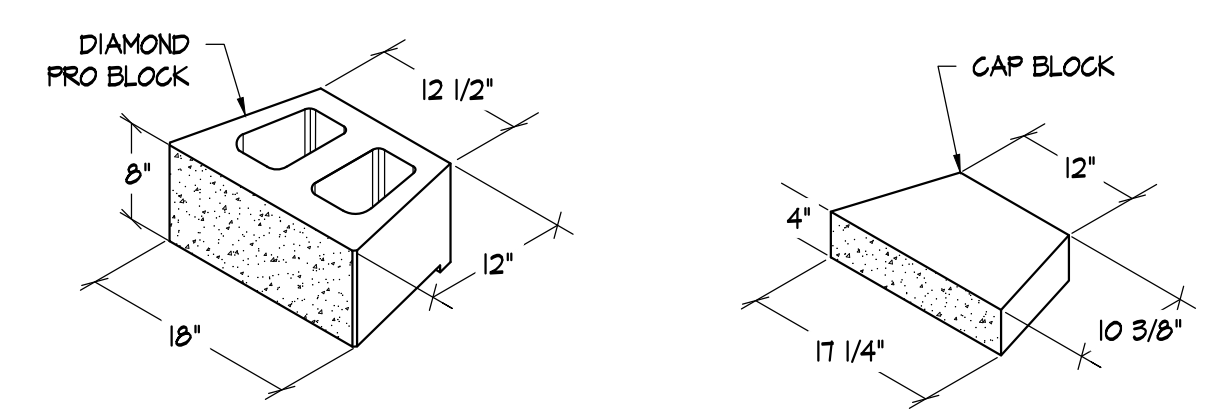
NOTE: PROVIDE 2'-3" OF COMPACTED FILL BETWEEN OVERLAPPING PRIMARY REINF.

MIRAGRID REINF. MUST BE PLACED ONE COURSE ABOVE OR BELOW PRIMARY REINF. AT UNREINFORCED VOID

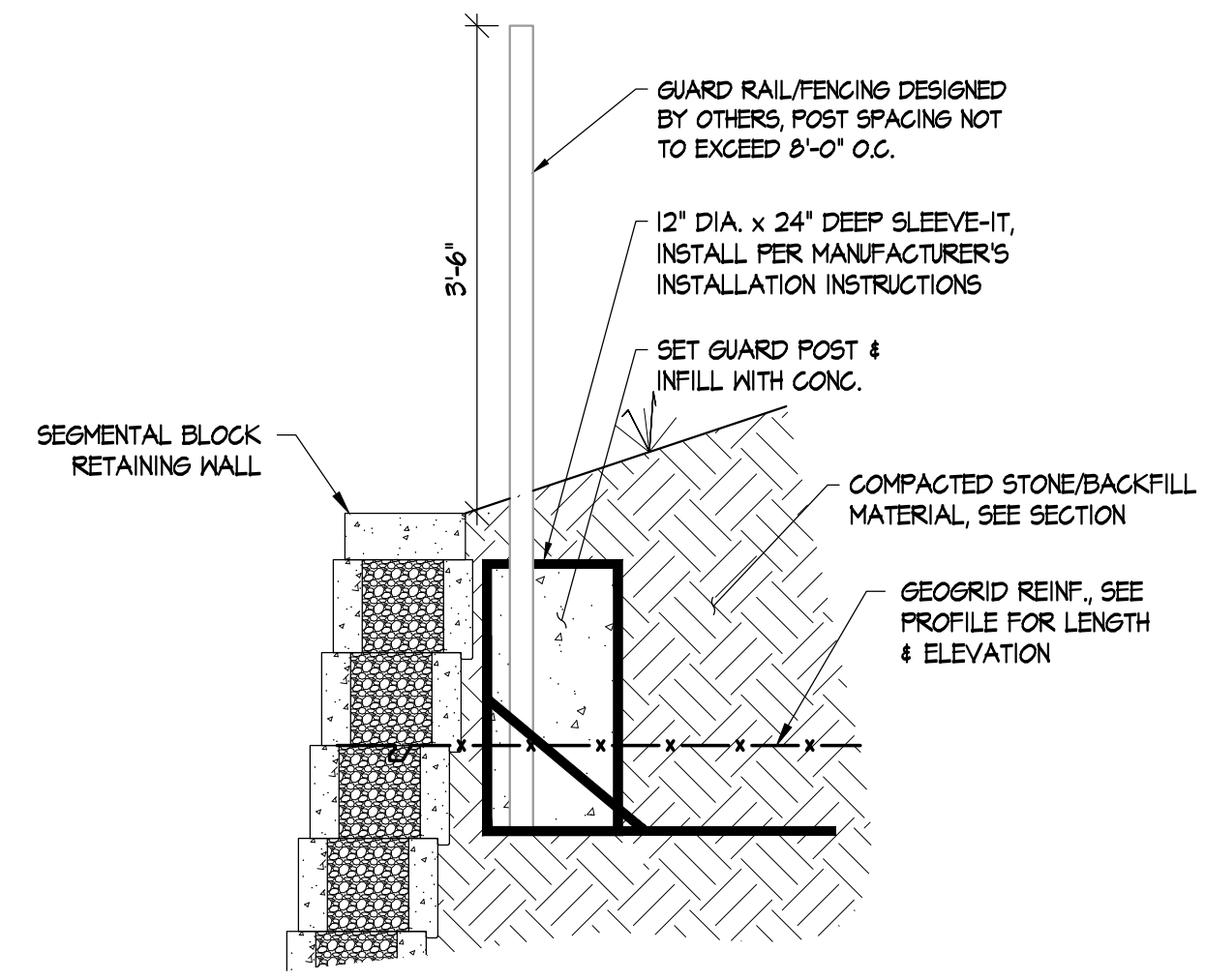
PRIMARY MIRAGRID REINF. @ ELEVATIONS SHOWN ON PROFILE



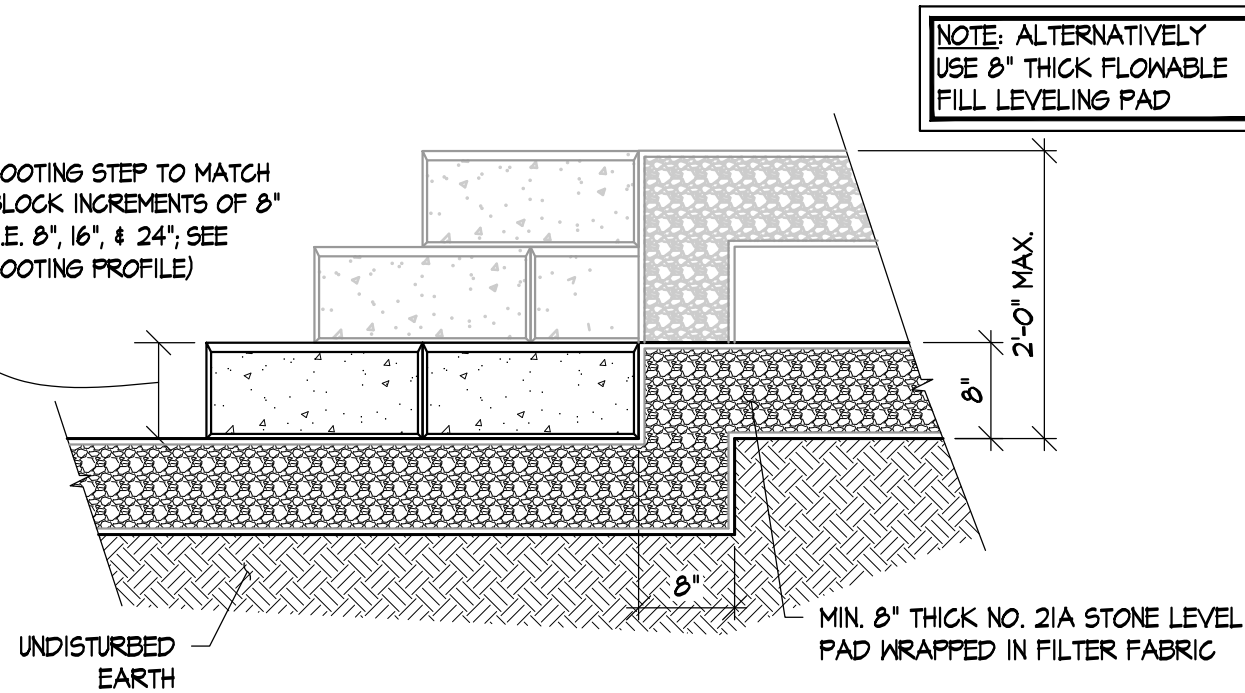
**DETAIL** GEOSYNTHETIC REINFORCEMENT @ OUTSIDE CURVE  
SCALE: 3/4" = 1'-0"



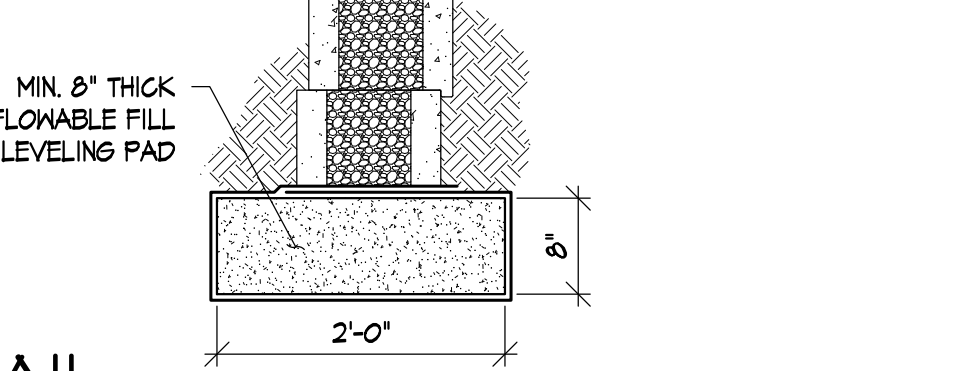
**DETAIL** TYPICAL ANCHOR DIAMOND PRO UNITS  
SCALE: NONE



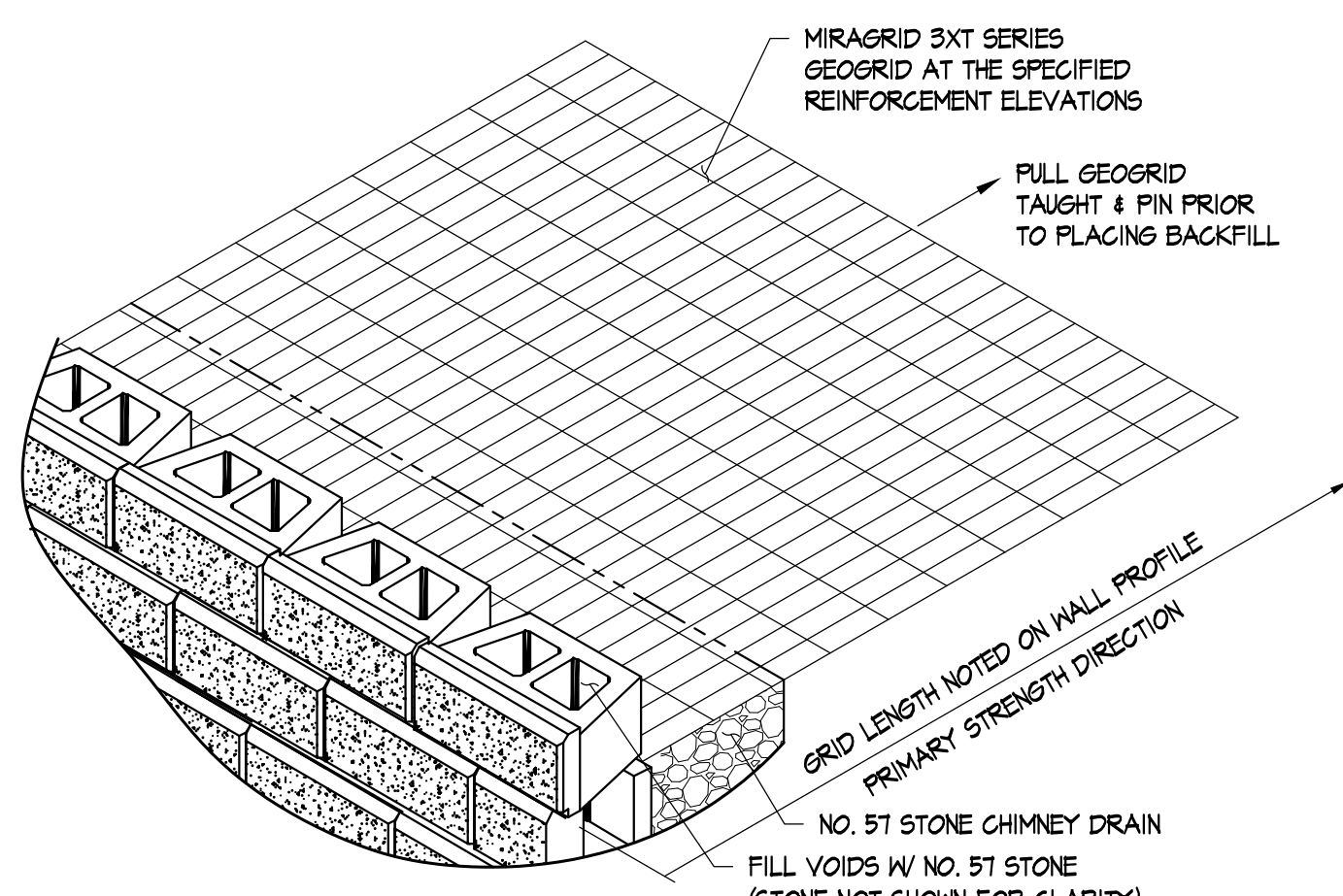
**DETAIL** PEDESTRIAN BARRIER  
SCALE: 3/4" = 1'-0"



**DETAIL** ALTERNATE FOOTING  
SCALE: 3/4" = 1'-0"



**DETAIL** ALTERNATE FOOTING  
SCALE: 3/4" = 1'-0"



**DETAIL** GEOSYNTHETIC REINFORCEMENT  
SCALE: 3/4" = 1'-0"

Sheet	92	2 of 2	WILLIAMSBURG	VIRGINIA	No.	Revisions	DATE: 2/28/24	Date
RETAINING WALL PLAN & DETAILS	RETAINING WALL 136 JOHN WICKHAM		WILLIAMSBURG		DATE: 2/28/24		DATE: 2/28/24	
Project #:	VA25060DES	Drawn by:	DAS	Reviewed by:	MAM	The Structures Group, Inc. 1200 Old Colony Lane • Williamsburg, VA 23185 (757) 220-0465 • Fax: (757) 220-1546 www.thestructuresgroup.com		

## Adjacent Property Owner Mailing List for Case Number: CBPA-24-0030

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
5130200021	ALLBURN SEAN J & LAUREN A	124 THOMAS CARTWRIGHT	WILLIAMSBURG	VA	23185-8904
5130200008	ELLIS, LYNN HAMILTON TRUSTEE	13240 SORRENTO WAY	BRADENTON	FL	34211-2175
5130200010	GATELY, KEVIN J & ZANA R	129 JOHN WICKAM	WILLIAMSBURG	VA	23185-8901
5130200009	KRUGER, SCOTT TRUSTEE & JANET R TR	136 JOHN WICKHAM	WILLIAMSBURG	VA	23185-8900
	Mr. Joseph Krallinger The Structures Group	1200 Old Colony Lane	Williamsburg	VA	23185
5130200020	WENDELL, PETER D TRUSTEE	120 THOMAS CARTWRIGHT	WILLIAMSBURG	VA	23185-8904



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-24-0030  
136 John Wickham  
Construction of retaining wall

March 26, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, for encroachments into the Resource Protection Area buffer for the construction of a retaining wall. The project is located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W



**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-23-0152. 223 Oakmere Park  
Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. Derek and Ms. Susan Smith

Agent: Mr. Ryan Linnekin, Williams Landscape and Design, Inc.

Location: 223 Oakmere Park

Parcel Identification No.: 3233100041

Parcel: Lot 41, Section 12, Ford’s Colony

Lot Size: 0.83 acres

Area of Lot in Resource Protection Area (RPA): 0.83 acres (100%)

Watershed: Powhatan Creek (JL31)

Floodplain: None

Proposed Activity: Construction of a paver patio, deck, retaining wall, and fountain

Impervious Cover: 770 square feet

RPA Encroachment: 770 square feet, seaward 50-foot RPA

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Ryan Linnekin, Williams Landscape and Design, Inc., has applied for an after-the-fact Chesapeake Bay Exception on behalf of Mr. Derek and Ms. Susan Smith for encroachments into the RPA buffer for the construction of a paver patio, deck, retaining wall, and fountain located at 223 Oakmere Park within the Ford’s Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 3233100041. The parcel was platted in 2003, prior to the changes to the Chesapeake Bay Preservation Ordinance in 2004.

The total lot size of this property is 0.83 acres, of which 100% is located within the RPA. In November 2023, officials from the James City County Stormwater and Resource Protection Division received notice that a patio and two decks were being constructed on this property without the submission of a Chesapeake Bay Preservation Exception Request. The applicants stopped all construction and began the process of obtaining a permit for the proposed work. Following discussion with staff, the applicants are now proposing to construct a 400-square-foot deck and a 312-square-foot paver patio. Additionally, they are proposing a retaining wall and fountain adjacent to the proposed patio. Total impacts to the RPA associated with this proposal equate to 770 square feet in the seaward 50-foot RPA. Under the original permit for the house, CBE-16-086, a 180-square-foot deck was approved. This impervious area is being credited towards the

application, making the total of newly approved encroachment equal to 590 square feet. Required mitigation for this amount of impervious impacts equals 1.5 planting units. Because this exception request is being heard before the Board after-the-fact, staff would require double the mitigation units equaling three planting units (three canopy trees, six understory trees, and nine shrubs). Additionally, the mitigation associated with CBE-16-086 for the construction of the home was never fully completed; therefore, staff is requiring that the applicants replant the areas of original mitigation which equals 12 planting units (12 canopy trees, 24 understory trees, and 26 shrubs). This makes total mitigation requirements for this property equal to 15 planting units (15 canopy trees, 30 understory trees, and 45 shrubs). The applicants have provided a mitigation plan equal to 13 canopy trees, 11 understory trees, and 91 shrubs that satisfies the mitigation requirement. Staff is also requiring that an affidavit be recorded in the Williamsburg/James City County Courthouse due to the environmental sensitivity of the lot.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a paver patio, deck, retaining wall, and fountain. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of a patio, two decks, retaining wall, and fountain is considered accessory in nature. This exception request is being heard by the Board after the construction of the project began.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. If the Board wishes to approve this request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$11,250 in a form acceptable to the James City County Attorney's Office to guarantee the planting of 15 planting units (13 canopy trees, 11 understory trees, and 91 shrubs); and

4. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2024, six weeks prior to the expiration date.

RB/md  
CBPA23-152\_223OakmrPk-rev

- Attachments:
1. Resolution
  2. Site Plan

## RESOLUTION

CASE NO. CBPA-23-0152. 223 OAKMERE PARK

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Ryan Linnekin, Williams Landscape and Design, Inc., on behalf of Mr. Derek and Ms. Susan Smith (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 223 Oakmere Park (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3233100041, as set forth in the application CBPA-23-0152 for the purpose of constructing a paver patio, deck, retaining wall, and fountain; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0152, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$11,250 in a form acceptable to the James City County Attorney’s Office to guarantee the planting of 15 planting units (13 canopy trees, 11 understory trees, 91 shrubs); and
4. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
5. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

---

Charles Roadley  
Chair, Chesapeake Bay Board

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Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA23-152\_223OakmrPkApp-rev-res

**RESOLUTION**

**CASE NO. CBPA-23-0152. 223 OAKMERE PARK**

**JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION**

WHEREAS, Mr. Ryan Linnekin, Williams Landscape and Design, Inc., on behalf of Mr. Derek and Ms. Susan Smith (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 223 Oakmere Park (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3233100041, as set forth in the application CBPA-23-0152 for the purpose of constructing a paver patio, deck, retaining wall, and fountain; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-23-0152.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

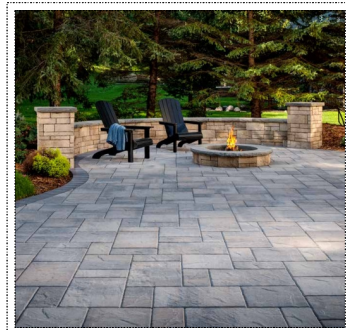
\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA23-152\_223OakmrPkDny-rev-res

**PATIO AREA**  
 TOTAL AREA - 312 SQ'  
 MAIN FIELD - 3PC MODULAR PAVER - 275 SQ'  
 BORDER - 6x9 ACCENT PAVER - 37 SQ'  
 RETAINING WALL - 30 L'  
 SEATING WALL - BLOCK & CAP - 27 L' @ 18" HT  
 SNAPPEDGING - 28 L'  
 STEPPERS - 2

**DECK AREA**  
 TOTAL AREA - 400 SQ' INCLUDES DECK AREA LANDING & STEPS



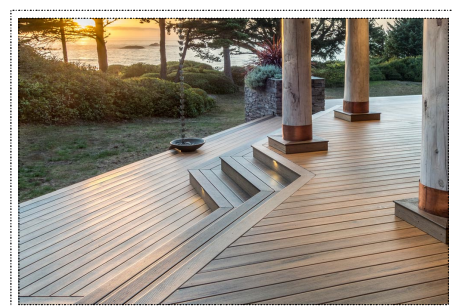
Belgard Origins Paver



Belgard Origins Accent 6x9



Belgard Belair Wall & Cap



Trex Decking



Aquascape Spillway Bowl & Basin



Coastal Source - Lip Light



Holly Inkberry



Dogwood White Flowering



Clethra Sugarlina



Dogwood Red Twig AnticFire



Leucothoe Coast



Beautyberry Early Amethyst



Forsythia Spring Glory



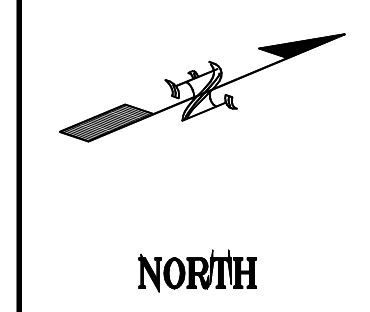
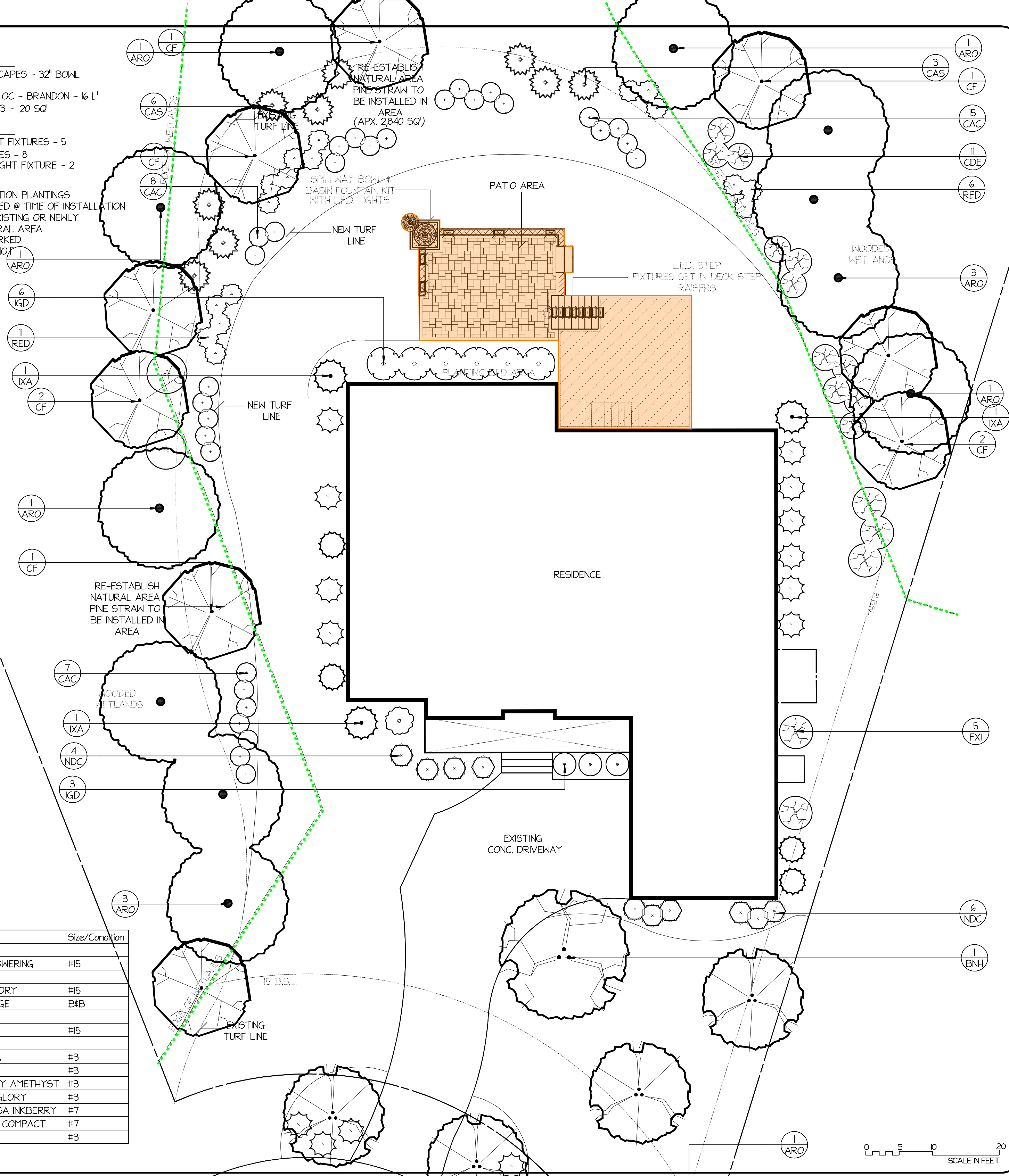
Coastal Source - Step Light

**FOUNTAIN**  
 FOUNTAIN - AQUASCAPES - 32" BOWL  
 & 40" BASIN KIT  
 EDGING - TECHO BLOC - BRANDON - 16 L'  
 CHALET STONE - 1-3 - 20 SQ'

**LIGHTING**  
 UNDER MOUNT LIGHT FIXTURES - 5  
 STEP LIGHT FIXTURES - 8  
 WATERFALL / UP LIGHT FIXTURE - 2  
 TRANSFORMER - 1

NOTE: ALL MITIGATION PLANTINGS TO BE FIELD LOCATED @ TIME OF INSTALLATION ALONG EDGES OF EXISTING OR NEWLY ESTABLISHED NATURAL AREA PLANTINGS NOT MARKED ARE EXISTING BUT NOT NATIVE

Key	Qty	Botanical Name	Common Name	Size/Condition
<b>Flowering Trees</b>				
CF	8	CORNUS FLORIDA	DOGWOOD WHITE FLOWERING	#15
<b>Shade Trees</b>				
ARO	12	ACER RUBRUM 'OCTOBER GLORY'	MAPLE OCTOBER GLORY	#15
BNH	1	BETULA NIGRA HERITAGE	RIVER BIRCH HERITAGE	B#B
<b>Trees</b>				
IXA	3	ILEX X ATTENUATA 'FOSTER'	HOLLY FOSTER	#15
<b>Shrubs</b>				
CAC	30	CLETHRA ALNIFOLIA 'CRYSTALINA'	CLETHRA SUGARTINA	#3
CAS	9	CORNUS ALBA 'SIBIRICA'	DOGWOOD RED TWIG	#3
CDE	11	CALLICARPA DICHOTOMA 'EARLY AMETHYST'	BEAUTYBERRY EARLY AMETHYST	#3
FXI	5	FORSYTHIA X INTERMEDIA 'SPRING GLORY'	FORSYTHIA SPRING GLORY	#3
IGD	9	ILEX GLABRA 'DENSE'	HOLLY GLABRA DENSE INKBERRY	#7
NDC	10	NANDINA DOMESTICA 'COMPACTA'	NANDINA DOMESTICA COMPACT	#7
RED	17	LEUCOTHOE AXILLARIS	LEUCOTHOE COAST	#3



NORTH

SMITH RESIDENCE  
 223 OAKMERE PARK  
 WILLIAMSBURG, VA.  
 SCALE 1" = 10'  
 DATE 7/15/23  
 DRAWING # LANDSCAPE PLAN: PATIO & DECK  
 PRJ # -01  
 RVS/N : 3824



Prepared by Williams

## Adjacent Property Owner Mailing List for Case Number: CBPA-23-0152

<b>PIN</b>	<b>Last Name</b>	<b>Address Line 1</b>	<b>City</b>	<b>State</b>	<b>Zip Code</b>
3233100040	BARTOLOTTA, JAMES F & PATRICIA R	219 OAKMERE PARK	WILLIAMSBURG	VA	23188-3507
3232100006	BOURDAGE, BRENDAN PATRICK TRUSTEE	111 WINDSOR WAY	WILLIAMSBURG	VA	23188-1578
3232100005	DANIELS, ROBERT P, JR &	109 WINDSOR WAY	WILLIAMSBURG	VA	23188-1578
3233100033	DIAZ, BARBARA A TRUSTEE	120 NOTTINGHAMSHIRE	WILLIAMSBURG	VA	23188-3505
3233100034	LEIGH, JOSEPH J JR TRUSTEE &	116 NOTTINGHAMSHIRE	WILLIAMSBURG	VA	23188-3505
	Mr. Ryan Linnekin Williams Landscape & Design	1554 Penniman Rd	Williamsburg	VA	23185-85
3233100032	SEELEY, JAMES R & CHRISTINE C	124 NOTTINGHAMSHIRE	WILLIAMSBURG	VA	23188-3505
3233100041	SMITH, DEREK ROBERT & SUSAN KAY	223 OAKMERE PARK	WILLIAMSBURG	VA	23188-3507
3233100039	SULLIVAN, MARK TRUSTEE &	215 OAKMERE PARK	WILLIAMSBURG	VA	23188-3507



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
jamescitycountyva.gov

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-23-0152  
223 Oakmere Park  
Construction of paver patio, deck

March 26, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, for encroachments into the Resource Protection Area buffer for the construction of a paver patio and deck. The project is located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov





## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W

**CHESAPEAKE BAY BOARD EXCEPTION No. CBPA-24-0031. 113 Glasgow  
Staff Report for the April 10, 2024, Chesapeake Bay Board Public Hearing**

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*This staff report is prepared by the James City County Stormwater and Resource Protection to provide information to the Chesapeake Bay Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.*

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**EXISTING SITE DATA AND INFORMATION**

Applicants: Mr. John and Ms. Sheree Konstantinou

Agent: Mr. Chase Grogg, LandTech Resources, Inc.

Location: 113 Glasgow

Parcel Identification No.: 3820200058

Parcel: Lot 58, Section 11A, Ford's Colony

Lot Size: 0.27 acres

Area of Lot in Resource Protection Area (RPA): 0.27 acres (100%)

Watershed: Powhatan Creek (JL31)

Floodplain: Zone AE - Base flood elevation approximately 42.5 feet mean sea level

Proposed Activity: Construction of a single-family dwelling with an attached deck

Impervious Cover: 2,714 square feet

RPA Encroachment: 1,243 square feet, seaward 50-foot RPA  
1,471 square feet, impervious within wetlands  
2,760 square feet, wetlands disturbance

Staff Contact: Robin Benedict, Watershed Planner Phone: 253-6781

**BRIEF SUMMARY AND DESCRIPTION OF ACTIVITIES**

Mr. Chase Grogg, LandTech Resources, Inc., has applied for a Chesapeake Bay Exception on behalf of Mr. John and Ms. Sheree Konstantinou for encroachments into the RPA buffer for the construction of a single-family dwelling with an attached deck located at 113 Glasgow within the Ford's Colony subdivision and the Powhatan Creek watershed. The property is further identified as James City County Real Estate Tax Map Parcel No. 3820200058. The parcel was platted in 1988, prior to the adoption of the Chesapeake Bay Preservation Ordinance in 1990.

The total lot size of this property is 0.27 acres, of which 100% is located within the RPA. Existing conditions on this property include a wooded lot with wetlands thorough the middle and back of the lot as well as the floodplain. The applicants are proposing to construct a single-family dwelling with an attached deck. Case No. CBPA-23-0083 was originally heard before the Board on October 11, 2023, where it was denied. The original site plan included 3,011 square feet of impacts to the seaward 50-foot RPA and 1,678 square feet of permanent wetland impacts. The applicants have since decreased the proposed house size, making total impacts to the RPA associated with this proposal equal to 1,243 square feet of impacts to the seaward

50-foot RPA and 1,471 square feet of permanent wetland impacts for a total of 2,714 square feet of impervious impacts. The minimum first-floor square footage required for this section of Ford's Colony is 1,100 square feet. The proposed house has a first-floor square footage equal to 1,167 square feet, a 6% increase. Required mitigation for this amount of impervious impacts equals seven planting units (seven canopy trees, 14 understory trees, and 21 shrubs). The applicants have submitted a mitigation plan consisting of five canopy trees, eight understory trees, and 41 shrubs, therefore satisfying County mitigation requirements. Additionally, the applicants are proposing two micro-bioretenion Best Management Practices (BMPs) to manage drainage on the lot. Staff is also requesting that an affidavit be recorded in the Williamsburg/James City County Courthouse due to the environmental sensitivity of the lot.

## **STAFF EVALUATION**

Staff has evaluated the application and exception request for the construction of a single-family dwelling with an attached deck. This application meets the Ordinance conditions in Sections 23-11 and 23-14 and should be heard by the Board because the construction of the single-family dwelling is entirely within the seaward 50-foot RPA.

## **CONSIDERATION BY THE CHESAPEAKE BAY BOARD**

The Board may grant exceptions to Section 23-7 if the application meets the following five conditions:

1. The exception request is the minimum necessary to afford relief; and
2. Granting the exception will not confer upon the Applicants any special privileges denied by Chapter 23, Chesapeake Bay Preservation, of the James City County Code, to other property owners similarly situated in the vicinity; and
3. The exception request will be in harmony with the purpose and intent of Chapter 23 of the James City County Code and is not of substantial detriment to water quality; and
4. The exception request is not based on conditions or circumstances that are self-created or self-imposed, nor does the request arise from conditions or circumstances, either permitted or nonconforming that are related to adjacent parcels; and
5. Reasonable and appropriate conditions are imposed which will prevent the exception request from causing a degradation of water quality.

## **STAFF RECOMMENDATIONS**

Staff has reviewed the application and exception request and has determined the impacts associated with the proposal to be major for the proposed development. If the Board wishes to approve this request, staff recommends the following conditions be incorporated into the approval:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$7,000 in a form acceptable to the James City County Attorney's Office to guarantee the mitigation plan equaling seven planting units (seven canopy trees, 14 understory trees, and 21 shrubs) and the construction of two micro-bioretenion BMP facilities; and

4. The Applicants must submit a Letter of Installation from a qualified professional to the Stormwater and Resource Protection Division prior to the issuance of a final Certificate of Occupancy. This letter must verify compliance with all approved construction plans for stormwater BMP facilities. No surveyed as-built drawings are required; and
5. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
6. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

RB/ap  
CBPA24-31\_113Glasgow-rev

Attachments:

1. Resolution
2. Site Plan

## RESOLUTION

CASE NO. CBPA-24-0031. 113 GLASGOW

### JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John and Ms. Sheree Konstantinou (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 113 Glasgow (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3820200058, as set forth in the application CBPA-24-0031 for the purpose of constructing a single-family dwelling with an attached deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application meets all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **APPROVES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0031, subject to the following conditions:

1. The Applicants must obtain all other necessary federal, state, and local permits as required for the project; and
2. An affidavit must be recorded in the Williamsburg/James City County Courthouse prior to the issuance of a building permit; and
3. The Applicants must submit a surety of \$7,000 in a form acceptable to the James City County Attorney’s Office to guarantee the mitigation plan equaling seven planting units (seven canopy trees, 14 understory trees, and 21 shrubs) and the construction of two micro-bioretenion Best Management Practice (BMP) facilities; and
4. The Applicants must submit a Letter of Installation from a qualified professional to the Stormwater and Resource Protection Division prior to the issuance of a final Certificate of Occupancy. This letter must verify compliance with all approved construction plans for stormwater BMP facilities. No surveyed as-built drawings are required; and
5. This exception request approval will become null and void if construction has not begun by April 10, 2025; and
6. Written requests for an extension to an exception must be submitted to the Stormwater and Resource Protection Division no later than February 28, 2025, six weeks prior to the expiration date.

---

Charles Roadley  
Chair, Chesapeake Bay Board

---

Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-31\_113GlasgowApp-rev-res

**RESOLUTION**

**CASE NO. CBPA-24-0031. 113 GLASGOW**

**JAMES CITY COUNTY CHESAPEAKE BAY PRESERVATION ORDINANCE EXCEPTION**

WHEREAS, Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John and Ms. Sheree Konstantinou (the “Applicants”), has applied to the Chesapeake Bay Board of James City County (the “Board”) on April 10, 2024, to request an exception to use the Resource Protection Area (the “RPA”) on a parcel of property located at 113 Glasgow (the “Property”) and further identified as James City County Real Estate Tax Map Parcel No. 3820200058, as set forth in the application CBPA-24-0031 for the purpose of constructing a single-family dwelling with an attached deck; and

WHEREAS, the Board has heard the arguments presented and carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Chesapeake Bay Board of James City County, Virginia, following a public hearing, finds that the application does not meet all the requirements for an exception to the Chesapeake Bay Preservation Ordinance and therefore **DENIES** the exception request for Chesapeake Bay Board Case No. CBPA-24-0031.

\_\_\_\_\_  
Charles Roadley  
Chair, Chesapeake Bay Board

\_\_\_\_\_  
Robin Benedict  
Secretary to the Board

Adopted by the Chesapeake Bay Board of James City County, Virginia, this 10th day of April, 2024.

CBPA24-31\_113GlasgowDny-res



**GENERAL NOTES**

1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN P.B. 49, PG. 45-50.
2. ELEVATIONS SHOWN HEREON ARE IN FEET AND ARE BASED ON A FIELD SURVEY COMPLETED BY SEBERT SURVEYING WITH PERMISSION OF USE BY THIS FIRM.
3. WETLANDS, IF ANY, WERE NOT RESEARCHED OR LOCATED FOR THIS PLAT.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
5. PARCEL LIES IN F.I.R.M. ZONE "X" ZONE "AE" (ELEV 42) ACCORDING TO COMMUNITY PANEL #51095C0117D, DATED DECEMBER 16, 2015.
6. LOT SERVED BY PUBLIC WATER AND SEWER. CONTRACTOR TO COORDINATE CONNECTIONS WITH JAMES CITY COUNTY UTILITIES.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS SHOWN HEREON.
8. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY COMPLETED BY SEBERT SURVEYING & LAYOUT, LLC..
9. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION AFTER EXCAVATION.
10. PROPOSED RESIDENCE SHOWN BASED OFF OF PLANS PROVIDED BY CLIENT. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
11. CONTRACTOR TO INSTALL ORANGE SAFETY FENCE AROUND PERIMETER OF CONSTRUCTION.

**EROSION & SEDIMENT CONTROL NOTES**

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK 1992 THIRD EDITION". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.

**BUILDING INFORMATION**

PROPOSED BUILDING IS A 2-STORY FRAME  
 FORD'S COLONY FIRST FLOOR MIN. S.F.: 1,100  
 PROPOSED FIRST FLOOR S.F.: 1,167  
 PROPOSED GARAGE IS FRONT LOADING

**SITE INFORMATION**

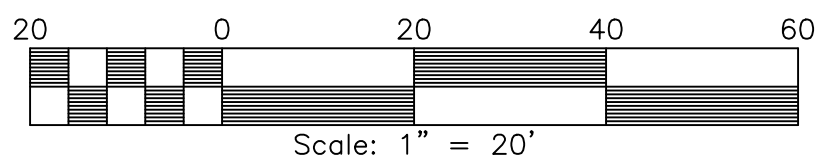
PARCEL ID: 3820200058  
 TOTAL AREA: 11,687 S.F. / 0.7683 AC.  
 IMPERVIOUS AREA: 2,714 S.F. / 0.062 AC.  
 IMPERVIOUS WITHIN WETLANDS : 1,471 S.F. / 0.034 AC.  
 IMPERVIOUS WITHIN 50'RPA : 1,243 S.F. / 0.29 AC.  
 DISTURBED AREA: 8,774 S.F. / 0.201 AC.  
 ZONING DISTRICT: R4 - RESIDENTIAL PLANNED COMMUNITY  
 EXISTING SITE IS PARTLY WOODED AS SHOWN

**BUILDING SETBACK (SBL)**

\*SETBACKS TO BE CONFIRMED BY FORD'S COLONY  
 FRONT: 30'  
 REAR: 25' OR 25% WHICHEVER IS GREATER  
 SIDE: 5'

**EXISTING ADDRESS:**

113 GLASGOW  
 JAMES CITY COUNTY, VIRGINIA

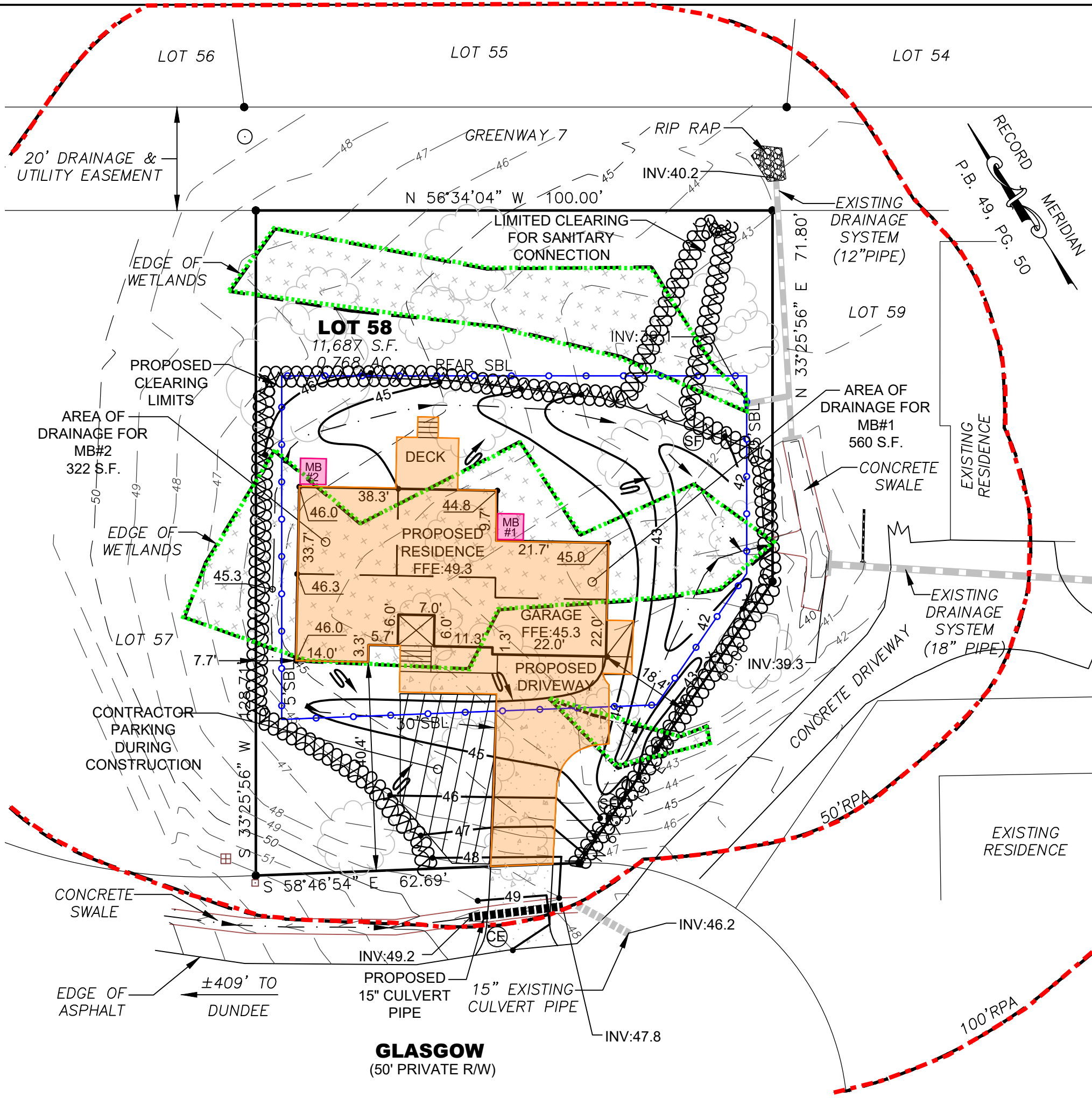


**LEGEND**

- WATER METER
- ⊙ SEWER CLEAN OUT
- TELEPHONE PEDESTAL
- ▣ HVAC UNIT AND TRASH ENCLOSURE
- SANITARY SEWER MANHOLE

DRAINAGE CONTROL/IMPROVEMENTS SHALL BE INSTALLED IMMEDIATELY AFTER CLEARING SUCH THAT NO DISTURBED AREA DRAINAGE FLOWS ONTO ADJACENT PROPERTIES. ( )

BEFORE CLEARING MARK TREES TO BE PRESERVED WITH PLASTIC TAPE TO BE REVIEWED AND APPROVED WITH THE ARC INSPECTOR. ( )



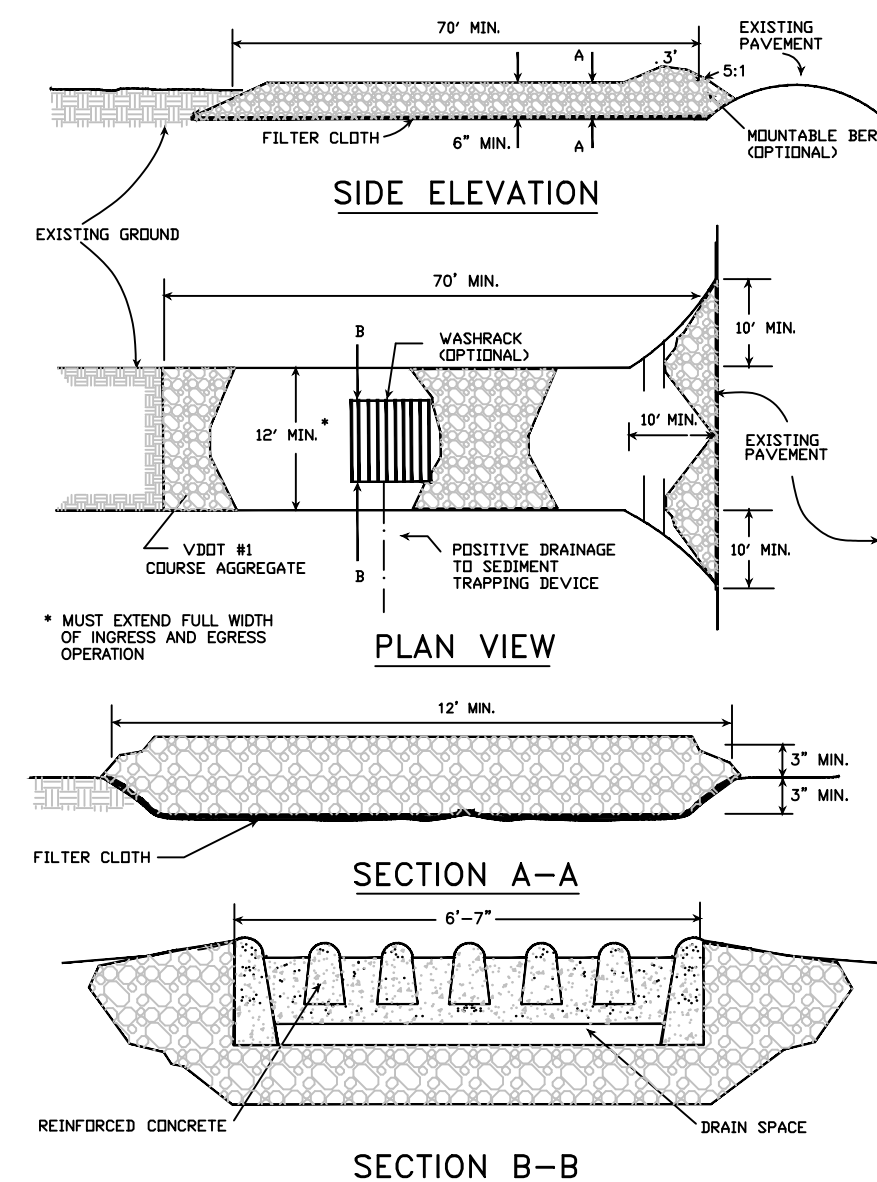
**MICRO BMP CALCULATIONS**

**BMP #1 - BIO-RETENTION FILTER**  
 IMPERVIOUS AREA - 560 S.F.  
 TREATMENT VOLUME -  $T_v = 560 \text{ S.F.} \times 0.08' = 45 \text{ cf}$   
 MEDIA DEPTH -  
 SOIL MEDIA ( $V_r=0.25$ ): DEPTH=18"  
 GRAVEL ( $V_r=0.40$ ): DEPTH=12"  
 CHOKER ( $V_r=0.20$ ): DEPTH=3"  
 SURFACE PONDING ( $V_r=1.00$ ): DEPTH=6"  
 BIO FILTER EQUIVALENT STORAGE DEPTH -  
 $D_{eq} = (1.5' \times 0.25) + (1.00' \times 0.40) + (0.25 \times 0.20) + (0.50' \times 1.00) = 1.33'$   
 BIO FILTER SURFACE AREA -  
 $SA = \text{TREATMENT VOLUME } (T_v) / D_{eq}$   
 $SA = 45 \text{ cf} / 1.33' = 33.8 \text{ S.F.}$   
 (MINIMUM SIZE 50 S.F. AS SHOWN)

**MICRO BMP CALCULATIONS**

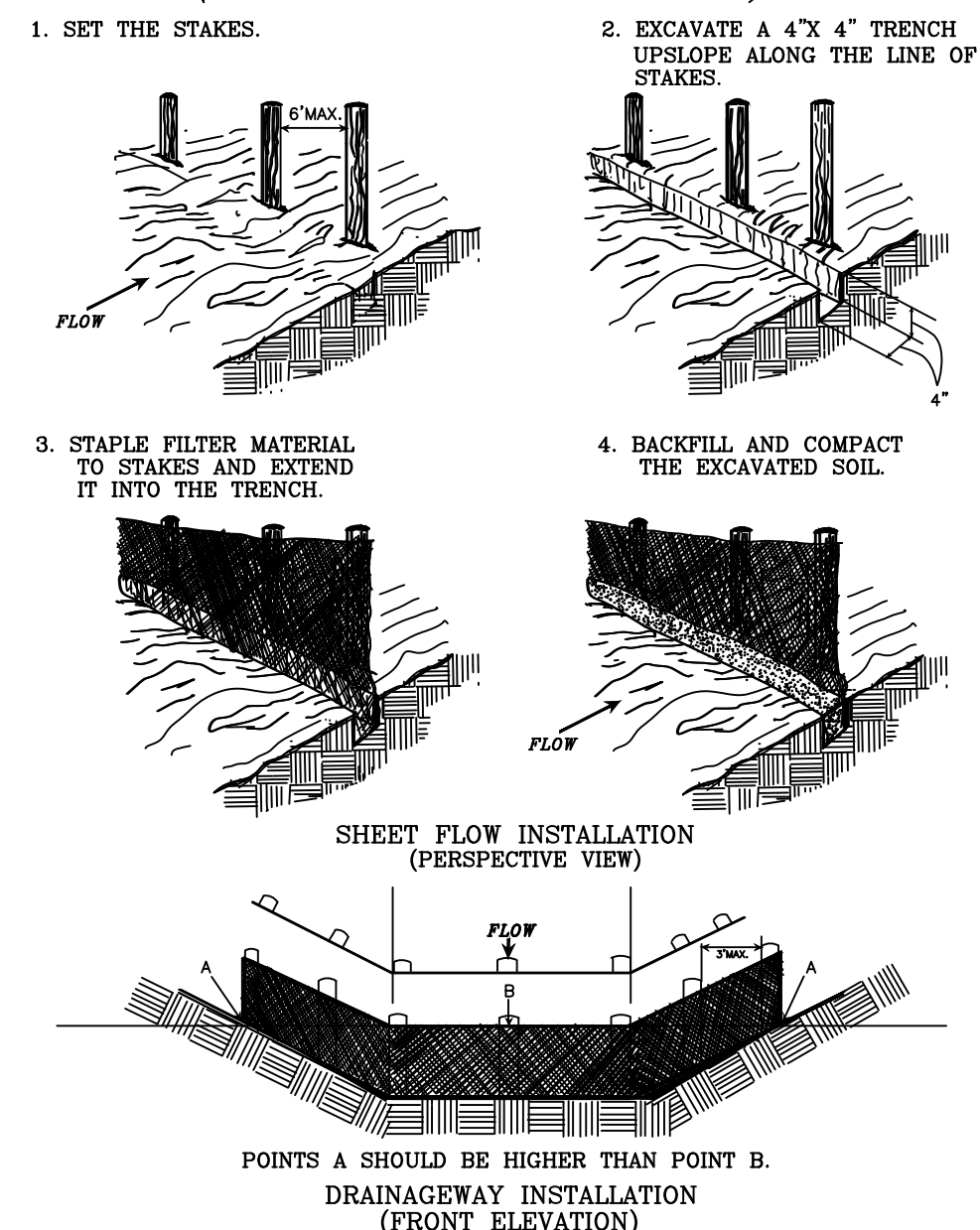
**BMP #2 - BIO-RETENTION FILTER**  
 IMPERVIOUS AREA - 322 S.F.  
 TREATMENT VOLUME -  $T_v = 322 \text{ S.F.} \times 0.08' = 26 \text{ cf}$   
 MEDIA DEPTH -  
 SOIL MEDIA ( $V_r=0.25$ ): DEPTH=18"  
 GRAVEL ( $V_r=0.40$ ): DEPTH=12"  
 CHOKER ( $V_r=0.20$ ): DEPTH=3"  
 SURFACE PONDING ( $V_r=1.00$ ): DEPTH=6"  
 BIO FILTER EQUIVALENT STORAGE DEPTH -  
 $D_{eq} = (1.5' \times 0.25) + (1.00' \times 0.40) + (0.25 \times 0.20) + (0.50' \times 1.00) = 1.33'$   
 BIO FILTER SURFACE AREA -  
 $SA = \text{TREATMENT VOLUME } (T_v) / D_{eq}$   
 $SA = 26 \text{ cf} / 1.33' = 19.5 \text{ S.F.}$   
 (MINIMUM SIZE 50 S.F. AS SHOWN)

**STONE CONSTRUCTION ENTRANCE**

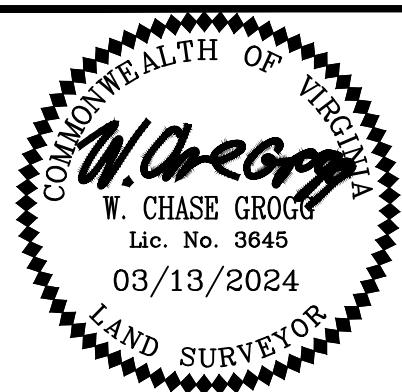


SOURCE: ADAPTED FROM 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

**CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)**



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA DSWC Sherwood and Wyatt Plate 3.05-2



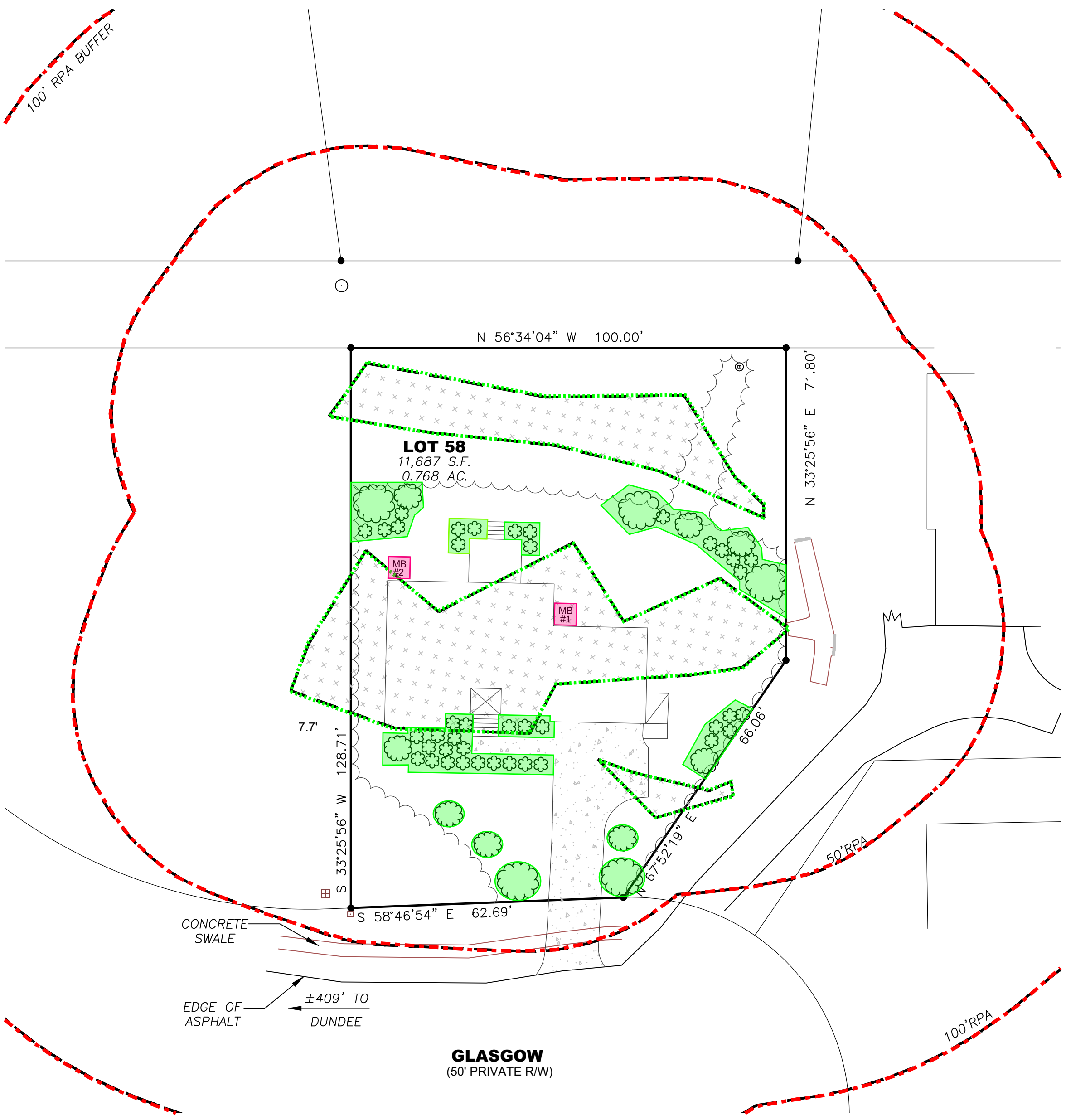
DATE: 2/28/2024  
 DRAWN BY: AEQ  
 PROJECT No. 24-022  
 FILE NAME: 24-022.DWG  
 REFERENCES:  
 P.B. 49, PG. 45-50

LOT PLAN OF  
 LOT 58, SECTION XI-A  
 FORD'S COLONY  
 FOR  
 JOHN KONSTANTINOU  
 JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
2	3/13/2024	REVISED PER FORD'S COLONY COMMENTS
1	3/6/2024	REVISED PER COUNTY COMMENTS

**LRI LANDTECH RESOURCES, INC.**  
 ENGINEERING & SURVEYING CONSULTANTS  
 205 Bullfants Blvd., Suite E, Williamsburg, VA 23188  
 Ph: (757) 565-1677 Fax: (757) 565-0782  
 web: landtechresources.com

RECORD MERIDIAN  
P.B. 49, PG. 50



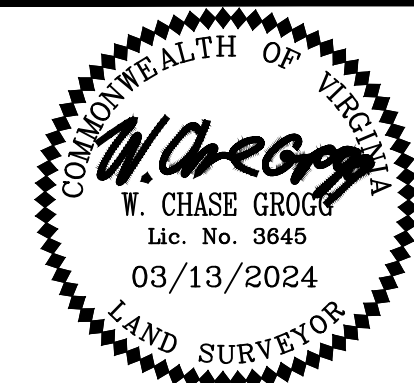
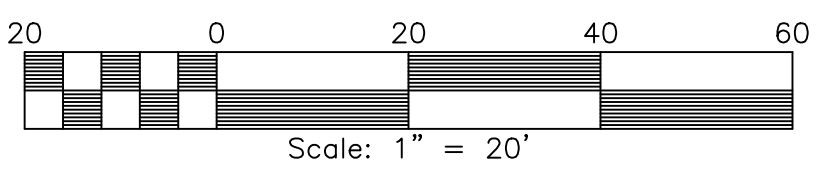
**LANDSCAPE LEGEND**

	CANOPY	=5 SHOWN
	UNDERSTORY	=8 SHOWN
	SHRUBS	=41 SHOWN

MITIGATION TABLE: 2,714 S.F. / 400 S.F. = 7 CREDITS

MITIGATION MEASURE	QTY.(NEEDED)
NATIVE CANOPY TREES	7
NATIVE UNDERSTORY TREES	14
NATIVE SHRUBS	21

\* CONTRACTOR/OWNER TO COORDINATE WITH JAMES CITY COUNTY FOR REQUIREMENTS ON MITIGATION PLANTING.



DATE: 2/28/2024  
 DRAWN BY: AEQ  
 PROJECT No. 24-022  
 FILE NAME: 24-022.DWG  
 REFERENCES:  
 P.B. 49, PG. 45-50

LOT 58, SECTION XI-A  
 FORD'S COLONY  
 FOR  
 JOHN KONSTANTINOU  
 JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
2	3/13/2024	REVISED PER FORD'S COLONY COMMENTS
1	3/6/2024	REVISED PER COUNTY COMMENTS

**LRI**  
**LANDTECH**  
**RESOURCES, INC.**  
 ENGINEERING & SURVEYING CONSULTANTS  
 205 Bullfants Blvd., Suite E, Williamsburg, VA 23188  
 Ph: (757) 565-1677 Fax: (757) 565-0782  
 web: landtechresources.com

## Adjacent Property Owner Mailing List for Case Number: CBPA-24-0031

PIN	Last Name	Address Line 1	City	State	Zip Code
3820200055	CORSON, CHARLES F TRUSTEE &	102 DUNDEE	WILLIAMSBURG	VA	23188-9118
3810400066	CUNNINGHAM, KENNETH A & MAZINE E	110 GLASGOW	WILLIAMSBURG	VA	23188-9172
3820200063	CURRAN, JOHN R SR & FLORENCE L	116 GLASGOW	WILLIAMSBURG	VA	23188-9172
3820200059	HEATH, JORDAN C	115 GLASGOW	WILLIAMSBURG	VA	23188-9174
3820200056	HILKER, JOHN S TRUSTEE & LISA TRUST	100 DUNDEE	WILLIAMSBURG	VA	23188-9118
3820200058	KONSTANTINOU, JOHN D & SHEREE ANN	1315 JAMESTOWN RD ~STE 101	WILLIAMSBURG	VA	23185-3363
3820200064	MCMAHON, THOMAS P & KATHLEEN S	5772 INDEPENDENCE LN	W BLOOMFIELD	MI	48322-1847
	Mr. Chase Grogg LandTech Resources, Inc.	205-E Bulifants Blvd	Williamsburg	VA	23188
3820200057	SHIU, ANTHONY W & MELISSA	PO BOX 181	SPEONK	NY	11972-0181
3820200060	STOCKHAUSEN, JEROME LEO JR &	117 GLASGOW	WILLIAMSBURG	VA	23188-9174
3810400065	WILLIAMS, LARRY L TRUSTEE	101 CHARLES RIVER LANDING R	WILLIAMSBURG	VA	23185-5001
3820200061	WILLIAMS, LUGENIA M. TRUSTEE	119 GLASGOW	WILLIAMSBURG	VA	23188-9174
3820200062	ZEL, GERALD & BARBARA KANE	118 GLASGOW	WILLIAMSBURG	VA	23188-9172



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
jamescitycountyva.gov

**Capital Projects**  
107 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Fleet**  
103 Tewning Road  
Williamsburg, VA 23188  
757-259-4122

**Stormwater and  
Resource Protection**  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
757-259-6670

**Facilities & Grounds**  
113 Tewning Road  
Williamsburg, VA 23188  
757-259-4080

**Solid Waste**  
1204 Jolly Pond Road  
Williamsburg, VA 23188  
757-565-0971

«Last\_Name»  
«Address\_Line\_1»  
«City», «State» «Zip\_Code»

RE: CBPA-24-0031  
113 Glasgow  
Construction of single-family  
dwelling

March 26, 2024

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Chesapeake Bay Board by Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, for encroachments into the Resource Protection Area buffer for the construction of a single-family dwelling. The project is located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Chesapeake Bay Board will hold an advertised public hearing on **Wednesday, April 10, 2024, at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

*Robin Benedict*

Robin Benedict  
Chesapeake Bay Board Secretary  
757-253-6781  
Robin.Benedict@jamescitycountyva.gov



## **PUBLIC HEARING NOTICE**

THE WETLANDS BOARD AND CHESAPEAKE BAY BOARD OF JAMES CITY COUNTY, VIRGINIA, WILL HOLD PUBLIC HEARINGS ON **WEDNESDAY, APRIL 10, 2024 AT 5:00 P.M.** IN THE COUNTY GOVERNMENT CONFERENCE ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASES:

WJPA-24-0005: Ms. Karla Havens, Mid-Atlantic Resource Consulting, on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Wetlands Permit for the replacement of a bulkhead on property located at 7224 CANAL ST, JCC Real Estate Tax Map Parcel No. 1910900038.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA-24-0008: Mr. Jeff Huentelman, Land Planning Solutions, LLC, on behalf of MCP Stonehouse LLC, has applied for a Chesapeake Bay Exception for the installation of a watermain and associated grading on property located at 3820 Rochambeau Drive, JCC Tax Map Parcel No. 1310100008A and 170 Sand Hill Road, JCC Tax Map Parcel No. 1310100019.

CBPA-23-0152: Mr. Ryan Linnekin, Williams Landscape & Design, on behalf of Mr. Derek R. and Ms. Susan K. Smith, has applied for a Chesapeake Bay Exception for the construction of a paver patio and deck on property located at 223 Oakmere Park, JCC Tax Map Parcel No. 3233100041.

CBPA-24-0030: Mr. David Soto, The Structures Group, Inc., on behalf of Mr. Scott and Ms. Janet Kruger, has applied for a Chesapeake Bay Exception for the construction of a retaining wall on property located at 136 John Wickham, JCC Tax Map Parcel No. 5130200009.

CBPA-24-0031: Mr. Chase Grogg, LandTech Resources, Inc., on behalf of Mr. John D. and Ms. Sheree A. Konstantinou, has applied for a Chesapeake Bay Exception for the construction of a single-family dwelling on property located at 113 Glasgow, JCC Tax Map Parcel No. 3820200058.

CBPA-24-0017: Mr. Joseph Krallinger, The Structures Group, Inc., on behalf of Ms. Carolyn D. Hill, has applied for a Chesapeake Bay Exception for the replacement of a retaining wall on property located at 196 The Maine, JCC Tax Map Parcel No. 4540200071.

CBPA-24-0028: Mr. Darryl Flattum, Jr., on behalf of Mr. Ronald and Ms. Joyce Figg, has applied for a Chesapeake Bay Exception for the construction of a gazebo gravel patio on property located at 7224 Canal Street, JCC Tax Map Parcel No. 1910900038.

Appeals from decisions under the Chesapeake Bay Preservation Ordinance may also be heard.

The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

**NOT FOR PUBLICATION**



## **PUBLIC HEARING NOTICE**

DISPLAY: WEDNESDAY – March 27, 2024 and April 3, 2024  
ACCOUNT NO. CU00015112  
VIRGINIA GAZETTE  
1/8 PAGE, VERTICAL, B/W