

**A G E N D A**  
**JAMES CITY COUNTY DEVELOPMENT REVIEW COMMITTEE**  
**REGULAR MEETING**  
**Building A Large Conference Room**  
**101 Mounts Bay Road, Williamsburg, VA 23185**  
**June 17, 2020**  
**4:00 PM**

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**A. CALL TO ORDER**

1. This meeting will be held electronically pursuant to the Continuity of Government Ordinance adopted by the Board of Supervisors on April 14, 2020. The meeting will be accessible through a Zoom audio meeting. Please go to <https://zoom.us/j/93550969429> or call 301-715-8592 and enter the meeting ID 935 5096 9429. Citizen comments may be submitted via US Mail to the Planning Commission Secretary, PO Box 8784, Williamsburg, VA 23187, via electronic mail to [community.development@jamescitycountyva.gov](mailto:community.development@jamescitycountyva.gov), or by leaving a message at 757-253-6750. Comments must be submitted no later than noon on the day of the meeting. Please provide your name and address for the public record.

**B. ROLL CALL**

1. Electronic Meeting Resolution

**C. MINUTES**

1. April 22, 2020 Meeting Minutes

**D. OLD BUSINESS**

**E. NEW BUSINESS**

1. SP-20-0015. Virginia Health Services, Colonial Heritage
2. C-20-0054. 164 & 168 Bush Springs Rd - Overhead Utility Waiver

**F. ADJOURNMENT**

**ITEM SUMMARY**

DATE: 6/17/2020

TO: The Development Review Committee

FROM: Paul D. Holt, III, Secretary

SUBJECT: June 17, 2020 Meeting Details

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**ATTACHMENTS:**

	Description	Type
📎	Zoom Instructions	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Development Review Committee	Baruch, Alex	Approved	6/9/2020 - 10:51 AM
Development Review Committee	Holt, Paul	Approved	6/9/2020 - 11:02 AM
Publication Management	Daniel, Martha	Approved	6/9/2020 - 11:15 AM
Development Review Committee	Holt, Paul	Approved	6/9/2020 - 11:17 AM

## Zoom Instructions for Participants before a Meeting

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. You will receive notice for a videoconference or conference call via email. The notification will include a link to “Join via computer” as well as phone numbers for a conference call option. It will also include the 9-digit (usually) Meeting ID.

## Join the Videoconference

1. At the start time of your meeting, click on the link in your invitation to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your computer’s audio and microphone at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without clicking on the invitation link by going to [join.zoom.us](https://join.zoom.us) on any browser and entering the Meeting ID provided by your committee analyst.

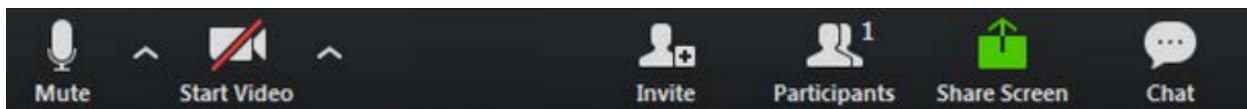
## Join Audio via Phone (Recommended for best connection)

If you have sluggish internet connection, your computer or phone lacks a microphone, or for issues with hearing the audio, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number provided in your invitation.
2. Enter the Meeting ID number (also provided in your invitation) when prompted using your touch-tone keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2-digit participant ID to be associated with your computer.

## During the Meeting

Using the participant controls in the lower left corner of the Zoom screen you can:



- Mute/Unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- Invite other participants
- View Participant list – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand
- Change your screen name that is seen in the participant list and video window
- Share your screen

On your Zoom screen you will also see a choice to toggle between “speaker” and “gallery” view. “Speaker view” shows the active speaker. “Gallery view” tiles all of the meeting participants (like a grid).

**ITEM SUMMARY**

DATE: 6/17/2020

TO: The Development Review Committee

FROM: Paul D. Holt, III, Secretary

SUBJECT: Electronic Meeting Resolution

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**ATTACHMENTS:**

	Description	Type
	Resolution	Resolution

**REVIEWERS:**

Department	Reviewer	Action	Date
Development Review Committee	Baruch, Alex	Approved	6/9/2020 - 10:50 AM
Development Review Committee	Holt, Paul	Approved	6/9/2020 - 11:03 AM
Publication Management	Daniel, Martha	Approved	6/9/2020 - 11:14 AM
Development Review Committee	Holt, Paul	Approved	6/9/2020 - 11:17 AM



## **RESOLUTION**

### **DEVELOPMENT REVIEW COMMITTEE ELECTRONIC MEETING**

- WHEREAS, on March 24, 2020, the James City County Board of Supervisors (the “Board”) adopted an emergency Ordinance to ensure the continuity of government in response to the coronavirus pandemic negatively affecting the health, safety, and welfare of the citizens of James City County (the “County”); and
- WHEREAS, on April 14, 2020, the Board readopted the continuity of government Ordinance (the “Ordinance”), which, under certain circumstances, permits the Board and its subordinate boards, committees, and commissions to conduct regularly scheduled, special, or emergency meetings solely by electronic or telephonic means without a quorum of members physically present (a “Virtual Meeting”); and
- WHEREAS, the Development Review Committee is a committee of the Planning Commission, a subordinate appointed commission of the Board, and is therefore eligible to conduct a Virtual Meeting; and
- WHEREAS, the Development Review Committee desires to conduct a Virtual Meeting on June 17, 2020, at which time those items listed on the agenda attached hereto (the “Agenda”) will be considered; and
- WHEREAS, each of the members of the Development Review Committee have reviewed each the items listed on the Agenda and have determined that consideration of each is necessary to ensure the continuation of the essential functions of the government during the emergency described in the Ordinance.
- NOW, THEREFORE, BE IT RESOLVED that the Development Review Committee of James City County, Virginia, hereby finds and declares that immediate consideration of each of the items set forth in the Agenda is necessary to ensure the continuation of essential functions of the government during the emergency declared by the Board and further described in the Ordinance.

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Jack Haldeman  
Chairman, Development Review Committee

ATTEST:

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Paul D. Holt III  
Secretary to the Planning Commission

	VOTES		
	<u>AYE</u>	<u>NAY</u>	<u>ABSTAIN</u>
HALDEMAN	_____	_____	_____
LEVERENZ	_____	_____	_____
NULL	_____	_____	_____
POLSTER	_____	_____	_____
KRAPF	_____	_____	_____

Adopted by the Development Review Committee of James City County, Virginia, this  
17 day of June, 2020.

061720drcvirmtg-res

**ITEM SUMMARY**

DATE: 6/17/2020

TO: The Development Review Committee

FROM: Paul D. Holt, III, Secretary

SUBJECT: April 22, 2020 Meeting Minutes

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**ATTACHMENTS:**

	Description	Type
	Minutes of the April 22, 2020 DRC Meeting	Minutes

**REVIEWERS:**

Department	Reviewer	Action	Date
Development Review Committee	Baruch, Alex	Approved	6/10/2020 - 1:08 PM
Development Review Committee	Holt, Paul	Approved	6/10/2020 - 1:32 PM
Publication Management	Burcham, Nan	Approved	6/10/2020 - 1:34 PM
Development Review Committee	Holt, Paul	Approved	6/10/2020 - 1:37 PM

**MINUTES**  
**JAMES CITY COUNTY DEVELOPMENT REVIEW COMMITTEE**  
**REGULAR MEETING**  
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**A. CALL TO ORDER**

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2. Zoom Meeting Instructions

**B. ROLL CALL**

1. Electronic Meeting Resolution

Mr. Jack Haldeman called the Development Review Committee (DRC) meeting to order at 4 p.m. He called the roll and read the electronic meeting resolution.

Ms. Julie Leverenz made a motion to Adopt the electronic meeting resolution.

Mr. Frank Polster seconded the motion, and the resolution was adopted by voice vote of 4-0.

**Present:**

Jack Haldeman, Chair  
Rich Krapf  
Julie Leverenz  
Frank Polster

**Absent:**

Barbara Null

**Staff in Attendance:**

Alex Baruch, Principal Planner  
Brett Meadows, Planner  
Deirdre Wells, Stormwater and Resource Protection  
Katie Pelletier, Community Development Assistant

**C. MINUTES**

1. April 1, 2020 Meeting Minutes

Mr. Rich Krapf motioned to Approve the April 1, 2020 DRC meeting minutes.

On a voice vote, the Motion passed 3-0-1. Ms. Julie Leverenz abstained from the vote since

she did not attend the April 1, 2020 meeting.

#### **D. OLD BUSINESS**

There was no old business.

#### **E. NEW BUSINESS**

##### **1. C-20-0034. 3889 News Road Ford's Bluff**

Mr. Brett Meadows addressed the Committee and stated that Frye Development, LLC applied for a conceptual plan to receive comments for a proposed master plan and proffer amendment for Ford's Bluff, previously referred to as The Villages at Ford's Colony.

Mr. Meadows explained that the previously approved proffers state that there shall be no more than 596 independent dwelling units, 83 assisted living/memory care rooms, and 60 skilled nursing rooms/beds and two auxiliary grant beds. He stated that the current, updated conceptual master plan now proposed by Frye Development envisions no more than 215 independent living homes in a mix of unit types.

Mr. Meadows told the Committee that the applicant requested the item be placed on the DRC Agenda to discuss the project and seek input and questions from the DRC members. He said no action by the DRC was required. Mr. Meadows said both he and the applicant were available for any questions.

Mr. Haldeman stated that staff noted there would be 206 independent living units which is significantly less than proposed in January of last year. He asked if that included independent apartments and independent, owner-occupied dwellings.

Mr. Rock Bell of Frye Properties stated there would be 215 independent cottages and 77 independent apartments, for a total of 292 independent of 430 total units. He noted their application failed to mention the 230 independent living units in the Continuing Care Retirement Community (CCRC). He said they would provide the DRC with a complete breakdown of unit numbers and type.

Mr. Vernon Geddy of Geddy, Harris, Franck, & Hickman, LLP gave an introduction and presentation. He said he represents Frye Properties, LLC. He introduced Mr. Bell and Ms. Allie Gorman from Frye Properties, and Mr. Bruce Hedrick from Retirement Unlimited, Inc.

Mr. Hedrick noted he met with the Committee in January 2019. He discussed his company's retirement programs and services and decision to work with Frye Properties.

Mr. Bell presented the cornerstones of Frye Properties, including property management, realty, construction, and land development. He then discussed their development of East Beach in Norfolk and the Cavalier Hotel and property in Virginia Beach. He said they used a variety of housing types in both projects and took great care to consider the pedestrian experience.

Mr. Bell showed the Committee the Master Plan diagrams. He noted items remaining the same, such as the location of the main entrance road, emergency access road, 150-foot buffer along News Road, and proffers. Mr. Bell discussed changes to the Master Plan, explaining that the CCRC units had been consolidated into one building from two and had been moved to the front of the property to reduce the footprint and to cut traffic through the independent units. He noted the clubhouse would be on the highest elevation of the property and said that parks and pedestrian trails would be located throughout the property.

Mr. Bell then discussed the thoroughfares of the development. He said the connection proposed would cut through wetlands to avoid the CCRC. He also pointed out the roads, alleys, pedestrian connectors, and retention ponds.

Mr. Bell discussed home types in the plan, including manor homes with multiple apartments; attached and detached mews houses; townhomes; bungalows around a courtyard; small two-story bungalow houses; and cottages with detached garages. He noted they will incorporate universal design for aging in place as much as possible, and green building standards in every home.

Mr. Bell noted specific areas for discussion. Regarding the bungalows, he discussed fire access and off-site parking considerations. He said the clubhouse would have minimal on-site parking, as most residents would walk, bike, or use golf carts. He also displayed alley cross sections and discussed undesirable and desirable widths and conditions for alleys. Mr. Bell detailed their drive-under gateway apartment concept and said they are still determining its feasibility.

Mr. Bell discussed additional concepts in the plan such as mews housing as a buffer to the CCRC, a walled courtyard of townhouses, and whimsical pedestrian gateways to outdoor spaces. Mr. Bell asked if the DRC had any questions or comments.

Mr. Krapf said he appreciated the analysis on the alley cross sections. He asked if there were plans to plant grasses around the retention pond in front of the CCRC.

Mr. Jason Grimes from AES Consulting Engineers stated there would likely be planting requirements for the perimeter.

Mr. Krapf suggested using pollinator plants if possible.

Mr. Bell said it was a great idea, and they would share the idea with their landscape architect.

Ms. Leverenz also agreed with such plantings, especially if irrigation is not allowed.

Mr. Bell said water from the ponds should be available for irrigation, but they would favor native plants.

Ms. Leverenz said she agreed with the narrow alley design and on-street parking for the clubhouse. She asked if the County regulated golf cart use in neighborhoods.

Mr. Meadows said he did not know but would find out.

Ms. Leverenz asked about aging in place in the two-story homes.

Mr. Bell said accessibility options include having an elevator, elevator shaft, or master bedroom downstairs.

Ms. Leverenz also suggested straight, wide stairs for potential chair lifts and doorways with allowance for wheelchairs. She asked about the availability of affordable units.

Mr. Bell said they will offer a range in square footage of high-quality units.

Mr. Hedrick noted the auxiliary grant program from the original proffers are only for assisted living beds. He said they recognize the need for below market rate units and suggested a subsidized program for a few other units.

Ms. Leverenz asked about their target market for the rental units next to the clubhouse.

Mr. Bell said they believe there will be a market for long- and short-term rentals for those visiting loved ones in the CCRC.

Ms. Leverenz asked if they were looking at an Airbnb concept.

Mr. Bell replied no.

Mr. Polster said he had submitted questions previously over email and asked if they could discuss them.

Mr. Bell spoke of the traffic analysis of News Road and the second entrance by the walled courtyard. He said they have commissioned a wetlands delineation, archaeological study, and endangered species study but expect similar results as the previous studies.

Mr. Polster noted much of the presentation focused on aesthetics, but the Planning Director would develop Design Guidelines. He asked if there were discussions with staff regarding Design Guidelines.

Mr. Bell said they will develop something unique, but they have suggested mirroring the architectural standards from their project in East Beach.

Mr. Alex Baruch said they would typically look at that in a proffer or in a Special Use Permit condition, for review prior to site plan approval or subdivision construction plan approval. He said this was typically done in the development stage, not necessarily before going through the legislative process. He said examples and elevations are good to show the Planning Commission and Board of Supervisors, but the full design guidelines are not yet required.

Mr. Polster addressed health and safety issues regarding the second entrance.

Mr. Bell said emergency service vehicles would have access.

Mr. Polster asked about any plans for green roofing, solar panels, or electric vehicle charging stations.

Mr. Bell said they would offer electric vehicle charging stations near the clubhouse and other public gathering locations.

Mr. Hedrick said they were not planning any green roofing, but they do consider the building orientation to maximize natural daylight and energy efficiency. He said they would also offer a few electric vehicle charging stations outside the CCRC building.

Mr. Polster asked if they will meet or amend the current proffer commitment of two assisted living beds to County Social Services.

Mr. Hedrick replied they do hope to have some below-market rent for their units. He said they do not know what that program or subsidy will be, but they have that commitment.

Mr. Polster asked stormwater-related questions, including stream monitoring and flooding across News Road.

Mr. Grimes said there have been studies of the watershed and corrections made by the County to help alleviate some of the concerns. He said News Road is upstream from the project, so they do not expect additional impacts or analysis requirements.

Mr. Polster said the studies will be updated due to changes in hydrology from impervious cover. He said the project area would be a storage area and therefore connected. He said changing rainfall periods will be a bigger issue in the future.

Ms. Deirdre Wells commented on the watershed plans. She said they will look at upstream impacts while reviewing the development plan.

Mr. Jack Haldeman said that his questions had been answered. He said the current plan is an improvement to the 2007 plan. He commented that he visited the Cavalier Hotel housing development recently and was impressed.

Mr. Krapf said he was impressed with the quality of the project, use of a pattern book, and universal design. He said he appreciates the green building techniques and innovative pedestrian walkways.

Mr. Hedrick spoke about the reduction to the CCRC. He said after market evaluation they are proposing a reduction from 320 units in two buildings to 230 units in one building. He said they would like to be able to exchange the number of units within a level of care, if they do not exceed the total number of 230 units. He said as dynamics change, they would like to have that flexibility. He noted the state controls the number of skilled nursing beds.

Mr. Baruch said they would need to consider and compare the impacts of the different levels of care, such as trip generations.

Mr. Hedrick said he would appreciate a dialogue about the idea and suggested a conversion ratio might be useful.

Mr. Baruch suggested a scoping meeting for traffic considerations or parking impacts.

Mr. Haldeman asked if there were any other comments or questions.

Mr. Bell added they are investigating a new water heater product with the technology and ability to sell energy back to the grid.

## **F. ADJOURNMENT**

Mr. Haldeman thanked everyone for attending the meeting.

Mr. Krapf motioned to Adjourn the meeting.

Mr. Haldeman adjourned the meeting at 5:25 p.m. after a unanimous voice vote of 4-0.

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Mr. Jack Haldeman, Chair

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Mr. Paul Holt, Secretary



**ITEM SUMMARY**

DATE: 6/17/2020

TO: The Development Review Committee

FROM: Tori Haynes, Senior Planner

SUBJECT: SP-20-0015. Virginia Health Services, Colonial Heritage

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**ATTACHMENTS:**

	Description	Type
▣	Staff Report	Staff Report
▣	Attachment 1. Location Map	Backup Material
▣	Attachment 2. Proposed Elevations	Backup Material
▣	Attachment 3. Elevations Key	Backup Material
▣	Attachment 4. Approved Design Guidelines.	Backup Material
▣	Attachment 5. Site Plan Cover Sheet and Layout Sheets	Backup Material
▣	Attachment 6. Agency Comments	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Development Review Committee	Baruch, Alex	Approved	6/8/2020 - 3:14 PM
Development Review Committee	Holt, Paul	Approved	6/8/2020 - 3:57 PM
Publication Management	Burcham, Nan	Approved	6/8/2020 - 3:59 PM
Development Review Committee	Holt, Paul	Approved	6/8/2020 - 3:59 PM

## SITE PLAN-20-0015. Virginia Health Services, Colonial Heritage

### Staff Report for the June 17, 2020, Development Review Committee Meeting

#### SUMMARY FACTS

Applicant:	Mr. Ryan Kiss
Land Owner:	Virginia Health Services, Inc.
Proposal:	New construction of a +/-160,670-square-foot assisted living facility on one of the commercial parcels of the Colonial Heritage Master Plan.
Location:	6799 Richmond Road
Tax Map/Parcel No.:	2430100032
Project Acreage:	±23.35 acres
Current Zoning:	MU, Mixed Use with Proffers
Comprehensive Plan:	Mixed Use
Primary Service Area:	Inside
Staff Contact:	Tori Haynes, Senior Planner

#### REASON FOR DEVELOPMENT REVIEW COMMITTEE REVIEW

No. III-2 of the adopted Proffers states that “*conceptual elevations for development shall be approved prior to site plan approval for any Nonresidential building by the County Development Review Committee (DRC).*” In this case, the proposed building elevations (Attachment No. 2) shall be reviewed for consistency with the design guidelines approved under Case No. C-19-0030 (Attachment No. 4).

Additionally, per Section 24-147(a)(1)(c), DRC review of the site plan is required when total floor area exceeds 30,000 square feet and is not predominantly used as office, warehousing, or industrial. Upon review of the site plan, the DRC shall make a recommendation to the Planning Commission, who shall grant preliminary approval, defer, or disapprove the site plan. Should preliminary approval be granted by the Planning Commission, final approval of the site plan must be achieved within one year from the date of issuance.

#### FACTORS FAVORABLE

1. Staff finds the applicant’s intention to subdivide parcel A-1, allowing the proposed facility to be situated on an interior parcel not fronting on Richmond Road, to be consistent with the approved design guidelines.
2. Staff finds the architectural design incorporating single- and multistory components to be generally consistent with the approved design guidelines.
3. Staff finds the color choice and use of traditional materials including brick, board and batten siding, and trellis elements to be generally consistent with the approved design guidelines.
4. Staff finds the roof line and use of gables and towers to be generally consistent with the approved design guidelines on the multistory sections.
5. Staff finds that façades visible from Richmond Road or facing the New Entry Road are appropriately treated as primary façades as specified in the approved design guidelines.
6. Staff finds that the outstanding agency comments on the site plan can be addressed by the applicant to achieve final approval within one year.

**FACTORS UNFAVORABLE**

1. Staff finds that the 12/12 roof pitch on the single-story sections as shown in the proposed elevations is not consistent with the approved design guidelines, which show a less severe pitch that is more proportionate to the lower height of a single-story structure.

**STAFF RECOMMENDATION**

Staff recommends that the DRC approve the proposed building elevations, subject to a revised roof design on the single-story sections to achieve more visual balance and to be more consistent with the approved design guidelines, as determined by the Planning Director.

Additionally, staff recommends that the DRC recommend preliminary approval of the site plan, subject to addressing all outstanding agency comments and receiving final approval within one year from the date of issuance.

**PROJECT HISTORY**

- **Case Nos. Z-0004-2000/MP-0001-2001:** On November 27, 2001, the Board of Supervisors approved rezoning and Master Plan applications for a 2,000-unit gated and age-restricted community known as Colonial Heritage at Williamsburg. The applications rezoned  $\pm 777$  acres from A-1, General Agricultural, and M-1, Limited Business/Industrial, to MU, Mixed Use with Proffers. The Master Plan included 425,000 square feet of commercial development fronting on Richmond Road in Land Bay VI.
- **Case Nos. Z-0003-2002/Z-0004-200/MP-0001-2002/SUP-0021-2004:** On December 14, 2004, the Board of Supervisors approved the rezoning, Special Use Permit, and Master Plan amendment applications to incorporate the neighboring  $\pm 731$ -acre Boy Scouts of America property into the Colonial Heritage development and amend the associated Proffers. The parcels designated commercial

along Richmond Road were included as part of the applications, but were not substantively affected by the amendments.

- **Case No. C-19-0030:** On April 17, 2019, the DRC reviewed the conceptual plan and draft design guidelines for a new assisted living facility on commercial parcel A-1 in Land Bay VI. The design guidelines were revised per the DRC and staff's comments, and were subsequently approved administratively in November 2019 (Attachment No. 4).

**PROJECT DESCRIPTION**

- The applicant is proposing a new  $\pm 160,670$ -square-foot assisted living facility on commercial parcel A-1 of Land Bay VI of the Colonial Heritage Master Plan. The facility will contain 120 beds, with sections ranging from one to three stories at a maximum height of 46 feet.
- Access to the facility, as well as the other future commercial parcels in Land Bay VI, will be provided via a realignment of the existing private road extending from Richmond Road to Colonial Heritage Boulevard (called "New Entry Road" in the design guidelines). The intersection of the New Entry Road at Richmond Road is currently signalized.
- The applicant has stated their intention to subdivide the parcel so that the facility will be situated on an interior parcel to the west, and will not front directly on Richmond Road.

**SURROUNDING ZONING AND DEVELOPMENT**

- West: The adjacent parcels to the west are zoned MU, Mixed Use with Proffers, and are part of the Colonial Heritage Master Plan. These parcels are part of Land Bays I and II and are designated residential on the Master Plan.

**Staff Report for the June 17, 2020, Development Review Committee Meeting**

- North: The adjacent parcel to the north is zoned MU, Mixed Use with Proffers, and is part of the Colonial Heritage Master Plan. This parcel is part of Land Bay VI and is designated commercial on the Master Plan.
- East: The adjacent parcels across Richmond Road to the east are zoned M-1, Limited Business/Industrial, and are part of the Williamsburg Pottery development.
- South: The adjacent parcel to the south is zoned A-1, General Agricultural, and is undeveloped. It is not part of the Colonial Heritage Master Plan.

**STAFF ANALYSIS**

The applicant has indicated that parcel A-1 will be subdivided, creating new parcels fronting on Richmond Road and allowing the assisted living facility to be situated on an interior parcel further from Richmond Road. Staff finds this to be consistent with the approved design guidelines, which specify that the assisted living facility will be located on an interior parcel. Per the guidelines, the increased distance from Richmond Road allows for a greater height than buildings directly fronting on Richmond Road, provided that the following elements are incorporated into any multistory sections:

- Steps in the plan that break the facade into a series of independent elements to reduce the horizontal nature of the building.
- Alignment of windows between floors.
- Board and batten siding on the upper floors.
- Brick used on the first floor to anchor the building, with the transition from brick to board and batten materials alternating between façades to avoid defining a horizontal split.

- Gabled roof elements to cap the vertical gesture and further vary the facade.
- Sloped roof sections to create mechanical wells to appropriately screen equipment from every vantage point.

Staff finds that these elements have been incorporated appropriately in the multistory sections, providing the vertical and horizontal visual interest specified in the design guidelines.

The design guidelines for the one-story sections specify:

- A residential character that complements the multistory portions of the building.
- Brick and horizontal siding to split the façade and provide a residential-scale fenestration.
- Gabled roofs with exposed rafters and roof slopes that contribute to the residential aesthetic, break up the horizontality of the façades, and provide screening for mechanical equipment.
- Tower elements to serve as vertical breaks in the facades, which project above other rooflines and are capped with a strong, horizontal cantilevered roof.

Staff finds that the elevation design of the one-story sections are generally consistent with these guidelines, with the exception of the roof, which appears to be at a steeper pitch than what is presented in the approved design guidelines (see Attachment No. 4, Page 8, Figure 1.21). While the pitch is not specifically called out in the design guidelines, when comparing the proposed single-story elevations to Figure 1.21, staff determined that the proposed 12/12 roof pitch creates a more severe visual impact relative to the lower height of the single-story sections. Staff did not have this concern on the multistory sections.

## **SITE PLAN-20-0015. Virginia Health Services, Colonial Heritage**

### **Staff Report for the June 17, 2020, Development Review Committee Meeting**

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In all sections, façades visible from Richmond Road or directly facing the New Entry Road are considered primary facades which should incorporate traditional materials of brick, board and batten siding, and trellis elements to create a uniform image of appropriate materials and architectural forms. Staff finds that façades visible from Richmond Road or facing the New Entry Road have incorporated the specified materials accordingly and are in keeping with the approved design guidelines.

Regarding parking, the design guidelines stipulate that parking should be located behind a primary façade and should not be visible from Richmond Road wherever possible. Where parking is visible from Richmond Road, it should be screened using a combination of landscaping, berms, and low walls. As shown on the site plan, the proposed parking areas are located in a fashion consistent with the design guidelines, although at this stage parking lots visible from Richmond Road are not yet sufficiently screened. Staff finds that revising the site plan to reflect the appropriate screening is achievable and not a hindrance to preliminary site plan approval.

Further, staff finds that the outstanding comments from various agencies (Attachment No. 6) will not substantively impact the layout or size of the facility. Although there are several items to complete for an approvable final site plan, staff finds that these are achievable through typical site plan revisions. Should there be a substantive change to the layout or size of the facility, staff would bring this proposal back to the DRC for another review.

#### **STAFF RECOMMENDATION**

Staff recommends that the DRC recommend approval of the proposed building elevations, subject to a revised roof design on the single-story sections to achieve more visual balance and to be more consistent with the approved design guidelines, as determined by the Planning Director.

Additionally, staff recommends that the DRC recommend preliminary approval of the site plan, subject to addressing all outstanding agency comments and receiving final approval within one year from the date of issuance.

TH/nb  
SP20-15VHS-ColHrtg

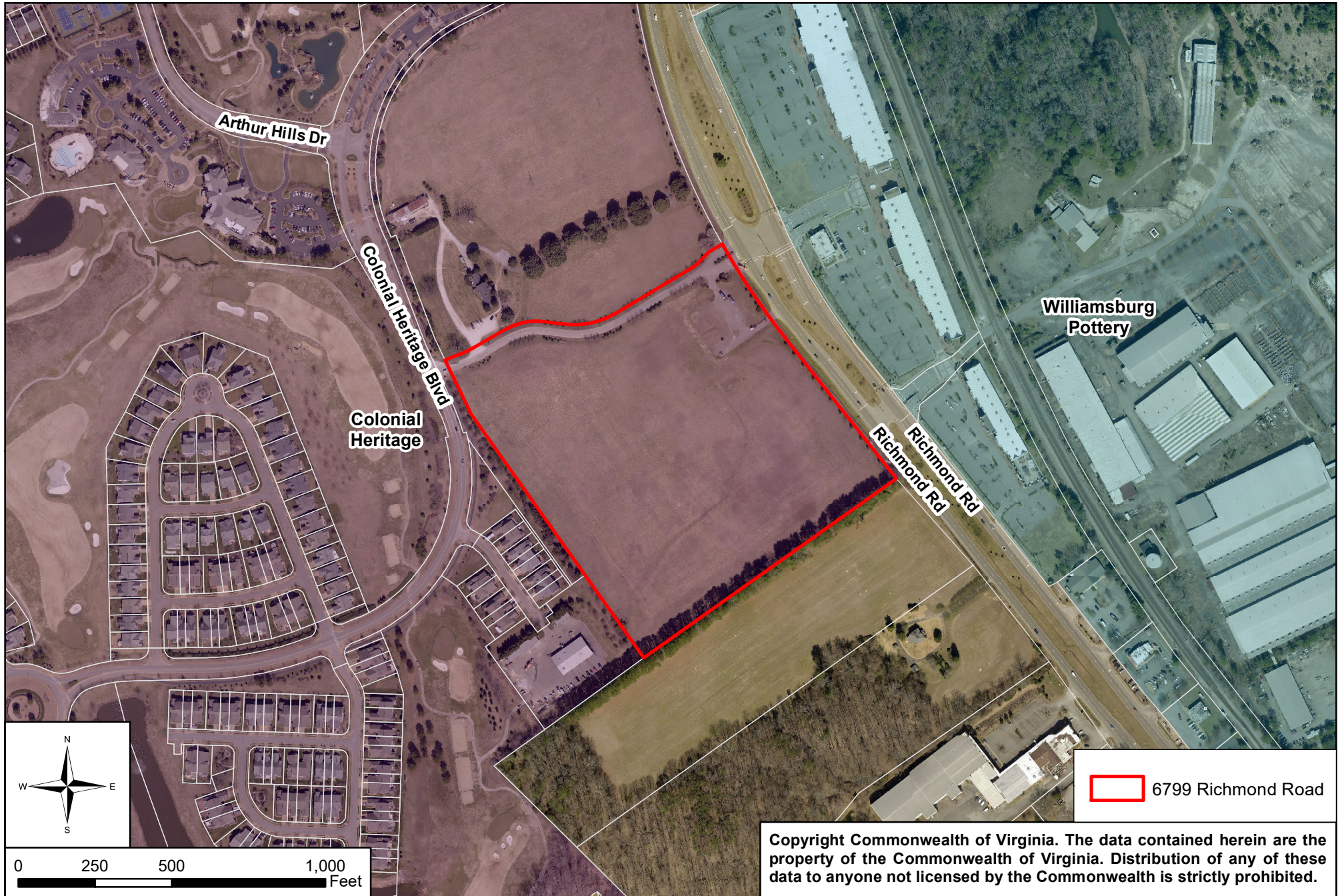
#### Attachments:

1. Location Map
2. Proposed Elevations
3. Elevations Key
4. Approved Design Guidelines (ref: C-19-0030)
5. Site Plan Cover Sheet and Layout Sheets
6. Agency Comments



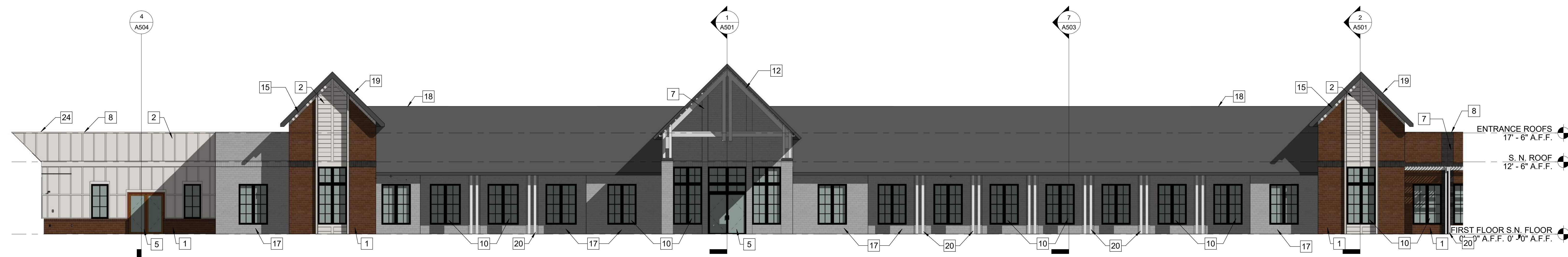
JCC SP-20-0015

# Virginia Health Systems Assisted Living Facility





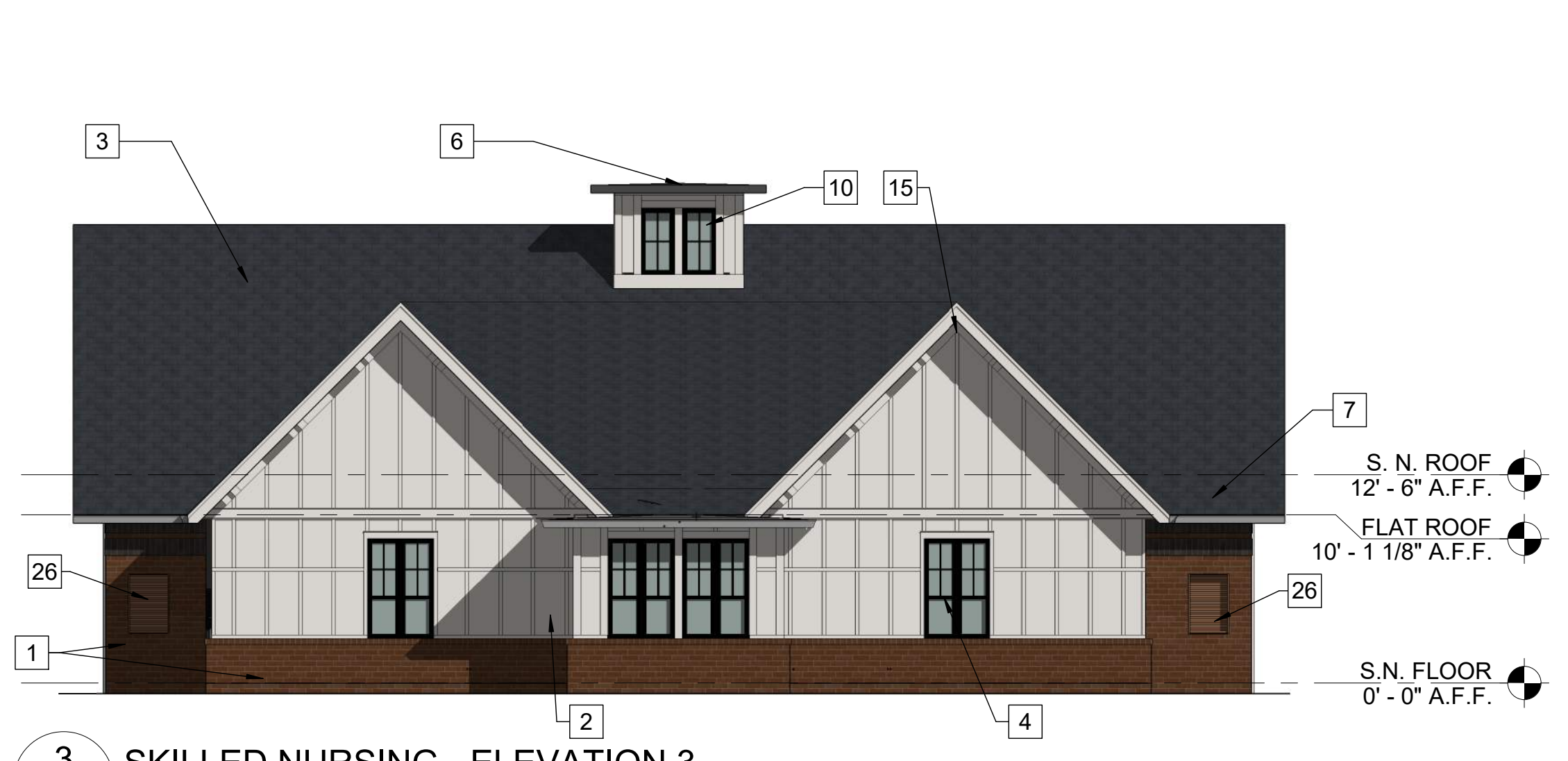
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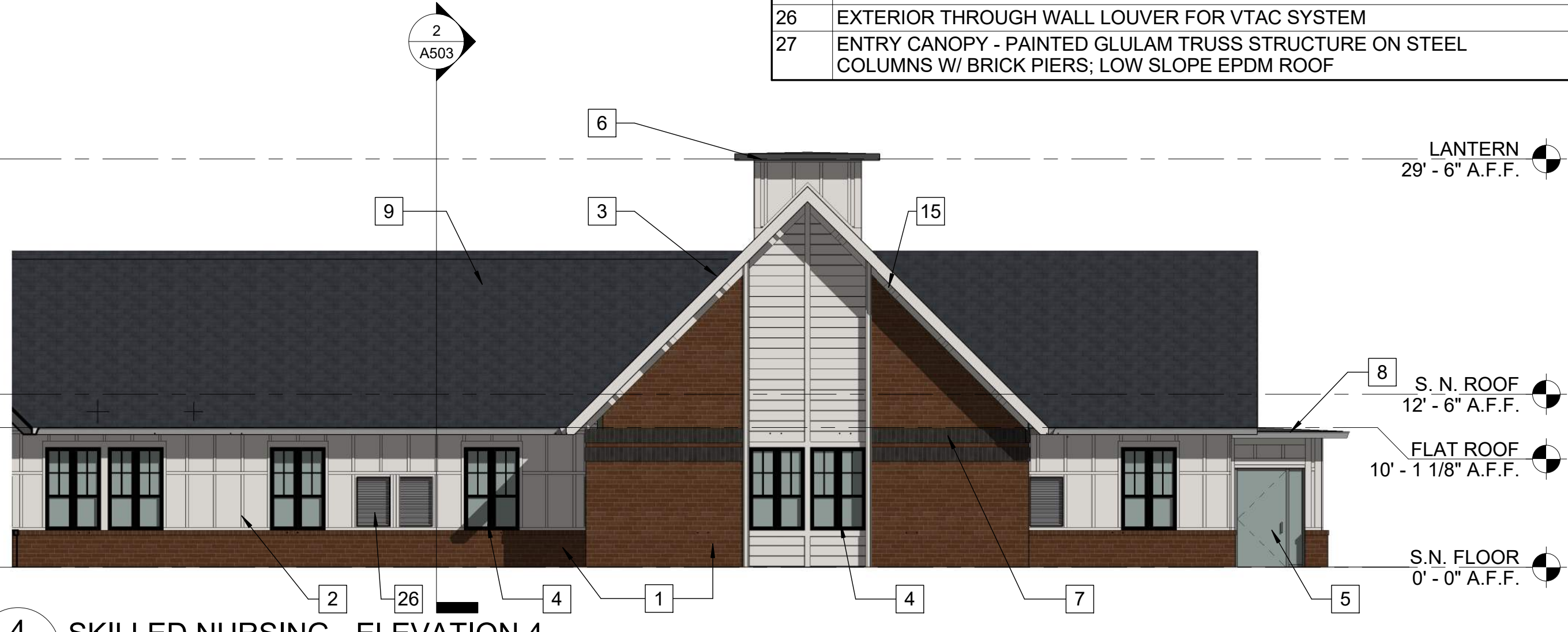
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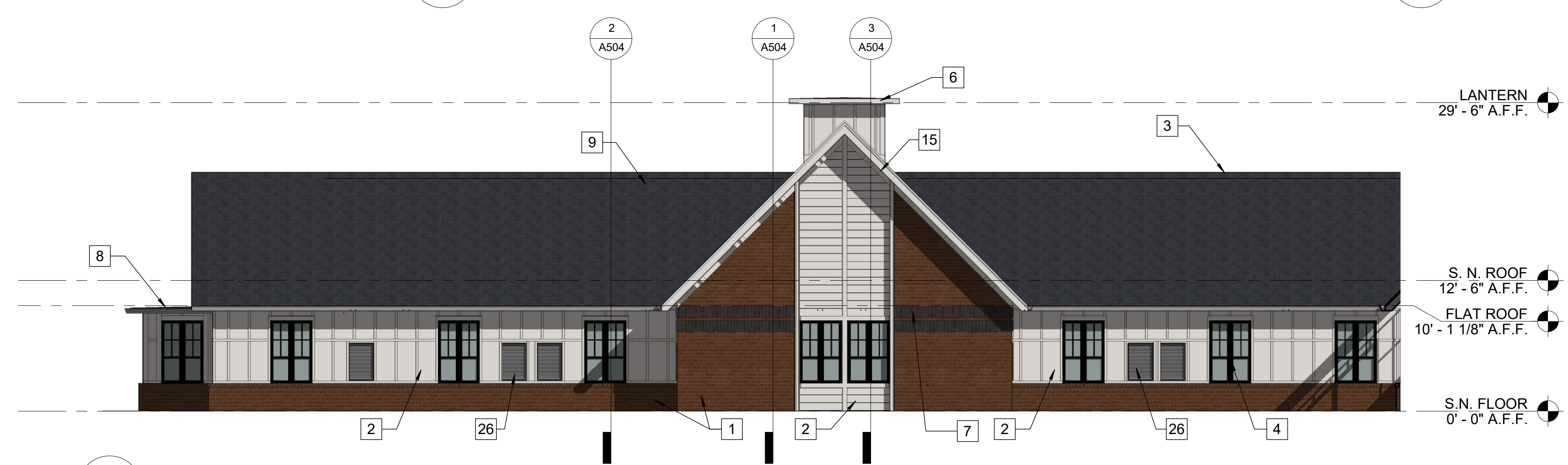
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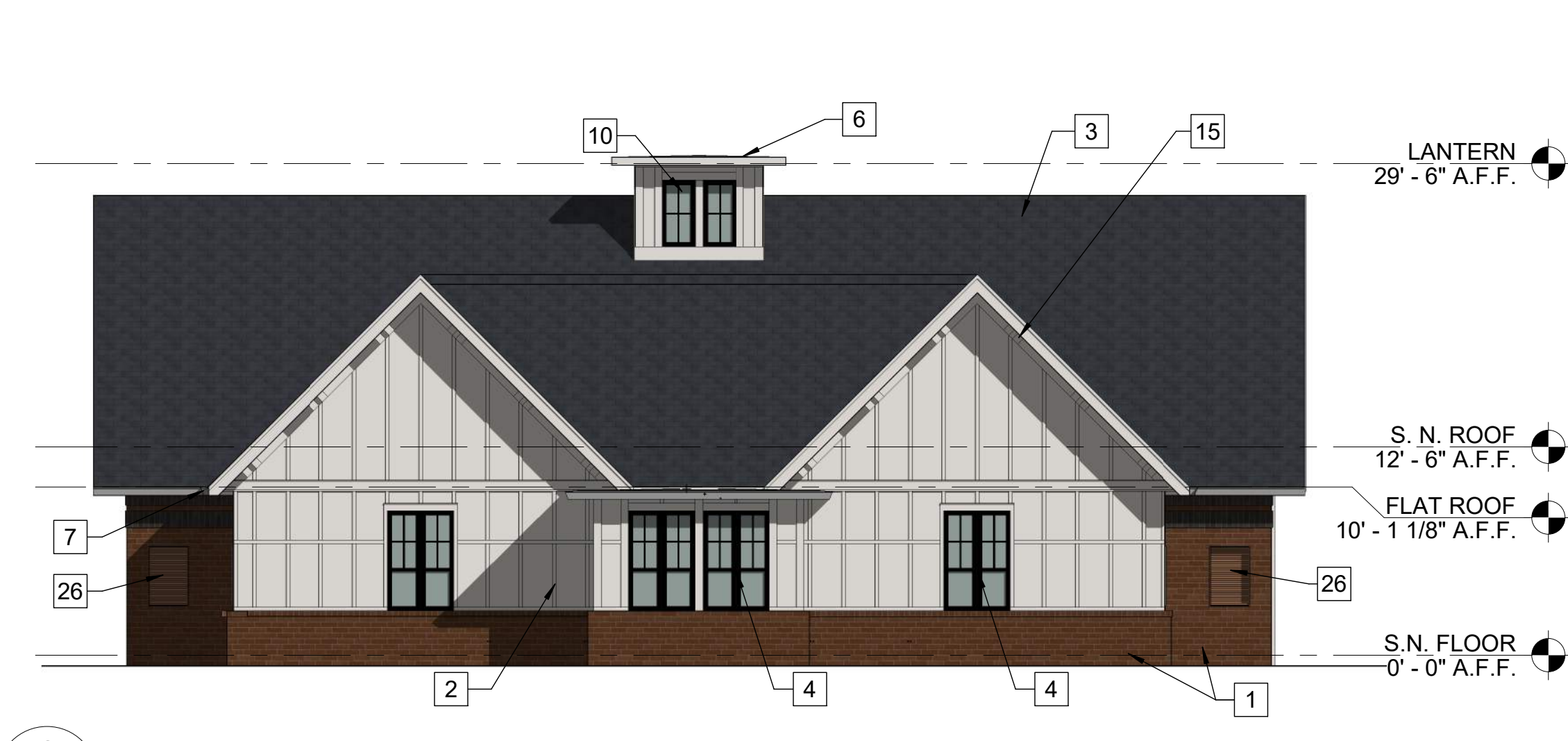
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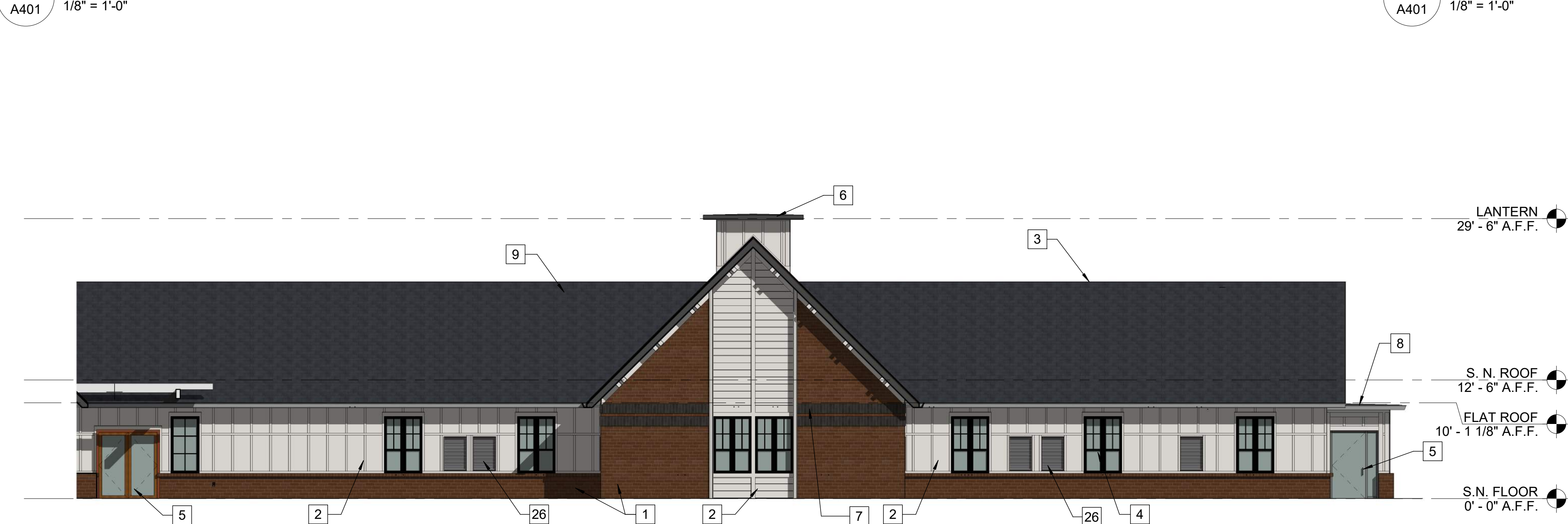
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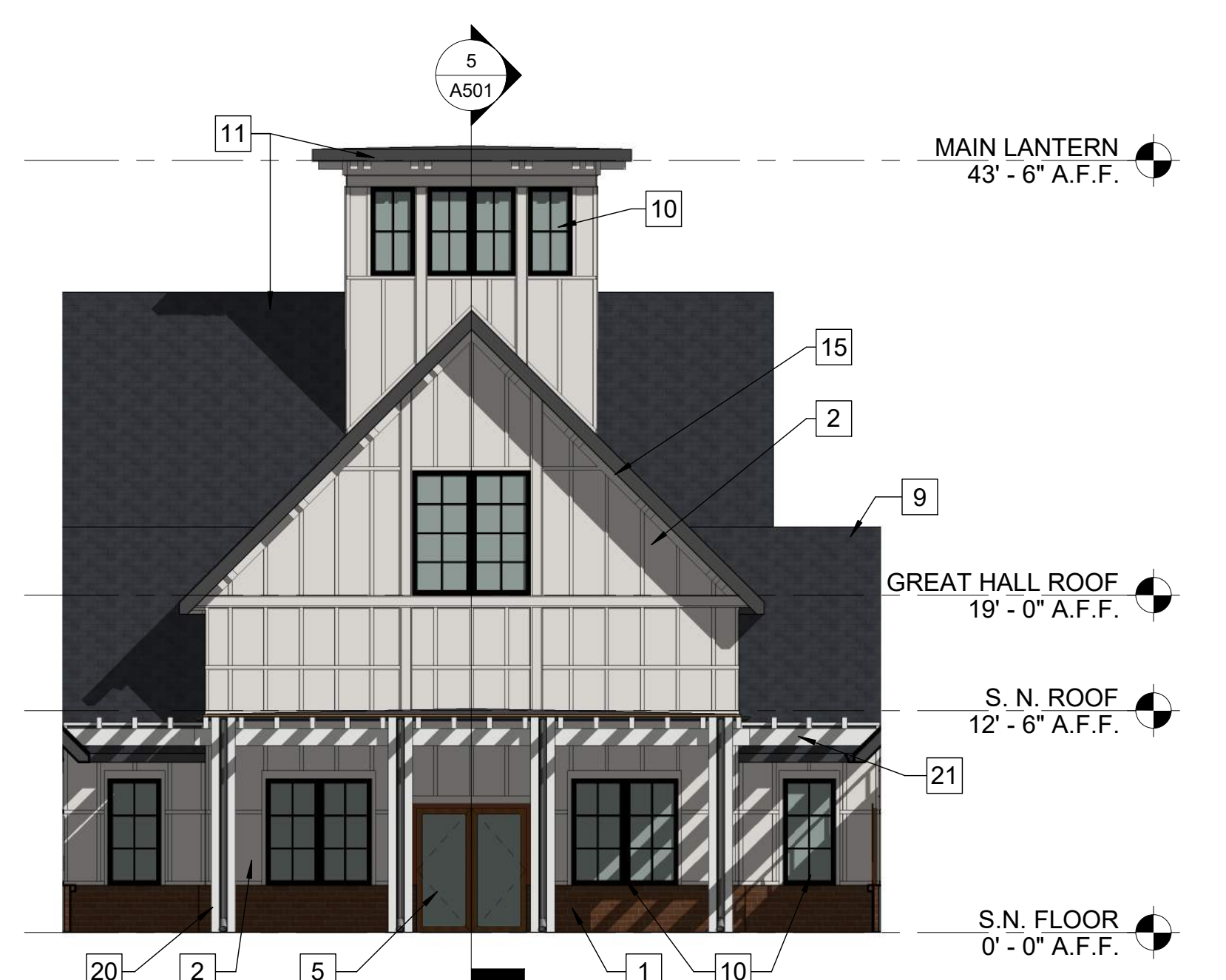
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7 SKILLED NURSING - ELEVATION 7  
A401 1/8" = 1'-0"



8 SKILLED NURSING - ELEVATION 8  
A401 1/8" = 1'-0"

NOTES - BUILDING ELEVATION	
1	BRICK FACADE, UTILITY SIZE
2	HARDIEPANEL BOARD AND BATTEN SIDING FACADE
3	ARCHITECTURAL ASPHALT SHINGLE 12:12 ROOF
4	ANDERSEN 100 SERIES SINGLE HUNG WINDOWS WITH FULL DIVIDED LIGHT COLONIAL TOP SASH, LOW-E GLASS, BLACK FINISH
5	KAWNEER TRIFAB 601UT FRAMING SYSTEM, GLAZING: 1" INSULATED GLAZING UNITS WITH A LOW-E COATING, 70 % KYNAR PAINT FINISH, CUSTOM COLOR, AS SELECTED BY ARCHITECT
6	LIGHT WELL, METAL FRAMED W/ HARDIPANEL SIDING, ALUMINUM FRAMED WINDOWS, LOW SLOPE ROOF
7	UTILITY BRICK BANDING DETAIL
8	LOW SLOPE ROOF
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10	ANDERSEN 100 SERIES FIXED WINDOWS WITH FULL DIVIDED LIGHT COLONIAL, LOW-E GLASS, BLACK FINISH
11	2-STORY GRAND HALL, BOARD AND BATTEN CLADDING W/ 12:12 ASPHALT SHINGLE ROOF, CENTRAL LIGHT TOWER AT GABLE ROOF INTERSECTION
12	ENTRY CANOPY - PAINTED GLULAM TRUSS STRUCTURE ON STEEL COLUMNS W/ BRICK PIERS; STANDING SEAM METAL ROOF
13	CLOCK TOWER W/ CLOCK ON 2 FACES, BOARD AND BATTEN AND BRICK FACADE
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P M A  
ARCHITECTURE  
10227 WARWICK BOULEVARD  
NEWPORT NEWS, VIRGINIA 23601  
(757) 596-8200 • (757) 596-6598  
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WILLIAMSBURG, VA 23188

#	Revision	Date

DRAWN BY: JCS  
CHECKED BY: Checker  
PROJECT #: 1917  
DATE: 03/19/2020  
SCALE: AS NOTED  
SHEET NAME: BUILDING ELEVATIONS - SKILLED NURSING

DRAWING #: A401

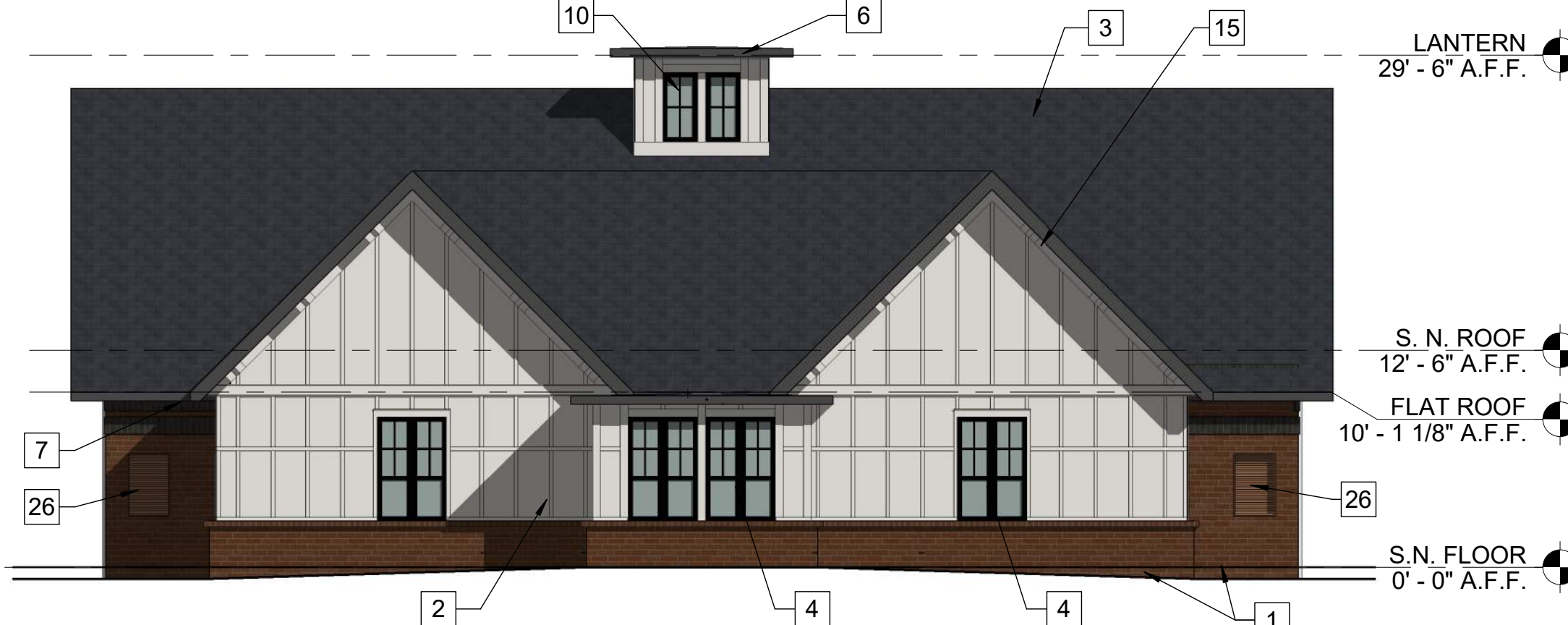
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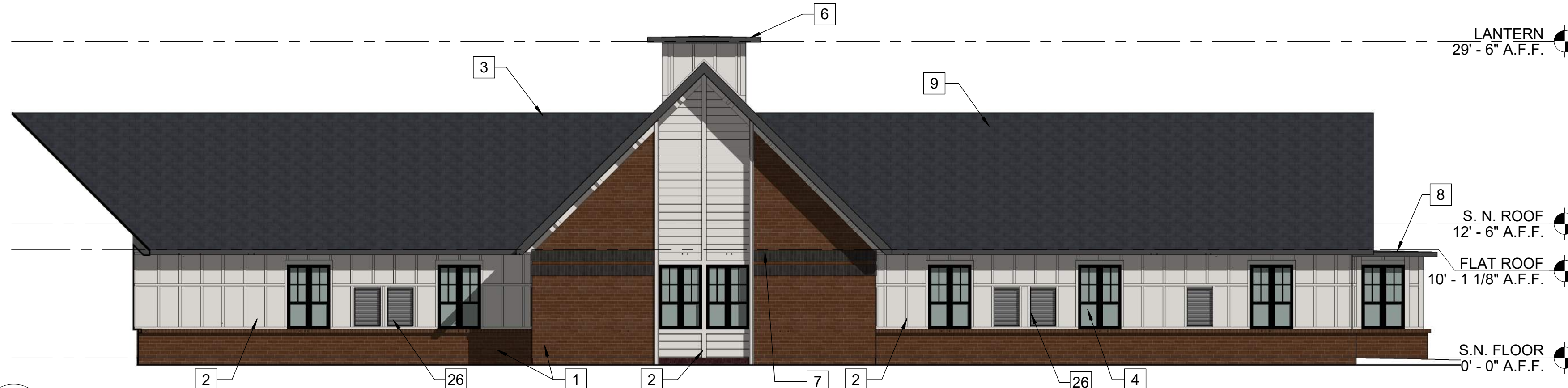
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SCALE: 1/16" = 1'-0"



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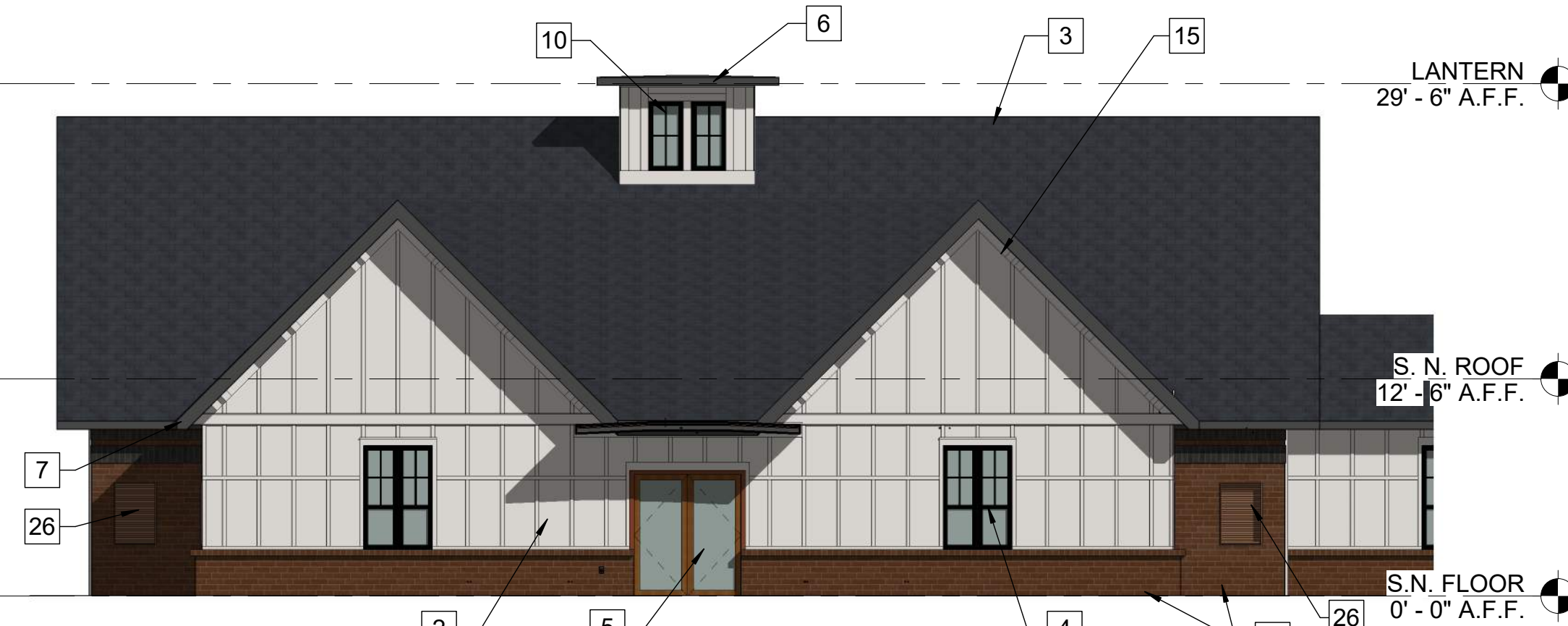
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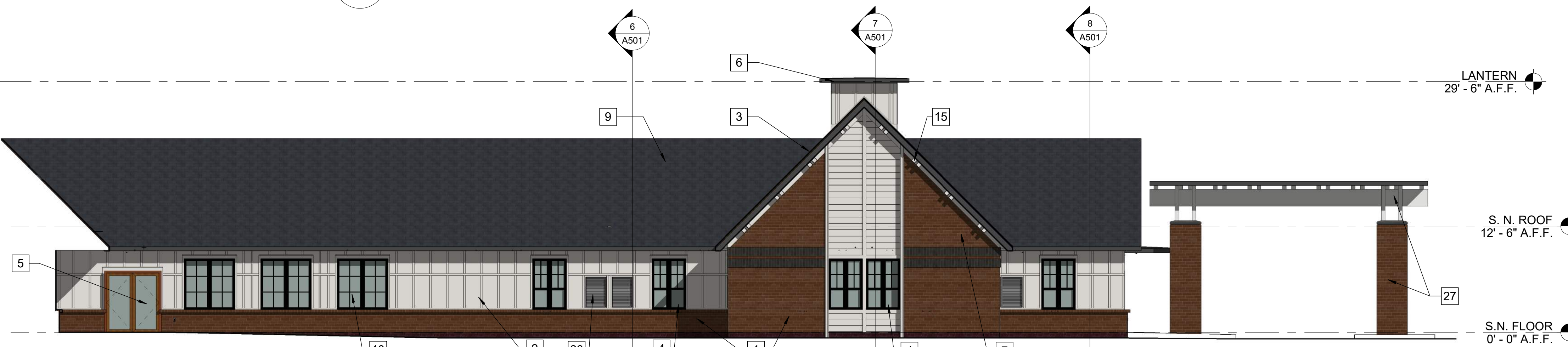
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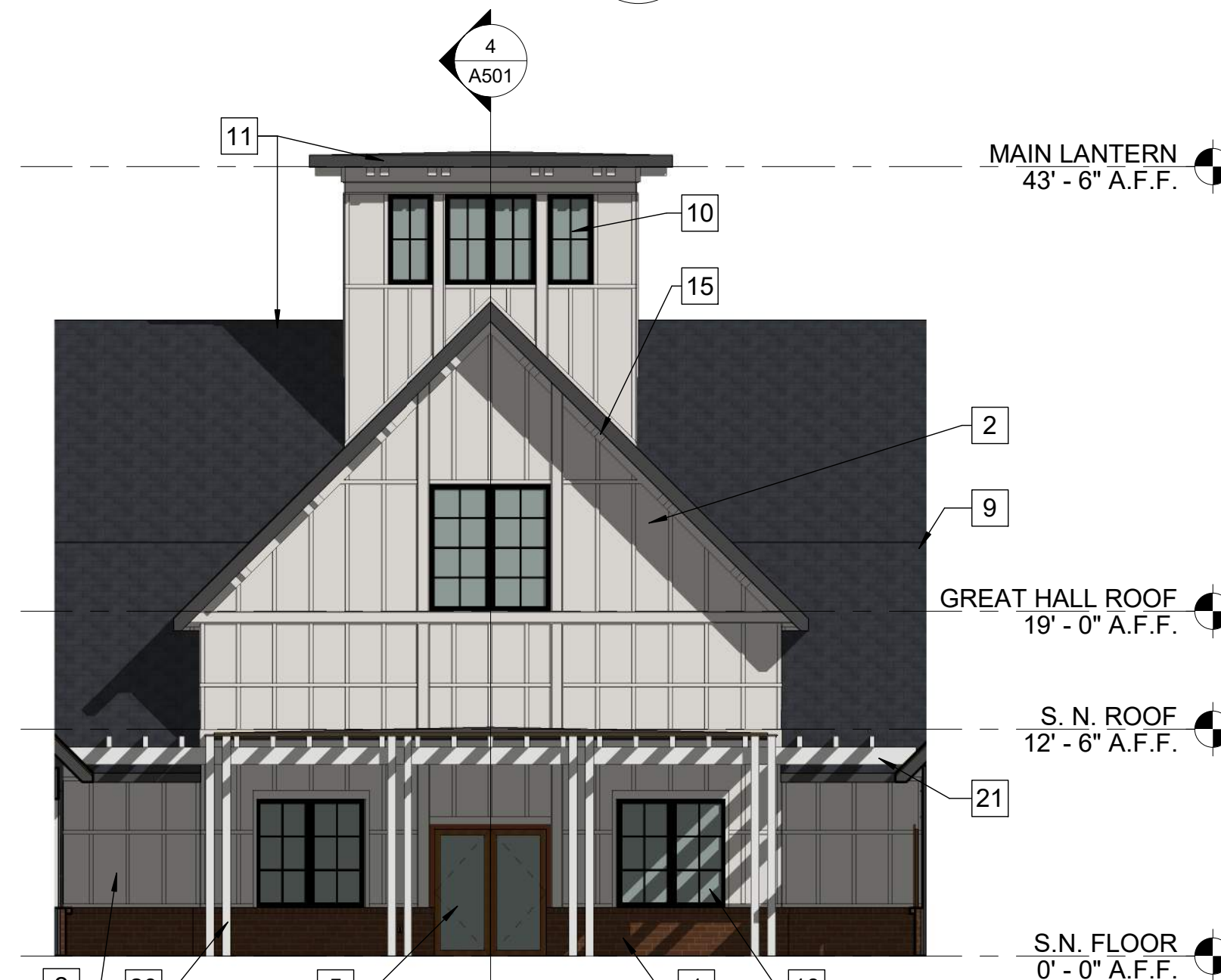
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6 SKILLED NURSING - ELEVATION 14  
1/8" = 1'-0"



7 SKILLED NURSING - ELEVATION 15  
1/8" = 1'-0"



8 SKILLED NURSING - ELEVATION 16  
1/8" = 1'-0"



9 SKILLED NURSING - ELEVATION 17  
1/8" = 1'-0"

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P M A  
ARCHITECTURE  
10227 WARWICK BOULEVARD  
NEWPORT NEWS, VIRGINIA 23601  
(757) 596-8200 • (757) 596-6598  
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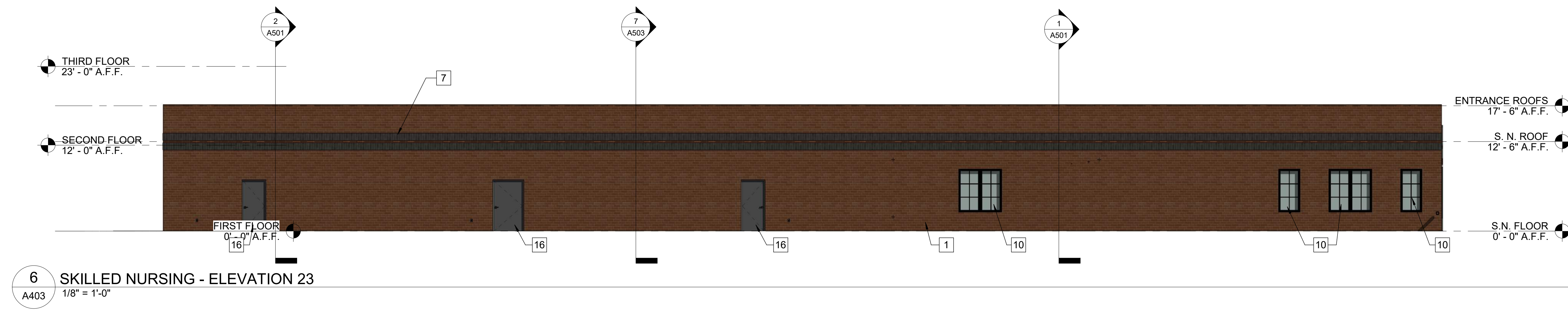
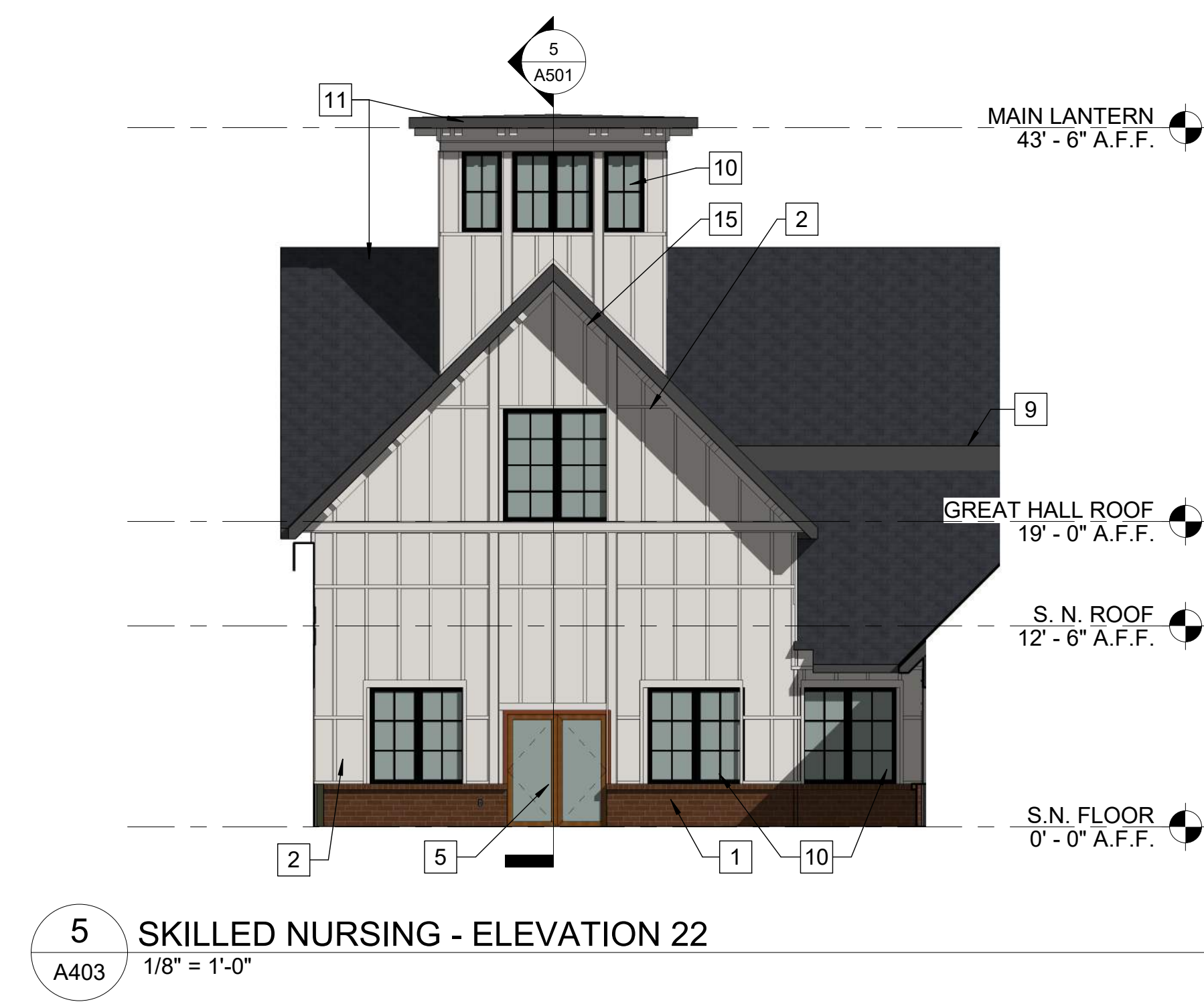
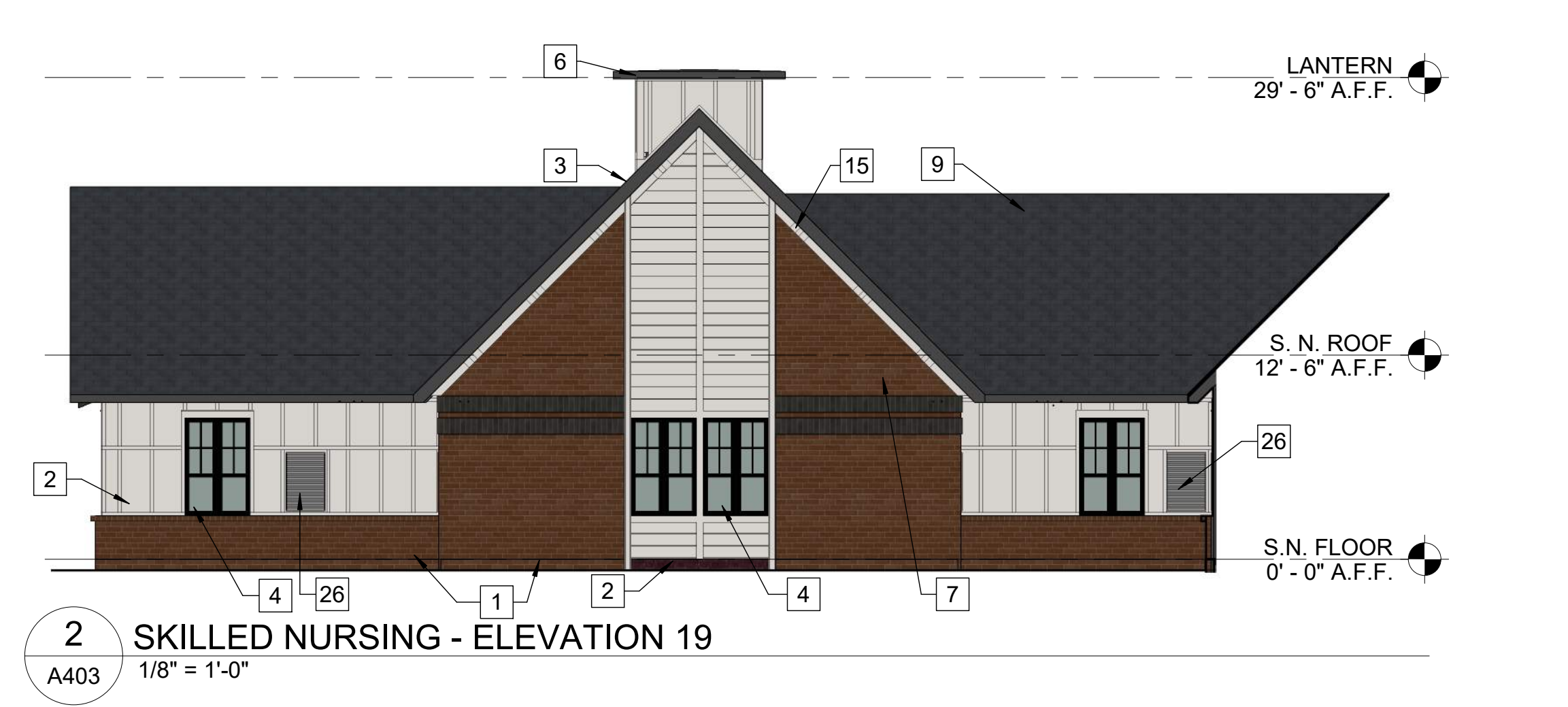
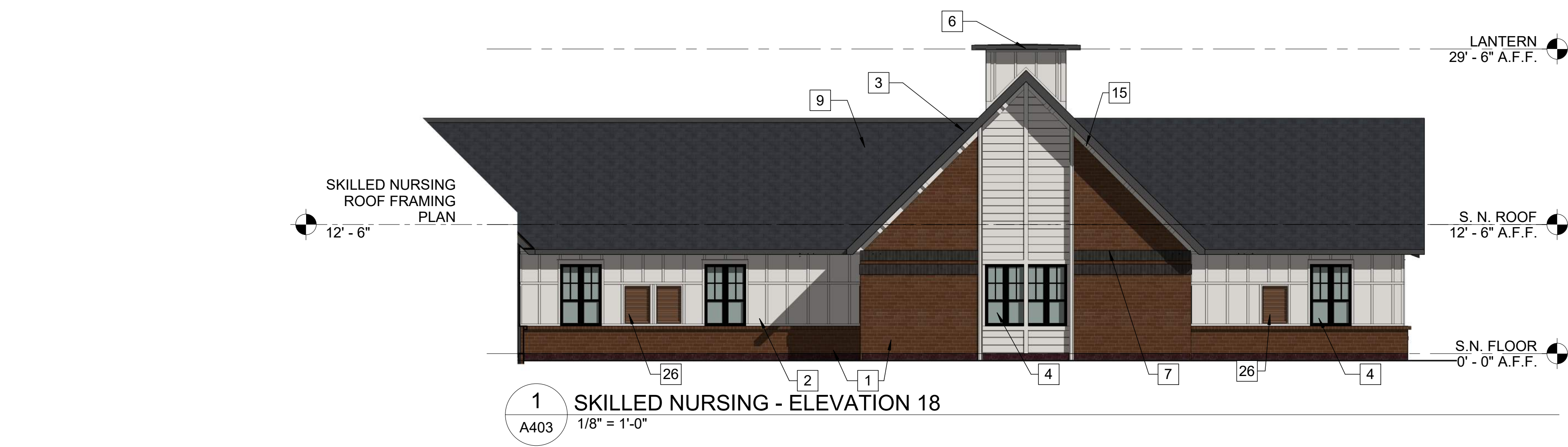
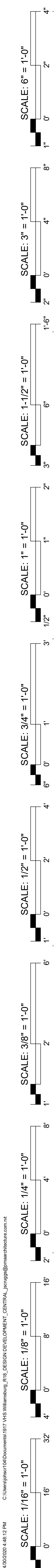
#	Revision	Date

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PROJECT #: 1917  
DATE: 03/19/2020  
SCALE: AS NOTED  
SHEET NAME: BUILDING ELEVATIONS - SKILLED NURSING

DRAWING #: A402  
DRAWING: of



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NOTES - BUILDING ELEVATION	
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P M A  
ARCHITECTURE

10227 WARWICK BOULEVARD  
NEWPORT NEWS, VIRGINIA 23601  
(757)594-8200 • (757)594-6598  
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#	Revision	Date

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PROJECT #:

1917

DATE:

03/19/2020

SCALE:

AS NOTED

SHEET NAME:

BUILDING ELEVATIONS - SKILLED NURSING

DRAWING #:

A403

DRAWING:

of



## NOTES - BUILDING ELEVATION

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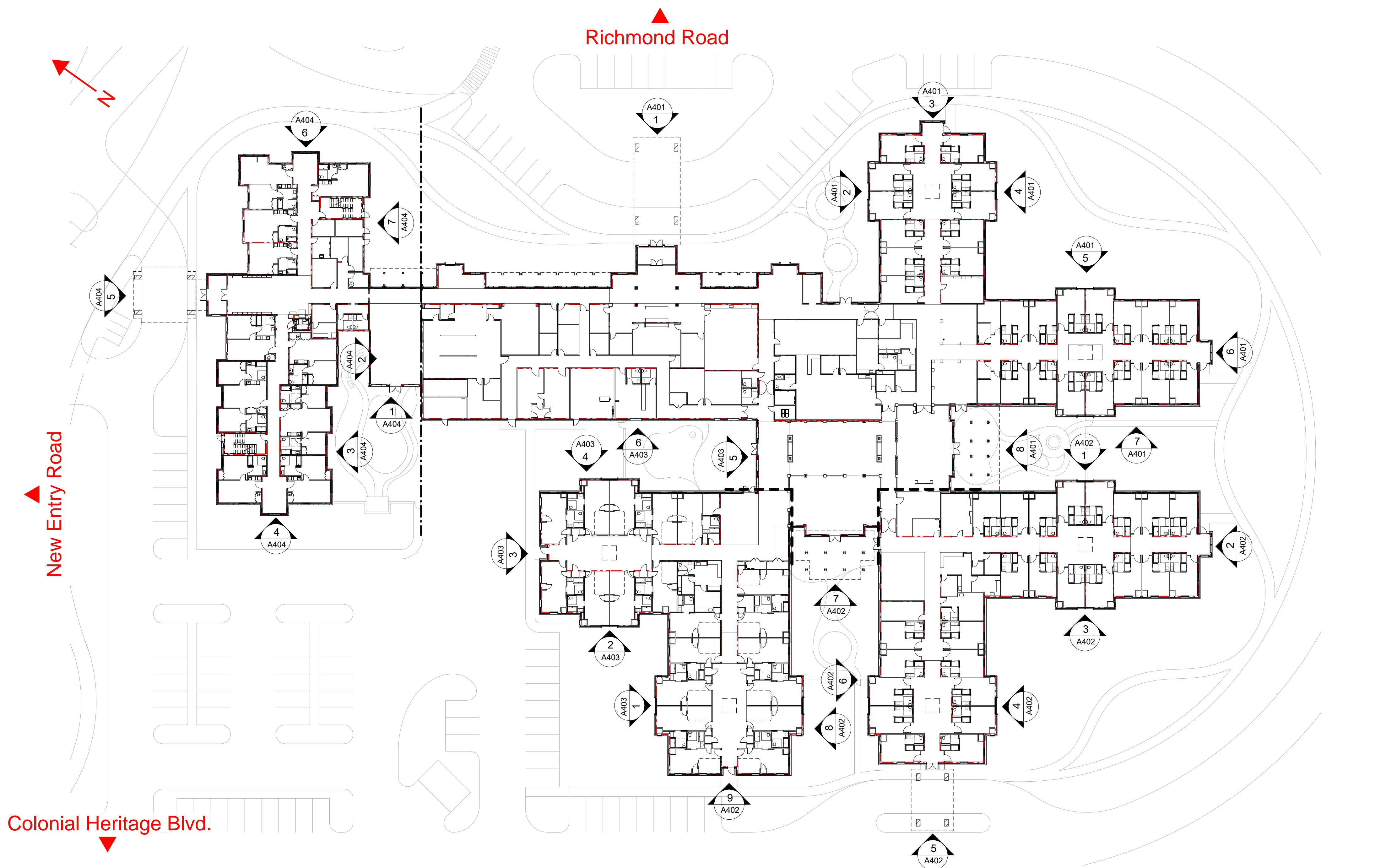
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ELEVATIONS -  
ASSISTED LIVING

DRAWING #: **A404**

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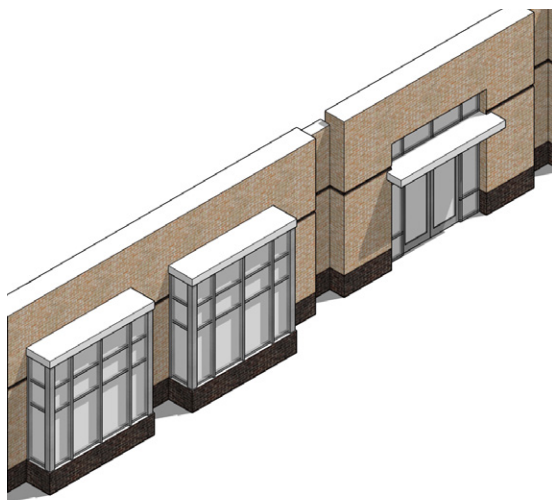
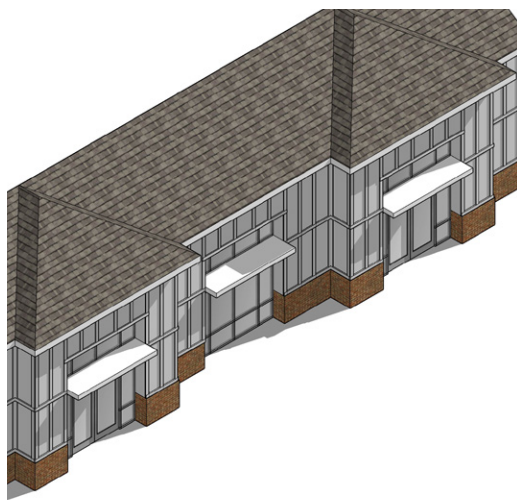
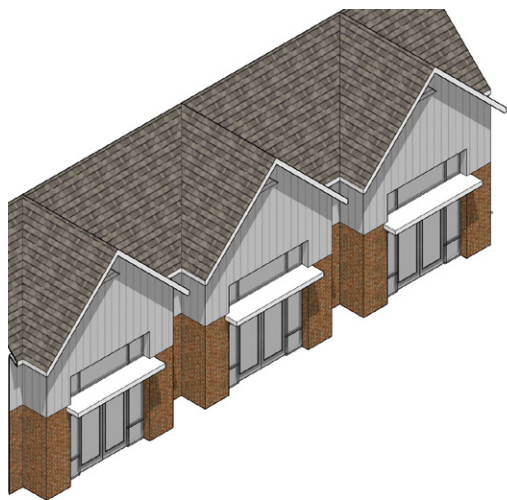
FIRST FLOOR PLAN - KEY PLAN  
1/32" = 1'-0"

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WILLIAMSBURG, VA 23188

#	Revision	Date	Title:	Sheet:
			EXTERIOR ELEVATIONS	A405
			KEY PLAN	Project #: 1917
			Scale: AS NOTED	Date: 06/02/20

# DESIGN GUIDELINES FOR MIXED-USE DEVELOPMENT





DESIGN GUIDELINES OVERVIEW

General Overview

Design Guidelines for the mixed-use development of Tax Parcels #2430100032 and #24330100032B which are located on Richmond Road are intended to allow for mixed-use development of the property with a variety of commercial uses that will further develop and compliment the Richmond Road Community Character Corridor and the economy of the County. Architectural character and variety which is consistent with the objectives of the Richmond Road Community Character Corridor are encouraged as illustrated and described in these guidelines. The development guidelines address development of these two parcels to the north west of the New Entry Road. In each parcel there is enough land available to separately develop the Richmond Road frontage and the interior portion of the property which borders the Colonial Heritage Development to the west, as shown in Figure 1.8. These design guidelines form a series of suggested architectural forms, materials, roof shapes, materials and details which can be used to create a vibrant and cohesive architectural character which will contribute to Richmond Road Commercial Corridor. Figure 1.1 - Figure 1.7 illustrate recommended architectural concepts which provide a range of architectural forms and styles which are appropriate for the context of this corridor.



Figure 1.1



Figure 1.2



Figure 1.3



Figure 1.4



Figure 1.5



Figure 1.6

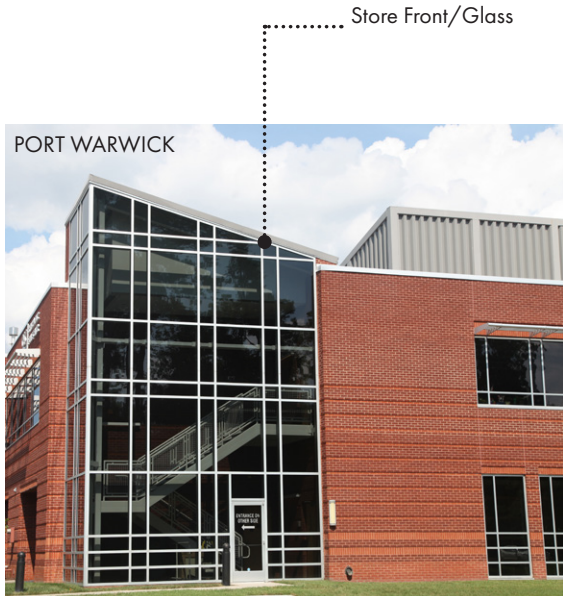


Figure 1.7

DESIGN GUIDELINES OVERVIEW

**Area A1 and A2** – Areas A1 and A2 as shown in Figure 1.8 refer to land parcels 2430100032 and 2430100032B respectively, as referenced in the James City County land records. Area A1 is proposed for a specific pattern of development consisting of a combination of mixed commercial uses incorporating a Senior Care facility on the interior portion of the parcel and a variety of commercial uses on the eastern edge of the parcel fronting Richmond Road. Uses are limited to non-residential uses and a mixture of commercial uses is permitted and encouraged to create a future development with vibrancy and variety. The New Entry Road will be improved to include a tree-lined entrance boulevard providing ingress and egress separated by a landscaped median. The New Entry Road will serve as the main entrance to the new development providing direct access to the Richmond Road frontage of Area A1 and A2 as well as entrance to the interior portions of each separate area.

Senior Care Development at Area A1 – As illustrated in Figure 1.9, the proposed senior care development at the interior of Area A1 is located in order to place the majority of parking for this use out of view of the Richmond Road Corridor vistas, except for parking which is needed for visitors at the main entrance to the facility. Further, the architecture of the Senior Care facility will include single-story and multi-story components incorporating a series of tower elements to create visibility from the New Entry Road. The proposed design incorporates traditional materials of brick, board and batten siding and trellis elements to create an image utilizing appropriate materials and clear architectural forms.

Richmond Road Frontage Development – The part of Area A1 and Area A2 bordering Richmond Road is intended to develop a cohesive collection of uses and buildings which are different from typical strip-development patterns providing open landscaped space between buildings. Buildings fronting Richmond Road are to have individual architectural identity featuring architectural variety within a palette of similar and compatible exterior materials.

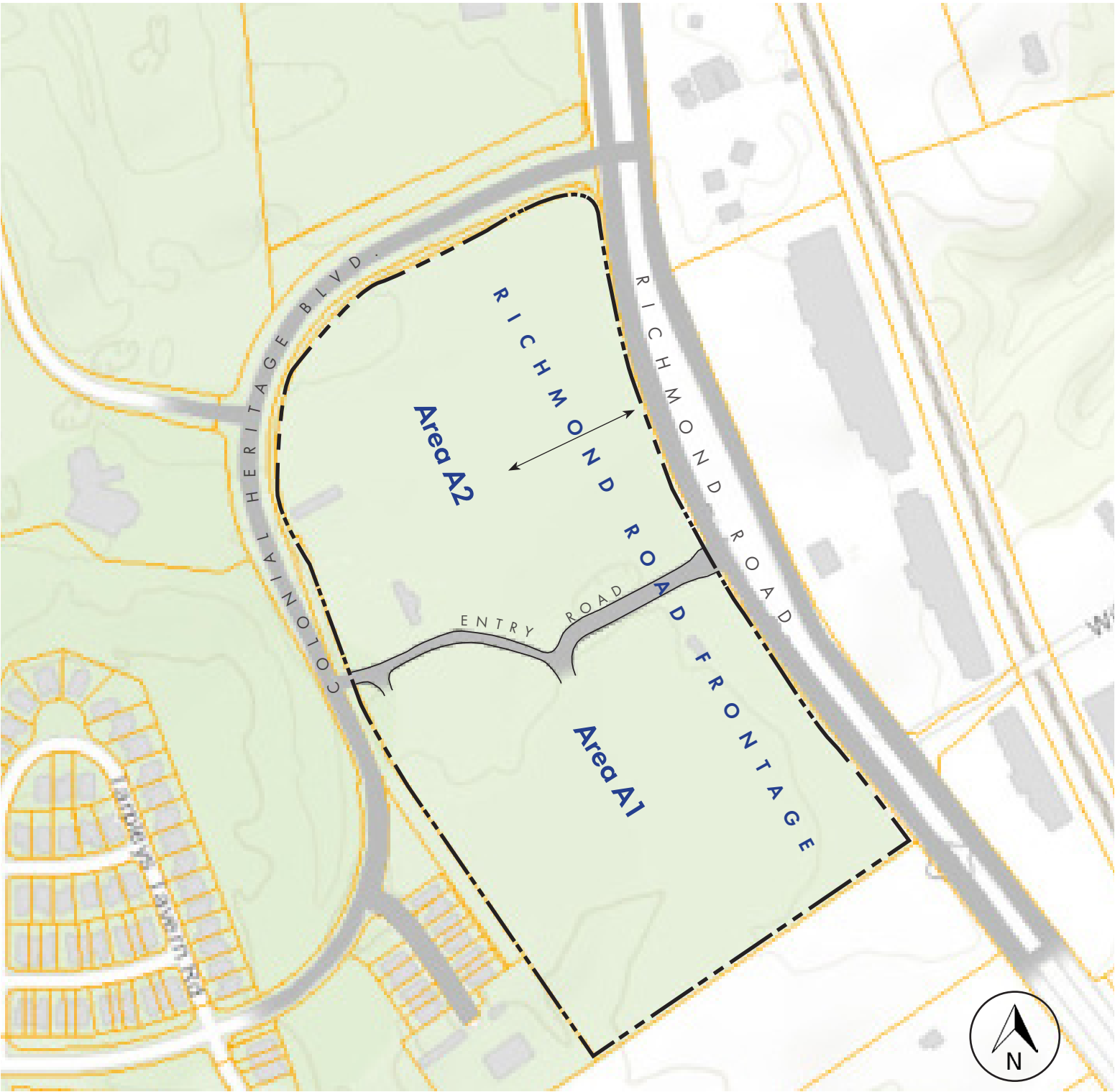


Figure 1.8 Overall Development Area - Area A1 and Area A2.



DESIGN GUIDELINES OVERVIEW

General Location and Use of the Buildings

A) General Location and Use Requirements

- Buildings are to be designed and located to screen and screen the view of the majority of parking from the Richmond Road view shed.
- Individual buildings and uses are to be designed to create variety within the family of materials and elements which are promoted in these guidelines. Individual Buildings should reflect the nature of their individual use expressed with appropriate architectural elements, details and design for that use. A variety of building designs is preferred, within the design directions established by these guidelines in order to avoid the typical “Strip Development”.
- The majority of parking areas are to be located behind the line of the primary facade of the building with the majority of parking spaces located behind the rear facade of the building. Where parking is visible from the Richmond Road view shed, parking shall be screened with landscaping and/or low walls or screen fencing adjacent to the parking areas.
- Buildings are to be designed to have four principle facades which all have the same level of articulation, roof-form, architectural interest, detailing and material varieties.
- Trash enclosures shall be screened using masonry walls with brick veneer with access doors made of wood timber and/or decorative steel which are designed to provide an attractive appearance which compliments the building design, landscape and character of the development.
- Other building components (e.g. drive-through kiosks, drop-boxes, ATM structures) which are part of the principal use, shall be designed to integrate into the design of the principal use in order to provide an attractive appearance which compliments the building design, landscape and character of the development

B) Buildings/Uses along the Richmond Road Frontage of Area A1 & A2

- Buildings are to be located adjacent to Richmond Road with a primary facade facing the right-of-way.
- Buildings should be designed and sited in order to reinforce the identity of each individual use employing enough side yard setback and/or building-to-building spacing to ensure enough landscaping and open space between buildings.
- Building design and site design shall be accomplished to allow for a dedicated ingress/egress drive lane of 24 feet in width in alignment with the suggested primary entrances from The New Entry

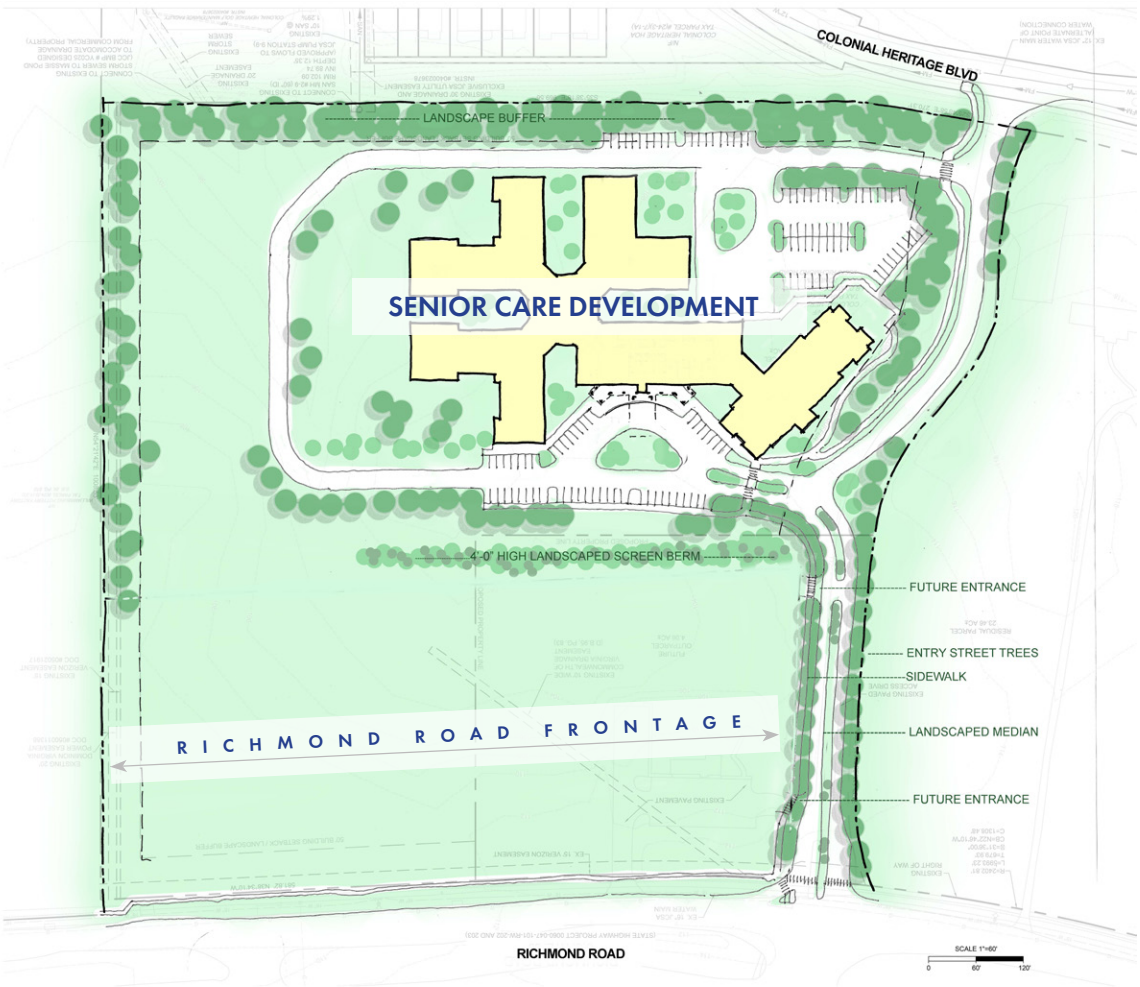


Figure 1.9 Area A1 Senior Care Development and Richmond Road Frontage.

Road. The access drives aisle shall provide for public access via an appropriate easement for all parcels. All parking provided shall provide for cross-easements to facilitate use of parking to be shared between users to promote the free use of parking.

- Drive-thru uses featuring ordering and pickup windows are to be arranged such that these features are not located on the primary facade facing Richmond Road.
- The front yard area between the Richmond Road landscape buffer and the primary building facade can contain areas for café seating, outdoor lounge areas, landscape features, pedestrian walkways and service drive aisles.
- Buildings are to be located and sited to avoid long facades of repeating storefronts with a "Strip-Retail" appearance.

#### C) Buildings not adjacent to Richmond Road

- Buildings which are not adjacent to Richmond Road may be developed with greater flexibility in siting and with building orientation based on the sight-lines and distance from the Richmond Road right-of-way. As shown in the proposed plan for Senior Care on the interior portion of Area A1, buildings can be larger and taller than proposed on the Richmond Road Frontage.
- The majority of parking areas for uses on interior lots is to be restricted to the sides and rear of the buildings. Parking areas which are required in the front of these lots shall be screened by a combination of appropriately designed landscaping, berms, low walls and landscape features.

- Buildings on may create appropriately designed architectural features (e.g. towers, spires, cupolas) which may create more identity for the use/building due to its location on the interior of the parcel.

**Building Orientation** – Buildings shall be designed and sited in order to present a primary facade towards Richmond Road and a primary facade from the entry road or drive aisle providing access to parking.

#### A) Buildings adjacent to Richmond Road

- Buildings located immediately adjacent to Richmond Road should be oriented such that the primary facade is parallel to the Richmond Road right-of-way. This facade should be the primary facade of the building and designed to reflect the nature of the use through an appropriate architectural design.
- Side facades should continue the architectural elements of the primary facade with the incorporation of articulated corners where roof forms and/or tower components are featured to add interest on at least one corner facing Richmond Road. Building entrances are permissible from on side of the building.
- Rear facades should be designed as a second primary facade incorporating an entrance or entry statement and providing for appropriate signage to identify the building and entrance.

#### B) Buildings not adjacent to Richmond Road

- Buildings located on interior lots have more flexibility in orientation, and it is not required to align building facades with the Richmond Road Right-of-Way.
- Buildings should be sited and designed to provide for the location of parking as described in Section 1 (A).
- Building facades which are visible the from Richmond Road view shed are considered the primary facades. Primary facades should be designed to incorporate a variety of materials, an appropriate balance of fenestration to solid wall surface and architectural features (e.g. columns, colonnades, tower, roof forms, cupola) to present a quality architectural composition which reflects the use and overall quality of the development.
- Facades which face the view shed from The New Entry Road shall also be considered primary facades and shall be designed and sited to continue the theme for the primary facade.
- Facades other than these are not considered primary facades and shall incorporate the design themes of the primary facades with more design flexibility and variety in composition. Building entrances shall be designed to be visible and inferable from approach along The New Entry Road.



- Towers, Cupolas and other architectural devices may be used to identify the building from The New Entry Road, as permissible by the Zoning Ordinance and Building Code.

Landscaping, Open Space And Buffers

Landscape design for each development shall create a coherent use of space around the building which responds to the use as well as the overall design character of a transitional Urban/Suburban corridor. Landscaping should be designed to provide for a well-landscaped ground plane with open vistas between buildings in compliance with the James City County Streetscape Guidelines Policy and other County requirements. Typically, the Richmond Road Right-of-Way should be planted with trees which provide a tall upper-story canopy to create shade for pedestrians and a strong visual edge along Route 60. Existing mature Magnolia trees which form an “alee” are a feature of the site which can enrich the identity of the

development.

1. Preservation of Magnolia Trees - The trees comprising a double row of mature Magnolia trees existing on Area A2 shall not be completely destroyed to create a building site, parking area or other improvements. Destruction or elimination of some trees shall be permitted to allow for streets, roads and vehicular or pedestrian connections perpendicular to such rows of Magnolia trees, the placement of utilities, or other purposes approved by the County It is recommended that a portion of these existing trees be retained and incorporated into a pedestrian site feature integrated into the future pedestrian/vehicular needs of this specific parcel. The following recommendations are provided to accomplish this objective:  
  
A) Richmond Road Community Character Corridor – The first 50 feet of land along Richmond Road is to be designed in compliance with the County’s Urban/Suburban CCC buffer treatment guidelines. Trees which will mature with tall upper-story canopies allowing visibility through the under-story are recommended (e.g. London Plane, Willow

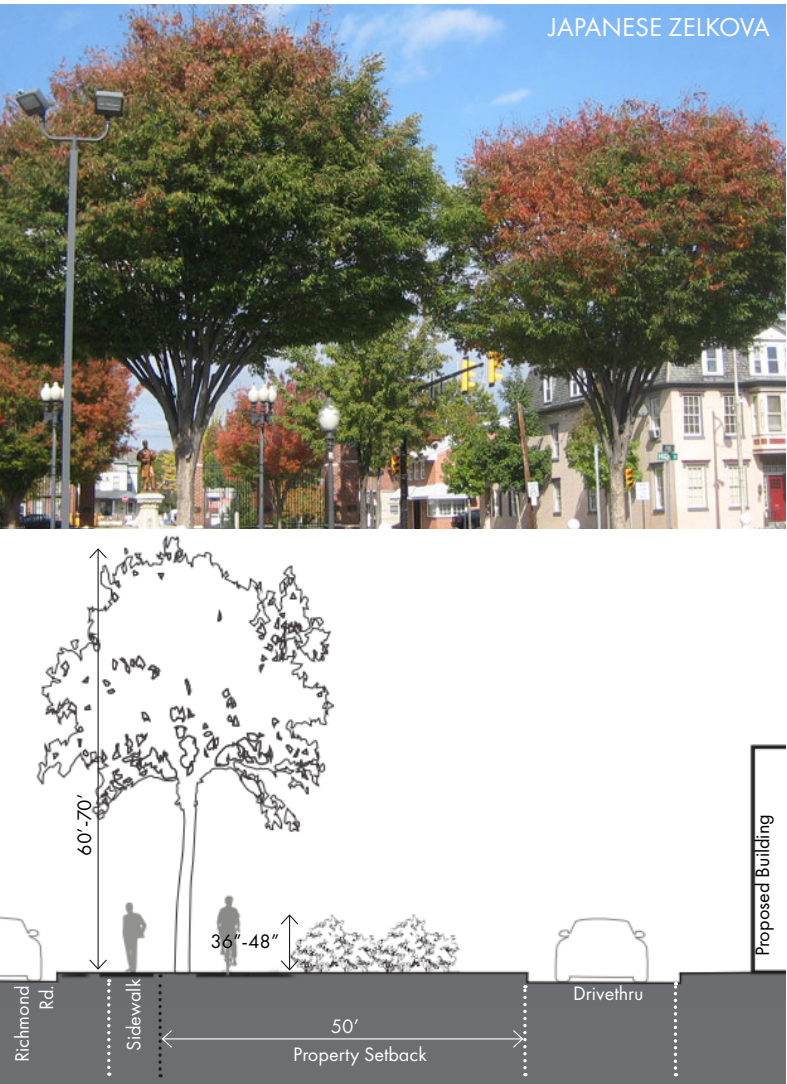


Figure 1.10



Figure 1.11



Figure 1.12

Oak, Zelkovia Serrata Green Vase). Visibility of the buildings and uses is desirable, with ground plane landscaping to screen parking, drive aisles and ground mounted equipment.

- B) The New Entry Road – This road will serve as the entrance to the development. It is envisioned as a boulevard with planted median with street trees along each side of the drive aisles. It is recommended that the street trees along this boulevard include new Magnolia trees to augment the existing Magnolias on the North side of The New Entry Road. Magnolia trees should be arranged in such a way as enable good vistas of the parcels fronting Richmond Road and the interior parcels. Magnolia trees should be used as focal elements and visual reinforcement of the sides of The New Entry Road. Other trees and landscaping are recommended along Colonial to create openness and contrast between the new magnolia feature trees.
- C) Transitional Buffers – A 35-foot-wide landscape buffer shall be designed and established along property edges bordering residential uses as required by the County.

**Location and Number of Entrances** – The New Entry Road will serve at the primary entry to the commercial development and will provide secondary entrances to the commercial parcels immediately adjacent to the Richmond Road Right-of-Way. The secondary entrance to the South parcel and North Parcel is intended to align facilitating cross traffic and creating a 25-foot-wide access driveway aisle to access parking and services for each parcel that may be created by subdivision. This access driveway aisle shall provide an easement for access to the full depth of the parcel to provide for access for future parcel subdivision. Separate entrances may be provided for the interior portions of the parcel.

**Pedestrian and vehicular connections** – Interconnectivity of the site will be provided in the following systems:

- A) Vehicular access and interconnectedness will be achieved by design of internal parcel circulation for vehicular traffic which will be designed for each parcel. Alignment of vehicular entrances on The New Entry Road will facilitate easy movement of vehicular traffic between the parcels fronting on Richmond Road. The design of the driveway aisles, parking circulation, parking spaces, dumpster enclosures and internal parcel circulation will comply with

applicable vehicular planning standards. Easements will be provided for cross parcel circulation. Cross-easement parking will be provided on the parcels fronting Richmond Road.

- B) Bike-way access will be provided along Richmond Road by construction of an 8-foot-wide bike-way along the edge of the Right-of Way.
- C) Pedestrian access will be enhanced by providing new sidewalk connections on each side of The New Entry Road and provision of non-signalized pedestrian crosswalks at major intersections.

**Individual Building Height and Size** – Building heights and size will be determined based on the uses developed for each parcel as permitted under the County Zoning Ordinance and the Virginia Construction Code. It is encouraged that buildings along Richmond Road be designed as taller structures in building massing, even if they are one-story buildings. This can be accomplished by utilizing a tall structural bay of 15 to 18 feet or more and a roof design that provides a substantial building form to add to the apparent height. Building size will determined by balancing open space, landscaping, parking, circulation and building space.

**Architectural Design** - The architectural character which is encourages is a moderate height urban mixed-use appearance which achieves the aesthetic character of a town-scaled mixed-use pattern where buildings have a two-story to three-story scale where individual buildings are separated from each other with open space. The architectural guidelines illustrate the following devices:

- A) Roof Forms – A variety of roof forms is encouraged for consideration as illustrated:
  - Gable
  - Hip Roof
  - Sloped Roof
  - Pyramidal Roof



- B) Tower/Corners – Towers and/or Corner articulation is recommended at each primary facade of the building to create a focal element and point of interest to the building. These can coincide with building entrances and signage.
- C) Fenestration of the Facades fronting Richmond Road – Fenestration of the building facades should include windows, glass, doors and transoms as suggested in the guidelines and as appropriate for the use. It is recommended that the facades be at least 60% of the facade being open with glass, doors, windows, louvers or openings.
- D) Fenestration of the Facades for buildings on interior lots can vary but should be at least 25% open with glass, doors, windows, louvers or openings.
- E) Multistory - not adjacent to Richmond Road - Assisted Living
- Vertical emphasis is achieved through a number of measures.
  - Steps in the plan that break the facade into a series of independent elements to reduce the horizontal nature of the building.
  - Gabled roof elements to cap the vertical gesture and further modulate the facade.
  - Alignment of windows between floors.
  - Board and batten siding on the upper floors.
  - Brick is used at the first floor to anchor the building, though the transition from brick to board and batten undulates between facades to avoid defining a horizontal split in the building.
  - Sloped roof sections to create mechanical wells to appropriately screen equipment from every vantage point.

#### Corner Towers

- Corner Tower
- Elevation Articulation

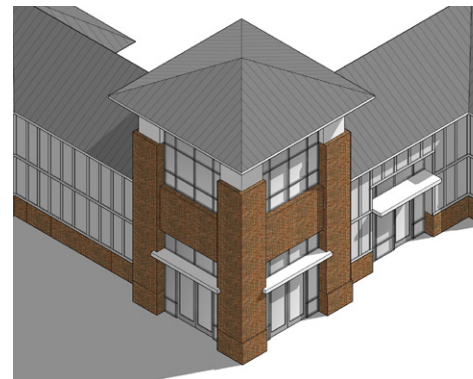


Figure 1.13

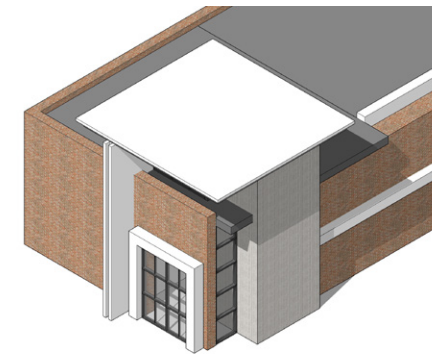
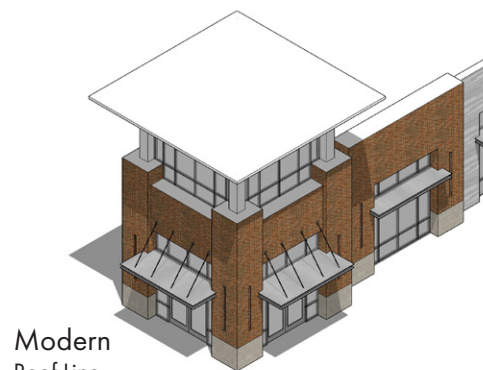


Figure 1.14



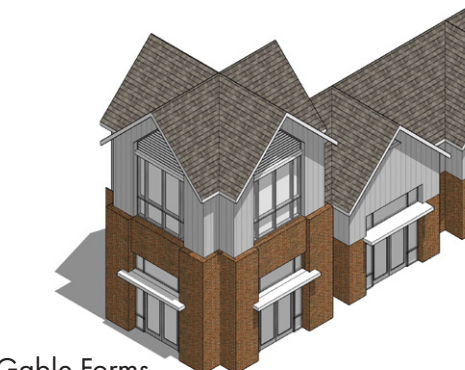
Hip Roof

Figure 1.15



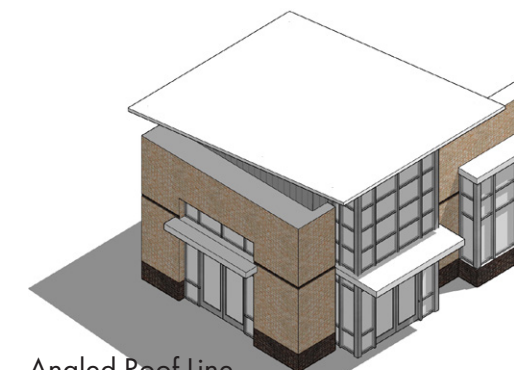
Modern  
Roof Line

Figure 1.16



Gable Forms

Figure 1.17



Angled Roof Line

Figure 1.18

F) Single Story - Not adjacent to Richmond Road

- One-story part of the building with a residential character feel that compliments the multi-story portions of the building.
- Brick and horizontal siding split the facade to provide a residential scale fenestration along facade to provide ample daylighting to patient rooms without encumbering functional requirements of rooms.
- Gabled roof at steps in facade to break up the horizontal nature of the wings.
- Sloped roof to create HVAC well to screen equipment and maintain a residential aesthetic.
- Raised tower element at intersection of wings to balance building from both sides of entry.
- The roof slope contributes to giving the building a visually residential aesthetic and creates roof wells for screening mechanical equipment.
- Gables with exposed rafters and beams at one story and multi-story gabled-elements help to break up the horizontality of the facades.
- Piers at one story accentuate the vertical proportions and provide variety to the facade design.
- The tower elements serve as vertical breaks in the facades. They indicate interior communal spaces especially after dark when these two towers are illuminated. The tower elements project above the other roof lines and are capped with a strong, horizontal cantilevered roof that cleanly punctuates the verticality of the tower.

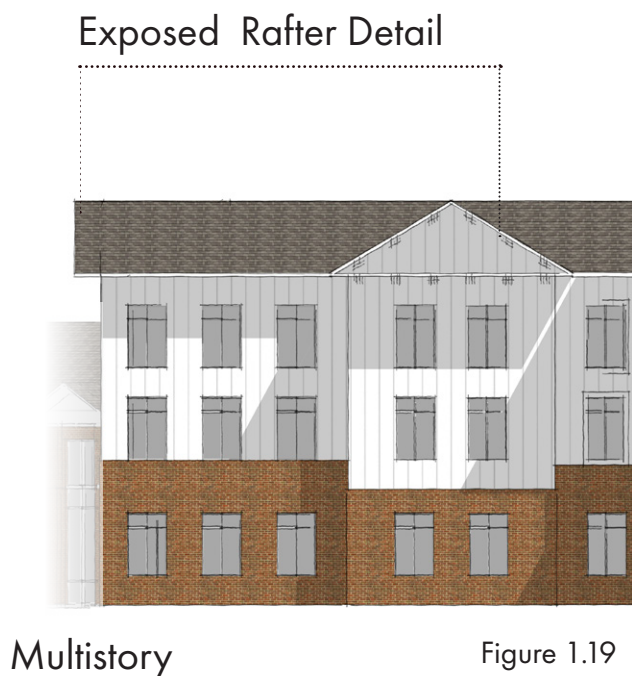


Figure 1.19

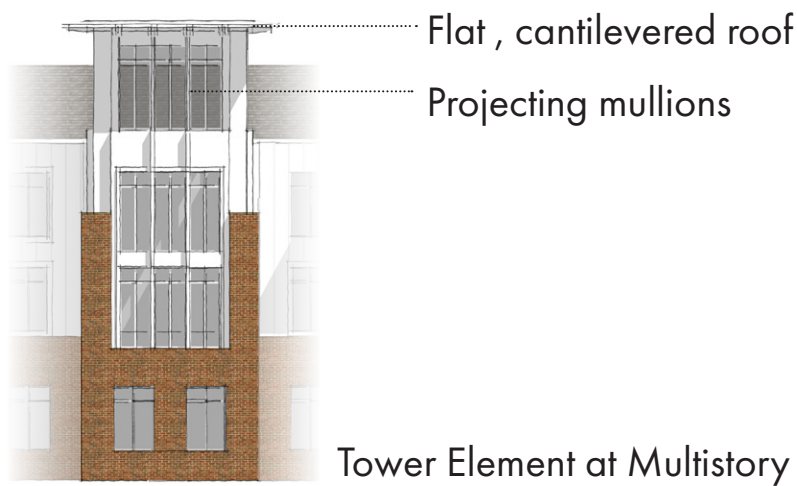


Figure 1.20

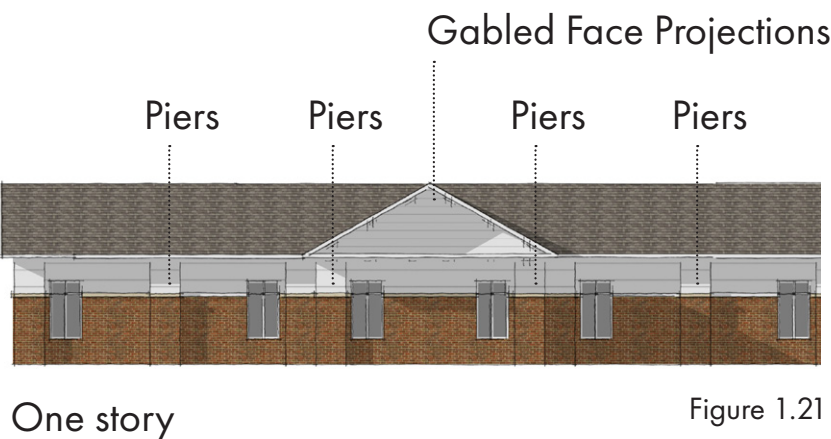


Figure 1.21

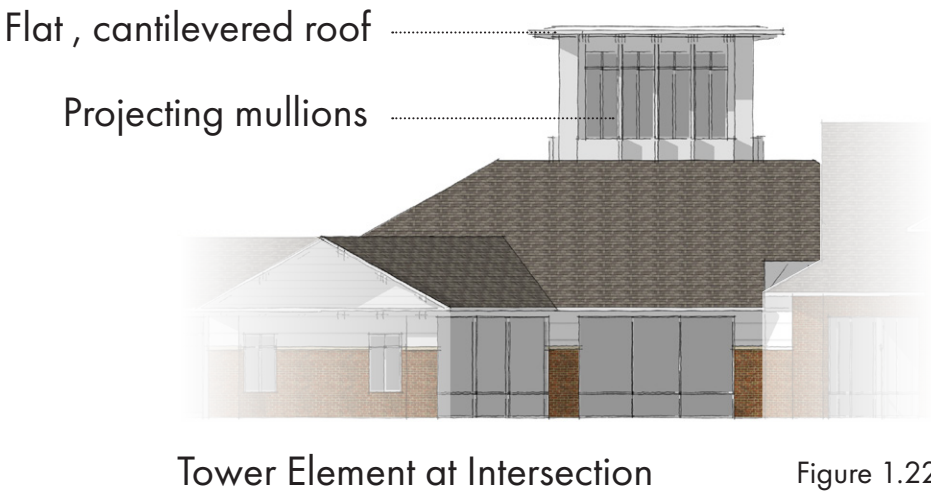


Figure 1.22



Combination of Materials

- Pedestrian Level/Base: Brick
- Upper Stories, Gables: Fiber Cement Board
- Glass
- Roof: Metal or architectural asphalt shingles



Board & Batten Style,  
Fiber Cement Board



Brick

Figure 1.23



**Setbacks from Adjacent Properties and Roadways** - The intent of the development guidelines is that future development of the parcels be compliant with the Mixed Use Zoning District (MU) requirements for setbacks along the property lines of the adjacent development boarding Area A1 and A2 and roadways bordering and within the development of Area A1 and A2. Waiver of setbacks shall be governed by the provisions of the Mixed Use Zoning District Provision (MU).

**Signs** - The intent of the development guidelines is that future development of the parcels allow a development entry sign at the entrance intersection of each parcel, an example of which is shown in Figure 1.24. The development entry sign may be composed of brick, stone, precast concrete, metal and sign copy identifying the adopted development name. Development entry signs shall be thematically related and incorporate the same materials and general design. The development entry sign shall be lit by indirect means either by internal halo lighting or ground mounted lighting. It shall be allowable to incorporate business names which are located within each parcel on the development entry sign if the business does not front directly onto Richmond Road.

Individual businesses which front directly on Richmond Road will be permitted a ground sign to identify the individual business, as shown in Figures 1.25 and 1.26. Such ground signs shall comply with the County ordinances and standards for such signs. Ground signs shall incorporate the materials and design qualities of the building design for that parcel and can contain any of the materials approved for the development. Building-mounted signs and ground signs shall meet the County Sign Ordinance.

Other signs required for circulation and traffic control which are permitted by County ordinance shall be permitted in the development.



Figure 1.24

Example of Development Entry Sign



Figure 1.25



Figure 1.26

Examples of Ground Mounted Signs



1. ALL NEW UTILITIES WILL BE PLACED UNDERGROUND.
2. ALL NEW SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE II, DIVISION 3 OF THE JAMES CITY COUNTY ZONING ORDINANCE.
3. ALL ROADS SHALL BE PRIVATE RIGHT-OF-WAYS AND SHALL NOT BE MAINTAINED BY JAMES CITY COUNTY OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT).
4. ALL VDOT STANDARD D-3 CURB DROP INLETS SHALL BE INSTALLED WITH A TYPE B NOSE DETAIL WITH THE CG -2 AND CG-6 CURB STANDARDS.
5. PIPE SHALL BE CLASS III RCP OR SMOOTH WALL INTERIOR HOPE PIPE UNLESS OTHERWISE DESIGNATED. PRIOR TO THE RELEASE OF THE BOND AND SURETY IT SHALL BE SHOWN THAT INSTALLATION OF HOPE STORM SEWER PIPE WAS CONDUCTED WITH COMPLIANCE TO ASTM D-2321. THE SEALING AREA OF THE BELL SHALL BE REINFORCED TO PROVIDE JOINT INTEGRITY AND TOLERANCE CONTROL. HOPE PIPE AND FITTING JOINTS ARE TO COMPLY WITH ASTM F477 FOR WATERTIGHT GASKETS.
6. STORM STRUCTURES, SEWER AND BEDDING SHALL CONFORM TO THE VDOT ROAD AND BRIDGE STANDARDS AND VDOT SPECIFICATIONS. ALL WEEP HOLES INSTALLED FOR DI-77YARD DRAIN INLETS SHALL BE PLUGGED UPON STABILIZATION OF SURROUNDING AREAS. ALL PIPE BEDDING SHALL BE IN ACCORDANCE WITH PB-1 AND MANUFACTURER SPECS. AND GUIDELINES, AND STORM SEWER PIPE SHALL BE DEEPER THAN 4 FEET SHALL HAVE STEPS (ST-1) AND SHALL BE CLASS III UNLESS OTHERWISE NOTED. UNLESS OTHERWISE NOTED ALL D-3 STRUCTURES TO USE TYPE A NOSE. VDOT STANDARD IS-1 SHAPING TO BE USED IN ALL STORM STRUCTURES.
7. RESEARCH HAS SHOWN NO EVIDENCE OF ENVIRONMENTAL OR HEALTH HAZARDS ON THIS SITE.
8. A LAND DISTURBING PERMIT IS REQUIRED FOR THIS PROJECT.
9. CONSTRUCTION OF STORMWATER CONVEYANCE SYSTEMS WITHIN THIS DEVELOPMENT OUTSIDE OF THE VDOT RIGHT-OF-WAY SHALL COMPLY WITH THE CURRENT JAMES CITY COUNTY GUIDELINES FOR DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT BMP'S AND THE ENVIRONMENTAL DIVISION STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED) GENERAL DESIGN AND CONSTRUCTION GUIDELINES.
10. A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE BEFORE THE COUNTY, THE PROJECT ENGINEERS AND THE CONTRACTOR PRIOR TO ISSUANCE OF A LAND DISTURBING PERMIT.
11. ALL ROADS SHALL BE PRIVATE RIGHT-OF-WAYS AND SHALL NOT BE MAINTAINED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION OR JAMES CITY COUNTY.
12. UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS SHALL REMAIN PRIVATE.
13. ALL NEW PROPERTY MONUMENTS SHALL BE SET IN ACCORDANCE WITH SECTIONS 19-34 THROUGH 19-36 OF THE JAMES CITY COUNTY SUBDIVISION ORDINANCE.
14. NO BUILDING OR STRUCTURE CAN EXCEED 60' IN HEIGHT WITHOUT A HEIGHT WAIVER FROM JAMES CITY COUNTY.
15. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY PERMITS FOR THE ABANDONMENT OR DEMOLITION OF ALL EXISTING WELLS WATERLINES AND SEPTIC FIELDS IN ACCORDANCE WITH JAMES CITY COUNTY AND VIRGINIA DEPARTMENT OF HEALTH REGULATIONS. CONTACT VIRGINIA DEPARTMENT OF HEALTH AT 1-757-253-4813
16. THE CONTRACTOR IS REQUIRED TO SECURE ALL DEMOLITION PERMITS FOR EXISTING STRUCTURES INDICATED ON THE CONTRACT SHALL VERIFY AND COMPLY WITH 1-757-253-4813
17. ALL ERRORS OR DISCREPANCIES WITH THE PLANS OR EXISTING SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER OR SURVEYOR OF RECORD BEFORE PROCEEDING WITH THE PERMIT.
18. CONTOUR INTERVAL IS 1 FOOT. EXISTING GRADE IS FROM SURVEY PROVIDED BY TIMMONS GROUP.
19. ANY EXISTING, UNUSED WELLS SHALL BE ABANDONED IN ACCORDANCE WITH THE VIRGINIA PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
20. SOLID WASTE DISPOSAL SHALL BE PROVIDED BY A PRIVATE HAULER.
21. ROADWAY, CURB/GUTTER, DITCHES AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE VDOT ROAD AND BRIDGE STANDARDS AND VDOT SPECIFICATIONS.
22. A VDOT LAND USE PERMIT IS REQUIRED FOR ALL WORK WITHIN THE VDOT RIGHT-OF-WAY. THE CONTRACTOR SHALL NOTIFY VDOT IN WRITING 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE VDOT RIGHT-OF-WAY. GENERAL CONTRACTOR SHALL SECURE THIS PERMIT.
23. ALL COMPONENTS OF THE WATER DISTRIBUTION AND SANITARY SEWER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE JAMES CITY SERVICE AUTHORITY DESIGN AND ACCEPTANCE CRITERIA FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, THE HRPDC REGIONAL STANDARDS, AND THE COMMONWEALTH OF VIRGINIA WATERWORKS AND SEWERAGE REGULATIONS.
24. JCSA WILL ALLOW ANY WATER AND SEWER SERVICE CONNECTIONS CONSTRUCTED WITHIN THE P.U.E. TO BE CONSTRUCTED WITH THE STIPULATION THAT PRESSURE TESTING OF THE SYSTEM WILL NOT BE PERFORMED UNTIL ALL UTILITIES HAVE BEEN INSTALLED. ANY WATER OR SEWER LINES CUT DURING INSTALLATION OF OTHER UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PRIOR TO JCSA ACCEPTANCE.
25. THE CONTRACTOR SHALL VERIFY AND NOTIFY JAMES CITY SERVICE AUTHORITY PRIOR TO ANY EXCAVATION OR DEMOLITION WITHIN UTILITY CORRIDORS.
26. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE APPROVED PLANS AT THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS UTILITY (1-800-552-7001) FOR EXISTING UTILITY LOCATIONS AT LEAST 3 WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, AND A PRIVATE UTILITY LOCATOR FOR THE LOCATING OF PRIVATE UTILITIES.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND FOR EXCAVATION STOCKPILES, STAGING AREAS, MOBILIZATION SITES, BEDDING/BACKFILL STOCKPILES AND OTHER LAND DISTURBANCES NOT SPECIFICALLY ADDRESSED IN THE DRAWINGS OF THE CONTRACT. EROSION AND SEDIMENT CONTROL MEASURES SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" (LATEST PUBLICATION) AND THE REQUIREMENTS OF THE LOCAL GOVERNING AUTHORITY.
29. THE CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ALL OWNERS AND RESIDENTS OF PROPERTY ADJACENT TO THE PROJECT 30 DAYS PRIOR TO THE COMMENCEMENT OF WORK, UNLESS OTHERWISE DIRECTED BY THE OWNER. CONSTRUCTION WITHIN EASEMENTS OR ON PUBLIC RIGHT-OF-WAY NECESSITATES NOTICE WHETHER ADJACENT TO OR LOCATED ON THE ADJOINING PROPERTY. FAILURE TO PROVIDE THE MINIMUM NOTIFICATION TIME WILL RESULT IN SUSPENSION OF WORK.
30. THE ABSENCE OF THE OWNER OR THE ENGINEER AT THE JOB SITE DOES NOT, IN ANY WAY, RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE DRAWINGS, CONTRACT DOCUMENTS, CODES AND WRITTEN AUTHORITY AND REVISIONS.
31. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANYBODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
32. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE CURRENT JAMES CITY COUNTY STANDARDS AND SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, AND ANY OTHER APPLICABLE CITY OR STATE ORDINANCES, CODES, AND LAWS PRIOR TO ANY CONSTRUCTION ACTIVITY.
33. THE CONTRACTOR SHALL AT ALL TIMES POSSESS AND MAINTAIN A CURRENT COPY OF THE JAMES CITY SERVICE AUTHORITY STANDARDS AND SPECIFICATIONS, WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS AND A COPY OF THE HRPDC REGIONAL PLANNING DISTRICT COMMISSION (HRPDC) REGIONAL STANDARDS AT THE JOB SITE AND READILY AVAILABLE FOR IMMEDIATE REFERENCE.
34. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK. A COPY OF THE JCSA STANDARDS AND REGIONAL STANDARDS MUST BE KEPT ON-SITE BY THE CONTRACTOR DURING THE FULL TIME OF INSTALLING, TESTING, AND CONVEYING THE FACILITIES TO JCSA.
35. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK INCLUDING, BUT NOT LIMITED TO, LAND DISTURBING, BUILDING, RIGHT-OF-WAY, AND UTILITY PERMITS.
36. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION EFFORTS WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT), LOCAL EMERGENCY SERVICES, AND ALL NECESSARY UTILITY COMPANIES (ELECTRIC, GAS, WATER, TELEPHONE, CABLE, TELEVISION, AND NATURAL GAS, TELECOMMUNICATIONS, CABLE TELEVISION, WATER, SEWER, PRIVATE LIGHTING, AND OTHERS THAT MAY BE REQUIRED).
37. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. EXISTING UTILITY LOCATIONS INDICATED ARE APPROXIMATE. FIELD VERIFY PRIOR TO COMMENCING THE WORK.
38. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, AS SHOWN ON THE APPROVED PLAN.
39. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, INCLUDING SOIL AND DEBRIS, FROM THE SITE.
40. THE CONTRACTOR WILL IMMEDIATELY REPAIR OR REPLACE CHANNEL STABILIZATION BLANKETS AND EROSION CONTROL MATTING IF SITUATION OR ASSOCIATED UTILITY OPERATIONS SUCH AS CABLE, ELECTRIC, GAS, PHONE, SEWER, WATER, ETC. DAMAGE THEIR FUNCTIONAL INTENT.
41. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT (SECTION 56-285.14, V.A. SEQ. CODE OF VIRGINIA, 1950, AS AMENDED); AND HEREBY AGREES TO HOLD THE DEVELOPER AND THE ENGINEER HARMLESS AGAINST ANY LOSS, DAMAGE, OR CLAIMS OF ANY NATURE WHATSOEVER ARISING OUT OF THE CONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENTS OF SAID ACT.
42. THE CONTRACTOR IS REQUIRED TO COMPLY WITH THE VIRGINIA OVERHEAD 1-11KV VOLTAGE LINE SAFETY ACT (SECTIONS 59-1406 THROUGH 59-1414, CODE OF VIRGINIA, 1950, AS AMENDED). THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND NOTE THE POSITION OF OVERHEAD CABLES PRIOR TO CONSTRUCTION.
43. ALL UTILITY AND SURVEY DATA SHOWN ON THE DRAWINGS HAVE BEEN PROVIDED BY TIMMONS GROUP INFORMATION HAS BEEN OBTAINED FROM THE BEST AVAILABLE SOURCES AT THE TIME OF THE SURVEY BUT IS NOT REPRESENTED AS BEING COMPLETE AND ACCURATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT EXISTING WELLS AND UNDERGROUND STRUCTURES. DAMAGE TO EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE DEVELOPER.
44. HORIZONTAL DATUM - NAD83 (1192) VIRGINIA STATE PLAIN COORDINATE SYSTEM SOUTH ZONE VERTICAL DATUM- NGVD29 VIRGINIA STATE PLAIN COORDINATE SYSTEM SOUTH ZONE.
45. ALL RETAINING WALLS SHALL BE DESIGNED BY OTHERS AND MUST BE CLEARED THROUGH THE JAMES CITY COUNTY CODES COMPLIANCE DIVISION. STRUCTURAL ENGINEER SHALL ACCOUNT FOR GLOBAL STABILITY OF WALL DESIGN.

## CIVIL ENGINEER/SURVEYOR:

**TIMMONS GROUP**  
2901 S. LYNNHAVEN RD., SUITE 200  
VIRGINIA BEACH, VIRGINIA 23452  
CONTACT: MR. MARK RICHARDSON, P.E.  
PHONE: (757) 213-6679  
FAX: (757) 340-1415  
EMAIL: [mark.richardson@timmons.com](mailto:mark.richardson@timmons.com)

VIRGINIA HEALTH SERVICES INC  
1100 WILLIAM STYRON SQUARE SOUTH,  
NEWPORT NEWS, VIRGINIA, 23606  
CONTACT: JESSE YOUNG  
PHONE:(757)-596-6268  
EMAIL: [jyoung@vhs.com](mailto:jyoung@vhs.com)

PMA ARCHITECTURE  
10325 WARWICK BLVD.  
NEWPORT NEWS, VIRGINIA, 23607  
CONTACT: JEFF STODGHILL  
PHONE: (757)-596-8200  
EMAIL: [tjs@pmaarchitecture.com](mailto:tjs@pmaarchitecture.com)

THE UNDERSIGNED CONSULTING FIRM AGREES THAT JAMES CITY COUNTY AND ITS REPRESENTATIVES SHALL HAVE THE RIGHT TO USE THESE PLANS TO COMPLETE ANY PHYSICAL IMPROVEMENTS THE CITY DEEMS NECESSARY IN THE EVENT THE DEVELOPER DEFAULTS IN HIS/HER OBLIGATIONS TO COMPLETE THESE FACILITIES AS REQUIRED BY CITY CODE. THE UNDERSIGNED DESIGN PROFESSIONAL ALSO AGREES THAT THE CITY MAY USE THESE PLANS FOR ANY PURPOSE THE CITY FEELS NECESSARY IN ORDER TO COMPLETE THE PROJECT. THE DESIGN PROFESSIONAL CONSULTING FIRM FURTHER AGREES THAT THE RIGHTS TO USE THESE PLANS SHALL BE PROVIDED WITHOUT COST TO THE CITY.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
(authorized-signature)

SIGNATURE OF DESIGN PROFESSIONAL: \_\_\_\_\_ DATE: \_\_\_\_\_

THE FOLLOWING PERSON

(SIGN), IS IDENTIFIED AS THE RESPONSIBLE LAND DISTURBER WHO WILL BE IN CHARGE OF AND RESPONSIBLE FOR CARRYING OUT THE LAND DISTURBING ACTIVITY. THIS PERSON MEETS THE APPLICABLE REQUIREMENTS OF VIRGINIA CODE SECTION 10.1-563 AND 10.1-566 BY VIRTUE OF THE FOLLOWING (CHECK THE CATEGORY THAT APPLIES):

RESPONSIBLE LAND DISTURBER CERTIFICATE

\_\_\_\_\_  
DCR CERTIFICATION FOR COMBINED ADMINISTRATOR, ADMINISTRATOR,  
PLAN REVIEWER, INSPECTOR, OR CONTRACTOR

\_\_\_\_ VA PROFESSIONAL ENGINEER, LAND SURVEYOR, LANDSCAPE  
ARCHITECT, OR ARCHITECT.

UPON AWARD OF THE CONTRACT AND BEFORE ANY LAND DISTURBING ACTIVITY CAN BEGIN THE CONTRACTOR SHALL EXECUTE AND SUBMIT A RESPONSIBLE LAND DISTURBER NOTIFICATION FORM TO THE DEPARTMENT OF PLANNING, DEVELOPMENT SERVICES CENTER, 2405 COURTHOUSE DRIVE, BUILDING 2, VIRGINIA BEACH, VA 23456 TEL: (757) 385-8277. AWARD OF THE CONTRACT WILL RELIEVE THE ABOVE SIGNER OF ALL RESPONSIBILITY.

TAX MAP ID NUMBER:	02990
WATERSHED:	YARMOUTH CREEK JL28
FLOOD ZONES:	SITE IS LOCATED IN ZONE X OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. (FEMA FIRM PANEL 51095C0107D - EFFECTIVE 12/16/2015)
ZONING:	MIXED USE (MU)
EXISTING AREA:	23.354 AC
PROPOSED AREA	23.354 AC

TOTAL IMPERVIOUS AREA:	1.08 AC = 4.64 %
TOTAL OPEN SPACE:	22.27 AC = 95.36 %

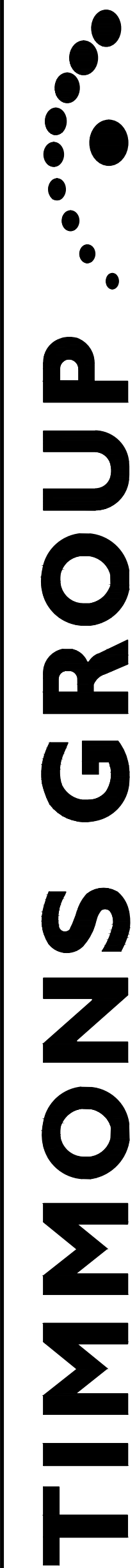
TOTAL IMPERVIOUS AREA:	6.28 AC = 26.89 %
TOTAL OPEN SPACE:	17.07 AC = 73.11 %
TOTAL INCREASE IN IMPERVIOUS AREA:	5.2 AC
TOTAL DISTURBED AREA	15.00 AC

TOTAL FLOOR AREA:	160,670 SF
FLOOR AREA RATIO:	0.16
BUILDING HEIGHT:	46'
BUILDING TYPE:	VIRGINIA STATE WIDE BUILDING CODE CLASSIFICATION R-2

USE CATEGORY:	C - NURSING HOME
NUMBER OF BEDS:	120
NUMBER OF SPACES REQUIRED:	(120 RESIDENTS @ $\frac{1}{2}$ SPACE/RESIDENT)+ (84 EMPLOYEES @ 1 SPACE EACH) = 114 SPACES REQUIRED
NUMBER OF HANDICAP SPACES REQUIRED:	5
NUMBER OF SPACES PROVIDED:	126

AVERAGE DEMAND PER UNIT:	19,200 GALLONS PER DAY
AVERAGE FLOW:	13.33 GALLONS PER MINUTE
PEAK FLOW:	40.00 GALLONS PER MINUTE

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	DEMOLITION PLAN
C3.0	EROSION AND SEDIMENT CONTROL PLAN PHASE 1
C3.1	EROSION AND SEDIMENT CONTROL PLAN PHASE 2
C4.0	OVERALL PLAN
C4.1	SITE PLAN
C4.2	SITE PLAN
C4.3	SITE PLAN
C5.0	GRADING PLAN
C5.1	GRADING PLAN
C5.2	GRADING PLAN
C6.0	UTILITY PLAN
C6.1	UTILITY PLAN
C6.2	UTILITY PLAN
C6.3	UTILITY PROFILES
C6.4	UTILITY PROFILES
C7.0	EROSION AND SEDIMENT CONTROL DETAILS
C7.1	EROSION AND SEDIMENT CONTROL NOTES
C7.2	SITE DETAILS
C7.3	SITE DETAILS
C7.4	UTILITY DETAILS
C7.5	UTILITY PLAN NOTES
C7.6	STORMDRAIN DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L2.0	PLANT SCHEDULE AND DETAILS
P1.0	PHOTOMETRIC PLAN
P1.1	CUT SHEETS AND DETAILS





S:\10140260-VHS Williamsburg\DWG\Sheet\CD\40260-C4-D-C4.3-SITE.dwg | Plotted on 2/19/2020 8:50 AM | by Henry Sells

PARCEL ID 2430100033  
N/F WILLIAMSBURG  
POTTERY FACTORY, INC.  
(D.B. 324, P. 810)

PARCEL ID 2430100032  
REMAINDER OF PARCEL "A"  
(P.B. 89, P. 10-12)  
N/F  
COLONIAL HERITAGE LLC  
(INST #030000330)

**PARCEL A-1**  
AREA = 1,017,284 SQ. FT.  
OR 23.354 ACRES

**PARCEL A-2**  
AREA = 956,834 SQ. FT.  
OR 21.966 ACRES

PARCEL ID 2430100032B  
PARCEL "A-2"  
COLONIAL HERITAGE LLC

COLONIAL HERITAGE BLVD.  
VARIABLE WIDTH PRIVATE R/W  
PARCEL ID 2340600001A  
(P.B. 90, P. 34-35) (INST #050011675)

**RICHMOND ROAD**  
U.S. ROUTE 60  
STATE HIGHWAY PROJECT  
0060-047-101-RW-202 AND 203

PROP.  
BUILDING  
1 AND 3 STORIES  
83,250 SF  
FFE=109.50

3 STORY  
SECTION

MATCHLINE C4.3, C5.2, C6.2  
MATCHLINE C4.2, C5.1, C6.1

MATCHLINE C4.2, C5.1, C6.1  
MATCHLINE C4.1, C5.0, C6.0

SCALE 1"=50'  
0 50' 100'

JAMES CITY COUNTY  
GEODETIC CONTROL MERIDIAN

**TIMMONS GROUP**

VHS WILLIAMSBURG  
6799 RICHMOND ROAD WILLIAMSBURG, VIRGINIA, 23188 - JAMES CITY COUNTY  
OVERALL PLAN

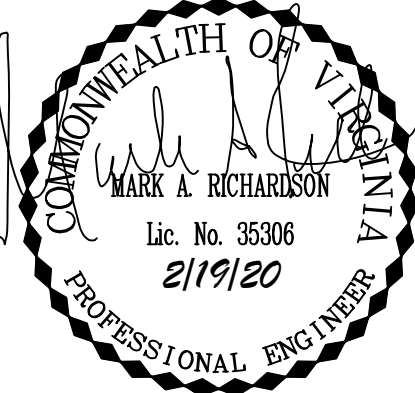
JOB NO.  
40260  
SHEET NO.  
C4.0

YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE  
**VIRGINIA BEACH OFFICE**  
2901 South Lynnhaven Road, Suite 200 | Virginia Beach, VA 23452  
TEL 757.213.5079 FAX 757.340.1415 www.timmons.com

REVISION DESCRIPTION

DATE	DATE
	02/19/20
DRAWN BY	HS
DESIGNED BY	SW
CHECKED BY	RK
SCALE	1"=50'



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S:\10140260-VHS Williamsburg\DWG\Sheet\CD\40260-C4-C4.3-SITE.dwg | Plotted on 2/19/2020 8:49 AM | by Henry Seils

PARCEL ID 2430100033  
N/F WILLIAMSBURG  
POTTERY FACTORY, INC.  
(D.B. 324, P. 810)

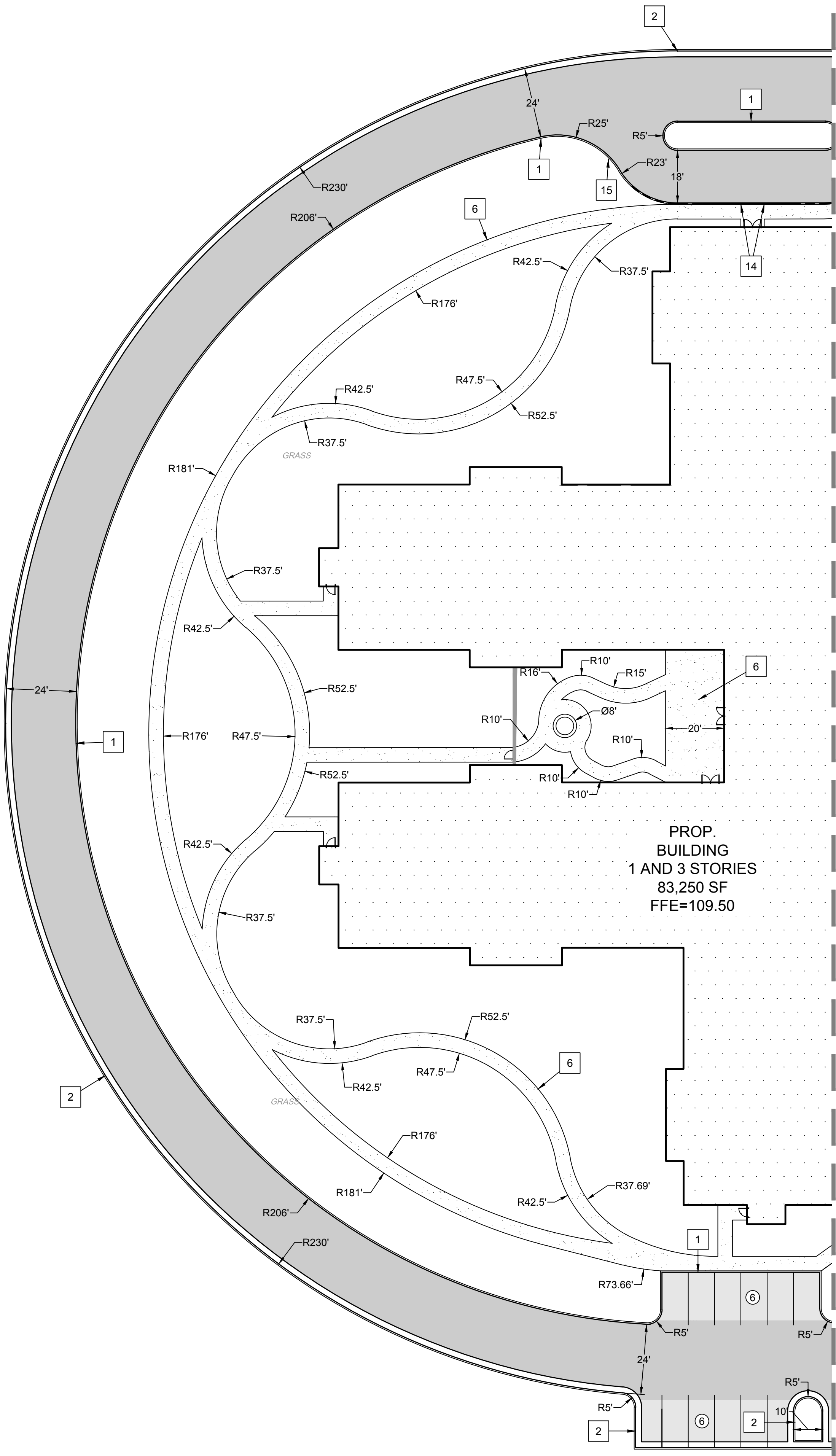
PARCEL ID 2430600001D  
GOLF MAINTENANCE FACILITY  
(INST #040023678)  
N/F  
COLONIAL HERITAGE HOMEOWNERS ASSOCIATION INC  
(INST #080003233)

N35°38'18"W 969.56'

PARCEL ID 2340600001B  
OPEN SPACE #1A AND 50' BUFFER (INST #050011675)  
N/F COLONIAL HERITAGE HOMEOWNERS ASSOCIATION INC  
(INST #160013620)

PARCEL ID 2430100032  
REMAINDER OF PARCEL "A"  
(P.B. 89, P. 10-12)  
N/F  
COLONIAL HERITAGE LLC  
(INST #030000330)

**PARCEL A-1**  
AREA = 1,017,284 SQ. FT.  
OR 23.354 ACRES



#### SITE LAYOUT LEGEND

APPLICABLE TO SHEETS C-4.0 THROUGH C-4.3

PROPERTY BOUNDARY	---
MEDIAN CURB	=====
CURB AND GUTTER	=====
DEPRESSED CURB	=====
TRANSITION CURB	-----
TREE LINE	~~~~~
SIGN	⊕
PARKING COUNT LABEL	⑤

#### GROUND COVER LEGEND

APPLICABLE TO SHEETS C-4.0 THROUGH C-4.3

BUILDING FOOTPRINT (1 STORY)	[Pattern]
BUILDING FOOTPRINT (3 STORY)	[Pattern]
LIGHT DUTY ASPHALT PAVEMENT (PARKING SPACES)	[Pattern]
HEAVY DUTY ASPHALT PAVEMENT (DRIVE AISLES)	[Pattern]
STANDARD DUTY CONCRETE (SIDEWALKS AND PLAZAS)	[Pattern]
HEAVY DUTY CONCRETE (DUMPSTER PADS)	[Pattern]
TRUNCATED DOMES	[Pattern]

#### SIGN KEY

APPLICABLE TO SHEETS C-4.0 THROUGH C-4.4

A - "RESERVED PARKING" AND "VAN-ACCESSIBLE"

B - "RESERVED PARKING"

C - "STOP"

D - "ONE WAY/ DO NOT ENTER"

#### SITE LAYOUT KEY

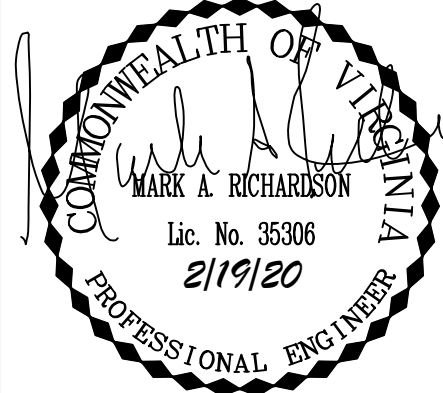
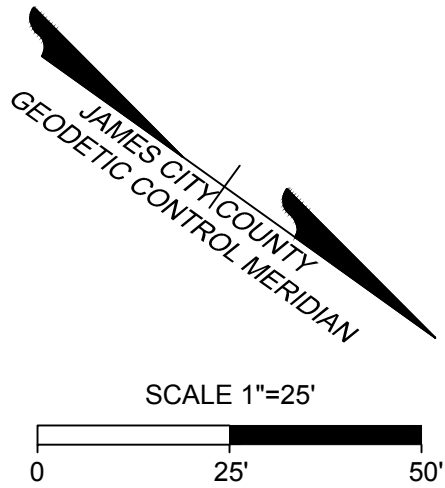
APPLICABLE TO SHEETS C-4.0 THROUGH C-4.3

1	VDOT CG-2 CURB
2	VDOT CG-6 CURB & GUTTER
3	VDOT CG-12A CURB RAMP
4	VDOT CG-12B CURB RAMP
5	VDOT CG-12C CURB RAMP
6	CONCRETE SIDEWALK
7	2' WHITE PAVEMENT STRIPE
8	PRECAST CONCRETE WHEEL STOP
9	DUMPSTER PAD ENCLOSURE
10	4" WHITE PAVEMENT STRIPES
11	4" BLUE PAVEMENT STRIPES
12	YELLOW PAINTED CURB
13	PAINTED CROSSWALK
14	FLUSH CURB
15	CURB TRANSITION

#### SITE PLAN NOTES

APPLICABLE TO SHEETS C-4.0 THROUGH C-4.3

- DIMENSIONS ARE MEASURED TO FACE OF CURB OR EXTERIOR OF WALLS UNLESS OTHERWISE INDICATED.
- TYPICAL CURB RADIUS IS 5', AS MEASURED TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED.
- ALL PROPOSED PAVING SURFACES SHALL MEET ADJACENT PAVING SURFACES IN A SMOOTH CONTINUOUS MANNER, FLUSH ALONG ENTIRE COMMON EDGE.
- ALL RADII AND CURBS INDICATED SHALL HAVE CONTINUOUS/SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES, BENDS, OR FACETED EDGES. ALL RADIAL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE INDICATED.
- ALL HANDICAP PARKING, RAMPS, AND SIGNS SHALL BE IN ACCORDANCE WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS.
- EXPANSION JOINTS IN CONCRETE SHALL BE PROVIDED AROUND ALL JUNCTIONS, STRUCTURES, OR FIXED OBSTRUCTIONS.
- ALL CONCRETE SIDEWALKS, CURBS, AND GUTTERS INDICATED TO BE REMOVED OR REPLACED SHALL BE DONE SO TO THE NEAREST JOINT.



THIS DRAWING PREPARED AT THE  
**VIRGINIA BEACH OFFICE**  
2901 South Lynnhaven Road, Suite 200 | Virginia Beach, VA 23452  
TEL 757.213.5079 FAX 757.340.1415 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	
DATE	
02/19/20	
DRAWN BY	HS
DESIGNED BY	SW
CHECKED BY	RK
SCALE	1"=25'

# TIMMONS GROUP

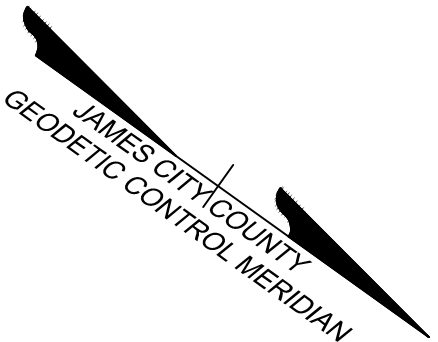
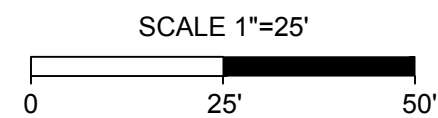
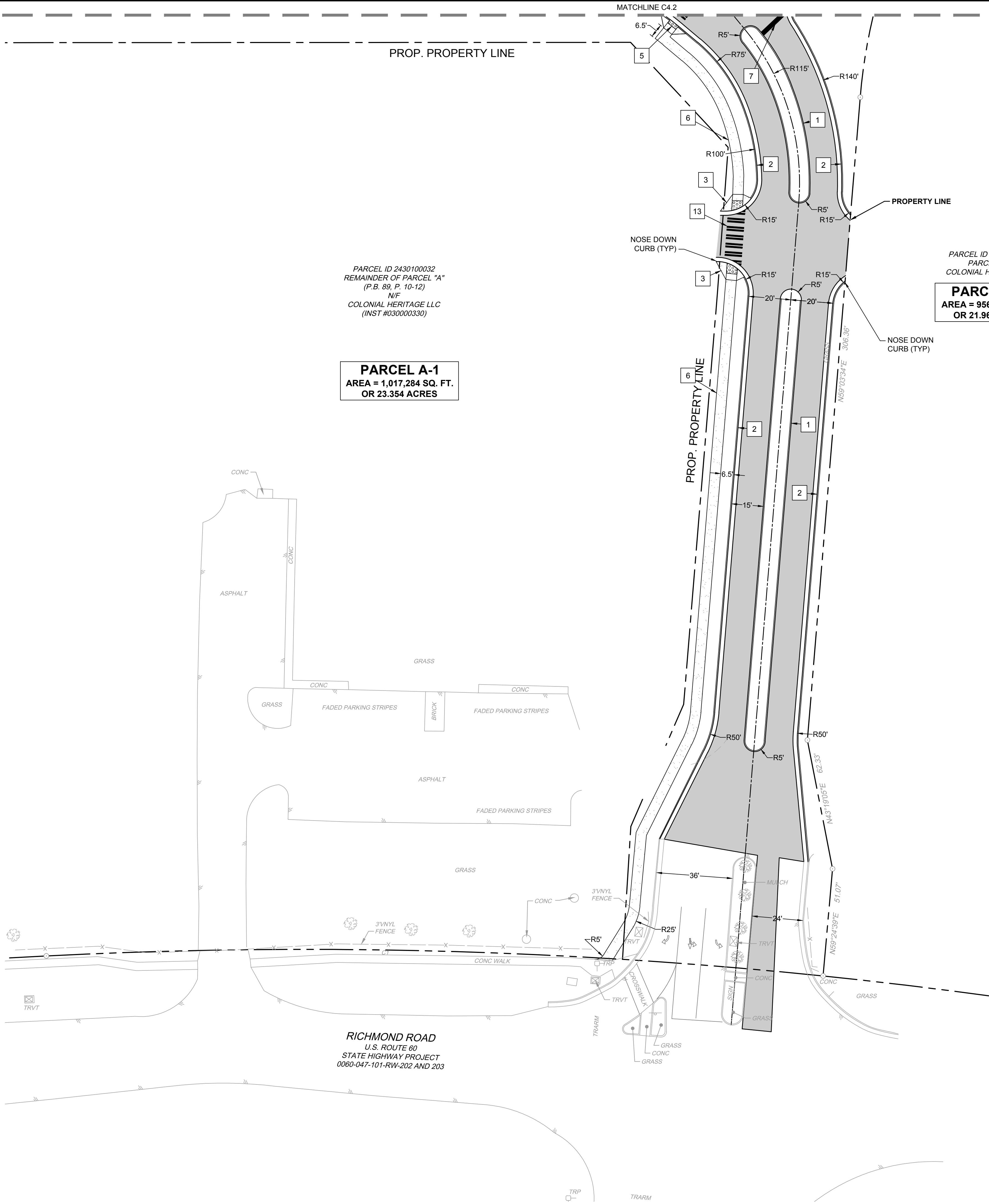
VHS WILLIAMSBURG  
6799 RICHMOND ROAD WILLIAMSBURG, VIRGINIA, 23188 - JAMES CITY COUNTY  
**SITE PLAN**

JOB NO.  
**40260**  
SHEET NO.  
**C4.1**

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S:\10140260-VHS Williamsburg\DWG\Sheet\CD\40260-C4.0-C4.3-SITE.dwg | Plotted on 2/19/2020 8:52 AM | by Henry Seils



**TIMMONS GROUP**

VHS WILLIAMSBURG  
6799 RICHMOND ROAD WILLIAMSBURG, VIRGINIA, 23188 - JAMES CITY COUNTY  
SITE PLAN

JOB NO.  
40260  
SHEET NO.  
C4.3

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
02/19/20	
HS	
SW	
RK	
SCALE	
1"=25'	

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**VIRGINIA BEACH OFFICE**  
2901 South Lynnhaven Road, Suite 200 | Virginia Beach, VA 23452  
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#### Community Development

101-A Mounts Bay Road

P.O. Box 8784

Williamsburg, VA 23187-8784

P: 757-253-6671

F: 757-253-6822

[community.development@jamescitycountyva.gov](mailto:community.development@jamescitycountyva.gov)

[jamescitycountyva.gov](http://jamescitycountyva.gov)

#### Building Safety & Permits

757-253-6620

#### Neighborhood Development

757-253-6640

#### Planning

757-253-6685

#### Zoning

757-253-6671

April 1, 2020

Mr. Ryan Kiss  
Timmons Group  
2901 S. Lynnhaven Road  
Suite 200  
Virginia Beach, VA 23452

#### **Re: SP-20-0015, VHS Colonial Heritage (1<sup>st</sup> submittal)**

Mr. Kiss,

Thank you for the opportunity to review the above referenced site plan. Staff has completed its review and offers the following comments:

#### **Planning:**

##### *General.*

1. Please note that the James City County Board of Supervisors has instituted a fee of \$262.50 for every review of a project after the second resubmission and review. This means that this project shall be allowed *TWO* additional submissions before the fee will be assessed.
2. Please include case number SP-20-0015 on the cover sheet and any future correspondence.
3. *Development Review Committee.* This proposal requires consideration by the Development Review Committee for the following items:
  - a. Per [Section 24-147\(a\)\(1\)\(c\)](#), DRC review is required when total floor area exceeds 30,000 SF and is not predominantly used as warehousing/industrial.
  - b. Proffer III-2 requires DRC review of elevations in accordance with the design guidelines approved under C-19-0030. Please submit full color elevations from each direction for consideration (can be emailed or uploaded to PermitLink – no paper copies needed for this component).
4. *Proposed subdivision.* Currently, the VHS parcel (A-1) fronts on Richmond Road, which triggers requirements for a Community Character Corridor landscape buffer and a bike lane. The proposed subdivision of parcel A-1 would create new lots fronting on Richmond Road, and those lots would then be responsible for fulfilling the Richmond Road requirements. If VHS does not plan to install the bike lane and CCC landscape buffer as part of this site plan, the subdivision would need to be reviewed, approved, and recorded prior to approval of this site plan.
5. *Landscape buffers and screening.* Please review the buffers required per the proffers and master plan (Z-03-02, Z-04-02). For specific landscaping questions, such as calculating the number of required plantings and plant types, please contact Landscape Planner Jose Ribeiro (757-253-6890).



- a. *Along Richmond Road (an urban/suburban Community Character Corridor).* The plans show a 50' buffer along Richmond Road, which is consistent with the master plan and plat. As noted in #4 above, a CCC planting plan would not be required as part of this site plan if parcel A-1 is subdivided prior to site plan approval. If subdivided, please continue to delineate the 50' CCC buffer on any applicable sheets.
- b. *Along property line adjacent to parcel 2430100033 (6693 Richmond Road).* The plans show a 50' buffer along this property line, which is consistent with the master plan. The landscape plan should include a planting plan in accordance with [Section 24-96](#) for any part of this buffer that falls within the VHS parcel.
- c. *Along property line adjacent to Colonial Heritage residential HOA parcel (2340600001B).* The plans show a 50' landscape buffer along this property line, but to the best of staff's knowledge, the proffers and master plan only require a 35' buffer between all commercial and residential use areas. Further, Proffer II-5 allows the 35' buffer to be located on either the residential or commercial side, or overlapping both, as long as plantings are sufficient. If you intend to use some or all of the existing landscaping on the residential side to count towards this 35' buffer, please delineate where the 35' buffer begins and ends, and demonstrate how the existing landscaping is in accordance with [Section 24-96](#).
  - i. Please note that the golf maintenance facility parcel (2430600001D) also abuts the VHS parcel and is also designated residential on the master plan; therefore, the proffered 35' buffer between commercial and residential use areas also applies here. Please ensure that this buffer can still be met where the BMP and associated grading/infrastructure are located.
- d. *Along property line adjacent to parcel A-2.* The plans show a 100' landscape buffer here, but to the best of staff's knowledge, there is no specific 100' buffer required along this property line or the private right of way.
- e. *Parking lot screening.* As discussed in C-19-0030, parking lots that are located between a building and Richmond Road must be screened. Per the approved design guidelines, this will be accomplished with landscaping, berms, low walls, and landscape features. This screening, including the berm, needs to be provided as part of this site plan, even if located on a future separate parcel. As proposed, the parking lot closest to Richmond Road is not sufficiently screened.

*Cover sheet.*

6. Under Site Data, revise Tax Map ID Number to Parcel ID Number, and 02990 to 2430100032.
7. Under Site Data, Existing Conditions, and Proposed Conditions, revise acreage and site calculations as needed relative to the future VHS parcel size, assuming a subdivision is approved/recorded prior to site plan approval.
8. Under Parking Data, add a line stating the number of handicap spaces provided: 5 (2 van accessible).

*C1.0 and other sheets as needed.*

9. Please show revised buffers as needed.
10. If a subdivision occurs prior to site plan approval, please revise this sheet to reflect the new parcel layout in accordance with the approved plat. (Do not use the word "proposed" in property line labels, and ensure that property lines shown on plan sheets are consistent with final plat.)

*C3.0, C3.1.*

11. *Soil stockpiling.* Please review [Section 24-46](#) regarding soil stockpile requirements, particularly subsections (d) Development Plans and (e) Performance Standards. Revise stockpile delineations and notes with additional

detail to confirm that all requirements can be met, including maximum stockpile dimensions and minimum setbacks from property lines.

*P1.0, P1.1.*

12. For clarity, on the photometric plan please bring fixture symbols to the front so that they are the top layer. Currently, some fixture symbols are obscured under other symbols and line types.
13. Staff notes that only pole-mounted lighting is included. If any wall-mounted lighting is proposed, please incorporate into the photometric plan and fixture schedule, or otherwise confirm that no wall-mounted lighting is proposed.
14. Please show isofootcandle diagram all the way to property lines, not just in roadways and parking areas. The diagram should confirm 0.0 footcandles at all property lines. Light trespass, defined as 0.1 footcandles or higher extending beyond property lines, is generally prohibited per [Section 24-132\(c\)](#).
15. Please add the required notes from [Section 24-130\(e\)](#).

*Proffer summary.*

16. Per Proffer I-2, a Phase I archaeology study is required to be reviewed/approved for each land bay prior to issuance of a land disturbance permit. Please submit the Phase I archaeology study, or if already completed, please provide evidence of approval for this land bay.
17. Per Proffer I-6, a natural resource inventory for each portion to be disturbed must be submitted prior to disturbance. Please submit the natural resource inventory, or if already completed, please provide evidence of completion for this land bay.
18. Per Proffer II-5, and as discussed in #5.c above, a 35' landscape buffer is required between commercial and residential uses. The buffer must be planted and established prior to issuance of a commercial Certificate of Occupancy.
19. Per Proffer III-2, and as discussed in #3 above, elevations in accordance with the approved design guidelines must be reviewed/approved by the DRC.
20. Staff notes that Proffer III-6 applies to the magnolia trees on parcel A-2.

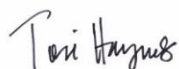
**VDOT:** Approved/no further comments.

**Fire, Dep. Zoning Admin., Stormwater & Resource Protection, JCSA:** See comments posted on [PermitLink](#).

**Building Safety & Permits, Landscape:** Comments are pending and will be forwarded upon receipt.

Copies of all comments can be found on [PermitLink](#) under the "Attachments" tab. When the above comments have been incorporated into the plans, please submit 10 sets of revised plans and a letter noting what action was taken to address any outstanding comments. Please contact me at 757-253-6685 or [tori.haynes@jamescitycountyva.gov](mailto:tori.haynes@jamescitycountyva.gov) should you have any questions or concerns.

Sincerely,



Tori Haynes  
Planner



## MEMORANDUM

**TO:** Tori Haynes  
**From:** Terry Costello  
**Date:** 3/18/2020  
**Re:** SP-20-0015, Virginia Health Services

---

I have reviewed SP-20-0015 and offer the following comments:

1. Please refer to Z-0003-2002/Z-0004-2002 for all proffers associated with this case when review the plan.
2. Section III Proffer 2 states that design review standards for the nonresidential use of development are to be provided to the Planning Director for approval.
3. Proffer 2 also states that conceptual plans and conceptual elevations for development shall be approved prior to site plan approval for a non-residential building by the Development Review Committee (DRC).
4. Section III Proffer 6 addresses the preservation of magnolia trees. The trees comprising a double row of mature Magnolia trees existing within Land Bay VI as of the date hereof shall not be completely destroyed to create a building site, parking area or other improvements. Destruction or elimination of some trees shall be permitted to allow for streets, roads and vehicular or pedestrian connections perpendicular to such rows of Magnolia trees, the placement of utilities, or other purposes approved by the County Planning Director. This proffer is not to be read to require reimbursement of existing trees which are destroyed by natural causes.



## *COMMONWEALTH of VIRGINIA*

### DEPARTMENT OF TRANSPORTATION

4451 Ironbound Road  
Williamsburg, Virginia 23188-2621

18 Mar., 2020

James City County Planning  
101-A Mounts Bay Road  
Post Office Box 8784  
Williamsburg, Virginia 23187

**RE: Virginia Health Services at Colonial Heritage  
Richmond Road  
James City County Plan SP-20-0015**

VDOT has completed its review of the plan received by the VDOT Land Development Office on 12 Mar., 2020. This plan appears to show only a utility connection affecting the existing entrance on Rt.60, which can be accommodated with a land use permit. Approval is recommended.

A Land Use Permit will be required prior to construction of any work within state maintained right of way limits or easements. Additional information about Land Use Permitting as well as the required forms can be found on the VDOT website at: <http://www.virginiadot.org/business/landUsePermits.asp>. An electronic PDF file of the plan and supporting documents should be provided with the permit.

If you have any questions, please contact me.

Sincerely,

Glenn Brooks, P.E.  
Area Land Use Engineer  
VDOT, Williamsburg Residency  
[Glenn.Brooks@vdot.virginia.gov](mailto:Glenn.Brooks@vdot.virginia.gov)  
Office: 757-253-4015  
Mobile: 757-327-9263





**James City County Fire Marshal's Office**  
**5077 John Tyler Highway**  
**Williamsburg, VA 23185**  
**(F) 757-220-9125 (O) 757-220-0626**

FIRE

SP-20-0015, Virginia Health Services (Colonial Heritage)

FM A. K. Lamm

March 23, 2020

-Must adhere to the JCC and JCSA standards for hydrant spacing of no more than 400' for commercial development. Plans show spacing greater than 400 feet. Please add/place hydrants to proper distances to meet JCC requirements.

-FDC and PIVs shall be located at least 40' from the proposed structure and a fire hydrant shall be located within 50' of the FDC.

-Must meet all applicable USBC and SFPC requirements.



## MEMORANDUM

Date: March 25, 2020

To: Tori Haynes, Planner

From: Dion Walsh, JCSA Engineering

Subject: SP-20-0015 Virginia Health Services, Colonial Heritage

James City Service Authority has reviewed this plat for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and has the following comment for the above project. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plat and calculations. It is the responsibility of the engineer or surveyor to ensure the plat and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve the plat for general compliance with the JCSA Standards and Specifications, the following comment must be addressed. We may have additional comments when a revised plat incorporating this comment is submitted.

### Comments:

1. The Design Engineer shall provide a response letter indicating actions taken and/or additional changes made with resubmittal of this project.
2. Add note to cover sheet: This plan is designed to the HRPDC Regional Construction Standards 6<sup>th</sup> Edition and the JCSA Design and Acceptance Criteria dated April 2017.
3. Per the JCSA Chief of Water, Mike Youshock, this site shall be master metered. The meter vault shall be close to Richmond Road. The onsite water mains shall be private. Only an easement to the meter vault is required. Revise plan.
4. Add stationing on the water main in plan view.
5. The manhole numbers on the profile do not match the numbers on the plan. Revise.
6. On the profile sheet, label the storm pipes that cross the water and sewer mains. Label the clearance between the pipes that cross the mains. The storm pipes locations and elevations do not match what is shown and labeled on the plan view. The storm elevations are at the same elevation as the sanitary sewer mains. Revise as required.
7. On the profile sheet, label the manhole rim and inverts in and out and label the invert in of any laterals entering a manhole.
8. On profile sheet, show correct scale width of storm pipes that cross water and sewer mains.

9. Show air release valves on the water mains at all the high points. Try to eliminate some high points if possible (such as between Sta. 5+50 and 7+50; show it straight between those stations).
10. On sheet C6.4, between Sta. 10+50 and 11+40, the water main is shown staying very deep. Raise the water main up between the storm pipes.
11. Remove the details on Sheet C7.4. These are from 2011. This plan is to have the current details dated 2017. JCSA no longer has detail W13.0, PC.1, W17.0 or C2.0. All of those should now refer to the appropriate HRPDC detail.
12. The plan shows a 2" meter. Shown on sheet C7.4 is a 5/8 thru 1" meter detail. JCSA detail W15.0 is for a 2" meter. However, on this project you may need an 8" combination master meter. Water meter type: Neptune model T-10 with ProCoder R900i combination register and radio frequency antenna.
13. List all the water and sanitary sewer HRPDC and JCSA details required for the project.
14. On sheet L1.2, there is one tree shown close to a fire hydrant. Trees shall be a minimum of 10' from fire hydrants.
15. Water and Sewer data sheets may need to be revised per comments above. Sheets will be reviewed at next submittal.

Please call me at 757-259-5457 if you have any questions or require any additional information.



**General Services**  
107 Tewning Road  
Williamsburg, VA 23188  
P: 757-259-4080  
General.Services@jamescitycountyva.gov  
[jamescitycountyva.gov](http://jamescitycountyva.gov)

<b>Capital Projects</b> 107 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Fleet</b> 103 Tewning Road Williamsburg, VA 23188 757-259-4122	<b>Stormwater and Resource Protection</b> 101-E Mounts Bay Road Williamsburg, VA 23185 757-253-6670	<b>Facilities &amp; Grounds</b> 113 Tewning Road Williamsburg, VA 23188 757-259-4080	<b>Solid Waste</b> 1204 Jolly Pond Road Williamsburg, VA 23188 757-565-0971
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March 31, 2020

Ryan Kiss  
Timmons Group  
2901 S. Lynnhaven Road, Suite 200  
Virginia Beach, VA 23452

RE: VHS Williamsburg  
SP-20-0015  
1st Review

The Stormwater and Resource Protection Division has completed a review of the submitted case referenced above and offers the following permitting information and technical comments on the proposed submittal.

**Permitting Information and Regulatory Notices**

- A local Land Disturbing/Stormwater Construction Permit (VESCP/VSMP authority permit) and Siltation Agreement, with surety, are required for this project. Upon plan approval by the Division, information regarding this process will be forwarded to the applicant. Permit applications should not be submitted prior to plan approvals.
- Surety Estimate. The design engineer should provide the Stormwater Permitting Specialist, Joe Buchite, with an accurate surety estimate. Example forms for such can be forwarded to the applicant by request (253-6643 or Joseph.Buchite@JamesCityCountyVA.gov). Submitted surety estimate must be stamped and signed by the design professional.
- James City County References. Several general notes, Sequence notes, or other notes make reference to varying municipalities. Please review plan notes to reference only James City County. Most instances were found on the cover sheet, in the demolition notes, and on sheet C7.1.
- Record Drawing and Construction Certification. The stormwater management/BMP facility and associated stormwater conveyance systems as proposed for this project will require submission, review, and approval of a record drawing (as-built) and construction certification prior to release of the posted bond/surety. Provide notes on the plan accordingly to ensure this activity is adequately coordinated and performed before, during and following construction in accordance with current County guidelines.
- CCTV. An internal closed circuit television (CCTV) post installation inspection performed by the operator, is required for all stormwater conveyance system pipes, access or inlet structures, and culverts of 15-inch nominal diameter size or greater as part of the construction record drawing

(asbuilt) and construction certification process. CCTV inspections shall be submitted digitally for staff review. Refer to Sections 8-25(f) and 8-27(e) of the County's Chapter 8 ordinance.

- VDOT. A VDOT Permit may be required for this project. Please contact the VDOT offices for information concerning VDOT regulations. Any required VDOT permits must be obtained prior to issuance of VSMP Permits from James City County.

### **Technical Review Comments**

#### **Erosion and Sediment Control Plan:**

1. Plan Information. Please provide a short E&SC narrative on the plan set as per regulations.
2. Sequence of Construction.
  - a. Please provide a site specific sequence of construction. Ensure that sequencing allows for installation of the storm system prior to building pad grading/construction. The provided sequence is too general in nature and should be more step-by-step specific.
  - b. Item 8. Please include the caveat that storm system must be installed, fully functional, and protected with appropriate sediment control measures prior to requesting JCC inspector approval to remove traps/ basins.
3. Erosion and Sediment Control General Notes.
  - a. Item 6. Please reword or remove this note as trapped sediment will not be allowed to remain in place. Sediment is to be controlled by the contractor during all stages of construction such that trapped sediment pockets do not form.
  - b. Item 10. Please add the requirement for written approval from the JCC inspector prior to removal of these features.
  - c. Item 13. Location of a construction access at the Colonial Heritage Boulevard entrance will be dependent on permissions, as discussed in above comment. Please adjust this comment as needed depending on permissions from the HOA to use the Boulevard.
  - d. Item 21. This item, regarding the City Arborist, does not seem relevant for this project site. Please review as necessary.
4. Demolition Notes.
  - a. Please remove item number 16 as the JCC inspector is not responsible for the coordination of the haul route.
  - b. Please include reference to the Sequence of Construction as the demolition is not to occur out of approved sequence.
5. Debris Removal. Provide a note on the title sheet of the plans providing that all objectionable and deleterious material is to be removed from the site and disposed of in a state approved facility meeting the requirements of all applicable local, state, and federal regulations.
6. Material Staging and Stockpile Area.
  - a. Please make a note on all callouts that staging and stockpile areas cannot be relocated without the written consent of the JCC stormwater inspector.

- b. JCC requires a stockpile operations plan. Please refer to the JCC Zoning Ordinance Chapter 24, Section 24-46(d) 2. Please note pertinent the information on the plan set as well.
- 7. Limits of Disturbance.
  - a. Please revise the limits of disturbance to include the entirety of the project. Diversion dikes and the sediment basin have not been included on the current plan set.
  - b. Please review the limit line shown on Sheet C5.1 as it extends past the Property Line more than once.
- 8. Site Construction Access. Colonial Heritage Boulevard is a privately owned road, therefore permission must be granted by the owner to use the road during construction. As sequencing and access may be affected by not gaining this permission, and alternate planning may be needed, please submit evidence of temporary access permission for use of Colonial Heritage Boulevard with the second submittal of the development plans. Should this entrance be used during construction, a traffic control plan in accordance with VDOT standards must be included in the plan set.
- 9. Blanket Matting. Please provide appropriate blanket matting on all cut/ fill slopes 3:1 and steeper. Provide details of matting product and installation specifications.
- 10. Diversion Dike (DD). Please review the flow path of the diversion dikes shown on the plan.
  - a. There is a gap between dikes near the 103 contour convergence on the southwestern side of the project. Please clarify the reason for the gap or redraw the dikes to better manage the flow path.
  - b. Please provide slope drains, with proper sizing information and details, at the discharge of the dikes into the basin. The outlet protection shown is not sufficient for the disturbed soils in this area.
  - c. Please add a slope drain to the diversion dike wrapping around the southwestern side of the basin dam. This dike should be shortened to direct the flows into the basin prior to wrapping the top of bank.
  - d. Please provide details with design flow depths and requirement for immediate stabilization.
- 11. Silt Fence.
  - a. Please add silt fence along the toe of the downstream basin dam, above the existing drainage inlet. This silt fencing should extend at least the length of the proposed slopes.
  - b. Please add silt fence along the rear property line at the downslope side of the diversion dike.

**Stormwater Management/ Drainage Plan:**

- 12. Special Stormwater Criteria (SSC). Based on the proposed site's location in Yarmouth Creek watershed, this plan of development is subject to Special Stormwater Criteria (SSC) as adopted by the Board of Supervisors. Please show how SSC is being achieved for this site using the SSC guidance document and contact Division staff with any questions regarding the necessary components.

13. Existing BMPs. If stormwater compliance for the proposed site is intended to be achieved by use of an existing onsite or offsite master planned BMP, the provisions of Section 23-9(b)(8)(a) of the County's Chesapeake Bay Preservation ordinance will apply to the project. If compliance for a development is based in whole or part by use of an existing downstream onsite or offsite structural BMP, evidence shall be provided that the facilities are in good working order and performing at the design level of service. Original design computations and/or maintenance plans may need to be provided to verify this provision.
14. Downstream BMP Protection. Include provisions on the E&SC plan and Sequence of Construction to monitor the existing offsite BMP for signs of sedimentation, specifically during or as a result of construction on this site. As this facility is not to be used for sediment control, the contractor should be aware that additional onsite or offsite controls may be necessary to protect the BMP from degradation. This may include additional E&SC measures, cleaning and sediment removal within the basin or connecting pipe systems and coordination with the owner, engineer, or the County.
15. VDOT Drainage Easement System. Please include the existing system information on the plan set. The direction of flow and drainage paths are not clear from the current drawings.
16. Roof Leaders. Please show the entirety of the roof drainage system(s). These locations are often tied into storm structures and the hydraulic system calculations must take into account the leader locations, drainage areas, and velocities. If the downspouts are to be disconnected, ensure that the proposed 12-inch circular grate basins are capable to handle the building runoff without ponding.
17. Site Outfall.
  - a. The connection between the outfall of the two proposed storm drainage systems and the existing 48-inch RCP storm sewer system should be attained by a manmade channel or pipe system able to direct runoff discharges from the site into the existing system entirely without ponding or bypassing. Please review design in this location.
  - b. If the design of the outfall area is to remain a grassed channel, please provide channel section and vegetative treatment specifications, as well as appropriately sized outlet protection for the combined outflows.
18. Storm System.
  - a. 12" Pipe. The County Stormwater Drainage Conveyance System Design and Construction Guidelines note that the minimum storm drain pipe diameter is 15" (Section 4.13). Please review the Guidelines and adjust pipe sizes and calculations as necessary. Should 12" pipe be used, spacing of segments must be in accordance with the Guidelines. Staff suggests using a larger diameter of HDPE under the drive aisles.
  - b. Line 28 to Line 27 showed a reverse slope flow (-10.48). All flows should be positive. Please review drainage calculations.
  - c. Calculations. Please provide ponding calculations for each structure along the proposed drive aisle. Ponding distances should be within VDOT design tolerances.
  - d. Please provide references to ASTM standards and specifications regarding pipe material, bedding, and installation. Details of the bedding and installation must be provided for each pipe material being used on the project. Additional information for pipe requirements can be found in the Guidelines Section 4.4 and 4.5.
  - e. Yard Inlets. Please note that yard inlets are to be designed for the 10-year storm event and evaluated for the 100-year event to ensure nearby buildings and structures are not inundated

during larger storm events. Ponding calculations should be provided for the yard drains shown on the plan (Guidelines 4.22)

19. Existing 48-inch RCP Culvert. The first section of the existing 48-inch RCP is lying on the surface without back fill material. Include notes requiring the proper backfill and retrofit for this culvert.
20. Existing Metal Pipe. Please evaluate the condition and confirm adequacy of the existing metal pipe located across the entrance road.

**Geotechnical/ Landscaping Issues:**

21. Landscape Design. Trees and larger shrubs should be at least 10 feet from the center line of storm sewer systems and 15 feet away from other related Stormwater appurtenances. Line 21 and related storm structures for the proposed drainage system conflict with this requirement as well as existing storm systems used with this project. Please review accordingly.

Please contact our offices with any questions or concerns regarding the information and comments noted. Staff contact information is listed below for your convenience.

Deirdre P. Wells, P.E., CFM  
Chief Civil Engineer  
Deirdre.Wells@jamescitycountyva.gov  
(757) 253-6702

Juan Carlos Morgado Jofré, E.I.T.  
Civil Engineer II  
Juan.Morgado@jamescitycountyva.gov  
(757) 253-6675

Amy Parker  
Civil Engineer I  
Amy.Parker@jamescitycountyva.gov  
(757) 253-6851

Trevor Long  
Watershed Planner II  
Trevor.Long@jamescitycountyva.gov  
(757) 253-6789





**Building Safety & Permits**

101-E Mounts Bay Road

P.O. Box 8784

Williamsburg, VA 23187-8784

P: 757-253-6620

F: 757-259-4038

[buildingsafetyandpermits@jamescitycountyva.gov](mailto:buildingsafetyandpermits@jamescitycountyva.gov)

[jamescitycountyva.gov](http://jamescitycountyva.gov)

**MEMORANDUM**

TO:           Tori Haynes

FROM:       Marty Smith

DATE:       04.03.20

RE:          SP-20-0015

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I have reviewed the site plan for the VHS assisted living facility. A building permit will be required. Submitted drawings must be prepared by a registered design professional and include a code analysis and details for required accessible features.

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**INTEROFFICE MEMORANDUM**

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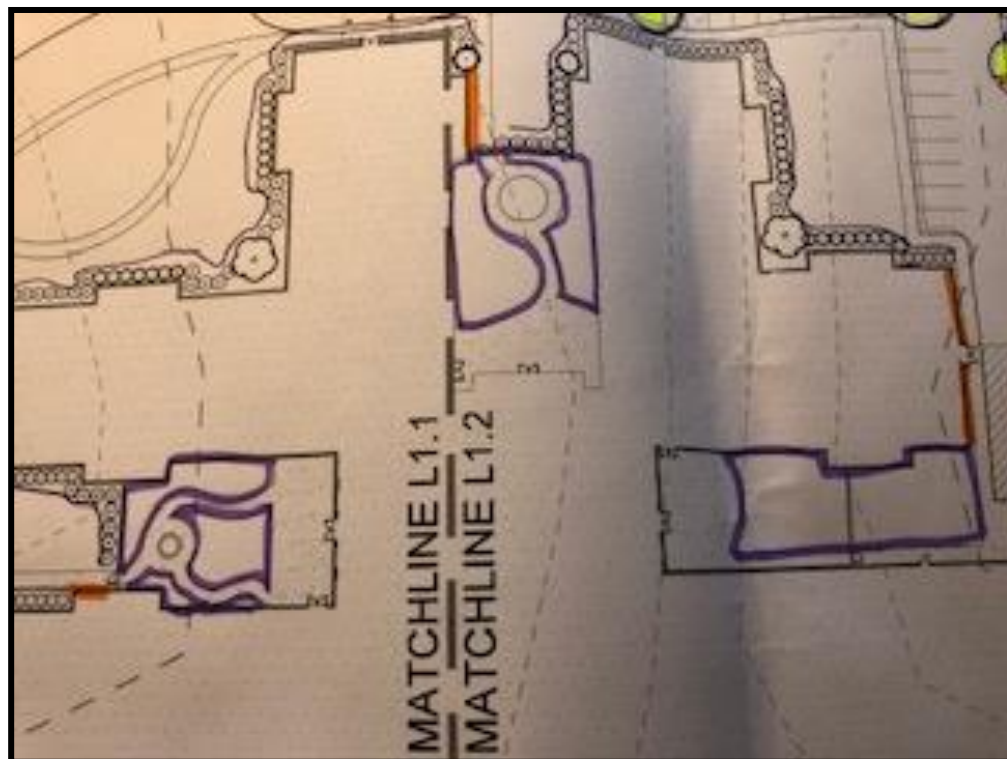
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**TO:** TORI HAYNES, PLANNER  
**FROM:** JOSE L RIBEIRO, SENIOR PLANNER II  
**SUBJECT:** SP-20-0015. VHS WILLIAMSBURG  
**DATE:** 4/6/2020

---

I have reviewed the above referenced plan in accordance with [Chapter 24. Article II. Division 4.-Landscaping](#) of the Zoning Ordinance and have the following comments to offer:

1. The picture below (from Sheet No. L1.0 of site plan SP-20-0015) shows the footprint of the proposed building.
  - a. What is the total perimeter of the building?
  - b. Areas highlighted in orange represents breaks in landscaped areas adjacent to the building. Areas highlighted in purple represent areas also adjacent to the building and not landscaped. On a brief narrative please indicate the reason why these areas are not being landscaped in accordance with Section 24-97 of the Zoning Ordinance.



2. Sheet No. L2.0. Landscape Requirements. How was the landscaped area of the right-of-way calculated (4,702 square feet)?
3. Plant Schedule Table. Thank you for providing size requirements for new planting in accordance with Section 24-92 of the Zoning Ordinance However, please note the following:
  - a. For parking lot landscaping (size and mixture) please refer to Section 24-99(3);
  - b. For right-of-way landscaping and adjacent to building landscaping (size and mixture) please refer to Section 24-96(b) of the Zoning Ordinance.
4. If any existing shrubs/vegetation alongside the private driveway are removed they should be replaced in kind.
5. If any existing trees are planned to be saved please provide a tree protection plan in accordance with Section 24-87 of the Zoning Ordinance.

**ITEM SUMMARY**

DATE: 6/17/2020

TO: The Development Review Committee

FROM: Thomas Wysong, Senior Planner

SUBJECT: C-20-0054. 164 & 168 Bush Springs Rd - Overhead Utility Waiver

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**ATTACHMENTS:**

	Description	Type
▣	Staff Report	Staff Report
▣	Attachment No. 1 Location Map	Exhibit
▣	Attachment No. 2 Applicant Exhibit	Exhibit
▣	Attachment No. 3 Dominion Correspondence	Backup Material

**REVIEWERS:**

Department	Reviewer	Action	Date
Development Review Committee	Baruch, Alex	Approved	6/10/2020 - 3:05 PM
Development Review Committee	Holt, Paul	Approved	6/10/2020 - 3:06 PM
Publication Management	Daniel, Martha	Approved	6/10/2020 - 3:11 PM
Development Review Committee	Holt, Paul	Approved	6/10/2020 - 3:11 PM



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**CONCEPTUAL PLAN 20-0054. 164 and 168 Bush Springs Road Overhead Utility Waiver**

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**Staff Report for the June 17, 2020, Development Review Committee Meeting****SUMMARY FACTS**

Applicant:	Paul White Builder
Land Owner:	PW Development Inc.
Proposal:	To permit an overhead power line connection to two residential lots planned for single-family home construction.
Reason for Development Review Committee (DRC) Review:	Section 24-200(c) of the Zoning Ordinance requires all new utility connections to be placed underground. The applicant has requested a waiver to this requirement, which may be permitted by approval of the Planning Commission per the recommendation of the DRC as described in Section 24-200(c) of the Zoning Ordinance.
Locations:	164 and 168 Bush Springs Road
Tax Map/Parcel Nos.:	2220200001A 2220200001
Project Acreage:	2.23 acres (total)
Current Zoning:	Limited Residential (R-1)
Comprehensive Plan:	Low Density Residential
Primary Service Area:	Inside
Staff Contact:	Thomas Wysong, Senior Planner

**FACTORS FAVORABLE**

1. Staff finds that the application meets the criteria for consideration of waivers listed in Section 24-200(c).

**FACTORS UNFAVORABLE**

1. Staff finds no unfavorable factors.

**SUMMARY STAFF RECOMMENDATION**

Staff recommends that the DRC recommend approval of this waiver request to the Planning Commission.

**SURROUNDING ZONING AND DEVELOPMENT**

- Surrounding properties are zoned R-1, Limited Residential.
- Surrounding properties are designated Low Density Residential on the 2035 Comprehensive Plan.

**PROJECT DESCRIPTION**

- Over the past several months, the property owners have been working with Dominion Energy (“Dominion”) to secure an underground easement on the properties adjacent to 164 and 168 Bush Springs Road. The purpose of this easement was to allow for a proposed buried power line to provide electricity to the residences planned for 164 and 168 Bush Springs Road. However, Dominion was unable to acquire an underground easement on these adjacent properties. As a result, Dominion is instead proposing to connect an overhead power line from a new 36’ 6” high pole to be located on the 168 Bush Springs Road property to a new 36’ 6” high pole to be located on the other side of Bush Springs Road. This new pole will be located between the parcels

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*This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.*

## CONCEPTUAL PLAN 20-0054. 164 and 168 Bush Springs Road Overhead Utility Waiver

---

### Staff Report for the June 17, 2020, Development Review Committee Meeting

addressed 163 and 159 Bush Springs Road within an existing Dominion overhead power line easement. The lowest cable will connect at 24' 10" and the approximate length of the power line from pole to pole will be 100 feet. The secondary wires connecting from the pole to both proposed houses will be buried.

#### STAFF ANALYSIS

The applicant has requested a waiver to Section 24-200, Public Utilities, of the Zoning Ordinance. That section permits the Planning Commission to waive the underground utility requirement should the DRC give a favorable recommendation based upon consideration of the following circumstances, listed in Section 24-200(c): voltage requirements, existing overhead service, existing tree cover, and physical features of the site and the surrounding area.

The following factors were evaluated by staff in making its recommendation: 1) the line would be an extension of existing overhead service; 2) adjacent property owner will not grant an underground utility easement; and 3) the extension would be a short distance from existing service to the property. Due to these factors, staff finds that this application meets the criteria for consideration of waiver as found in Section 24-200(c).

#### STAFF RECOMMENDATION

Staff recommends that the DRC recommend approval of this waiver request to the Planning Commission.

TW/nb

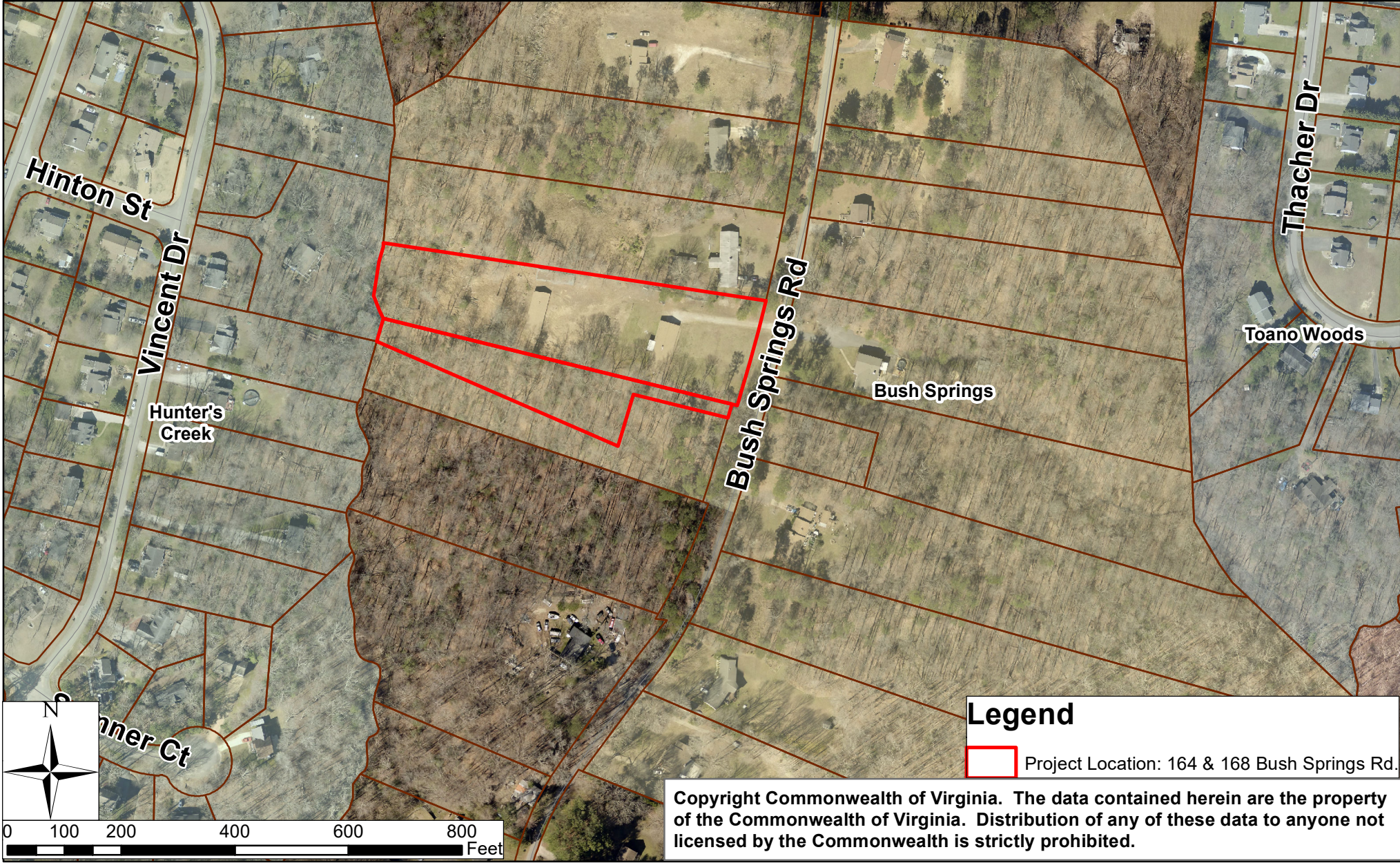
CP20-54-164and168BushSp

#### Attachments:

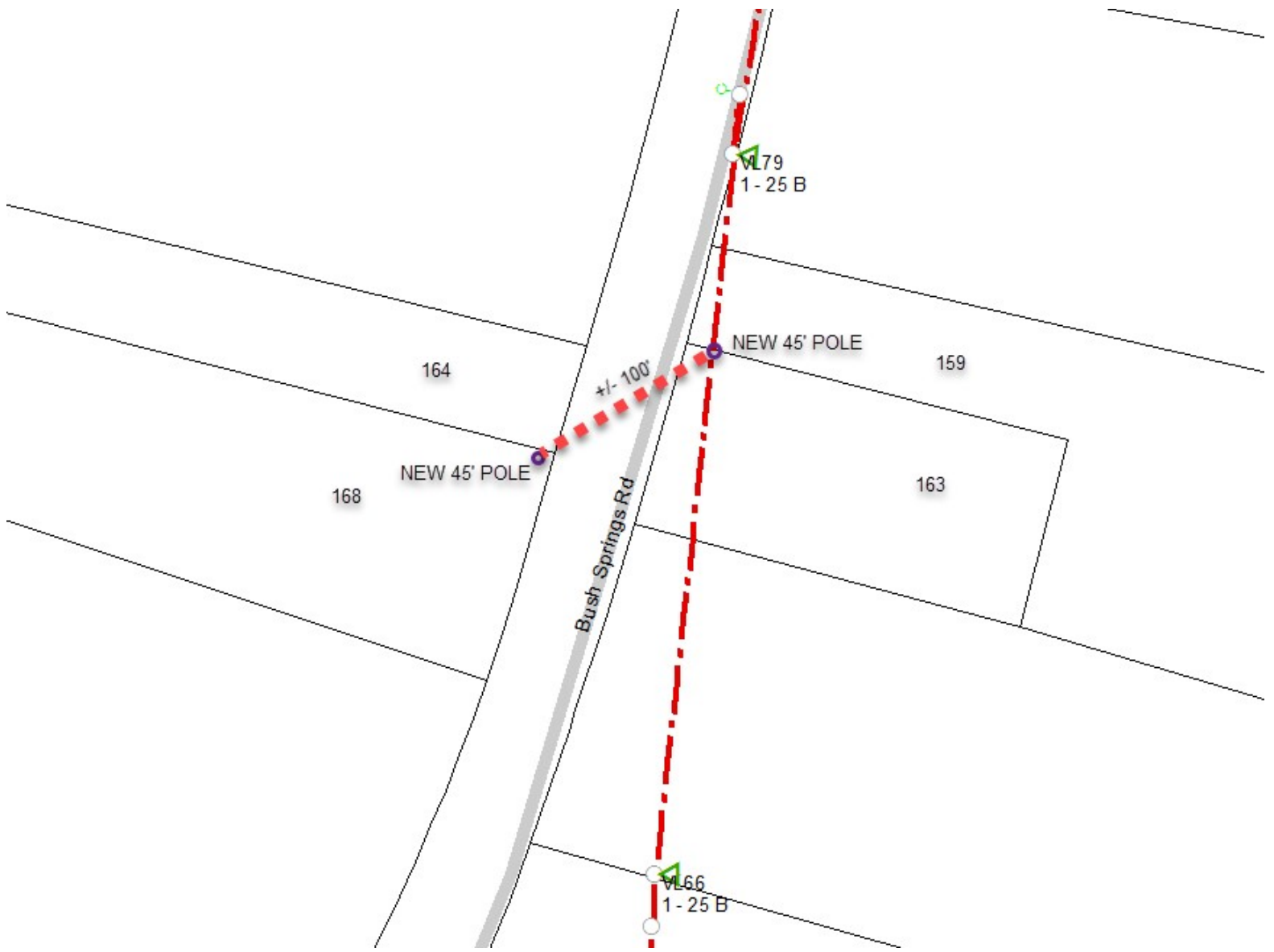
1. Location Map
2. Applicant Exhibit
3. Dominion Correspondence



# JCC-20-0054: 164 & 168 Bush Springs Rd. Overhead Utility Waiver









## Thomas Wysong

---

**From:** Phyllis Katona <phyllis.katona@dominionenergy.com>  
**Sent:** Monday, June 1, 2020 3:50 PM  
**To:** Thomas Wysong  
**Subject:** [External] FW: Overhead Utility Height Question  
**Attachments:** Overhead drawing for 164 and 168 Bush Springs Rd Dom Energy.pdf  
  
**Importance:** High

Good Afternoon Mr. Wysong,

Thank you for your inquiry about the height question. I will need to consult with the project designer, Emily Smith, about this request and what is planned should we need to go overhead. She has the project for Paul White Builders but it appears the neighboring parcels do not want to sign an underground easement to allow Dominion to install the facilities underground on their property (based on comments for the project). I will need to get back with you once I've discussed this with the designer. Thank you.

### *Phyllis Katona*

Coordinator - Electric Distribution Design

Dominion Energy Virginia

Williamsburg Office

(757) 220-4123, Office

(757) 813-9589, Mobile

(757) 220-4127, Fax

email: [phyllis.katona@dominionenergy.com](mailto:phyllis.katona@dominionenergy.com)

website: <https://www.dominionenergy.com/>

---

**From:** Brendan L McElroy (DEV Trans Distribution - 1) <Brendan.L.Mcelroy@dominionenergy.com>

**Sent:** Monday, June 1, 2020 3:03 PM

**To:** Phyllis Katona (DEV Trans Distribution - 1) <phyllis.katona@dominionenergy.com>

**Subject:** FW: Overhead Utility Height Question

Hello Mrs. Katona!

Mr. Wysong works with the planning dept with JCC. He and I worked together on a few projects.

Can you assist him with his request?

Thanks!

**Brendan L. McElroy**

T&D Project Specialist II

Strategic Design and Analytics

2700 Cromwell Road Norfolk, VA 23509

Mobile#: (757) 525 - 5877



---

**From:** Thomas Wysong <[Thomas.Wysong@jamescitycountyva.gov](mailto:Thomas.Wysong@jamescitycountyva.gov)>  
**Sent:** Monday, June 1, 2020 2:51 PM  
**To:** Brendan L McElroy (DEV Trans Distribution - 1) <[Brendan.L.Mcelroy@dominionenergy.com](mailto:Brendan.L.Mcelroy@dominionenergy.com)>  
**Subject:** [EXTERNAL] Overhead Utility Height Question

Good afternoon Brendan,

I hope this email finds you well. The Fire Department has asked what the height of the overhead utility line will be for the attached proposal to provide power to a single family home. Could you give me an estimate of the height?

Thanks,  
[Thomas Wysong](#)  
Senior Planner, AICP



101-A Mounts Bay Road  
Williamsburg, VA 23185  
P: 757-253-6771  
[Thomas.Wysong@jamescitycountyva.gov](mailto:Thomas.Wysong@jamescitycountyva.gov)

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## Thomas Wysong

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**From:** Emily L Smith <Emily.L.Smith@dominionenergy.com>  
**Sent:** Friday, June 5, 2020 7:02 PM  
**To:** Thomas Wysong  
**Subject:** [External] RE: A Few More Bush Springs Questions...

Hello!

- 1) Is the pole across the street from the Paul White lots going to be located within an overhead Dominion easement or the VDOT right-of-way?

**We would be placing the pole under an existing overhead dominion easement.**

- 2) If so, does their existing easement not allow for the underground work?

**Correct. The easement is only for overhead.**

- 3) For the 45' poles, what is the height above ground? (I'm assuming these poles aren't 45' above ground – this must include some portion that's the buried part).

**They will be 36' 6" above ground. The pole with the transformer on Paul White's lot will have the lowest connecting cable since it has a transformer and the other will not. So on the transformer pole the lowest cable will be joint use and they will connect at 24' 10".**

- 4) Are the power lines going to be buried from the pole to the houses?

**Yes the secondary wires to feed both houses will be underground from the pole on his lot.**

### Emily Smith

Customer Projects Designer I

Dominion Energy Virginia

C: 757-404-1517

Email: [Emily.L.Smith@DominionEnergy.com](mailto:Emily.L.Smith@DominionEnergy.com)



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---

**From:** Thomas Wysong <Thomas.Wysong@jamescitycountyva.gov>  
**Sent:** Friday, June 5, 2020 10:46 AM  
**To:** Emily L Smith (DEV Trans Distribution - 1) <Emily.L.Smith@dominionenergy.com>  
**Subject:** [EXTERNAL] A Few More Bush Springs Questions...

Good morning Emily,

The Planning Director has a few more questions about the Bush Springs project that I'm hoping you can answer. I've listed them below:

- 1) Is the pole across the street from the Paul White lots going to be located within an overhead Dominion easement or the VDOT right-of-way?

- 2) If so, does their existing easement not allow for the underground work?
- 3) For the 45' poles, what is the height above ground? (I'm assuming these poles aren't 45' above ground – this must include some portion that's the buried part).
- 4) Are the power lines going to be buried from the pole to the houses?

Thanks,  
Thomas Wysong  
Senior Planner, AICP



101-A Mounts Bay Road  
Williamsburg, VA 23185  
P: 757-253-6771  
[Thomas.Wysong@jamescitycountyva.gov](mailto:Thomas.Wysong@jamescitycountyva.gov)

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