

AT A REGULAR MEETING OF THE DEVELOPMENT REVIEW COMMITTEE OF THE COUNTY OF JAMES CITY, VIRGINIA, HELD IN THE BUILDING C CONFERENCE ROOM AT 4:00 P.M. ON THE 28<sup>th</sup> DAY OF APRIL, TWO THOUSAND FOUR.

ROLL CALL

Mr. Joe McCleary  
Mr. Jack Fraley  
Ms. Peggy Wildman  
Mr. Don Hunt

ALSO PRESENT

Mr. Matthew Arcieri, Planner  
Ms. Karen Drake, Senior Planner  
Ms. Sarah Weisiger, Planner  
Mr. Darryl Cook, Environmental Division Director  
Mr. Tim Fortune, JCSA Engineer

MINUTES

Following a motion by Mr. Farley, the DRC approved the minutes from the March 31<sup>st</sup>, 2004 meeting by a unanimous voice vote.

CASE NO. SP-18-04. NEW TOWN BLOCK 8, PHASE 1B RESIDENTIAL

Ms. Drake presented the staff report stating that the applicant has requested a deferral until the June 2<sup>nd</sup> DRC meeting. Revised plans have just been resubmitted for review that address the outstanding Environmental and Fire Department comments. There being no further discussion the DRC deferred action on this case.

CASE NO. C-48-04. Clubhouse Point (Stonehouse Parcel 2B)

Mr. Matt Arcieri presented the staff report stating Mr. Marc Bennett of AES Consulting Engineers, on behalf of Stonehouse Development Company, submitted a conceptual plan proposing the creation of 21 single-family lots on Mill Pond Run in Phase 1 of Stonehouse. This land bay is designated for recreation on the Stonehouse master plan. DRC review is necessary to determine whether or not the proposal is consistent with that master plan. Staff recommended approval as the parcel had been previously approved by the DRC for multi-family residential and this represented a less intense use of this property. There being no further discussion, on a motion by Mr. Fraley and a second by Ms. Wildman, the DRC unanimously found the proposal consistent with the Stonehouse Master Plan.

#### CASE NO. C-50-04. 7456 Little Creek Overhead Utility Waiver

Ms. Drake presented the staff report and stated that staff recommends approval of the exception request for overhead utilities to a single pole on the Wigley's lot with all underground utilities to the five homes within the Roper Subdivision. Mr. McCleary questioned the Wigleys to determine if the homeowners had considered joining together to pay the additional costs for installing utilities under Little Creek Dam Road. Mr. Wigley replied that they had not as everyone was on a different construction schedule. There being no further discussion and following a motion by Mr. Fraley that was seconded by Ms. Wildman, the DRC unanimously recommended that the Planning Commission grant an exception to Section 19-33 of the Subdivision Ordinance to allow the placement of an overhead line to a single utility pole at 7456 Little Creek Dam Road with underground utilities to the five lots within the Roper Subdivision.

#### Case No. SP-27-04. Greensprings Condominiums Site Plan Amendment

Ms. Drake presented the staff report stating this project was back before the DRC due to the applicant changing all 282 units to condominiums. Ms. Drake distributed comments dated April 27, 2004, that JCSA had just completed on their review of the slip-sheeted plans and noted JCSA was now recommending preliminary approval. However, staff still recommended deferral due to outstanding Environmental comments. Mr. Darryl Cook explained that a field evaluation of the Resource Protection Areas needed to occur along with a meeting with the Williamsburg Environmental Group regarding this project. Mr. McCleary confirmed that the site plan amendment was market driven. Mr. Farley questioned the number of JCSA comments. Mr. Tim Fortune replied that while there were multiple comments, there were no outstanding issues that would prevent JCSA from recommending preliminary approval and that the comments focused on cleaning up the site plan. For clarification, Mr. Simmons questioned the DCR deferral process. Mr. McCleary noted that the DRC was concerned about environmental issues regarding this project that would prevent them from recommending preliminary approval at this time, but they were generally in favor of the amendment. There being no further discussion, the DRC deferred action on this case until the June 2, 2004 DRC meeting.

#### Case No. SP-35-03. Prime Outlets Phases V-A and V-B

Sarah Weisiger presented the staff report stating that the preliminary approval for Prime Outlets Expansion Phases V-A and B expires April 30, 2004. The applicant had resubmitted the site plan. The question before the DRC is whether a change to the layout is generally in accordance with the approved Master Plan. Staff believed the proposed reconfiguration is a minor change that does not change the basic concept or character of the development. Staff recommended preliminary approval. Steve Romeo the applicant stated that the proposal was similar to an earlier approved site plan. The area had been an exit in the earlier plan and was proposed as an entrance in the current plan. Mr. McCleary asked what the distance would be between traffic signals and about the possibility of trucks arriving from the south and having to make a u-turn further up Route 60 to approach the entrance. Mr. Romeo said that the signals would be more

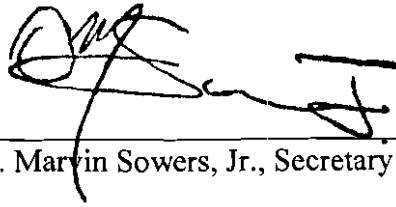
than 1,000 feet apart and that only 1% of trucks would be approaching from the south. Mr. Fraley moved that preliminary approval be granted. Mr. Hunt seconded the motion. The vote was 4-0 in favor of preliminary approval.

### Adjournment

There being no further business, the April 28, 2004, Development Review Committee meeting adjourned at 4:30 p.m.

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Mr. Joseph R. McCleary, Chairman



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O. Marvin Sowers, Jr., Secretary

## **Conceptual Plan 55-04. Mid-County Park, Trail Addition**

Staff Report for the June 2, 2004, Development Review Committee Meeting

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### SUMMARY FACTS

**Applicant:** Mr. Paul Tubach, Greenway Planner

**Landowner:** James City County

**Developer:** James City County Department of Parks & Recreation

**Proposed Use:** approx. 3,500 linear feet of 10' multi-use trail

**Location:** 3793 Ironbound Road; Berkeley District

**Tax Map/Parcel Nos.:** (38-3)(1-10)

**Primary Service Area:** Inside

**Parcel Size:** ± 19.35 acres

**Existing Zoning:** R-4, Residential Planned Community

**Comprehensive Plan:** Park, Public, or Semi-Public Open Space

**Reason for DRC Review:** Section 15.2-22.32 of the Virginia State Code requires Planning Commission review of this project. This code section states that no changes at a public facility shall be allowed unless the Planning Commission finds the changes "substantially" consistent with the adopted Comprehensive Plan.

**Staff Contact:** Christopher Johnson, Senior Planner      Phone: 253-6685

### STAFF RECOMMENDATION

The 2003 Comprehensive Plan designates Mid-County Park as Park, Public, or Semi-Public Open Space. Staff finds the proposal consistent with the Comprehensive Plan since the park will serve the county and region as a whole, and because it is a public facility owned and operated by James City County. Staff recommends that the Development Review Committee find that the proposed multi-use trail is substantially consistent with the 2003 Comprehensive Plan.

  
Christopher Johnson

### Attachments:

1. Agency Comments

AGENCY COMMENTS  
FOR  
C-55-04. MID COUNTY PARK, TRAIL ADDITION

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Planning:

1. A review of our records indicates that a trail plan similar to the one you propose was reviewed by staff in August 2000 (Case No. C-66-00). How does the current plan differ from the one proposed in 2000?
2. Staff has been unable to find evidence that the previously proposed trail plan was reviewed by the Planning Commission in accordance with Section 15.2-22.32 of the Virginia State Code. Specifically this code section states that no changes at a public park facility shall be allowed unless the Planning Commission finds the changes "substantially" consistent with the adopted Comprehensive Plan. The 2003 Comprehensive Plan designates Mid County Park as Park, Public, or Semi-Public Open Space. Staff has scheduled this project for review at the next regularly scheduled Development Review Committee meeting on Wednesday, June 2, 2004.
3. Staff suggests providing a connection of the trail to Ironbound Road at the south corner of the park.
4. Staff suggests replacing/realigning the 4' sidewalk at the Monticello Ave./News Road intersection with the 10' asphalt path.
5. Will there be any restrictions on users of the trail? Bicycles? Skateboards? In-line Skates? If so, please label the location of any new signage on the site plan and include a detail for each sign.
6. Will any new lighting need to be installed adjacent to the trail connections?
7. In accordance with Section 24-145 of the James City County Zoning Ordinance, please prepare an engineered site plan for review.

VDOT:

1. Show the stop bars on the plans. The proposed crosswalks should be located in front of the stop bars.
2. We do not support the crosswalk across Monticello Avenue (Route 321) since it does not tie into a sidewalk on the other side.
3. The Virginia Department of Transportation (VDOT) is planning on relocating the CG-12, Mobility Impaired Ramp on the south side of News Road (Route 613) and installing the one on the other side of News Road (Route 613).
4. The proposed crosswalk on Ironbound Road (Route 615) will need to be reviewed by our District Traffic Engineering section. The plan shows a handicap ramp that is not aligned properly. There is also an adjacent driveway that should be shown on the plans.

5. Mobility Impaired Ramps (CG-12s) are required on both sides of the crosswalk at the back entrance of the park, off of Monticello Avenue (Route 321).
6. We do not support the idea of installing bollards on the existing and/or proposed trail, since the trail should be handicap accessible.
7. We do not recommend installing a stop sign on the trail.
8. Provide a note on the plan stating VDOT is not responsible for the maintenance of the sidewalks, trails and the mobility impaired ramps.
9. Follow the attached VDOT site plan checklist to include all applicable items and information, prior to site plan submittal.

Environmental:

1. The Environmental Division has no comments on the concept plan as presented. The comments as provided are offered as guidance for the future plan which will be necessary for land-disturbing and the plan of development approval process.
2. It appears a Land-Disturbing permit will be necessary for the project as disturbed area will exceed 2,500 square feet.
3. Provide the following additional information to support the erosion and sediment control plan for the site: submit the Environmental Division Erosion & Sediment Control Design Plan checklist with the project plans; provide a disturbed area and impervious cover estimate for the trail project; designate the Responsible Land-Disturber (RLD) for the project; provide an Environmental Inventory consistent with the Chesapeake Bay Preservation ordinance (if over 5,000 square feet disturbed area); provide the James City County Standard Erosion and Sediment Control notes on the plan; clearly show the limit of work for the project; provide rock construction entrances (if applicable); provide a typical trail section; and provide computations for sizing/headwater adequacy and an installation detail for all trail HDPE cross-culverts.
4. MS-19. Minimum Standard # 19 of the Virginia Erosion and Sediment Control regulations will apply to the existing receiving channel in the southwest corner of the site which outfalls offsite onto the Steeplechase property (GPIN 3830100013). It will need to be demonstrated that the existing receiving channel is adequate for erosion resistance and capacity for the 2-year storm event due to impervious cover associated with the trail plan; otherwise, channel improvements may be necessary (i.e. quantity control). Use of temporary rock check dams in this channel will aid in effective erosion and sediment control during land-disturbing activities.
5. Quality. Ensure that impervious cover for the trail does not result in the site exceeding 10 percent impervious cover which would trigger the need for water quality/BMP control.

**Case No. SP-57-04. The Archaearium at Historic Jamestowne**  
**Staff Report for June 2, 2004, Development Review Committee Meeting**

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**SUMMARY FACTS**

**Applicant:** Jane Jacobs

**Landowner:** Association for the Preservation of Virginia Antiquities (APVA)

**Proposal:** Parking spaces for The Archaearium employee and visitors is to be shared with National Park Service visitors.

**Location:** Jamestown Island

**Tax Map/Parcel No.:** (54-2)(1-1)

**Primary Service Area:** Inside

**Parcel Size:** 22.5 acres

**Existing Zoning:** R-8, Rural Residential

**Comprehensive Plan:** Park, Public or Semi-Public Open Space

**Reason for DRC Review:** To determine whether off-site parking spaces shall be permitted.

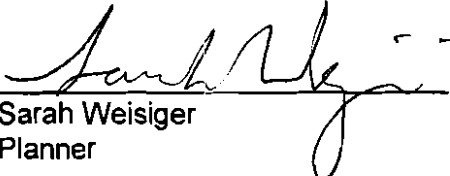
**Staff Contact:** Sarah Weisiger, Planner **Phone:** 253-6685

***STAFF RECOMMENDATION:***

The applicant, Jane Jacobs, has submitted a site plan for The Archaearium at Historic Jamestowne. This is a tourist attraction which will have no parking spaces on APVA property. Due to the shared nature of the historic site on Jamestown Island, visitors currently park in the lot near the visitors' center and visit both National Park Service and APVA property.

Ms. Jacobs states in the attached letter that no new employees will be hired for the facility. Parking for existing employees has been approved as part of the previously approved Collections Building parking plan. The parking plan takes into account the proposed re-location of the Visitor Center and parking areas associated with improvements for 2007.

Staff recommends that the Development Review Committee approve the applicant's request for off-site parking for use by visitors to The Archaearium.

  
Sarah Weisiger  
Planner

**Attachments:**

1. Letter from Jane Jacobs to Marvin Sowers, dated May 24, 2004.
2. Photo map



RE: SP-57-04 The Archaearium at Historic Jamestown

Dear Mr. Sowers:

We are writing in response to a request from Sarah Weisiger to submit a letter for the Design Review Committee regarding parking information at the Archaearium project at Historic Jamestowne. This project is currently under review for site plan approval. The Archaearium received a special use permit in conjunction with the Collections Building which is currently under construction on Jamestown Island. We were asked to submit a parking plan for the Collections Building and did so before it received site plan approval. The parking plan for the Collections Building will also serve the Archaearium.

Visitors to the Archaearium will park in the Visitor Center parking lot because all visitors access will be through the new Visitor Center, across a new pedestrian bridge and onto the historic site. The Archaearium is one stop along the pedestrian walkway system on the historic site. Visitors will enter the Archaearium for interpretation of the Jamestown story, for viewing of artifacts found on the site, and for watching archaeologists at work on current excavation sites. No new additional employees will be hired for this facility. One or two existing staff members and/or APVA volunteers already at Jamestown will be located in the Archaearium for security of exhibits and orientation for visitors. Parking for these employees was part of the Collections Building parking plan. We provided staff parking for the APVA and a pedestrian path to the Jamestown Rediscovery Center/New Collections Building. The Archaearium will not generate new staff or employees, so the parking plan for the Collections Building should suffice for the Archaearium.

If there are any more concerns that we need to address, please let me know before the June 2 meeting of the Design Review Committee. As always, thank you for your support of the Jamestown Project.

Sincerely,

James A. Jacobs

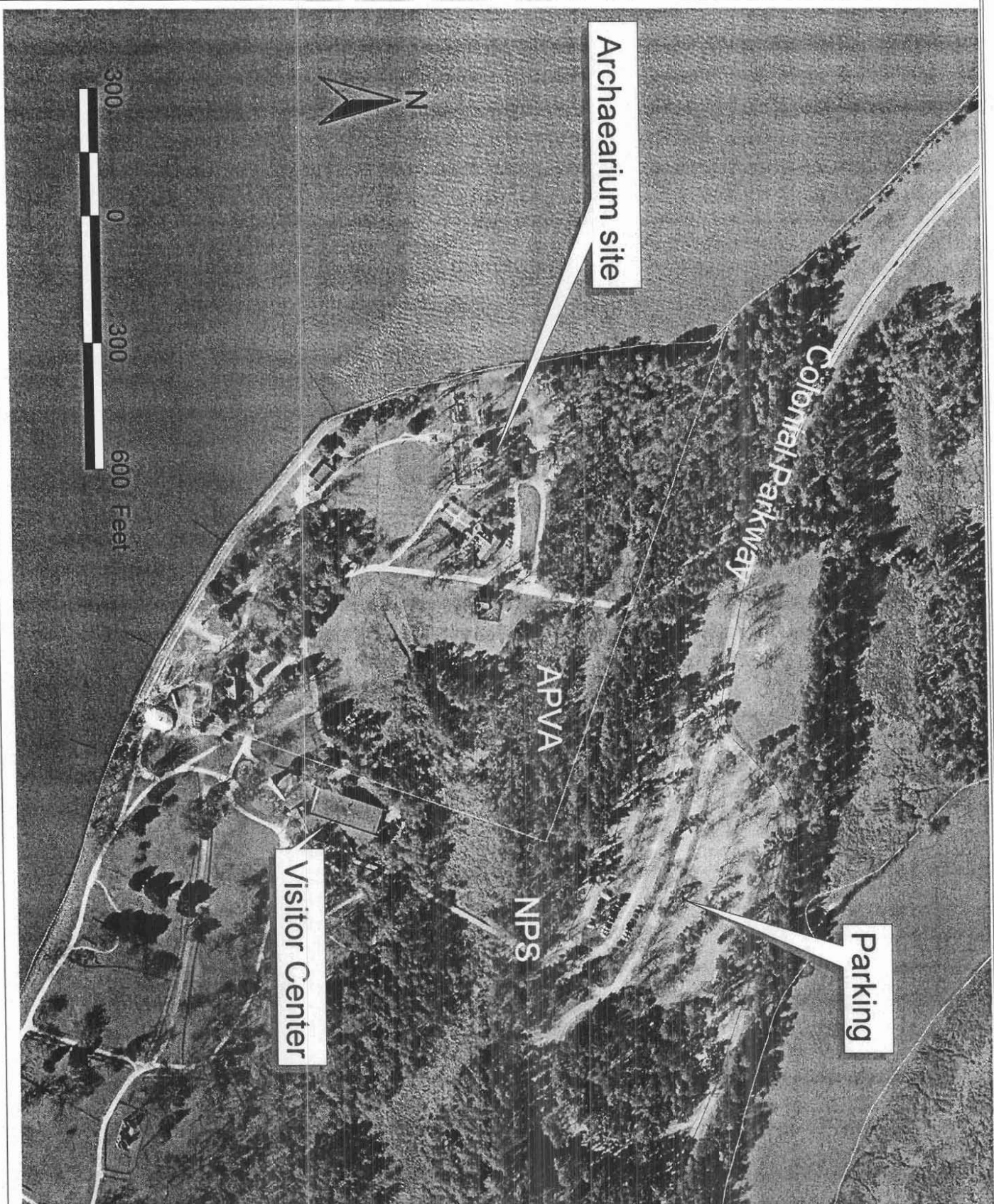
Jane J. Jacobs, ASLA, CLA  
Carlton Abbott and Partners, P.C.

cc: Sarah Weisiger



# Map No. SP-57-04. The Archaearium - Shared Parking

Photo Copyright 2002 State of Virginia



**SP-27-04 Greensprings Condominiums**  
**Staff Report for the June 2, 2004 Development Review Committee Meeting**

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**SUMMARY FACTS**

Applicant: Ralph Simmons, P.E.

Land Owner: Greensprings Plantation, Inc.

Proposed Use: 282 Condominiums.

Location: Monticello Avenue Extension between Centerville Road and Greensprings Plantation Drive.

Tax Map/Parcel: (37-3)(1-6)

Primary Service Area: Inside

Parcel Size: 39.9 acres

Existing Zoning: R-4, Residential Planned Community

Comprehensive Plan: Low-Density Residential

Surrounding Zoning: North, East: Greensprings Plantation,  
& South R-4, Residential Planned Community  
West: National Park Service, Greensprings Plantation  
R-8, Rural Residential

Reason for DRC review: Section 24-147 (a)(1) of the James City County Zoning Ordinance requires the Development Review Committee to review multifamily unit developments of 50 or more units.

Staff Contact: Karen Drake Phone: 253-6685

**STAFF RECOMMENDATION**

JCC Case No. SP-85-01, Greensprings Apartments and Condominiums, originally proposed 192 Apartments and 90 Condominiums and received final site plan approval February 2003. This site plan amendment proposes changing all 282 units to condominiums. With more than 50 units proposed and a significant change in site design layout, DRC approval is required. Note there is not an increase in the total number of units proposed or in size of the site.

At the April 28<sup>th</sup> DRC meeting, the DRC recommended deferral of this project due to outstanding Environmental comments. The County's Chesapeake Bay Ordinance was update January 1, 2004 requiring that the perennial stream information for this site be submitted and it is determined whether there are any impacts to the buffer. JCSA originally had outstanding comments which were resolved and recommended preliminary approval be issued contingent on comments distributed at the April 28<sup>th</sup> DRC meeting.

The applicant resubmitted plans on May 10<sup>th</sup> which are currently under review and detailed comments will be forwarded when available. However, the Environmental Division has generally reviewed the resubmitted plans and is comfortable with recommending preliminary approval at this time and notes that there will detailed comments to be addressed.

Therefore staff recommends the DRC grant preliminary approval for JCC Case No. SP-27-04 Greensprings Condominiums contingent on the attached agency comments being addressed.



Karen Drake, Senior Planner

Attachments:

1. Site Plans (Separate)
2. Agency Comments

**Agency Comments  
For  
SP-27-04 Greensprings Condominium Site Plan Amendment**

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Planning:

1. On the cover sheet please expand the note that this project was previously titled Greensprings Apartments & Condominiums (JCC Case No. SP-85-01) and that this site plan (JCC Case No. SP-27-04) proposes all 282 units be changed to condominiums.
2. Please make sure that all references to "Greensprings Apartments & Condominiums" are replaced with Greensprings Condominiums, specifically on Sheet C2c regarding the BMP description and on Sheet C3a regarding the Light Fixture Note.
3. As part of the original site plan for Greensprings Apartments & Condominiums, the site was subdivided (JCC Case No. S-102-02) to provide a separation between the apartment complex and the condominium association. This property line must be illustrated on the site plan and all associated tax map parcel numbers, including the site plan application, updated with both parcel numbers. Or extinguish the property line.
4. Staff has contacted the County Attorney's office about what documentation is required for review by the County Attorney's office regarding the Condominium Association documents as well if the property line is require to be extinguished prior to final site plan approval. Comments will be forwarded when available.
5. Please note that site plans are currently under review by the County of the adjacent golf course. As the engineering is finalized for this site, staff strongly recommends working with Jamestown LLC so that a unified development is designed.
6. Please provide documentation that you have permission to perform work on adjacent property.
7. Please note on the cover sheet the height of the buildings.
8. Regarding Sidewalks:
  - a. Please clarify on the site the plan complete sidewalk connections at the following locations:
    - i. The Northeast corner of Building 19 to connect the parking lots.
    - ii. The Southeast corner of Building 24 to connect the corner unit to Simmons Court.
    - iii. The Northeast corner of Building 26 to provided access from the corner unit to the parking lot.
    - iv. The south side of Building 31 so a connection is made to either parking lot.
    - v. Where the sidewalk is on Caywood Drive?
  - b. Are sidewalks provided at the end of street?
  - c. How are the tot lot and the tennis court accessed? Currently there is neither a sidewalk nor a mulched trail. Staff suggests a mulch trail that will provide a connection through to both sides of the development.
  - d. South of Building 21, a trail is illustrated. Please clarify this is a trial and what it connects to, if at all, with the adjacent golf course.
  - e. Please provide details of how the mulch train and the sidewalks will be constructed.
  - f. Staff recommends that a mulch trail is provided from Edloe Trace between Building 22 and protected group of trees that will connect with the mulch trial leading to Building 19.
9. Regarding Street names, Caywood Drive, Edloe Trace and Simmons Court are acceptable. Please clarify on the site plan or provide street names for the following buildings:
  - a. Building 34 & 35
  - b. Building 32 & 33
  - c. Building 30 & 31
  - d. Building 26
  - e. Building 27 & 28.
  - f. Note that all streets are private.
10. Please provide a detail of the handicap parking signage and striping requirements.

11. How will trash and recycling be accommodated at the condominium complex? Will there be individual trash pickup or dumpsters provided?
12. Will mail be delivered to individual units or will a central mailbox be provided? If so, please note the location on the site plan.
13. Please note the location of the entrance signage features and note that a separate signage application will be required.
14. Regarding lighting:
  - a. Is the tennis court, pool and tot lot lighted? If so, please incorporate these lights into the lighting plan and adjust accordingly.
  - b. Please provide an iso-footcandle lighting diagram for Caywood Drive.
  - c. For the Old Town Lights, where is the location of the light bulb (is it recessed or not) and are the glass panes clear or opaque?
15. Please provide the credential of the person who prepared the landscape plan. They are required to be a Virginia Landscape Architect, Certified Virginia Nurseryman (Horticulturalist), or a certified member of the Virginia Society of Landscape Designers.

County Engineer:

1. The attached "Outline of Design and Inspection Procedures for Construction of Private Street" needs to be added to the site plans.

Fire Department:

1. Add a hydrant at the Court Entrance for Buildings 29 & 30.

Health Department:

1. The plans are approved as submitted.

Environmental:

1. Please refer to the attached memorandum dated April 12, 2004.

JCSA:

1. Please see the attached memorandum dated April 27, 2004.

VDOT:

1. The cross slope of the Right Turn Lane shown on the "Turn Lane Cross Section" provided on sheet C4b should be revised to provide positive drainage across the turn lane and into the gutter pan. The edge of the existing 4' bike land should be used as the transition point for the grade change.

## **“OUTLINE OF DESIGN AND INSPECTION PROCEDURE FOR CONSTRUCTION OF PRIVATE STREETS”**

1. Upon completion of road grading to subgrade, the Developer will employ a soils testing firm to obtain representative CBR samples. The location and number of the CBR (California Bearing Ratio) samples is to be determined by the soils engineer. The soils engineer shall then prepare a report which shall include as:
  - a. Number and location (including map) of CBR samples and test results of the samples,
  - b. Soils Engineering analysis,
  - c. Recommended pavement design, modifications to subgrade if required, and any revision to the preliminary pavement design shown on the construction drawings. A copy of the soils engineering report shall be submitted to the county engineer, for approval, prior to the placement of base material.
2. All backfill of pipes and related structures, under the pavement, shall be inspected and tested by the soils engineer and 95% compaction shall be certified in writing to the county engineer.
3. All subgrade shall be proof rolled to refusal, witnessed and certified in writing by the soils engineer to the county engineer.
4. Base material quality and depth(s) shall be tested, inspected and certified in writing by the soils engineer to the county engineer.
5. During the placement of the bituminous concrete and prior to its compaction, pre-rolled depth measurements of the asphalt shall be inspected by the engineer, at a minimum of 500 feet intervals. For purposes of determining the pre-rolled depth add an additional 1/4 inch of pre-rolled asphalt for each 1.5 inches of rolled/compacted depth called for on the plans. Inadequate depths will require additional bituminous concrete to be immediately installed by the contractor at the appropriate locations. The engineer will certify in writing the test results to the county engineer. The installation of multiple courses will require the testing/inspection of each individual course.
6. Interim statements from the engineer, with accompanying documentation, will be submitted to the county engineer prior to partial release of surety.
7. Application for final release of surety will be accompanied by the engineer statements and certification that the specifically named private streets have been constructed in accordance with the approved plans and applicable Virginia Department of Transportation standards.

## ENVIRONMENTAL DIVISION REVIEW COMMENTS

Greensprings Condominiums

SP-027-04

April 12, 2004

MDW / DEC

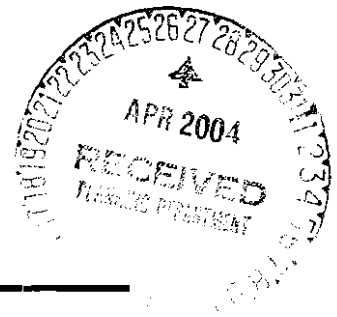
*Preliminary approval cannot be granted until the perennial stream information is submitted and it is determined whether there are any impacts to the buffer.*

### General Comments

1. Perennial Streams. A site-specific perennial stream determination will need to be submitted for all streams on and adjacent to the project. Acceptable methods for this determination are contained in the Chesapeake Bay Local Assistance Department's guidance document entitled *Determinations of Water Bodies with Perennial Flow*. If perennial streams are present, a 100-foot buffer is required around them and any wetlands contiguous and connected by surface flow to the stream. This should be coordinated with the Williamsburg National Golf Course that is currently in design as the stream below the BMP has already been evaluated.
2. Show any 100-foot RPA buffer on the preliminary plat, per 9 VAC 10-20-191 of the Code of Virginia. *Explanation: The 100-foot buffer is never reduced under the State revisions to the Chesapeake Bay Preservation Ordinance, only permitted encroachments are allowed in the buffer.*
3. The post development watershed "A" area needs to be changed on sheet C2a to be 36.54 acres to match the calculations.
4. Proposed Grading. Section 24-145(8) of the Chapter 24 Zoning ordinance and Section 19-27(f) of the Chapter 19 Subdivision ordinance requires existing and proposed contours to be shown for development plans. Only the existing contours have been provided; proposed contours have not been shown except around the BMP. Show final grading on Sheets C4a and C4b to properly show impacts of construction and how it impacts the limits of clearing. Also, slopes need to be shown so proper stabilization can be determined. The previous submission showed the proposed contours. There may be additional erosion control comments based on what the grading plan shows.
5. BMP. The elevation of the low release orifice needs to be raised from 48.0 to 48.2 to provide extra control for the revised project in accordance with the calculations.
6. Storm Drain System. Pipe 37 needs to be revised to increase its flow velocity from the proposed 0.5 fps. The size of the pipe can be decreased from the current 30" diameter to probably 15" as it has a small flow. The velocity needs to be about 2 fps to be able to keep clean. Pipe 31 should also be revised to increase the flow velocity; pipes with less than 2 fps flow velocity will be maintenance problems.
7. Drainage Area Map. Provide a drainage area map to verify the design of the storm drain system. The information cannot be checked until one is provided. The calculations must include spread information.
8. Ditches. It is not clear where the ditches are located that are contained in the calculations. The scale of the plans is too small to show any detail of the ditches. Increase the plan scale to show the ditches and any liners required. Provide a detail or typical section of the ditches. These also need to be shown on the drainage area map.



## MEMORANDUM



Date: April 27, 2004

To: Karen Drake, Planner

From: Timothy O. Fortune, P.E. - Civil Engineer

Subject: SP-027-04, Greensprings Condos Site Plan Amendment (Construction Plans)

James City Service Authority has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and have the following comments for the above project you forwarded on March 22, 2004 and as revised by the Applicant on April 13, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plans and calculations. It is the responsibility of the engineer or surveyor to ensure the plans and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve these plans for general compliance with the JCSA Standards and Specifications, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

**NOTE:** Preliminary approval is granted by the JCSA. It shall be noted that JCSA will not issue a "Certificate to Construct Water and Sewer Facilities" to the Applicant until issues below have been addressed and final plan approval granted. JCSA will provide a more detailed review once the Applicant has addressed the items/concerns noted below.

### General Comments:

1. Per Virginia Department of Health (VDH) regulations, the private sanitary sewer and water mains shall maintain a minimum horizontal separation of 10 feet. This condition appears not to have been met in several locations throughout the site. Likewise, provide 10' horizontal separation between water and sewer service connections. Verify and revise accordingly.
2. The plan shall be reviewed and approved by the James City County Fire Department.
3. Add the following note to the drawings: "Only JCSA personnel are authorized to operate valves on existing JCSA water main".
4. Landscape plans shall be sealed, signed and dated.
5. Provide a graphic scale bar on all applicable plan sheets.



6. The design engineer shall verify sanitary sewer descriptions (i.e. manhole structures, line slopes and lengths) shown on the plans. Information either conflicts with profile data or does not correctly tabulate. Verify and revise accordingly.
7. The design engineer shall confirm if the second master meter/system loop is being provided to meet fire flow requirements for this site. System shall be evaluated to determine if a single master meter is sufficient.
8. Clearly indicate on the plans that joint restraint is required on both sides of fittings within looped systems.

Sheet C1:

1. Owner/Developer: Provide contact name and number.

Sheet C3A & C3B:

1. Revise the layout to properly reflect the JCSA easements per Sheets C5a and C5b.

Sheet 5A:

1. It appears that several private sanitary sewer laterals enter the sewer main/manholes at less than 90-degrees in the direction of flow. As previously indicated in our May 21, 2002 review for this project (JCC Case # SP-085-01), we recommend that all laterals connecting into proposed sanitary sewer manholes be at a 90-degree or greater angle with the outflow pipe. Laterals connecting directly to the sewer main shall be perpendicular to the main. Refer also to VDH Sewage Collection and Treatment Regulations 12 VAC 5-581-410. Verify and revise accordingly.
2. Water System Notes (top left corner of plan): The 10"x2" master meter sizing specified contradicts the fittings/line sizes annotated on the plan as well as the meter size specified in the calculations report. Verify and revise accordingly.
3. The Edloe Trace water line size annotated on the plan contradicts the profile on Sheet C7b. Verify and revise accordingly.
4. Since both the domestic water and fire protection service is being provided through a common main, the design engineer shall revise the layouts to include a RPZ backflow prevention device in a separate vault at each master meter location. RPZ vault shall be placed on the developer side of the master meter and will be the responsibility of the Owner/Developer. Per code, the RPZ vault will require a sump pump. Include as part of the RPZ vault detail the following note: "The Owner shall implement an annual performance evaluation/inspection of the backflow prevention device and coordinate with John Wilson, JCSA Utility Special Coordinator, at (757) 259-4138. The backflow preventer shall be tested, maintained and operated in accordance with JCSA Standards".
5. The design engineer shall provide a detail on the plan dimensionally showing the proposed layout of the master meter. The general layout of the HRPDC detail WD\_10 with bypass line is acceptable, however vault dimensions shall be revised

to accommodate the master meter. Water meter vault width shall be designed to provide a minimum horizontal clearance 2' either side of meter assembly. Revise accordingly.

6. Caywood Drive:
  - a. Sta 0+18 (+/-): Clearly indicate the wet tap requirements (i.e. 12x10 tapping sleeve and gate valve with a 10x12 increaser).
  - b. Sta 1+00 (+/-): Clarify the 12x8 reducer proposed for 10" meter assembly.
  - c. Sta 3+25 (+/-): The air release valve shown is not reflected on the profile. Verify and revise accordingly.
7. Offsite sanitary sewer: JCSA responsibility will end with the existing sanitary sewer manhole adjacent to the Monticello right-of-way (R/W). Clearly indicate this on the plan. Revise the easement between the R/W and MH Existing from "JCSA Utility Easement" to "Private".

Sheet C5B:

1. It appears that sanitary sewer service has not been provided for Buildings # 1, #4, #9 and #10. Verify and revise accordingly.
2. Show and label sewer main descriptions (i.e. pipe length and slope) for consistency among the plans.
3. Station labels provided for several sanitary sewer manhole structures contradicts the baseline stationing. Verify and revise accordingly.
4. Revise sanitary sewer connections for Building #3 to provide only four service connections. Revise accordingly.
5. Clarify the JCSA Utility Easement reference shown near Building #6 as one is not required at this location. Verify and revise accordingly.
6. Provide a profile for the proposed off-site water line and master meter.
7. Show and label Monticello Avenue as part of the plan.

Sheet C7A:

1. Sta 0+50 (+/-)L Show and label a minimum vertical separation of 18" between the proposed waterline and 15" RCP. The 8-inch waterline offset and wet tap call-outs provided contradict the waterline sizes noted on Sheet C5A and in the water model. Verify and revise accordingly.
2. Show and label the proposed master meter location with associated stationing.
3. Provide stationing for the water main appurtenances (horizontal and vertical) and sanitary sewer manholes to insure proper field construction with the design plans.
4. Label waterline size and material for consistency among the plans.

5. Verify all sanitary sewer manhole inverts and water main stationing as they appear to contradict the plan. Revise accordingly.

Sheet C7B:

1. Verify labeling shown for water main fittings (i.e. 8"-45-degree) as they appear to contradict the plan layout. Revise accordingly.
2. Edloe Trace Profile:
  - a. The waterline size shown contradicts Sheet C5A and the water model. Verify and revise call-outs accordingly.
  - b. It appears the waterline labels for side streets (i.e. Waterline "E") contradict the plan layout. Verify and revise accordingly.
3. Waterline "F" and Reeves Court:
  - a. It is recommended to eliminate the offsets shown between Sta 8+40 to 12+00 (+/-) and provide a constant slope between fittings. The design engineer shall provide air release valves accordingly at all isolated high points created within the system.

Water System Hydraulic Analysis:

1. Section II - Water System Hydraulic Analysis:
  - a. Paragraph a - Revise the club house ~~ADF~~ to reflect the IPC calculation provided in Appendix E. Condominium flows shown are acceptable.
  - b. Paragraph b - Revise the minimum Peak Hour system pressure from "20 psi" to "40 psi" per JCSA standard Section 2.8A.
  - c. Paragraph c - The report notes two 8x2 Neptune HP Protectus III meters which contradicts Sheet C5A. Verify and revise accordingly.
2. Appendix B:
  - a. Explanation of Flow Analysis Reports: Refer to item 1.b above.
  - b. Verify demands listed for various nodal points. Total demand does not reflect flows listed in Section II.a of this report. Are flows associated with the club house included in the model? Revise accordingly.
  - c. Verify pipe diameters shown for pipe segments P-56 and P-57. These appear to contradict the plan.
  - d. Peak Flow Scenario: It appears the base flow associated with FHA 5 was not incorporated in the peak flow scenario. Verify and revise accordingly.
3. Appendix C:
  - a. Explanation of Flow Analysis Reports: Refer to item 1.b above.
  - b. Refer to Comment 2.b above concerning total flow.
  - c. Pipe diameters shown for pipe segments et1 thru et6 contradicts the profile layout. Verify and revise accordingly.
  - d. Verify the length shown for pipe segment et14. It appears to contradict the plan layout.

4. Water Data Sheet:

- a. Section 5b: Clarify the domestic flow shown (does not reflect computations provided in the report). Revise accordingly.
- b. Section 7: Revise this section to reflect only the master meters which will be owned and operated by JCSA. All other meters are private and will be the responsibility of the Owner/Developer.

Please call me at 253-6836 if you have any questions or require any additional information.

**Case No. SP-18-04. New Town Block 8, Phase IB Residential  
Staff Report for the June 2, 2004 Development Review Committee Meeting**

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***Summary Facts:***

**Applicant:** Bob Cosby, AES Consulting Engineers  
**Land Owner:** Bob Ripley, GCR Inc.

**Proposed Use:** 66 Townhomes, 4 Single Family Homes

**Location:** 5216 Monticello Ave, (New Town Overall Site Address)  
Adjacent to Center Street and Casey Boulevard

**Tax Map/Parcel:** (38-4)(1-50)

**Primary Service Area:** Inside  
**Parcel Size:** 9.31± Acres

**Existing Zoning:** Mixed Use with Proffers  
**Comprehensive Plan:** Mixed Use: New Town

**Reason for DRC review:** The site plan proposes more than 50 residential units.

**Staff Contact:** Karen Drake (757) 253-6685

**Staff Recommendation:**

At the March 31<sup>st</sup> meeting, the DRC recommended deferral of this case to address the following outstanding issues:

1. **Environmental Division:**
  - a. The current Environmental Inventory does not reflect RPA buffer as necessary along the south border of the site.
  - b. A temporary sediment basin (temporary BMP) and other perimeter erosion and sediment control plan measures and features are being shown in the Resource Protection Area buffer.
2. **Fire Department** Life Safety Issue, as the project is currently designed, the alleys are not wide enough nor is there enough turning radius to allow emergency equipment access to rear units.

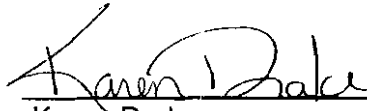
The applicant requested deferral at the April 28<sup>th</sup> DRC meeting and submitted revised plans that addressed agency comments issued with the March 31<sup>st</sup> DRC report. Staff now has the following comments on the three outstanding items detailed above:

1. **Environmental Division:** The revised plans addresses the outstanding Environmental Inventory and the temporary BMP issue satisfactorily so that preliminary approval can be issued at this time. Detailed comments will be forwarded.
2. **Fire Department** recognizes the applicant's difficulty in altering their design to mitigate the fire hazards detailed in the attached May 18<sup>th</sup> memorandum, however we wish to identify these hazards associated with the lack of access for fire department vehicles. The Fire Department recognizes the unique design nature of the New Town Development of the New Town Development and is prepared to approve this site plan.

Therefore, staff recommends the DRC grant preliminary approval for this site plan subject to the following:

1. The attached agency comments are satisfactorily addressed.
2. Nancy's Way Alley is connected on the west end to Casey Boulevard and on the east end to the adjacent parking lot with an emergency access path that is engineered and constructed to support the weight of the emergency vehicles yet prohibits normal vehicular access. This emergency access path is to be marked with the appropriate

- signage and landscaping maintained so to provide emergency access.
3. As noted in the attached letter dated May 28<sup>th</sup> from John Horne to New Town Associates, approval of this site plan that includes the concept of New Town alleys does not set a precedent of future staff recommendations of approval of other New Town alleys. Staff expectations for the design and construction of future alleys are detailed in the letter.
  4. The applicant satisfactorily addressing if any additional building improvements (installing residential sprinkler system and/or upgrading fire protection construction materials) will be made or not made for this residential section.
  5. Signs placed at appropriate locations in the alleys noting no parking on the street.



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Karen Drake  
Senior Planner

Attachments:

- 1.) Site Plan (Separate)
- 2.) Agency Comments
- 3.) Fire Department Memorandum dated May 18th
- 4.) John Horne's letter dated May 28<sup>th</sup> to New Town Associates

**Agency Review Comments  
for  
SP-40-03. New Town Block 8, Phase 1B Residential**

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Planning:

1. Please add the following two notes to the front cover of the site plan and to the subdivision plat when it is submitted.
  - a. A waiver to Sec. 24-527(a), setback requirements from a planned or existing public road right-of-way, was granted by the James City County Planning Commission on April 5, 2004 provided proposals are in accordance with the New Town Design Review Guidelines.
  - b. A waiver to Sec. 24-55, location of off-site parking and minimum off-street parking requirements was granted by the James City County Planning Commission on March 1, 2004 provided proposals are in accordance with the "New Town Town Center Parking Overview" dated January 2004.
2. Regarding the lighting plan,
  - a. Verify the color of the light poles match for Section 1A and Section 1B, or explain why there is a difference since this block appears to be one contiguous neighborhood merely engineered on two different site plans.
  - b. Again, verify the light fixtures match for Section 1A and Section 1B or explain why two different light fixture styles are proposed.
3. As noted before, several Section 2 & 4 New Town proffers are triggered by this project and will be due at a later date.

County Engineer:

1. The plans are approved as submitted.

Environmental:

1. Detailed comments will be forwarded when available.

Fire Department:

1. Please refer to the attached memorandum dated May 18, 2004.

Health Department:

1. No comments on the plans.

JCSA:

1. Please refer to the attached comments dated May 4, 2004.

VDOT:

1. Please refer to the attached comments dated May 19, 2004.



## MEMORANDUM

TO: Karen Drake, Senior Planner

FROM: Mark Hill, Deputy Fire Marshal *MH*

DATE: May 18, 2004

RE: SP-18-04 New Town Block 8, Phase 1B

The fire department recognizes the unique design nature of the New Town development and is prepared to approve the above referenced project. However, we have concerns related to the design widths and turning radii of the private alleys located behind the structures which provide access to the garage areas.

The fire department believes garages used to house vehicles are, in general, a greater potential fire hazard area than the adjoining residential structures. The design widths and turning radii of the alleys in this project will preclude fire apparatus from accessing the rear of these structures. As a result, fire apparatus will have to locate at the front of the structures and manually stretch hose lines to the rear for fires which originate in this area. With our current authorized staffing levels this will cause delayed fire suppression efforts and increase the potential for greater property damage as this will allow the fire additional time to spread from the area of origin to adjacent areas or structures.

The fire department recognizes the applicant's difficulty in altering their design to mitigate these hazards; however, we wish to identify the hazards associated with the lack of access for fire department vehicles.

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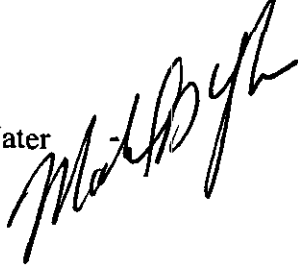


101-E Mounts Bay Road  
P.O. Box 8784  
WILLIAMSBURG, VIRGINIA 23187-8784



## Memorandum

**TO:** Karen Drake, Senior Planner

**FROM:** Michael D. Vergakis, P.E., Chief Engineer - Water 

**DATE:** May 4, 2004

**SUBJECT:** Case No. SP-018-04, New Town Block 8, Phase 1B, Residential Units

James City Service Authority (JCSA) has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems; and JCSA have the following comments for the above project you forwarded on April 29, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors omissions, and conflicts shall be the sole responsibility of the professional engineer and/or surveyor who has signed, sealed and dated the plans and calculations. It is the responsibility of the engineer and or surveyor to ensure the plans and calculations comply with all governing regulations, standards and specifications. Before JCSA can approve these plans for general compliance with JCSA Standards and Specification, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

Preliminary plan approval is granted by JCSA.

### Sheet 5:

1. Provide a 5-ft urban easement for the sanitary sewer cleanouts for the lots along Gwens Way.
2. Provide a 5-ft urban easement for the sanitary sewer cleanouts for Lots 87 through 94 on Nancys way.

**Sheet 8A:**

1. Extend water line "B" to connect to the 8-inch water line on Town Creek Drive.
2. Extend water line "F" to connect to the 8-inch water line on Center Street.

**SHEET 8:**

1. Locate the sanitary sewer clean out for Lot 86 to 2-ft behind side walk.
2. Extend water line "B" to tie into the 8-inch water line on Town Creek Drive.
3. Rim elevation for manhole 3-8 does not match the rim elevation shown in the profile. Verify and revise accordingly.
4. Rim elevation for manhole 3-2 does not match the rim elevation shown in the profile. Verify and revise accordingly.

**SHEET 9:**

1. Relocate the water meters for Lots 53, 54, 55, and 56 to within the proposed JCSEA urban easement.
2. Provide a 5-ft urban easement for the sanitary sewer clean outs for Lots 45 through 56.
3. Label the 5-ft utility easement for Lots 62, 63 and 64.
4. Provide a detail for the manhole adjustment for existing sanitary sewer manhole 2-1. This detail needs to describe how to adjust the manhole 4.75 vertical feet without extending the 2-ft throat opening 18-inches maximum.

**SHEET 10:**

1. Extend water line "F" to connect to Center Street.
2. Provide a 5-ft urban easement for the sanitary sewer clean outs for 87 through 94.

**SHEET 14:**

1. Rim elevation for manhole 3-2 does not match plan view. Verify and revise accordingly.

To: Karen Drake, Senior Planner

For: SP-018-04, New Town Block 8, Phase 1B, Residential Units

05/04/04

Page 3 of 3

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**SHEET 17:**

1. Rim elevation for manhole 3-2 does not match plan view. Verify and revise accordingly.
2. Rim elevation for manhole 3-8 does not match plan view. Verify and revise accordingly.

**SHEET 18:**

1. HRPDC Details: revise SS\_12 should be SS\_11; SS\_13 should be SS\_12. Verify and revise accordingly.
2. Label 3-ft minimum cover over proposed 4-inch water main in profile of Water Line "F".

**SHEET 20 through 22:**

1. Revise accordingly to reflect response to the above comments.

**Water Data Sheet:**

1. Revise lengths for 4-inch water line as required addressing the above comments.

Please contact me at 757-253-6677, if you have any questions or require any additional information with regard to this review.



# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

4451 IRONBOUND ROAD  
WILLIAMSBURG, VA 23188

PHILIP SHUCET  
COMMISSIONER



May 19, 2004

Karen Drake  
James City County Planning  
Post Office Box 8784  
Williamsburg, Virginia 23187

Ref: New Town Block 8, Phase IB (Residential Units)  
SP-018-04  
Monticello Avenue (Route 321), James City County

Dear Ms. Drake:

We have completed our review of the above mentioned site plan and offer the following comments:

- 1) Provide a note on the plans stating, "VDOT does not assume responsibility for maintenance of the sidewalk, and shall be saved harmless from any damages".
- 2) Stop signs must be in accordance with MUTCD R1-1 (30" x 30") standard. The plans show the stop signs as 24" x 24".
- 3) Provide sight distance on plans for all intersection.
- 4) A drop inlet should be placed left of station 11+75 on Town Creek Drive.

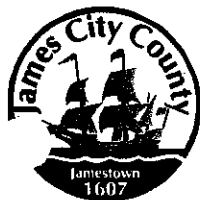
When the above comments have been addressed, please submit two sets of revised plans and traffic impact study to this office for further review. Also, attach a letter noting what action was taken to correct the above comments and any revisions that may impact the right-of-way.

Should you have any questions please contact me at 253-4832.

Sincerely,



Anthony L. Handy, PE, LS  
Assistant Resident Engineer



## DEVELOPMENT MANAGEMENT

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101-E MOUNTS BAY ROAD, P.O. BOX 8784, WILLIAMSBURG, VIRGINIA 23187-8784

(757) 253-6671

Fax: (757) 253-6850

E-MAIL: [devtman@james-city.va.us](mailto:devtman@james-city.va.us)

CODE COMPLIANCE

(757) 253-6626

[codecomp@james-city.va.us](mailto:codecomp@james-city.va.us)

ENVIRONMENTAL DIVISION

(757) 253-6670

[environ@james-city.va.us](mailto:environ@james-city.va.us)

PLANNING

(757) 253-6685

[planning@james-city.va.us](mailto:planning@james-city.va.us)

COUNTY ENGINEER

(757) 253-6678

INTEGRATED PEST MANAGEMENT

(757) 253-2620

May 28, 2004

Mr. John McCann  
New Town Associates  
4801 Courthouse Street, Suite 329  
Williamsburg, VA 23188

RE: New Town Alleys, Emergency Service Access and  
JCC Case No. SP-18-04. New Town Block 8, Phase IB, Residential

Dear John:

The Planning staff, the Fire Department and AES Consulting Engineers have been working together to resolve outstanding issues regarding how to provide emergency service access through the New Town alleys in general and more specifically in Block 8, Phase IB.

The New Town Block 8, Phase IB Residential site plans were submitted to the County on February 25, 2004 and reviewed by the County's Development Review Committee on March 31<sup>st</sup>. The DRC deferred consideration of preliminary approval due to outstanding Environmental and Fire Department concerns. The Fire Department had serious concerns regarding "the width and turning radius of the alleys that would prevent fire apparatus from accessing the rear units. Fire suppression operations for fires originating in these areas will be significantly compromised."

The Planning staff, the Fire Department and AES Consulting Engineers met on March 22<sup>nd</sup> to review the Fire Department comments and discussed possible solutions on ways to provide emergency access services while preserving the concept of New Town alleys. AES Consulting Engineers revised and resubmitted the site plan on April 28<sup>th</sup> for review by the DRC on June 2<sup>nd</sup>.

For your reference, attached is a copy of the staff report for the June 2<sup>nd</sup> DRC and the referenced May 18<sup>th</sup> Fire Department memorandum. The memorandum notes the Fire Department recognition of the unique design nature of the New Town development and is prepared to approve the site plan. The Fire Department recognizes the applicant's difficulty in altering their design to mitigate hazards while identifying the hazards associated with the lack of access for fire department vehicles. The DRC report details the Planning staff's recommendation to the DRC for preliminary approval of this site plan contingent on:

1. The detailed agency comments are satisfactorily addressed.
2. Nancy's Way Alley is connected on the west end to Casey Boulevard and on the east end to the adjacent parking lot with an emergency access path that is engineered and constructed to support the weight of the emergency vehicles, yet prohibits normal vehicular access. This emergency access path is to be marked with the appropriate signage and landscaping maintained to provide emergency access.
3. Approval of SP-18-04, New Town Block 8, Phase IB Residential that includes the concept of New Town alleys does not set a precedent of future staff recommendations of approval of other New Town alleys. Staff expectations for the design and construction of future alleys are detailed below.
4. The applicant satisfactorily addressing if any additional building improvements (installing residential sprinkler system and/or upgrading fire protection construction materials) will be made or not made for this residential section.
5. Signs placed at appropriate locations in the alleys noting no parking on the street.

Staff believes that this is a fair compromise for Block 8, Section IB Residential to preserve the concept for the New Town alleys while providing emergency service access and protecting the adjacent environmental wetlands.

However, be aware that staff's recommendation for preliminary approval of Block 8, Section IB Residential in New Town does not set a precedent for future staff recommendations of preliminary approval of New Town alleys. The following is a list of future staff expectations for New Town site plan and subdivision design that will help preserve the concept of New Town alleys while providing emergency service access:

1. Alleys designed on a grid system so that emergency vehicles can have access with the fewest number of turns made as possible while having multiple entrance/exit possibilities to each alley so as to provide for the safety of the emergency staff.
2. Alley widths of 16' constructed with gutters engineered to support the weight/pressure of emergency vehicles and stabilization outriggers.
3. Turning radii provided and corner buildings sited to accommodate emergency vehicles.
4. Additional hydrants placed in close proximity.
5. New Town Associates and the appropriate parties meeting with the Fire Department to develop a list of residential construction building techniques, such as automatic sprinkler systems and/or upgraded fire resistant materials, that could be incorporated on a regular basis into residential units located on alleys. Staff is available to help facilitate this meeting as needed.

As New Town develops and as additional alleys are designed and constructed, staff is willing to meet and discuss the various issues with any of the interested parties, modifying as needed the above list of expectations in order to preserve the concept of New Town alleys while providing emergency service.

If you have any questions, please do not hesitate to contact me at 253-6671.

Mr. John McCann  
May 28, 2004  
Page 3

Sincerely,

A handwritten signature in black ink, appearing to read "John T.P. Horne". The signature is fluid and cursive, with the first name "John" being the most prominent.

John T.P. Horne  
Development Manager

cc: Marvin Sowers  
Allen Murphy  
Karen Drake  
Mark Hill, Fire Department  
Bob Cosby, AES Consulting Engineers

Enclosures

**S-38-04. Greensprings West—Phase IV-B & 5**  
**Staff Report for the June 2, 2004, Development Review Committee Meeting**

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Summary Facts

**Applicant:** Mr. Rick Smith, AES Consulting Engineers

**Land Owner:** Lewis Waltrip, Jamestown Development, LLC

**Proposed Use:** 65 lots on 33.52 acres

**Location:** 4001 Centerville Road

**Tax Map/Parcel:** (36-3)(1-22)

**Primary Service Area:** Straddles the PSA line but is served by public water and sewer.

**Existing Zoning:** R-4, Residential Planned Community

**Comprehensive Plan:** Rural Lands & Low Density Residential

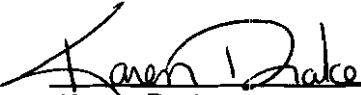
**Reason for DRC review:** Section 19-23 of the Subdivision Ordinance specifies that the DRC review any subdivisions proposing greater than 50 lots.

**Staff Contact:** Karen Drake Phone: 253-6685

Staff Recommendation:

On the approved Greensprings master plan, a maximum of 368 single family detached dwelling units are permitted. Staff finds this proposal for 65 of the 368 lots to be consistent with the approved master plan.

Staff recommends the DRC grant preliminary approval contingent on the attached agency comments being addressed.

  
Karen Drake  
Senior Planner

**Attachments:**

- 1.) Site Plan (separate)
- 2.) Agency Review Comments



**Agency Review Comments  
for  
S-38-04. Greensprings West—Phase IV-B & 5**

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Planning:

1. On the approved Greensprings master plan, there are a total of 368 single family homes permitted in this section. To clarify how many homes have been proposed and for accounting purposes, please revise how the lots are numbered for this section by continuing the lot count established in Phase IV-A.
2. Please provide a tabulation on the cover sheet that expands General Note #8 from the approved plat for Phase IV-A and documents how many lots have been proposed in each section as compared to the approved master plan.
3. Please explain in your comment letter for the record file what changes have been made to the overall design of these two sections compared to what is illustrated on the approved plans for Section IV-A.
4. Please note if any reduced street widths are proposed for these two phases of Greensprings West.
5. Clarify Note #16 as to which cul-de-sac was granted an exception and engineered to be greater than 1000 feet in length and address if any new cul -de-sacs are proposed that are longer than 1000 feet.
6. Clarify on the cover sheet that the typical building setback lines illustrated on the plat are per the Greensprings West Home Owner Association.
7. Please provide street names for review and approval. If you have any questions if a street name is acceptable, please call the Planning Division for verification.
8. Please provide documentation that there are no archeological sites located within these two phases.
9. Please submit any proposed entrance features, for these phases for review in accordance with Section 19-69 of the James City County Subdivision Ordinance and MP-3-01: Greensprings Master Signage Plan.
10. Please provide details as to what is planned (landscaping, recreation, natural area, signage, etc.) for the median located in the entrance road. Again note that all signage must be in accordance with James City County Ordinance and MP-3-01: Greensprings Master Signage Plan.
11. Will there be any shared driveways for Lots 9 & 10 and Lots 31, 32 & 33? If yes, please illustrate on the shared driveway on the plat and provide a shared driveway maintenance agreement for lots to be reviewed and approved by the County Attorney and recorded with the final plat.
12. Are there any existing conservation easements located on site and associated with the RPA? If so, please label and add the appropriate notes.
13. On the Overall Plan of Development and on the Preliminary Plat, please label the locations of the common open space referenced in the Land Use Summary Table on Sheet 3.
14. Regarding Lighting:
  - a. Please clarify if the security lighting detail on page 22 matches lighting used elsewhere in Greensprings West and if the lighting detail proposed will be used in lieu of the standard streetlight.
  - b. On Sheet 9, the ordinance section referenced applies to Mixed Use Districts and this property is zoned R-4. Please update this reference accordingly to reference the James City County Subdivision Ordinance on streetlights.
15. Sidewalks shall be required for all major subdivisions in accordance with Section 24-35 of the Zoning Ordinance. Please provide a detail of the sidewalk construction and clearly label and illustrate the location of the sidewalks, including handicapped access ramps.
16. Regarding the Proffers:
  - a. Neighborhood Recreation Facilities: Trail System specifies requirements for a trail system along one side of Centerville. Please provide evidence that this proffer has been met, or will be met, with the development of these two phases. Please note the proffer specifies that any internal trails within the subdivision are required to connect with the

**Agency Review Comments  
for  
S-38-04. Greensprings West—Phase IV-B & 5**

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central trail system along Centerville Road. Additionally, please comment on if/how the entrance road will impact the proposed trails at the intersection with Centerville Road and how trail connections will be made. Note that DRC approval is required for approval of the trail system if placed in the greenbelt buffer.

- b. Verify the following traffic improvements have been made: construction of southbound right turn lane, eastbound and combined eastbound left and through lane and eastbound right turn lane at the southern entrance to Land Bay S-1.

17. Please add the following general notes:

- a. Unless otherwise noted, all drainage easements on this plat shall remain private.
- b. Wetlands and land within resource protection areas shall remain in a natural undisturbed state except for those activities permitted by section 23-7(c)(1) of the James City County Code.
- c. All monuments shall be set in accordance with Sections 19-34 through 19-36 of the James City County Subdivision Ordinance.

18. Since this is a major subdivision, prior to final subdivision approval:

- a. Home owner association documents must be submitted for review and approval by the County Attorney.
- b. GIS information must be submitted in accordance with the county policy.

County Engineer:

- 1. No comments on the subdivision construction plans.

Environmental:

- 1. Has reviewed the plans and there are no outstanding comments that would prohibit recommending preliminary approval at this time. Detailed comments will be forwarded when available.

Fire Department:

- 1. No comments on the subdivision construction plans.

Health Department:

- 1. No comments on the subdivision construction plans.

JCSA:

- 1. Please refer to the attached memorandum dated May 28, 2004.

Parks & Recreation:

- 1. The Greenway Master Plan identifies a paved multiuse corridor along the west side of Centerville Road. Since the trail width and location are variable, it is recommended a 75' greenway easement be overlain on top of the 75' golf course buffer. It is further recommended portions of old Centerville Road be left in serviceable condition to accommodate this trail. This trail corridor would need to cross main entrance road.
- 2. Open space calculations were not provided with these plans.
- 3. Shoulder bike lanes are not drawn on the plans.

VDOT:

- 1. Has reviewed the plans and there are no outstanding comments that would prohibit recommending preliminary approval at this time. Detailed comments will be forwarded when available.




## MEMORANDUM

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Date: May 28, 2004

To: Karen Drake, Planner

From: Timothy O. Fortune, P.E.  Civil Engineer

Subject: S-038-04, Greensprings West Phase IV-B & V (Construction Plans)

James City Service Authority has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and have the following comments for the above project you forwarded on April 29, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plans and calculations. It is the responsibility of the engineer or surveyor to ensure the plans and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve these plans for general compliance with the JCSA Standards and Specifications, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

### General Comments:

1. The proposed fire hydrant locations shall be approved by the James City County Fire Department. Per JCSA Standards and Specifications Section 2.11 for this type of development, a fire flow demand of 1000 gpm is required. Applicant shall confirm the existing JCSA water system will provide the fire flow volume and duration as specified by the JCC Fire Department and/or make necessary improvements to the existing water system to meet those requirements. Any fire flow other than that listed above must be approved by the JCC Fire Department with appropriate documentation submitted to JCSA for verification. The Applicant shall provide a hydraulic analysis which substantiates the above requirements and reflects development up through this phase.
2. Provide street names. Designations such as "Road A", etc are unacceptable.
3. Show an label all existing JCSA easements on the plan with associated deed book and/or plat book reference.
4. Revise all proposed JCSA easement labels to read "*(width) JCSA Utility Easement*".
5. Show existing contours and proposed grading as part of the utility plans.

6. The Applicant shall verify if proposed waterlines can be deflected in lieu of providing multiple fittings, both horizontally and vertically. Deflection shall be in accordance with HRPDC standards.
7. Revise utility plan matchlines to be more discernable.

Sheet 1:

1. General Notes:
  - a. Revise Note #14 to read "All sanitary sewer and water distribution facilities must have a minimum horizontal separation distance of 5 feet between it and all other fixed structures such as: drop inlets, light poles, storm sewer pipes, etc." Revise plans to comply.
  - b. Revise Note 15 to read as follows: "Any existing unused wells shall be abandoned in accordance with State Private Well Regulations and James City County Code."

Sheet 4:

1. The proposed off site sanitary sewer easement shall be a minimum 30' width. Revise accordingly.

Sheet 8:

1. Road A: Provide 5' horizontal clearance between Lot11 water service connection and the proposed street light location.
2. Ex. Longview Landing Fire Hydrant Relocation:
  - a. The Applicant shall confirm that the stub-out to the fire hydrant can be isolated from the main. Currently a valve is not shown at the mainline tee. Clearly indicate on the plan which valve is to be used for isolation.
  - b. It appears a JCSA easement will be required for the relocated fire hydrant since the turnaround and associated right-of-way is being abandoned. Verify and revise accordingly.

Sheet 9:

1. Road "C":
  - a. The sanitary sewer lateral serving Lots 31/32 shall extend to the proposed JCSA easement shown.
  - b. Sta 40+54 (+/-) LT: Revise proposed stubout to comply with JCSA standards Section 2.7.
  - c. It appears that JCSA easements are required between Lots 39 and 43 for the proposed stubout, fire hydrant and waterline. Verify and revise accordingly.
2. Entrance Road:
  - a. Show and label the existing 12" waterline along Centerville Road.
  - b. Provide a 20' JCSA easement centered on the waterline at Sta 13+88 (+/-).

Sheet 10:

1. Revise water and sanitary sewer service connections for the following Lots to provide a minimum horizontal separation of 5' with streetlights, etc: Lot 46/47, 53/54 and 59/60.

Sheet 11:

1. The proposed off site sanitary sewer easement shall be a minimum 30' width centered on the utility. Revise accordingly.
2. Relocate the sanitary sewer line and easement to be outside of the BMP embankment limits. Refer to JCSA standards Section 2.22 concerning this requirement.
3. Describe the sanitary sewer connection requirements to the existing manhole adjacent to the lift station. Indicate the requirement for bypass pumping to permit connection, reshaping of the manhole invert and to prevent debris from entering the station while this work is occurring.

Sheet 17:

1. The design engineer shall confirm the graphical representation of all storm sewer crossings. Several locations and sizes noted appear to contradict design data provided on the grading plans. Verify and revise accordingly.
2. The design engineer shall confirm that 18-inches minimum vertical separation is provided between the sanitary sewer service laterals for Lots 38 and 39 and the proposed waterline/storm sewer system.
3. Show all sanitary sewer mains and storm sewer crossings
4. San MH #4B-12: The rim elevation and depth noted contradict the plan. Verify and revise accordingly.

Sheet 18:

1. Sta 10+50 (+/-): Show and label the existing 12-inch waterline crossing.
2. Sta 15+08 (+/-): Show and label the proposed 8-inch sanitary sewer crossing.

Sheet 19:

1. Road A Profile:
  - a. It appears the proposed waterline depth can be reduced significantly.
  - b. Verify graphical location of the storm sewer crossing shown at Sta 11+00 and Sta 13+75 (+/-).
2. Road B Profile:
  - a. Refer to Sheet 19, Comment 1.a above.
3. Road D Profile: Show 8-inch waterline crossing of the sanitary sewer as part of the profile.

Sheet 20:

1. Revise duplication of professional seal on the plan, typical for Sheets 17 thru 20.
2. San MH #4B-6:
  - a. The rim elevation and depth noted contradict the plan. Verify and revise accordingly.
  - b. The 10-inch stub referenced on the profile is not shown on the plan. Verify and revise accordingly.
2. Offsite Sanitary Sewer B:
  - a. Structure data provided for San MH #4B-7 contradicts the plan.. Verify and revise accordingly.
  - b. Revise sanitary sewer pipe material to ductile iron pipe as the depth exceeds 16-feet.

Water Data Sheet:

1. Provide a hydraulic analysis for this phase of the development which substantiates the flows and pressures noted in Section 5. Model shall incorporate any requirements for irrigation or a justification that irrigation will not be allowed for this phase (i.e. homeowner covenant documents).

Sanitary Sewer Data Sheet:

1. Section 5b thru 5e: Provide demands associated with this phase of the development.
2. Section 6: Verify the pipe/material lengths shown for 10-inch sewer (contradicts the plans). Revise accordingly.

Please call me at 253-6836 if you have any questions or require any additional information.

**SUMMARY FACTS**

**Applicant:** Jay Epstein  
**Land Owner:** Michelle Point, LLC  
**Proposed Use:** Single family and townhouse units.  
**Location:** 9001 Barhamsville Road  
**Tax Map/Parcel No.:** (12-1)(1-3)  
**Primary Service Area:** Inside  
**Parcel Size:** 38.704  
**Existing Zoning:** R-5, Cluster, with Proffers  
**Comprehensive Plan:** Low Density Residential

**Reasons for DRC Review:**

1. The proffers for this development state that there shall be a variable width buffer along the Route 30 frontage and that the buffer shall be exclusive of lots, and undisturbed except for utilities, sidewalks, trails, lighting, entrance features and signs subject to the approval of the Development Review Committee.
2. The proffers for this development state that the owner shall provide recreational facilities and that the exact location of the facilities and the equipment to be provided at such facilities shall be subject to the approval of the Development Review Committee.
3. The project exceeds 50 residential units.

**Staff Contact:** Ellen Cook Phone: 253-6685

**STAFF RECOMMENDATION**

1. An entrance sign, asphalt walking trail, JCSA utility easement, County trail easement (to be co-located with the JCSA utility easement and not yet labeled on the plans), and a sidewalk along the entrance road are located within the buffer area, as shown on the development plan. The location of these features are generally in accordance with the approved Master Plan, and staff recommends that the DRC recommend approval of the location of these features within the buffer area.
2. The recreation facilities are located generally as shown on the approved Master Plan and the equipment appears to be appropriate and suited to the needs of the development, as shown in the attached information. Staff recommends that the DRC recommend approval of the location of the recreational facilities and equipment provided.
3. Currently there are two outstanding issues which may have a substantial impact on the development (please reference Environmental Division comments 14 and 32). The Environmental Division is not in

subsequent RPA) on the site could affect the development and roadway design footprint as well as affect the BMP point tabulation for the site. In addition, there appears to be a major discrepancy in the BMP point system worksheet for the site related to the amount of natural open space. Therefore, in order to allow time for these issues to be resolved, staff recommends that consideration of preliminary approval be deferred until the next regular DRC meeting, which is currently scheduled for July 7, 2004.

In summary, staff recommends that the DRC recommend approval of the features located within the buffer area, and the location of the recreational facilities and the equipment provided. However, staff recommends that consideration of preliminary approval be deferred until the next regular DRC meeting.

Attachments: Site Plan, Entrance Sign and Play Area Equipment Information, Agency Comments

  
Ellen Cook



SP-056-04/S-037-04 Michelle Point  
Agency Comments

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Planning:

1. On the cover sheet, please replace "Site Development Plan" with "Site/Subdivision Plan".
2. In the vicinity map, please correct the James City County/New Kent County line which is not placed in the correct location.
3. Please clarify the Statistical data by grouping into: area statistics, impervious statistics (please also label the impervious per lot figure which is currently unlabeled), parking statistics, density, maximum lot size/number of units, and other site information. Please separate "common area" statistics into "natural open space" (the conservation easement to JCC), and "common open space," and give a total open space for the two together.
4. On the cover sheet, please update the proffers to match those approved by the Board of Supervisors.
5. General Note #7. Please replace "common area" with "common open space". Please also add "In accordance with Section 19-29 of the James City County Subdivision Ordinance, the natural open space easements shall remain in natural undisturbed state except for those activities referenced in the deed of easement."
6. General Note #29. Please correct the spelling of the second "Peak".
7. General Note #16. Please revise "Section 24-200" to "Section 19-33 of the James City County Subdivision Ordinance."
8. General Notes. Please add a note stating "Perimeter setback = 35'" and "In accordance with Section 24-545 of the James City County Zoning Ordinance, no building shall be closer than 35' from the internal edge of the perimeter buffer."
9. General Notes. Please add a note stating "Unless otherwise noted, all drainage easements designated on this plat shall remain private."
10. General Notes. Please add a note stating "All new property monuments shall be set in accordance with Sections 19-34 through 19-36 of the James City County Subdivision Ordinance."
11. General Notes. Please add a note stating "In accordance with Section 19-29 of the James City County Subdivision Ordinance, wetlands and land within resource protection areas shall remain in a natural undisturbed state except for those activities permitted by Section 23-7(c) of the James City County Code."
12. General Notes. Please add a note stating "All new street signs shall be installed per section 19-55 of the James City County Subdivision Ordinance."
13. Please include the preliminary plat pages and list these in the index of drawings. The preliminary plat pages should show lot square footage/acreage, setbacks, location of trails/play equipment, common and natural open space areas (with their areas and who they are dedicated to), easements, and buffers.
14. Please show a trail connecting to the cul-de-sac at the end of "Cocos Path" as shown on the approved Master Plan.
15. Please expand the easement currently shown as "10' utility easement to be conveyed to JCSA" to 15' and also convey to James City County for the "County Trail Easement" in general accordance with Proffer 15.
16. Please show the sidewalk in the townhouse area extending to Cocos Path and provide a wipe-down for crossing to the opposite side of the street.
17. In the townhouse area, please show the location of any dumpsters/trash disposal facilities and associated screening.
18. Townhouse parking area. Please show: parking lot lighting plan and detail of lighting fixtures in accordance with Section 24-57; all demarcated parking spaces on one sheet to allow verification of the number of spaces provided; show handicapped parking space "adjacent aisle" dimensions (with one van accessible aisle) in accordance with Section 24-56(a); show protective curb or buffer around landscape islands in accordance with Section 24-57(b).
19. Please note that prior to final subdivision plat approval, the following items will need to be addressed: recordation of HOA documents; water conservation standards; deed of easement for Conservation Area; cash

contribution for recreation facilities; cash contribution for community impacts; cash contribution to JCSA; taper constructed; sidewalks bonded; trail installed or bonded; and submission of GIS data.

Environmental:

1. Please refer to the attached memorandum dated May 27, 2004.

JCSA:

1. Please refer to the attached memorandum dated May 25, 2004.

VDOT:

1. Please refer to the attached memorandum dated May 15, 2004.

Landscaping:

1. In accordance with Proffer 8, the internal streets are required to have streetscape improvements. Please refer to the Streetscape Guidelines Policy for information on required improvements.

Fire:

1. Two additional fire hydrants required on Peppers Point, one in front of Unit 8, one on the island between Units 15 and 16.
2. Provide turn-around at the end of Peppers Point.

Co. Engineer:

1. Please submit plat and JCC standard Conservation Easement deed for review.
2. Sheet 16. Mark highly erodible soils on the map.

**ENVIRONMENTAL DIVISION REVIEW COMMENTS**  
**MICHELLE POINT**  
**COUNTY PLAN NO. S - 37 - 04**  
*May 27, 2004*

**General:**

1. A Land-Disturbing Permit and Siltation Agreement, with surety, are required for this project.
2. A Subdivision Agreement, with surety, shall be executed with the County prior to recording of lots.
3. Water and sewer inspection fees, as applicable, must be paid in full prior to issuance of a Land-Disturbing Permit.
4. Wetlands. It appears non-tidal wetlands as identified on the site will be impacted due to construction of BMP # 1. Prior to initiating grading or other on-site activities on any portion of a lot or parcel, all wetland permits required by federal, state and county laws and regulations shall be obtained and evidence of such submitted to the Environmental Division. Refer to Section 23-9(b)(9) and 23-10(7)(d) of the Chapter 23 Chesapeake Bay Preservation ordinance. *(Note: This includes securing necessary wetland permits through the U.S. Army Corps of Engineers Norfolk District and the Virginia Department of Environmental Quality.)*
5. A Standard Inspection / Maintenance agreement is required to be executed with the County due to the proposed onsite stormwater conveyance systems and Stormwater Management/BMP facilities associated with this project.
6. Streetlights. It appears a streetlight rental fee for eleven (11) lights will need to be paid prior to the recordation of the subdivision plat. Currently the streetlight plan is not in accordance with established County requirements. Add a streetlight near the site entrance, at the intersection of Cocos Path and Snuggles Court, at near road Sta. 4+00 Snuggles Court, at the end of the cul-de-sac at Snuggles Court, near road Sta. 3+00 Maura Court, at the end of the cul-de-sac at Maura Court, near road Sta. 17+00 left Cocos Path and at the end of the cul-de-sac at Cocos Path. For a copy of the streetlight policy, refer to the Environmental Division portion of the County website or contact the Environmental Division at (757) 253-6670.
7. Responsible Land-Disturber Notification. Provide the name of an individual who will be in charge of and responsible for carrying out the land-disturbing activity. Permits or plans without this information are deemed incomplete and not approved until proper notification is received.
8. Record Drawing and Construction Certification. The stormwater management/BMP facilities as proposed for this project will require submission, review and approval of a record drawings (as-builts) and construction certifications prior to release of the posted bond/surety. Provide notes on the plan accordingly to ensure this activity is adequately coordinated and performed before, during and following construction in accordance with current County guidelines.
9. Interim Certification. If the project is phased, due to the characteristics and dual purpose function of the proposed wet ponds BMP 1 and 2, interim construction certification will be required. Refer to current County guidelines for requirements.

is determined by further site investigation that there are impacts to Resource Protection Area. *(Note: Although some benefits for mass grading as part of the site development process may be to minimize lot-to-lot drainage issues and to maximize drainage to the BMPs by the use of designed stormwater drainage system. This along with any other supporting information is necessary, in writing, to the Environmental Division Director to support the waiver request.)*

17. Environmental Inventory. The limit of work (clearing and grading) as shown on Environmental Inventory Sheet 16 must be consistent with all work activities shown on Sheets 1 through 4 and Sheets 8 through 11, including the common area in the east corner of the site.
18. RPA Signs. Include provisions on the plan for installation of signs identifying the landward limit of the RPA. Refer to Section 23-7(c) of the Chapter 23 Chesapeake Bay Preservation ordinance.

**Grading Plan:**

19. Grading Plan. The basis of the plan is to mass clear and grade lot areas simultaneously with site work operations for roads and utilities. Provide clear soil fill and compaction specifications for lot fill areas, especially in structural fill areas associated with future home locations.
20. Slope Labels. Label all graded cut and fill slopes on grading plan Sheets 2, 3 and 4 with slope indicators as intended (i.e. 5H:1V, 3H:1V, 2H:1V, etc.). Slopes steeper than 3H:1V require matting.
21. Grading. The following comments pertaining to the site grading plan as shown on Sheets 2, 3 and 4.
  - 21a. It would appear the 5 or 6H:1V fill slope behind Lots 60 to 63 would continue beyond the limit of work as shown to tie with existing ground. Revise as necessary.
  - 21b. Show additional clearing and grading required for installation of the rock check dams and outfall protections necessary at the downstream ends of outfall barrels from temporary sediment basins/BMPs 1 and 2. Ensure limit of work (clearing and grading) is then consistent on all applicable sheets and the disturbed area estimate on the cover sheet is consistent with final limits of work.
  - 21c. Grading behind (west of) Lots 20 and 21 and Lots 22 through 24 and 44 through 46 appears incomplete.
  - 21d. Provide an inset plan at an acceptable scale to show grading, drainage and erosion and sediment control measures for the pump station (and access road) behind Lots 73 and 74. Drainage must be dealt with on a micro-level due to the length and slope of the access road and due to the slopes behind Lot 70 to 74.
  - 21e. It is recommended that any site fill slopes which are steeper than 3H:1V, especially those that border conservation areas and which may receive concentrated drainage during or following construction (back lot drainage) receive EC-3 turf-reinforcement matting rather than EC-2 matting. These areas generally include: the downstream face of dam for BMP 1 and 2; behind Lots 71 through 73; and the slope in front of condominium units 16 through 20 which will not drain to TSB/BMP 1.

**Erosion & Sediment Control Plan:**

22. Design Checklist. Please provide a completed standard James City County *Erosion and Sediment Control and Stormwater Management Design Plan Checklist*, specific to this project. The intent of the checklist is to ensure the plan preparer has provided all items necessary for a complete and expeditious review. *(Note: This was provided to the plan preparer during our pre-application meetings.)*
23. Temporary Stockpile Areas. Show any temporary soil stockpile, staging and equipment storage areas (with required erosion and sediment controls) or indicate on the plans that none are anticipated for the project site.
24. Offsite Land Disturbing Areas. Identify any offsite land disturbing areas including borrow, waste, or disposal sites (with required erosion and sediment controls) or indicate on the plans that none are anticipated for this project.
25. E&SC Plan. The erosion and sediment control plan as shown on Sheet 11 may be effective once the site is fully graded and onsite storm drainage piping systems are installed. However, the plan as presented needs examined closely for its adequacy during initial site clearing and grading operations. This is especially important since the soil survey shows most of the onsite soils to exhibit moderate to severe erosion hazard characteristics and due to the intent to mass grade lots during the site work phase. Firstly, Sheet 11 needs to show existing topography. It must be ensured that perimeter erosion and sediment control measures as proposed are adequate for initial clearing and grading operations. Secondly, it would appear that the limitations of perimeter silt fence per Minimum Standard & Spec. 3.05 of the VESCH are exceeded for many locations due to drainage area, slope, slope length, flow, topography (ie. running parallel to contours), etc. The entire perimeter control plans needs to be examined to 1) ensure the limitations of silt fence are not exceeded; 2) runoff from disturbed areas can be conveyed to the two primary treatment devices, the two onsite temporary sediment basins, to the greatest extent possible by effective use of perimeter temporary diversion dikes, etc; and 3) areas which cannot be conveyed to the primary sediment basins may need interim temporary sediment trapping measures (traps, etc.) until drainage can be conveyed to the basins as intended. Reliance solely on perimeter silt fence where limitations are exceeded may result in an increased maintenance burden for the contractor and possible offsite sediment discharge. *(Note: If mass grading of lot areas is to occur for this plan of development as proposed, it would be expected that perimeter temporary diversion dikes rather than silt fence should be used to the greatest extent possible for perimeter control. As the basin volumes are sized for the entire drainage areas, an effort should be made to convey as much runoff to the basins as possible, once the site is first cleared, rather than rely on perimeter silt fence.)*
26. E&SC Plan. Until grading and drainage as shown on Sheets 2, 3 and 4 is completed, additional fill diversions and slope drains may be necessary to control disturbed area runoff from the land-disturbing site. Examine the plan for the need for temporary fill diversions and slope drains, especially at the following locations: in front (south) of the condominium units, at the end of Cocos Path road at the proposed cul-de-sac location, at the end of Snuggles Court; and at the low point in the entrance road Cocos Path road station 9+00.

27. Limits of Work. The limit of work needs to include all areas of development including utility connections, common area-recreation-playground areas, proposed drainage items in proximity to Barnhamsville Road, and offsite improvements associated with Overton Trail. Ensure the disturbed area estimate is consistent with these additional areas.
28. Sequence of Construction. Place the sequence of construction on Sheet 17 on master plan Sheet 2. Currently, it is hidden in the plan set. In accordance with Minimum Standard # 4 of the Virginia Erosion and Sediment Control regulations, Step 3 of the sequence should be clear that all perimeter erosion and sediment control need installed prior to clearing, grubbing and grading of the site. Step # 9 of the sequence needs to specifically state "install all storm sewer pipes, structures and inlet protection measures." *(Note: If the perimeter erosion and sediment control plan is revised based on above comments, adjust the sequence of construction accordingly.)*
29. Temporary Sediment Basins. The following comments pertain to the plans, calculations, and details for the temporary sediment basins as currently proposed:
- 29a. Basin 1. The 25-year design high water elevation is shown at El. 85.20 which is greater than the emergency spillway elevation at El. 85.0. Therefore, this spillway must be designed. Provide computations and revise the detail on Sheet 17 as appropriate for the emergency spillway (lining, width, side slope, etc.). If the spillway becomes a token spillway, ie. not a designed spillway with design high water less than the spillway crest, the minimum width of token emergency spillways is 8 feet. The emergency spillway provided for Temporary Sediment Basin and BMP 1 is 5 feet.
- 29b. Label the "sediment forebays" on detail Sheet 17 for TSB/BMPs 1 and 2 as micropools rather than sediment forebays. Sediment forebays are usually situated at pond inflow points not at the pond riser/interior.
- 29c. Use Class I riprap instead of Class A1 within the micropools and at the outlet end of the barrels for both basins on the sediment basin and BMP details on Sheet 17.
- 29d. On Note 3 for the sediment forebay (micropool) details on Sheet 17, add that the riprap micropools shall be fully cleaned of accumulated sediment as part of the conversion process to permanent BMP mode.
- 29e. Anti-seep collar details on Sheet 17 denote a 24" inner diameter; however, the basin details reflect use of 30" and 36" diameter barrels.
- 29f. Provide details, consistent with Minimum Standard & Spec. 3.14 of the VESCH for the dewatering device and flexible tubing for the temporary sediment basins.
- 29g. Label the design high water as the 25-year design high water on temporary sediment basin details on Sheet 17.
30. Outlet Protections. Provide riprap outlet protection for all pipe, culvert and storm drain outfalls and for pipes leading into BMP facilities. Specify riprap class and thickness, pad dimensions and amount of stone to be used in accordance with requirements of the VESCH, Minimum Standards 3.18 and 3.19 on grading and drainage or erosion and sediment control plan sheets as applicable.

31. Dust Control. Add dust control measures for work at the site entrance and at Snuggles Court into the site erosion and sediment control plan in accordance with Minimum Standard 3.39 of the VESCH. Dust control is warranted due to the proximity of these locations to Barhamsville Road and Burnham Woods Subdivision.

**Stormwater Management / Drainage:**

32. BMP Worksheet. There appears to be a major discrepancy in the BMP Point System worksheet for the site. The current stormwater management plan is claiming 10.5 BMP points of which 3 points are for structural BMP credit and 7.5 points are for natural open space (NOS) credit. For the NOS credit, it appears that 23.88 acres total of natural open space is being used of which 13.6 acres is being taken under the 0.10 points per 1 percent site area method and 10.28 acres is being taken under the 0.15 points per 1 percent site area method. Based on the plans and plats submitted, the 23.88 acres (or 61.71 % of the site) appears to be grossly overestimated and may include common and lot areas not eligible for open space credit. Also, information on the cover sheet shows 10.28 acres, not 23.88 acres, of natural open space being dedicated to the County. It would appear the natural open space credit being taken should be considerably less than the 7.5 points as currently show, which may result in non-compliance with the 10-point BMP system.
33. BMPs. Based on the stormwater management plan and BMP worksheet, County type F-2 dry extended detention ponds are proposed for BMP 1 and 2. In general, use of wet extended detention ponds such as County type A-3 BMPs provide for better pollutant removal efficiency, may be a more attractive feature to the community and may ultimately result in less of a mosquito nuisance than dry ponds. This would be more in conformance with the residential cluster requirements to provide a higher level of environmental protection. For example, the BMP currently shows 3.0 structural BMP points using 4-point dry ponds. This could increase to 7.5 BMP points if 10-point wet ponds are used, thus resulting in a reduction (need for) dedicated open space on the site. If wet ponds are utilized, other factors need to be considered in the design such as safety, geotechnical issues and compliance with the County BMP manual (benches, forebays, buffers, landscaping, etc.).
34. Dry Ponds. If dry ponds are ultimately selected, consider use of County type F-1 timber crib wall BMPs for extended dry detention. This would be to provide basically the same pollutant removal efficiency (4 points) but result in impounding structure construction having less impact on environmentally sensitive areas, consistent with the residential cluster requirements. Refer to Group F requirements of the County BMP manual for timber crib wall design and construction guidelines.
35. Easements. Provide a note on the plans stating that all drainage easements designated on the plan shall remain private.
36. Open Space Credit. Provide a conservation easement plat for all Natural Open Space areas as claimed in the BMP worksheet and as shown on master plan Sheet 1. Normally, a plat is required prior to issuance of a Land-Disturbing permit. Also, Natural Open Space areas as claimed in the standard BMP worksheet shall be placed in conservation easements. Therefore, common areas such as the playground-park area is not eligible and the mulched trail situated in the conservation easement area along the west side of the project (per Sheet 3) is not allowed, unless it can be properly demonstrated that no clearing will take place to install the meandering trail. Also, existing wetland areas cannot receive extra credit (0.15 points per 1 percent of site area.)

37. Open Spaces. Remove all indications of "COMMON AREA" where noted within the proposed limits of the conservation areas throughout the plan set. Additionally, revise the line types-weights for the conservation easement, common space area, building setback lines, buffers, and utility easements so that they differ. Conservation areas shall also be devoid of any easements requiring for the permanent removal of vegetation such as water and sewer easements. All such areas currently proposed within the Conservation Easement must be excluded from the Conservation Easement area computation.
38. BMP Design. Substantiate the basis for use of 21 percent impervious values associated with design of the BMPs. This is especially true for the 19.47 acre drainage basin to BMP 1, which contains the condominium units (20 single family attached units). It is unclear if this estimate is based on actual impervious areas within the drainage areas or if they are general estimates based on proposed land use, density or zoning.
39. BMP Design. Provide the 100-year hydraulic model (routing) information for both BMPs.
40. BMP Design. At a minimum, the clay trench and core within both dam embankments for the BMPs should extend up to the 10-year WSEL; unless specific recommendations based on geotechnical investigation indicate otherwise. Refer to Minimum Standard & Spec. 3.01 of the VSMH.
41. BMP Details. Include provisions for steps within both BMP risers and show class of RCP pipe required for both BMP pond barrels on Sheet 17.
42. BMP Notes. The notes on Sheet 12 are very important to ensure proper dam construction and testing. The dam/pond notes on Sheet 12 should be placed on Sheet 17; or alternatively, Sheet 17 should provide adequate reference to the notes on Sheet 12 so they are not overlooked by the contractor.
43. Principal Spillway Crest. The flat DI-1 or DI-7 grate top unit as proposed for the principal spillway structures for BMP 1 and 2 are not acceptable for use. James City County and the Virginia Stormwater Management Handbook (VSMH) do not recommend flat grates for trash racks due to clogging and maintenance problems. Structures with flow over the top should include a removable, non-clogging anti-vortex trash rack such as a sleeve or hood-type inlet or the risers should be recessed into the dam embankment with a sloped bar grate. Provide appropriate riser, grate and bar details as applicable.
44. BMP 2. Although the principal spillway mechanism (riser/barrel) is intended to pass the design 100-year event for BMP 2, it is common policy to require a token emergency spillway as a secondary release mechanism. The token spillway can be set at or above the design 100-year WSEL as to not impact BMP hydraulics and can be simple in nature such as minimum 8 ft. width, 2H:1V side slopes and grassed or matted lining. Use of a token spillway, as such, can reduce the freeboard requirement to 1 foot, if necessary, for design of the BMP.
45. Risers. Provide flotation computations for the pond riser structures and ensure proper extended bases or concrete anchor bases are provided to minimize settlement. *(Note: Refer to the design plan checklist for all miscellaneous information needed as it pertains to structural and hydraulic design of BMPs.)*



46. **Maintenance Plan.** On the BMP maintenance plan on Sheet 12, add the following information. On Item 1B, add “on the dam” after the word “grass” in “the grass should be maintained at a height of 6 to 9 inches”. In Item 1C, add “including perimeter shorelines and buffers” after the word “unstable” in “any areas that have become unstable should be protected and stabilized”. In Item 1E, add a line “consult with the County Mosquito control office”. Also, add an item in Section 1 to state that trees and woody cover shall be removed from the dam and within 10 ft. of the outfall of storm pipes into the pond and pond principal flow control structures.
47. **Pond Buffers.** Currently it would appear that pond buffers, which are required to extend out 25 ft. from the 100-year design high water elevation of the BMPs, are fully contained within proposed common area. If for any reason, BMP designs change and the pond buffer/setback extends onto lot areas, this will need to be shown on the plans and plats for the subdivision.
48. **BMP Access.** Address provision for access to BMP 1 for future inspection/maintenance purposes. It is unclear how the embankment will be reached from paved roadways or through common area.
49. **Inlet/Storm Drain Computations.** Design computations were provided to show capacity and velocities of pipes in the storm drainage piping system; however, please provide additional inlet spread computations to ensure depths of flow at the inlets or inlet surcharging due to hydraulic grade or inlet weir/orifice control will not create an undesirable condition on the site. Also, ensure that the spread from curb inlets is within VDOT standards.
50. **Yard Inlet.** The yard inlet structure # C-13 as shown on Sheet 3 cannot be a VDOT type 2A. It must be a DI-7 or DI-5 5 inlet top with pedestrian safe grates.
51. **Inlet D-5.** The inlet at Cocos Path road Sta. 9+00 left, which accepts upslope drainage from Burnham Woods Suidivision, should be a DI-7 pedestrian safe inlet grate rather than a DI-1. A DI-1 in this application is much more prone to clogging which may result in an undesirable ponding/backwater condition which could mean upstream flooding. Computations in the design report show the hydraulic grade line at this inlet to be below the rim elevation. However, ensure the inlet grate or opening has adequate capacity to handle the 0.64 acre drainage area without ponding for the 10-year design storm and the 100-year check storm. Ponding/surcharge at this inlet will not be allowed to cross onto adjacent, existing lots in Burnham Woods.
52. **Channel N-N.** The stormwater conveyance channel between Snuggles and Maura Courts is very critical from a lot-to-lot drainage standpoint. If not properly designed or constructed, runoff from the back of lots on north side of Snuggles Court could be conveyed directly to property and structures along south side of Maura Court. Although computations were provided in the design report, it is unclear if the ditch sizing is for the 2-year or 10-year event. The channel must be sized for erosion resistance for the 2-year storm and for capacity for the 10-year storm. In accordance with Item 3.1 of the *James City County Environmental Division, Stormwater Conveyance Drainage Systems, General Design and Construction Guidelines*, this particular channel will be required to have 0.5 feet of freeboard for the 10-year storm. This can be accomplished by a deeper design channel section or a berm along the north side of the channel (within the drainage easement).
53. **Channel Designs.** Section A6 and the ditch summary tables on Sheet 4 show onsite stormwater conveyance channel design information. In general, two sets of calculations are required for each analyses section to show compliance with MS-19, one for the 2-year storm to show adequacy for

erosion resistance and another for the 10-year storm to show adequate capacity. It is unclear if computations in Section A6 are for the 2- or 10-year event. Substantiate the Mannings n values used in channel design computations in the design report (0.05, 0.07, etc.). Also, on the "Ditch Cross Section Summary" and "Outlet Protection Summary" tables on Sheet 4, use Class I riprap rather than Class A1 for all linings that require hard armor protection. Consider use of EC-3 turf-reinforcement matting instead of riprap channel linings that are centrally located in the subdivision.

54. Low-Impact Design. The soils map on Environmental Inventory Sheet 16 shows a substantial amount of hydrologic soil group A& B soils on the site. In these areas, use of low-impact development principles and techniques are fully encouraged for use in site design to reduce and control impacts associated with increased stormwater runoff. This includes minimizing disturbance, minimizing impervious area, disconnection of impervious areas, saving existing trees, preserving existing topography and HSG A&B soils, use of flatter site grades, reduced slope heights, increasing time of concentration flow paths, maintaining sheet flow, increasing surface roughness coefficients, use of wide and flat stormwater conveyance channels, on-lot stormwater management, encouraging infiltration and use of bioretention cells with appropriate landscaping.)



## MEMORANDUM

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Date: May 25, 2004

To: Ellen Cook, Planner

From: Timothy O. Fortune, P.E. - Civil Engineer

Subject: S-037-04/SP-056-04, Michelle Point (Construction Plans)

James City Service Authority has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and have the following comments for the above project you forwarded on April 26, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plans and calculations. It is the responsibility of the engineer or surveyor to ensure the plans and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve these plans for general compliance with the JCSA Standards and Specifications, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

**NOTE:** At the time of this review, a pump station and force main design including supporting calculations were not provided as part of this submittal. The design engineer shall include pump station drawings as part of the site plan resubmittal. Four (4) complete sets of pump station plans, calculations and specifications shall be submitted to Mr. Danny Poe, P.E.- Chief Engineer of Wastewater for review of compliance with JCSA standards. A "Certificate to Construct Utilities" will not be issued until final approval of this site plan has been granted by JCSA.

### General Comments:

1. The design engineer shall provide a response letter indicating actions taken and/or additional changes made with resubmittal of this project.
2. All sanitary sewerage facilities to be dedicated to JCSA shall be designed and constructed in accordance with the HRPDC Regional Standards, Second Edition dated June 2001, and the JCSA "Standards and Specifications Water Distribution and Sanitary Sewer Systems" dated April 2002. All details shall be in accordance with the above referenced standards. Provide call-outs for the items, either individually or tabularized, indicating HRPDC or JCSA applicable detail references such as "Dual Sanitary Sewer Service Connections, SS\_15". Revise drawings accordingly.

3. The proposed fire hydrant locations shall be approved by the James City County Fire Department.
4. Add the following note to the plans: Water meters shall be located a minimum of 2' from sidewalks and 18" from edge of driveways. Revise plan to comply.
5. Add the following note to the drawings: "Only JCSA personnel are authorized to operate valves on the existing JCSA water main".
6. Water and sanitary sewer service connections shall be shown perpendicular to the main. Revise the plans to comply.
7. All sewer cleanouts and water service connections shall terminate at the right-of-way or at proposed JCSA easements, where provided. Revise the plans to comply.
8. Add a note to the plans requiring sanitary sewer and waterline facilities pipe bedding to be in accordance with HRPDC Detail EW\_01.
9. Clearly label all proposed JCSA easements on all plan sheets.
10. The design engineer shall provide joint restraint on all waterline and force main fittings per JCSA standards Section 2.12. Delete the requirements for concrete thrust blocking. Clearly show and label joint restraint limits on the plan or profile.
11. Since this site is served by a pump station which discharges into a Hampton Roads Sanitation District (HRSD) force main, the Applicant shall submit plans to the Department of Environmental Quality (DEQ) and HRSD for review and approval. Provide verification that these submittals have been made.
12. Provide a HRSD flow Certificate for JCSA review and approval.
13. Provide a minimum horizontal separation of 5 feet between water and sewer facilities with other utilities/structures such as storm sewers, drop inlets, light poles, etc. Revise plan accordingly.
14. Provide station and offsets for all sanitary sewer manholes.
15. All sanitary sewers, force mains and waterlines within steel casing pipe shall be ductile iron pipe per HRPDC Regional Standards (detail WS\_04). Revise all profile labeling as well as the Sewer and Water Data Sheets pipe tabulation blocks to reflect this accordingly.
16. Provide stationing of all waterline and force main fittings on the plans and profile. Refer to JCSA standards Section 2.23.
17. There appear to be portions of the proposed water and sanitary sewer systems within fill areas. Provide ductile iron pipe for the proposed water and/or sanitary sewer main through the fill area and 40-feet into the native material at each end

(design engineer shall confirm limits). The Design Engineer shall provide on the plans the instructions, details and field test requirements to ensure zero settlement will occur over or under the water mains. Revise plan and profiles to comply.

18. Provide inverts of all proposed sanitary sewer laterals connecting directly into a sanitary sewer manhole. If the proposed lateral invert connecting directly into the sanitary sewer manhole is more than two feet above the outfall pipe invert, then a drop connection shall be specified.
19. Show and label air release valves at all waterline high points (none currently shown on the plan).
20. Show and label proposed contours as part of the Utility Plans.
21. All JCSA easements, including those for service laterals, shall be graphically shown and labeled on the plans. This will allow JCSA to verify any conflicts/encroachments by other structures, utilities and landscaping.
22. Revise all JCSA easements such that the easement is centered on the respective JCSA utility (20' width) or JCSA utilities (30' width). This condition appears to not have been met throughout the plan set. Likewise, revise proposed JCSA easement labeling to read "*(width) JCSA Utility Easement*".
23. Since the proposed pump station will be dedicated to JCSA, it shall be designed in accordance with JCSA requirements and standards. Revise the proposed force main size to be minimum 4-inch. Revise the plans and profiles to comply.
24. Revise locations of proposed sanitary sewer manholes to have a minimum horizontal separation of 5' from back of curbs.
25. JCSA easements shall be shown continuous across Common Areas along the respective JCSA utility(s).
26. A minimum of two valves shall be provided at all intersecting waterline tees. Valves shall be located at the tee. Revise plan accordingly to comply.
27. Dimension the location of all proposed water, sewer and force mains on each utility plan (i.e. from baseline, curbing, edge of pavement, etc).

Sheet 1:

1. Revise General Note # 22 to read as follows: "Any existing unused wells shall be abandoned in accordance with State Private Well Regulations and James City County Code."
2. Per the proffers (Item #8), the Applicant shall be responsible for developing water conservation standards to be submitted to and approved by the James City Service Authority. The applicant shall be responsible for enforcing these standards. The standards shall address such water conservation measures as limitations on the installation and use of approved landscaping design and materials to promote water conservation and minimize the use of public water resources. The James

City Service Authority shall approve the standards prior to final approval. Should the Applicant have any questions or require additional information regarding water conservation standards or guidelines for new developments, please contact Mrs. Beth Davis, Environmental Education Coordinator, at (757) 253-6859.

3. General Notes: Revise Note #3 to comply with JCSA standards Section 5.1 General Notes, Note #1. Since the JCSA notes are also provided on Sheet 5 in their entirety, Note #3 can be deleted from the title sheet. Revise accordingly.

Sheet 5:

1. JCSA requires service connections to be located within a 20-foot JCSA Utility Easement. Revise the note at the upper right hand corner of the plan to comply. Refer to General Comments, Note # 21 above.
2. Cocos Path:
  - a. Provide individual sanitary sewer service connections to Lot 67 and 68. A minimum horizontal separation of 5 feet shall be provided with the street light.
  - b. Revise the plan to eliminate the proposed sewer and water service shown for the Common Area between Lots 66 and 67.
  - c. Revise sanitary sewer laterals for Lots 57, 69/70 to be perpendicular to the main.
  - d. Show and clearly label a JCSA easement centered on the proposed waterline (refer to General Comments, Notes 7 & 22).
3. Pepper's Point:
  - a. Per JCSA standards Section 2.5, combined water and sewer easement shall be 30 feet minimum. Revise plan accordingly to comply.
  - b. Revise location of Lot 20 sanitary sewer lateral to Sta 7+80 (+/-) such that it is perpendicular to the main.
4. Pump Station Site:
  - a. Show and label location of water service to the station. Maintain 10 feet horizontal separation with the proposed sanitary sewer and force main.
  - b. SMH 1: Invert In elevation shown contradicts the profile. Verify and revise accordingly.
  - c. The pump station gravity influent pipe shall be ductile iron pipe per JCSA standards. Revise accordingly.
5. Pile Bent Support Detail: Revise the detail to address the following and refer to the attached draft detail (not adopted by JCSA at this time):
  - a. Revise detail to require dual 3"x6" beam supports at each pile bent for the sanitary sewer main.
  - b. A 90-degree pipe saddle shall be provided on each support beam. Revise accordingly.
  - c. Provide a 1/4"x1-1/2" galvanized steel strap attached with 1/2-inch lag screws to each support beam. Show and label a neoprene pad between the proposed pipe strap and sewer main.

- d. Eliminate the cross bracing from above the sewer main and provide below the support members, if necessary. This will permit ease of access should maintenance of the line be required.
- e. Clearly indicate on the plan that the pipe bell shall be a maximum of 18-inches from the pipe support.
- f. Add a note to the plan stating the following: "Pipe bridge design calculations and backup data shall be sealed by Registered Professional Engineer in the Commonwealth of Virginia and submitted to JCSA for record".

Sheet 6:

- 1. Revise note on the plan to require a 20' utility easement for all service connections or delete note entirely. Refer to General Comments, Note # 21 above.
- 2. Cocos Path:
  - a. Provide a sanitary sewer connection to Lot 55.
  - b. Sanitary sewer laterals serving Lots 72/73 and 74/75 shall be shown perpendicular to the sewer main.
  - c. It is recommended that dual sewer cleanouts be provided for Lots 78/79 and 80/81.
  - d. Relocate lateral connection for Lot 84 to Sta 9+50 (connect to SMH 17).
  - e. A JCSA easement shall be provided along the waterline between Sta 7+75 (+/-) to Sta 10+35 (+/-). Refer to General Comments, Note 22.
  - f. Revise the force main design to provide a minimum horizontal separation of 5 feet with the proposed sanitary sewer system.
- 3. Maura Court:
  - a. Sta 1+33 (+/-): Relocate the proposed stop sign from over the proposed waterline.
  - b. Sta 4+62 (+/-): Relocate the street light shown to provide a minimum horizontal separation of 5 feet with the sanitary sewer system.
  - c. Deflect the 4" waterline such that the BOV terminates at Lot line 45/46.
  - d. Sewer lateral serving Lots 44/45 shall be perpendicular to the main. Revise accordingly.
  - e. Relocate the mulched trail and CG-12 ramp such that they do not overlap proposed SMH 23.
  - f. It is recommended that dual sewer cleanouts be provided for Lot 36/37.
- 4. Snuggles Court:
  - a. Clarify the "Variable Width Sight Easements" being dedicated to JCSA. It appears the text is incorrect as these are not required/accepted by the Authority. Revise accordingly.
  - b. A JCSA easement shall be provided on the waterline along the northside of Snuggles Court. Refer to General Comments, Note 22.
  - c. Deflect the 4" waterline such that the BOV terminates at Lot line 20/21.
  - d. Sewer laterals serving Lots 19/20 and 22 shall be perpendicular to the main. Revise accordingly.

Sheet 7:

1. Per HRPDC standards page 200-1, Section 5.3 Casing Pipe, the casing wall thickness shall be in accordance with VDOT Section 232 which requires a minimum wall thickness of 0.50 inches. Verify and revise all plan callouts accordingly.
2. Cocos Path:
  - a. A JCSA easement shall be provided on the waterline between Sta 7+75 (+/-) to the Barhamsville road right-of-way. Water and sewer service connections shall extend to this easement.
  - b. SMH 20: Invert Out label shown on the plan "106.29" contradicts the plan/profile description. Verify and revise accordingly.
  - c. Sta 5+60 (+/-) RT: Relocate the street light shown to provide a minimum horizontal separation of 5 feet with the sanitary sewer system and force main.
  - d. Revise the force main design to provide a minimum horizontal separation of 5' with the proposed sanitary sewer system.
  - e. Sta 2+65 (+/-): Show and label 2 gate valves at the 12x12 waterline tee. Remove the 12" valve shown at the end of the waterline stubout. A blow-off assembly (HRPDC WD\_05) shall be provided at all waterline stubouts and terminations.
3. Peppers point:
  - a. Sewer laterals for Lots 3/4, 5 and 6 shall be shown perpendicular to the main.
  - b. Provide a water service connection to Lot 1.
  - c. Sta 1+35 (+/-) to Sta 2+00 (+/-): Revise easement to follow the waterline alignment. Refer to General Comments, Note 22.
4. Barhamsville Road:
  - a. Clearly show and label the existing right-of-way along the northside of Barhamsville Road. Provide JCSA easements required at this location, if necessary, as part of the proposed waterline extension.
  - b. Revise the force main alignment to provide a minimum horizontal clearance of 5 feet with the existing power poles.
  - c. All waterline stubouts shall be provided in accordance with JCSA standards Section 2.7. Provide a waterline stubout at Sta 3+74 (+/-).
  - d. Sta 1+73 (+/-): Provide a 12" gate valve at the 16x12 tee.
  - e. Sta 2+28 (+/-): Per HRPDC detail WS\_05, carrier pipe through casing shall be ductile iron pipe. Revise plan and profile accordingly.
  - f. Sta 3+65 (+/-): It appears that 10' horizontal separation is not maintained between the proposed waterline and force main. Verify and revise accordingly.
  - g. Based on the proposed waterline location, a JCSA utility easement shall be provided on the Chesapeake Bank property. Refer to General Comments, Note 22.
  - h. The Applicant shall reference HRPDC detail SS\_18 as part of the connection requirements to the existing HRSD main. Revise layout to comply with the requirements of this detail.



- i. Sta 11+00 (+/-) FM: The design engineer shall clarify how the proposed steel casing will be deflected as shown and the carrier pipe installed. It is recommended the force main elbows be provided after the casing.
5. Typical Road Sections:
- a. Maura Court & Snuggles Court: Revise the sections to show placement of the water meter and SCO at the proposed easement line and not behind the sidewalk or curb & gutter as shown. Placement shown suggests a reverse service tap from the meter to properties located on the same side as the waterline.

Sheet 13:

- 1. Provide stationing of all sewer and waterline facility structures and fittings.
- 2. Show and label all required waterline air release valves on the profiles.
- 3. Clearly show and label all sanitary sewer manholes exceeding 12 feet in depth and/or requiring a drop connection as "5' diameter" for consistency among the plans.
- 4. Unless provided to meet JCSA separation requirements for valves (JCSA standard Section 2.26C), mainline valves are not required at each fire hydrant connection point. Verify and revise accordingly.
- 5. Peppers Point Profile:
  - a. Sta 2+65 (+/-): Revise profile to provide a minimum vertical clearance of 18-inches between the proposed waterline and force main crossing. Show and label this separation requirement clearly on the plan.
  - b. Revise casing pipe wall thickness to comply with HRPDC requirements.
  - c. Sta 7+00 (+/-): It appears the proposed waterline deflection exceeds HRPDC requirements. Either revise the profile to meet those requirements or provide fittings as necessary.
  - d. Show and label sewer segments SMH 18 thru SMH 16 as ductile iron pipe. Refer to General Comments, Note 17 above.
  - e. SMH 15: It appears that a minimum vertical separation of 18-inches is not maintained between the proposed waterline and the 8-inch sewer extending to Snuggles Court. Verify and revise accordingly.
- 6. Cocos Path Profile:
  - a. Sta 12+90 (+/-): Show and label 18-inch minimum vertical separation at the waterline crossing with the 15" CP.
  - b. Pipe slope noted between SMH 12 and SMH 10 contradicts the plan. Verify and revise accordingly.
  - c. Eliminate the high point created in the waterline between Sta 16+50 (+/-) to Sta 19+50 (+/-), thereby eliminating the need for an air release valve. Revise profile accordingly.
  - d. It appears that a minimum vertical separation of 18-inches is not maintained between sewer laterals serving Lots 64 and 65 and the proposed waterline. Verify and revise accordingly.

7. Cocos Path Profile (Sta 1+00 to 2+00):
  - a. Revise profile to provide a 2' pipe stub-out instead of the 20' shown. Refer to JCSA standards Section 2.7 for requirements.
8. Snuggles Court Profile:
  - a. Sta 1+25 (+/-): It appears that a minimum vertical separation of 18-inches is not maintained between the proposed waterline and the 8-inch sanitary sewer crossing. Verify and revise accordingly.
  - b. It appears that a minimum vertical separation of 18-inches will not be maintained between sewer laterals serving Lots 33/34, 22 and the proposed waterline. Verify and revise accordingly.

**Sheet 14:**

1. Maura Court:
  - a. It appears that 18-inches of vertical clearance will not be maintained between sewer laterals serving Lots 36 thru 45 and the proposed waterline. Verify and revise accordingly.
  - b. Sta 1+40 (+/-): Show and label a gate valve at the 8x8 waterline tee.
  - c. Show and label sewer segment SMH 24 thru SMH 23 and the waterline between Sta 1+37 thru Sta 3+25 (+/-) as ductile iron pipe. Refer to General Comments, Note 17 above for requirements.
  - d. SMH 24: Show and label the Invert In for consistency among the plans.
2. Peppers Point:
  - a. Sta 1+27 (+/-): Show and label the proposed force main crossing with the waterline. Provide label a minimum vertical separation of 18-inches.
  - b. Based on the current layout, show and label sewer segment SMH 6 thru SMH 3 and the waterline between Sta 3+40 thru Sta 8+15 (+/-) as ductile iron pipe. To eliminate short pipe segments of differing material, it is recommended that the waterline be DIP from the 8x4 reducer. Refer to General Comments, Note 17 above for requirements.
  - c. It appears that 18-inches of vertical clearance will not be maintained between sewer laterals serving Lots 1 thru 20 and the proposed waterline. Verify and revise accordingly.
  - d. Sta 8+15 (+/-): The BOV is currently shown above the proposed grade. Verify and revise grading accordingly.
  - e. Eliminate SMH 2. Revise profile to extend directly from SMH 3 to SMH 1. Adjust sewer line profile and/or SMH depth to account for this revision.
  - f. Indicate percent grade and finished grade elevations for pump station access drive.
3. Barhamsville Road:
  - a. Sta 3+57 (+/-): Provide minimum vertical clearance of 3 feet at all force main ditch crossings. Revise accordingly.
  - b. Describe connection requirements to existing waterline and force main.
  - c. Show and label all fittings with stationing. Identify by adding "FM" or "WL" to the description for clarity.

- d. Sta 10+35 (+/-): It appears the proposed waterline deflection exceeds HRPDC requirements. Either revise the profile to meet those requirements or provide fittings as necessary.
- e. Sta 10+35 (+/-): Revise force main profile to provide 18" minimum vertical clearance with the proposed 15" storm sewer.
- f. Sta 10+45 (+/-): Waterline is shown as deflecting prior to exiting the steel casing. Verify and revise accordingly.
- g. A minimum cover of 3 feet is not graphically maintained along the force main and waterline profiles. Verify and revise accordingly.

**Sheet 15:**

- 1. Add the following note to the plan and revise landscape plan to comply: "Shrubs shall be minimum of 5 feet, and trees a minimum of 10 feet, from the center of water and sewer pipelines."
- 2. Provide landscape drawings for the entire development for confirmation that no conflicts occur with JCSA utilities.

**Sheet 17:**

- 1. Based on the cross sections provided for BMP 1, it appears the proposed sanitary sewer pipe bridge will be within the berm embankment. This is not acceptable to JCSA and shall be revised such that the sewer alignment and easement is outside of the BMP embankment limits (refer to JCSA standards Section 2.22). Revise grading accordingly to reflect this condition.

**Sanitary Sewer Data Sheet:**

- 1. Section 6:
  - a. Revise pipe lengths, sizes and associated material based on the above comments.
  - b. Pipe lengths noted do not reflect the plan/profile lengths based on our estimation. The design engineer shall verify and revise lengths accordingly.
  - c. Include the proposed 10" gravity influent line to the pump station as part of Section 6.

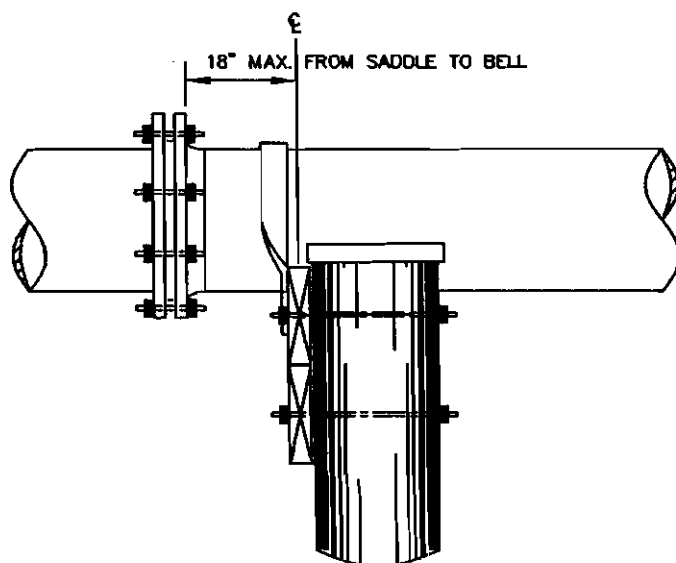
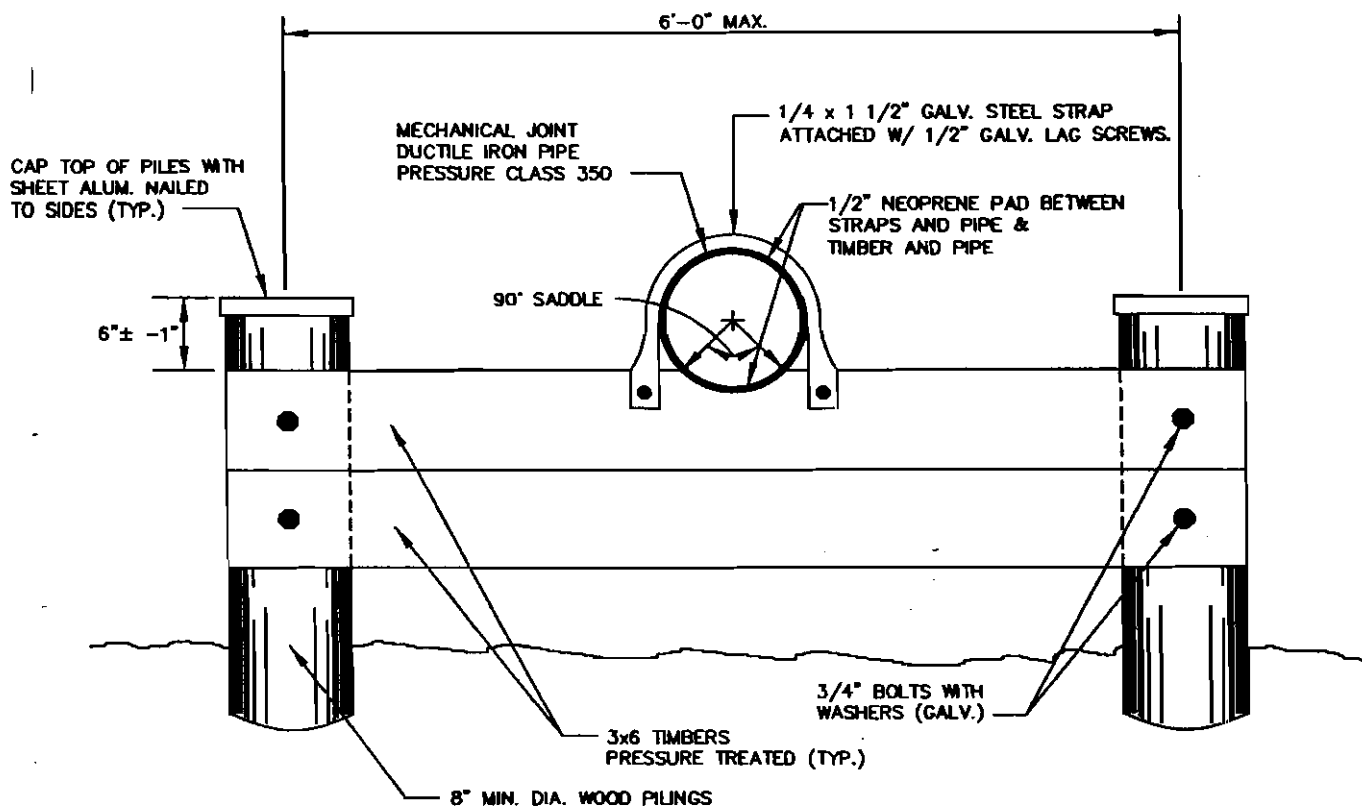
**Water Data Sheet:**

- 1. Section 5c: Since townhomes are proposed with this project, list 2500 GPM as part of this line item.
- 2. Section 5e: Clarify the flow listed.
- 3. Section 5f: Provide fire flow + Max day flow at 20 psi for the system.
- 4. Section 6:
  - a. Revise pipe lengths, sizes and associated material based on the above comments.
  - b. Pipe lengths noted do not reflect the plan/profile lengths based on our estimation. The design engineer shall verify and revise lengths accordingly.

### Hydraulic Analysis:

1. Provide a separate report for the hydraulic analysis (drainage analysis separately). Water and sewer data sheets can be included within the Hydraulic Analysis report.
2. Water model calculations must be sealed, signed and dated by a Professional Engineer registered in the Commonwealth of Virginia.
3. Provide a summary describing the project, the basis of the calculation procedures performed and name/version of the software utilized.
4. For reference, clearly indicate the number of lots applied to each junction and which lots are applied to which junction.
5. Provide a junction map that includes pipe numbers, pumps, contours to check elevations, locations of fire hydrants and lot locations.
6. Provide in the model irrigation demands that might be applied to this development. If no irrigation demands are included in the model, then provide justification of how the irrigation will not be allowed for this project. An example of justification might include the homeowner covenant documents prohibiting outdoor irrigation of all kinds.
7. Provide the following as part of the analysis:
  - a. Include fire hydrant flow test which the model is based upon
  - b. Provide and clearly label the Average Day Demand analysis, Maximum Day Demand analysis, Max Day + Fire Flow analysis (water system must maintain 20 psi at all nodes) and Peak Hour Demand analysis.
  - c. No pipe velocities shall exceed 10 fps, under any condition.
  - d. No pipe head loss in any pipeline shall exceed 20 psi per 1000 feet of pipe.
  - e. Junction reports shall include hydraulic grade line.
8. Provide reservoir report to include elevation, hydraulic grade line, inflow, outflow
9. Provide pump report data to include status, elevation, all input information, intake pump grade, discharge pump grade, discharge and pump head.
10. Revise the Water Data sheet to reflect the results of the revised hydraulic model.
11. Provide a scenario which applies a 2500 gpm fire flow at junction J5 to account for the townhomes.

Please call me at 253-6836 if you have any questions or require any additional information.



DRAFT

NOTE:

1. PILE DIAMETER SHALL BE SELECTED BY THE DESIGN PROFESSIONAL. MINIMUM PILE DIAMETER IS 8 INCHES.
2. PILE DEPTH BELOW GRADE SHALL BE DETERMINED BY THE DESIGN PROFESSIONAL BASED UPON GEOTECHNICAL ANALYSIS. MINIMUM DEPTH SHALL BE 10 FEET.
3. THESE DETAILS ARE APPROPRIATE FOR A MAXIMUM 12 INCH DIAMETER PIPE. LARGER DIAMETER PIPE AND/OR MULTIPLE PIPES WILL REQUIRE A SPECIAL DESIGN.
4. PIPE BRIDGES FOR PRESSURE PIPE SHALL BE DESIGNED TO ADEQUATELY ACCOMMODATE THRUST RESTRAINTS AS APPLICABLE.
5. PIPE BRIDGE DESIGN CALCULATIONS AND BACK UP DATA SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED TO JCSA FOR RECORD.



PIPE BRIDGE

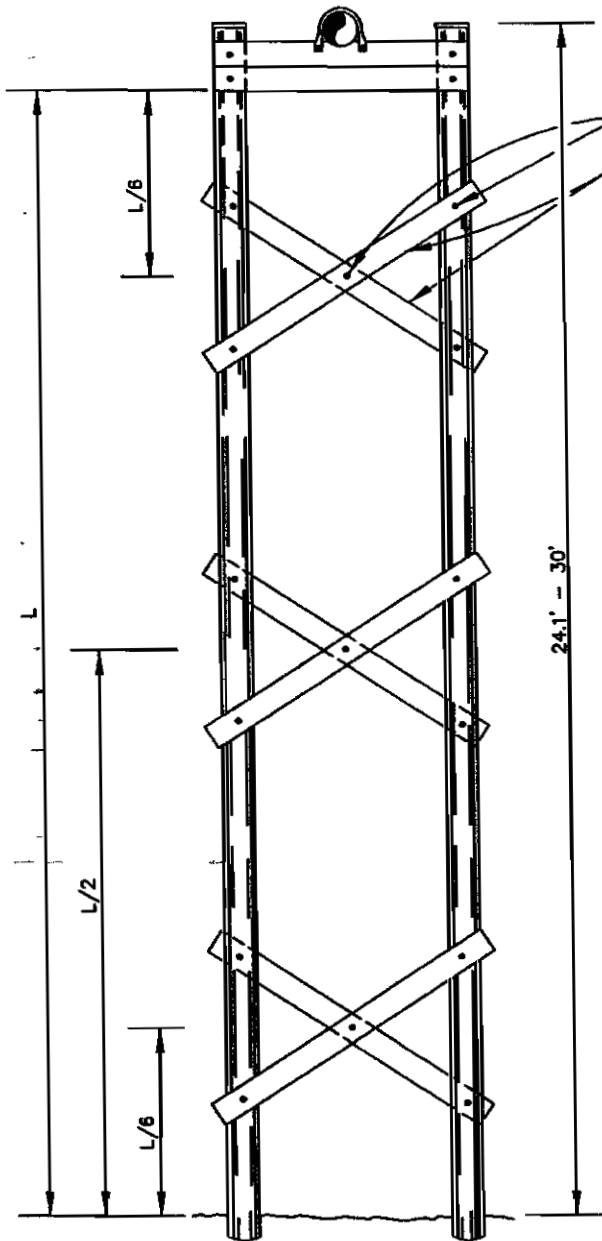
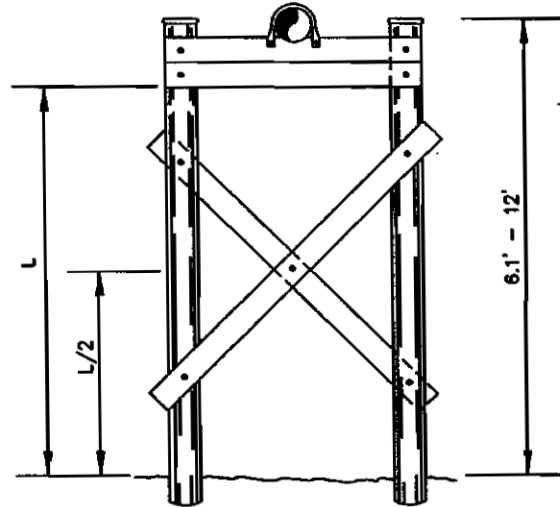
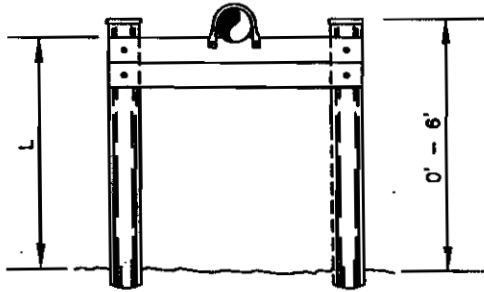
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SCALE: NONE

DWN BY: DAW

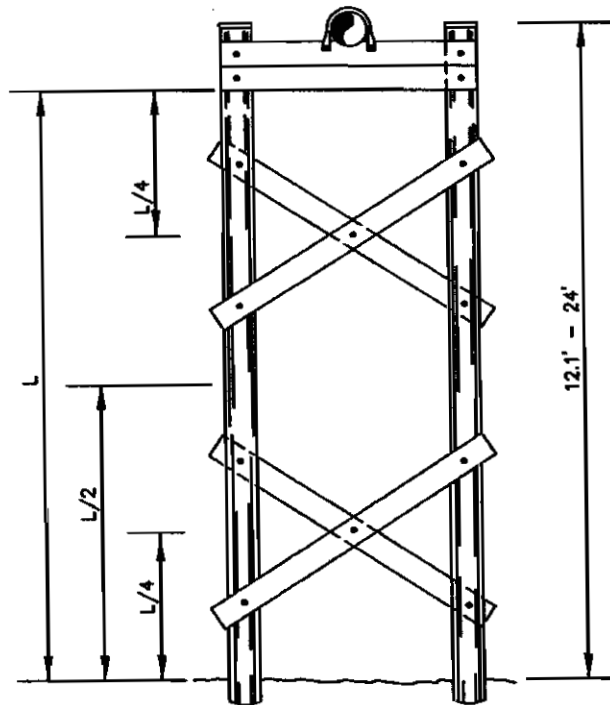
DATE: JUNE 2004

# MINIMUM CROSS BRACING REQUIREMENTS



3/4" BOLTS WITH WASHERS (GALV.) TYP.

3x6 TIMBERS (PRESSURE TREATED) TYP.



## PIPE BRIDGE CROSS BRACING

DWG NO. PB-2

SCALE: NONE

DWN BY: DAW

DATE: JUNE 2004



# COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION  
4451 IRONBOUND ROAD  
WILLIAMSBURG, VA 23188

PHILIP SHUCET  
COMMISSIONER

STEVEN W. HICKS  
RESIDENT ENGINEER  
TEL (757) 253-4832  
FAX (757) 253-5148

May 15, 2004

Ellen Cook  
James City County Planning  
Post Office Box 8784  
Williamsburg, Virginia 23187

Ref: Michelle Point  
S-037-04 / SP-056-04  
Barhamsville Road (Route 30), James City County

Dear Ms. Cook:

We have completed our review of the above mentioned subdivision plan and offer the following comments:

- 1) Stop sign must be in accordance with Standard MUTCD R1-1 (30" x 30").
- 2) During construction the location of the stop sign should be reviewed. It may be necessary to adjust the location, to ensure proper placement.
- 3) All internal streets of the development will remain private, and therefore the plans were reviewed accordingly.
- 4) It should not be assumed that the paved shoulder and/or bike paths of existing roadways have an equivalent pavement typical as the main line. It may be necessary to remove and replace these existing areas so that there is a constant pavement typical throughout the roadway, taper and entrance typical. Normally this will require saw cutting the pavement at or near the painted edge line. Place note on the plan clearly stating such.
- 5) Street connection to Barhamsville Road (Route 30) will require a standard VDOT CG-11 "Connection For Street Intersections and Commercial Entrances". Standard detail from 2001 VDOT Road and Bridge Standards should be provided on the plans.
- 6) Show location of all bore pits, including receiving pits, on the plans.

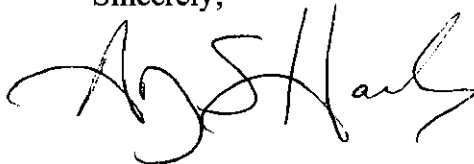
Michelle Point  
May 15, 2004  
Page Two

- 7) Steel encasement should extend beyond the ditch line, for encasement pipes under Barhamsville Road (Route 30).
- 8) Encasement pipes under Barhamsville Road must be a minimum of ½" thickness.
- 9) How will access to the 14' emergency access road be restricted from Highfield Drive (Route 772)?
- 10) Provide drainage calculations and drainage area map. Drainage calculations must be signed and stamped by Professional Engineer (PE) or Virginia Licensed Land Surveyor B (LS-B).
- 11) VDOT drainage and development drainage systems must be kept separate, to the extent possible. The VDOT roadside drainage system should be taken directly across the entrance and the development drainage system should tie into the VDOT system. We recommend a structure be placed in the R/W and the roadway drainage collected by A-2 and A-3 be tied directly into that structure.
- 12) Provide sight distance for both the entrance and crossover.
- 13) Conceptual approval has previously been granted for the "Emergency Only Crossover". Plans have been submitted to VDOT Central Office for formal approval of this crossover. We cannot formally approve these plans, nor issue a land use permit, until we receive formal approval from the Central Office for this crossover.
- 14) It appears from the plans that an additional entrance pipe will be required at station 2+00 of baseline "A" (crossover and East Bound Route 30).

When the above comments have been addressed, please submit two sets of revised plans to this office for further review. Also, attach a letter noting what action was taken to correct the above comments and any revisions that may impact the right-of-way.

Should you have any questions please contact me at 253-4832.

Sincerely,

A handwritten signature in black ink, appearing to read "Anthony L. Handy". The signature is fluid and cursive, with the first name "Anthony" and last name "Handy" clearly distinguishable.

Anthony L. Handy, PE, LS  
Assistant Resident Engineer



# Michelle Point LLC

Health-E-Community Enterprises of Virginia, Inc.  
3606 Acorn Ave.  
Suite 200  
Newport News, VA 23607

May 20, 2004

Ms. Ellen Cook  
James City County Planning  
101-E Mounts Bay Road  
Williamsburg, VA 23187

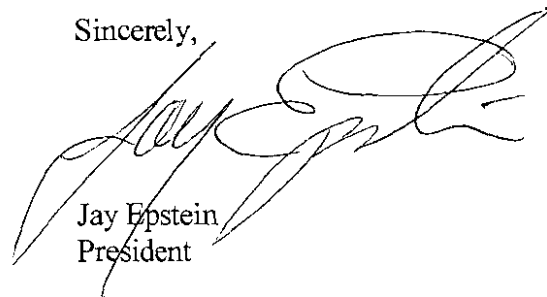
**RE: Michelle Point**

Dear Ms. Cook:

The main structure for the entrance sign to Michelle Point will consist of red brick and black wrought iron. Installed in the recess of the brickwork will be a 4' x 8' x ½" poly carve, green and tan, cut to shape single faced wall sign. See attachments for design and dimensions of the entrance sign.

I have also included the specifications of the tot lot equipment, which will require a Safety Zone of 30 feet by 30 feet. It will include eight activity centers and have a child capacity of 25 to 30 children. See attachments for specifications and design. While I was looking at the playground equipment, I also decided to include a ten station fitness course to be located along the asphalt trail across from the tot lot and the all-purpose field. As a dad, I realize the need to stay fit and healthy and I hope the homeowners will find this useful.

Sincerely,

A handwritten signature in black ink, appearing to read "Jay Epstein", with a large, stylized flourish extending from the end of the signature.

Jay Epstein  
President

Bricks

6" MIN. TYP.

ENTRANCE SIGN



96"

48"

This Artwork is From the Desk of Darrell G Davis  
dd.archbell@verizon.net  
cell # 650-2687

No part of this work may be copied or reproduced in any manner  
without written permission and remains the sole property of  
Archbell Signs.

Health E communities 5-04



1572 Juniper Street  
Norfolk, Va 23502  
Phone#757-853-2679  
Fax#757-857-7365

# TOTTLER

This bolt together system is easily installed and very affordable!

## Specifications:

1/2" High Density Polyethylene Sheets  
Thermo Coated Steel Decks  
Roto-Molded Plastics: Slides, Roof and Spinners  
Child Capacity 25-30  
Safety Zone: 30' x 30' Area  
Weight 1350 lbs (612.30 kgs)

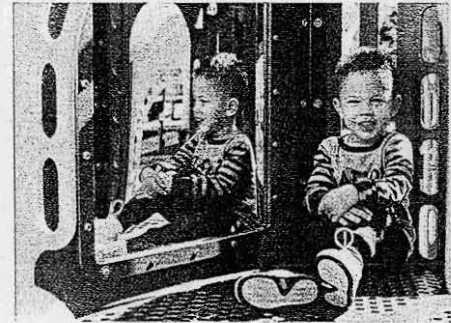
**Retail \$5,200.00**

Colors: Red, Blue, with Green Decks  
-or- Green and Tan with Green Decks

This is a Quick-Ship Item! Order Today!



Store Front Panel



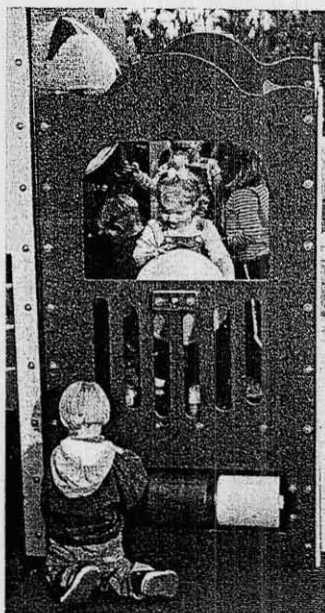
Mirror Panel



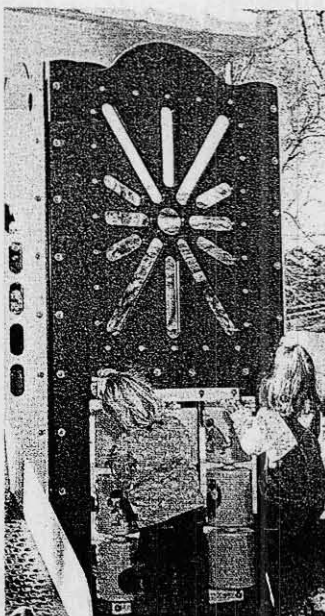




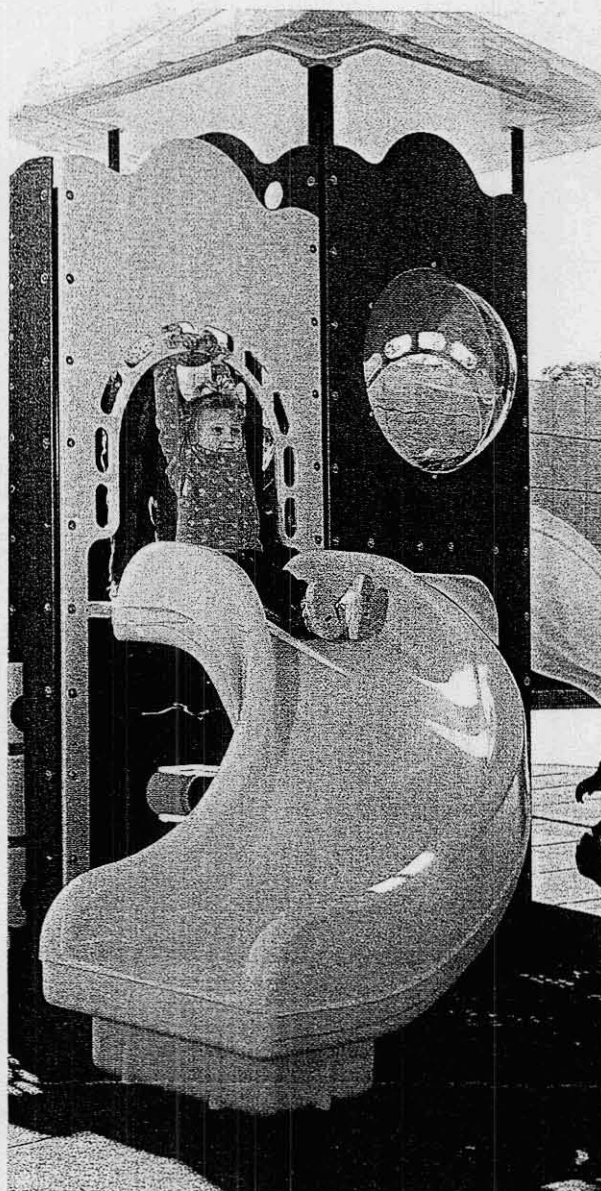
Shapes Panel



Driving/Sounds Panel



Mirror/Dino Spinner Panel



90° Curve Slide

### Components:

Driving/Sounds Panel

Stair Access Panel

Bubble/Shapes Panel

Rock Ramp Climber

Mirror/Dino Spinner Panel

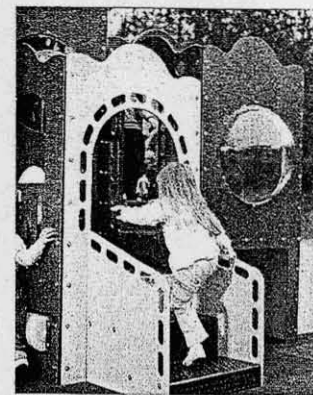
90° Curve Slide

Bubble/Storefront Panel

44" Wave Slide

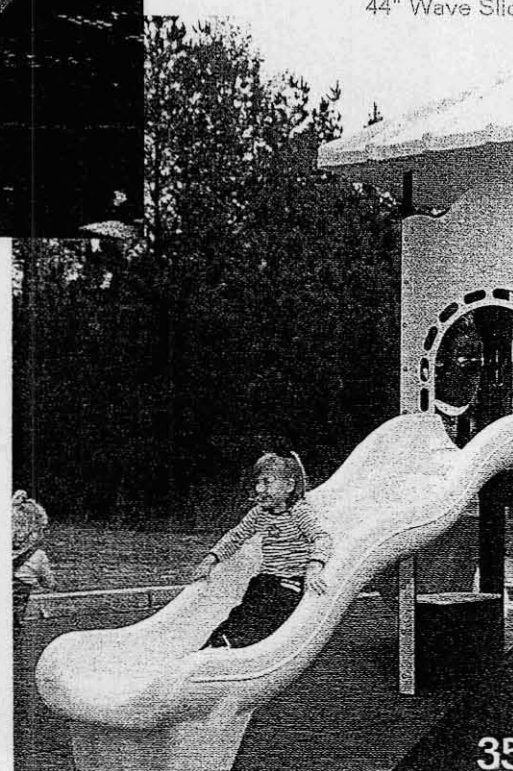


Rock Ramp Climber



Stair Access Panel and  
Bubble Panel

44" Wave Slide



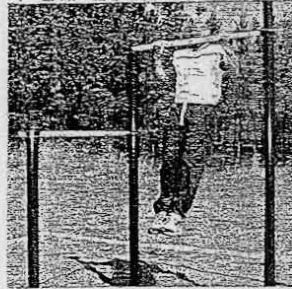


## FITNESS COURSE

Spring Up Bars



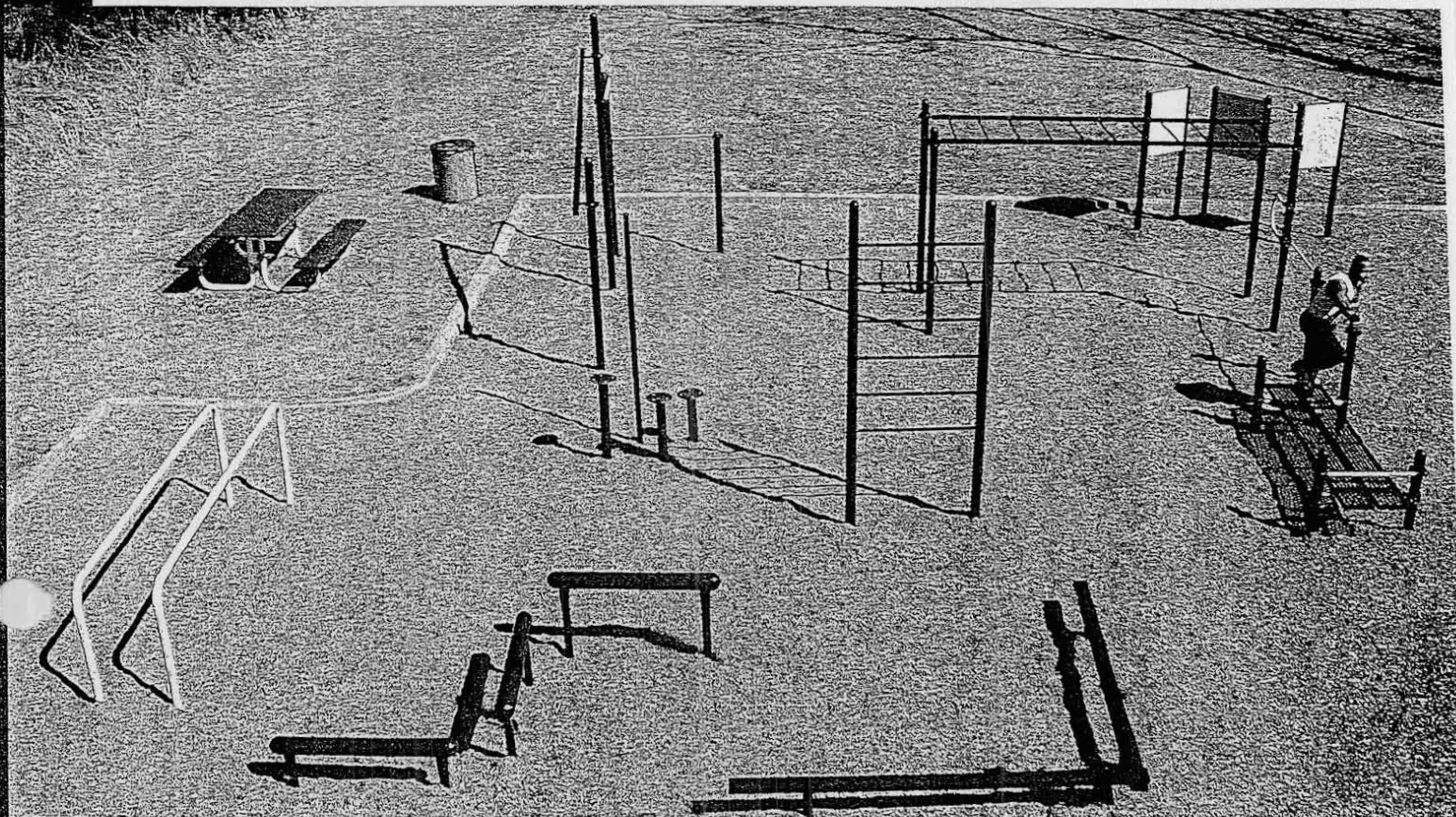
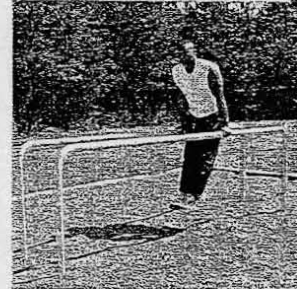
Pull/Chin Up Bars



Horizontal Ladder



Parallel Bars



Balance Beams



Stretching Post



Sit-up Bench



Jump Touch Beam

Description	Item Number	Weight	Retail
10 Station Course	60019400	1650 lbs(748.4 kg)	
Parallel Bars	60019401	150 lbs(68.0 kg)	
Vertical Ladder	60019402	150 lbs(68.0 kg)	
Pull/Chin Up Bars	60019403	215 lbs(97.5 kg)	
Stretching Post	60019404	80 lbs(36.3 kg)	
Beam Run	60019405	325 lbs(147.4 kg)	

Description	Item Number	Weight	Retail
Jump Touch Beam	60019406	185 lbs(83.9 kg)	
Sit-up Bench	60019407	90 lbs(40.8 kg)	
Balance Beams	60019408	105 lbs(47.6 kg)	
Horizontal Ladder	60019409	390 lbs(176.9 kg)	
Spring Up Bars	60019410	140 lbs(63.5 kg)	

The fitness course is designed to provide levels of challenge for both older children and adults. It includes signage that explains the various events and gives suggestions for physical programs and warm-up/cool-down routines. The events can be laid out as shown, along a pathway, or reconfigured to fit your area. The same high quality materials used in Playland's playground equipment is used to build the fitness course - providing the same strength and durability! (Green/Tan color only) Three panel sign package included with 10 station course.

**SUMMARY FACTS**

**Applicant:** Jason Grimes

**Landowner:** Norge Neighborhood LLC  
John E. Dodson of Williamsburg Dodge

**Proposal:** Construct 80 multi-family units in 20 buildings

**Location:** 7101, 7145 and 7147 Richmond Road, 126 Rondane Place  
75 Nina Lane

**Tax Map/Parcel No.:** (23-2) (1-50), (1-50C), (1-49), (1-51) and (24-1)(1-8)

**Primary Service Area:** Inside

**Parcel Size:** 21.03 acres (total)

**Existing Zoning:** MU with proffers and B-1

**Comprehensive Plan:** Low Density Residential

**Reason  
for DRC Review:** Multi-family unit development of more than 50 units.

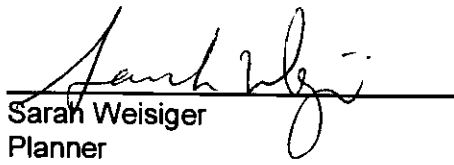
**Staff Contact:** Sarah Weisiger, Planner Phone: 253-6685

***STAFF RECOMMENDATION:***

Staff does not recommend preliminary approval at this time because the applicant does not show that proffered conditions can be satisfied with the submitted layout design. Proffer #9 requires that special environmental protections including a conservation easement be established as shown on the master plan. The applicant has not labeled this area on the master plan and appears to have developed part of the conservation area near Building # 14.

The applicant has requested two waivers to the perimeter setbacks. One request concerns a 35' setback along the entrance road to the south next to Williamsburg Dodge. Staff believes that this has already been granted at the time of Planning Commission consideration of the rezoning. The other perimeter setback reduction request is for the north side of the entrance road. Staff supports this request. The applicant has several proffers related to the commercial entrance from the entrance road. An easement allowing construction of the commercial entrance will need to be submitted and approved prior to final site plan approval.

Due to the above concerns and those of the Environmental Division in the attached agency comments, staff does not recommend preliminary approval at this time.

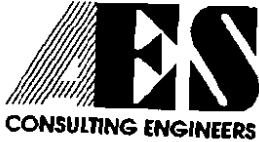


Sarah Weisiger  
Planner

Attachments:

1. Setback reduction waiver request letter, dated April 28, 2004.
2. Agency comments





5248 Olde Towne Road • Suite 1 • Williamsburg, Virginia 23188  
(757) 253-0040 • Fax (757) 220-8994 • E-mail [aes@aesva.com](mailto:aes@aesva.com)

April 28, 2004

Mr. O. Marvin Sowers Jr.  
Planning Director  
James City County Development Management  
101-E Mounts Bay Road  
P.O. Box 8784  
Williamsburg, Virginia 23187-8784

**RE: Request for Internal Setback Modification  
Norge Neighborhood Site  
AES Project No. 9286-01**

Dear Mr. Sowers:

The staff of AES Consulting Engineers has submitted a site plan for a significant part of the Norge Neighborhood Project. This site plan portrays the design of the multi-family portion of the project. The single-family and commercial uses of the project are still largely unidentified.

During the development of the Rezoning and Master Plan of this project, there were conversations with the James City County Planning Staff on the reduction of the setback requirements, as is permitted by Section 24-527, paragraph (d) of the James City County Zoning Ordinance. This letter serves as formal requests for modification of these setback requirements.

#### Perimeter Setbacks

Section 24-527 (b) states, "For commercial, industrial, office, residential and mixed uses a setback of 50 feet shall be maintained from the perimeter of a mixed use district. The setback shall be left in its natural undisturbed state and/or planted with additional or new landscape trees, shrubs and other vegetative cover such that the setback serves to minimize the visual intrusion and other negative impacts of new development or redevelopment on adjacent development." For this section of the James City County Code, this request is for several areas for reductions of the perimeter buffer.

For the Norge Neighborhood condominiums, this reduction request suggests: The perimeter setback be reduced to 35' along the site's common property line of the existing Williamsburg Dodge dealership. Formerly an agricultural field, the area of the perimeter is vegetated with only short and tall grasses, and does not currently present a natural setting. The shape of the property, the properly defined boundaries of this and surrounding parcels, and the impact of the full-width 50-foot setback, would also impose an access hardship (through sub-paragraph (f)).

A modification in the width of the perimeter setback along the site common property line with the existing Williamsburg Dodge dealership would allow access, enhancements, and enlargement of the "quasi-regional" stormwater management facility located on the Williamsburg Dodge property. Granting of this reduction request, additionally, will allow for greater open area on the Norge Neighborhood Project Site by condensing the development area through the reduction in size of a centrally located stormwater management facility

In addition we request the buffer be reduced to 35' along the project property adjacent to the Williamsburg Dodge property, zoned B-1, on the southern boundary of the property. We feel that the proposed development will not be detrimental to an auto dealership. A 35-foot transitional screening per Section 24-99, paragraph (d), sub-paragraph (4), item a., is proposed for this to enhance adjacent use buffering.

### Internal Setbacks

Paragraph 24-527, paragraph (c), sub-paragraph (3), suggests that internal setback modifications could be approved "due to unusual size, topography, shape or location of the property, or other unusual conditions,...). The Norge Neighborhood condominium area meets the criteria of this sub-paragraph. The site of the condominium portion of this project definitely has an unusual shape, similar to a "flag lot" found in some residential communities. And the current adjacent land uses are mixed with residential and commercial uses irregularly surrounding the project site.

For the Norge Neighborhood condominiums, for the internal setback modification, it is suggested that:

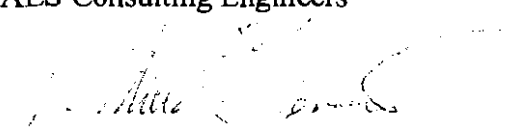
The perimeter internal setback be reduced to 15' along the common proposed property line of the Norge Neighborhood condominium area with the commercial portion of this project. This reduction request is made to allow an appropriate access to the condominium area, which could be jointly used, if desired, by the commercial property of this project.

The suggested reductions are similar in scope to the reduction requests recommended during the rezoning and master planning process for this project. The suggestions and requests outlined above are a little more specific resulting from the refinement of designs, and enhancements in topographic and boundary knowledge of the project.

Thank you for your consideration of this Request for Modification. Should there be any questions regarding this request, please feel free to contact me at your earliest convenience.

Sincerely,

AES Consulting Engineers



V. Marc Bennett, P.E.  
Senior Project Manager

Agency comments  
for  
SP-59-04. Norge Neighborhood Site Plan

---

Planning:

1. Please provide an overall layout plan for this project. Please label and show at a minimum the following information: location of mailbox areas, gazebo, setbacks, proposed property lines, sidewalks, streets, RPA, and area of conservation easement.
2. On the cover sheet, please give proposed acreage/square feet for each of the multi-family, single family, and office/commercial areas.
3. On the cover sheet, please provide the maximum height of buildings to be constructed.
4. Please include owner information and at tax map/parcel# on the cover sheet regarding the Williamsburg Dodge property.
5. On the cover sheet, please include legal addresses and tax map/parcel #s of all parcels included in site plan.
6. If the applicant is only seeking approval for the condominium units with this site plan, please make a note on the cover sheet stating this.
7. In the Zoning site data, the Case No. should read Z, not 2, -08-03.
8. Street names should be given prior to final site plan approval.
9. Will any septic systems or drainage fields be abandoned under this site plan? If so, please show their location.
10. The note on sheet #2 in the "Environmental Inventory Impacts" section concerning the RPA buffer is not correct. Please show the RPA buffer area on all drawings.
11. Prior to site plan approval, a subdivision plat must be approved.
12. Have proffers for this rezoning been recorded with the Courthouse?
13. Per Proffer #4 concerning sewer service, please provide in narrative form a brief explanation of how this proffer will be satisfied.
14. The construction of streets shall be guaranteed by appropriate surety required prior to final site plan approval.
15. Prior to final site plan approval, cash contributions for Community Impacts (Proffer #5) and Private Streets maintenance fund (Proffer #13) must be paid.
16. Please provide a note on sheet L-I indicating that streetscape improvements for the pedestrian/emergency access path and shared driveway are shown on sheet #20.
17. Drawing #8 has a note next to 12' wide emergency access "see detail this sheet". Is this located on drawing #20?
18. Per Proffer #8, please provide a Phase 1 archaeological study for review and approval prior to land disturbance. Please allow enough time for review by state agencies. This review can take more than 4 weeks.
19. Per Proffer #9, please show area of conservation easement and be aware that the conservation easement will need to be submitted and approved prior to

- final site plan approval. The graded areas next to buildings 14 and 15 appear to extend into the proposed conservation area.
20. Also, per Proffer #9(b), please provide in narrative form a brief explanation of how this part of the proffer will be satisfied.
  21. Per Proffer #11, sidewalks must be located in locations as shown on the master plan. The master plan has a sidewalk on each side of the entrance road, but this site plan only shows a sidewalk on the north side of the entrance road,
  22. Proffer #12 states that the multi-use path connecting the Neighborhood and Nina Lane shall be on property owned and maintained by the Condo Association. The plan drawings suggest that the T-area between adjoining properties is part of the public right of way which is not in accordance with the proffers. Please clearly label that this area shall be owned and maintained by the Condominium association.
  23. How will non-emergency vehicles be prevented from using the multi-use path noted above?
  24. Per Proffer #16, will there be any building mounted external lights? If so, these lights and lighting plan must be shown on the site plan in accordance with this proffer and approved by the Planning Director. If no building mounted external lights are proposed, please state this on the plan, preferably on drawing L-1.
  25. Building #19 is incorrectly labeled on drawing L-3.
  26. The 35' setback area behind building 19 has been partially cleared. This area should remain in a natural undisturbed state per Zoning Ordinance Sec. 24-527(b).
  27. The proposed lighting fixture does not appear to meet the specific design criteria for parking lot lighting in the Zoning Ordinance, see Section 24-57(c)(3). Parking lot lights must be mounted on light poles horizontally and shall be recessed so that no lens extends below the casing. The areas of parallel parking do not require specific lighting fixtures. Also, the street lights shown on drawing L-5 may be used in places other than parking lot areas.
  28. The plat which has been submitted under a separate case number (S-49-04) does not indicate that condominiums are proposed, but otherwise contains very similar boundaries. Please briefly explain the purpose of the proposed subdivision and how it is related to this site plan.
  29. Please provide a note on the cover stating that the Planning Commission granted a waiver to permit a reduction in parking requirements at their meeting on January 12, 2004, allowing a minimum of 2.0 parking spaces per unit in the multi-family area.
  30. The entrance road is to provide an entrance to the commercial parcel. Please show (with a dashed line) the area of the future location of the entrance into the commercial parcel on all drawings. Proffers #10, 7 and 2 each describe some of the aspects of this commercial entrance. The final plat will need to show an easement in the area of the commercial entrance along the project entrance road which will allow for use and any construction or reconstruction of the entrance.

County Engineer:

Drawing 16;

1. Roadways and parking areas must meet JCC private street requirements.
2. Add design and construction requirements.
3. Include third party testing and certification of all backfill compaction in all trenches etc located under any pavement area.

Virginia Department of Transportation:

1. See attached letter dated May 17, 2004.

James City Service Authority:

1. See attached memo dated May 27, 2004.

Fire Department:

1. Add hydrant at both ends of "Loop road" in area of "T. turnaround".
2. Increase 4" fire main to 8" fire main to service additional hydrants.

Health Department:

1. No comments.

Environmental Comments:

Full comments will be forwarded when they are made available.

The Division does NOT recommend granting preliminary approval for Norge Neighborhood for the June 2<sup>nd</sup> DRC meeting. Our basis is as follows:

1. Conservation areas were not indicated on the plans. Proffer 9 indicated that Conservation Area boundaries would be shown on plans/plats. It is difficult to determine the extent of environmental impacts without knowing the extent of proposed conservation areas.
2. There is some conflict on Environmental Inventory for the site. Notes seem to indicate that the site is grandfathered, which we do not believe is the case due to the date of rezoning; however, the Inventory shows 100 ft. RPA "extended buffer". There are several intrusions into the RPA buffer, most serious of which is an extensive fill slope south of Unit 14.
3. Proffer 9B had stated that in order to achieve superior environmental protection, the applicant would utilize some *Combination* of the following: 1) onsite infiltration/recharge BMPs; 2) upgrading and using the existing BMP on the Williamsburg Dodge site; and 3) saving existing onsite HSG A&B soils. Based on our review of the project so far only one of these features were utilized, not a combination. There is no serious attempt, from what we see, to save HSG A&B soils or alternatively incorporate infiltration/recharge BMPs into the site design plan. As a matter of fact there may be an opposite approach, a traditional (conventional) design which is using concrete-lined ditches and traditional inlet/piping systems for drainage.



# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

4451 IRONBOUND ROAD  
WILLIAMSBURG, VA 23188

**PHILIP SHUCET**  
COMMISSIONER

**STEVEN W. HICKS**  
RESIDENT ENGINEER  
TEL (757) 253-4832  
FAX (757) 253-5148

May 17, 2004

Sarah Weisiger  
James City County Planning  
Post Office Box 8784  
Williamsburg, Virginia 23187

Ref: Norge Neighborhood  
SP-059-04  
Richmond Road (Route 60), James City County

Dear Ms. Weisiger:

We have completed our review of the above mentioned development plan and offer the following comments:

- 1) Stop sign must be in accordance with Standard MUTCD R1-1 (30" x 30").
- 2) A note should be added to the plans stating that the all roads are private and will remain private.
- 3) Per 2003 "VDOT Minimum Standards For Entrances To State Highways", minimum site distance for this entrance must be 530'.
- 4) Provide posted speed limit on plans.
- 5) Stop sign and stop should be reviewed in the field during construction to ensure proper placement.
- 6) Dedicate sufficient Right of Way for Right Turn Lane Taper.
- 7) Provide note on the plans stating, "VDOT does not assume responsibility for maintenance of the sidewalk, and shall be saved harmless from any damages".
- 8) Any portion of sidewalk constructed within VDOT right of way must conform to VDOT Standards and Specifications.

Norge Neighborhood

May 17, 2004

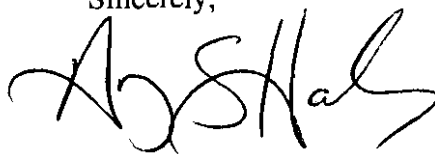
Page Two

- 9) To the extent possible all roadway drainage must be collected within storm sewer system before it leaves the VDOT Right of Way.
- 10) The entrance should be constructed so that runoff is conveyed across the entrance and not into the site.
- 11) Standard VDOT CG-11 entrance, with optional flow line, or other appropriate standard VDOT commercial entrance will be required. Provide detail on plans.
- 12) Provide adequate drainage easement for concentrated runoff leaving VDOT Right of Way, if such does not already exist. If easement is necessary, it should be dedicated to the county or other appropriate entity, and not VDOT.
- 13) Relocated power pole at entrance must be located outside of the clear zone. This can be accomplished by locating the power pole behind the proposed sidewalk.
- 14) Proposed manhole structure located within the pavement must have a "Standard Manhole Frame and Cover B", in order to accommodate vehicular traffic loads.
- 15) Provide posted speed limit on plans.

When the above comments have been addressed, please submit two sets of revised plans to this office for further review. Also, attach a letter noting what action was taken to correct the above comments and any revisions that may impact the right-of-way.

Should you have any questions please contact me at 253-4832.

Sincerely,

A handwritten signature in black ink, appearing to read 'A. L. Handy', with a stylized flourish at the end.

Anthony L. Handy, PE, LS  
Assistant Resident Engineer



## MEMORANDUM



Date: May 27, 2004

To: Sarah Weisiger, Planner

From: Timothy O. Fortune, P.E. - Civil Engineer

Subject: SP-059-04, Norge Neighborhood (Construction Plans)

James City Service Authority has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and have the following comments for the above project you forwarded on April 19, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plans and calculations. It is the responsibility of the engineer or surveyor to ensure the plans and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve these plans for general compliance with the JCSA Standards and Specifications, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

### General Comments:

1. It is JCSA's understanding that the proposed Regional Lift Station 9-9 and its associated cross country gravity sanitary sewer lines will be constructed. Should for any reason this not occur, the Applicant will be required to perform a detailed analysis of the existing Lift Station 6-5 accounting for flows already reserved by the Colonial Heritage project.
2. Per the proffers, the Applicant shall be responsible for developing water conservation standards to be submitted to and approved by the James City Service Authority. The applicant shall be responsible for enforcing these standards. The standards shall address such water conservation measures as limitations on the installation and use of approved landscaping design and materials to promote water conservation and minimize the use of public water resources. The James City Service Authority shall approve the standards prior to final approval. Should the Applicant have any questions or require additional information regarding water conservation standards or guidelines for new developments, please contact Mrs. Beth Davis, Environmental Education Coordinator, at (757) 253-6859.
3. Show and label the deed book and/or the plat book reference for all existing JCSA easements noted on the plans.



4. The proposed fire hydrant locations shall be approved by the James City County Fire Department.
5. Provide street names. Designations such as "Loop Road", etc are unacceptable.
6. Revise all proposed JCSA easement labeling to read "*(width) JCSA Utility Easement*".
7. JCSA's review of these plans involves only those facilities being dedicated to JCSA and impacts to existing JCSA infrastructure.
8. Clearly describe on the plan the connection requirements to the existing sanitary sewer manholes (i.e. kor-n-seal boot with invert reshaped).
9. Graphically show and label all air release valves on both the plan and profile.

Sheet 1:

1. Revise General Note #14 to read as follows: "Any existing unused wells shall be abandoned in accordance with State Private Well Regulations and James City County Code."
2. Owner Information: Provide a contact name.

Sheet 5:

1. It appears that a sanitary sewer easement will be required between the N/F John E. Dodson property and the sanitary sewer to MH# 2-1. Verify and revise accordingly.

Sheet 6:

1. Clearly label the proposed water meter vault easement dimensions.
2. Show proposed grading/contouring as part of the utility plans.
3. Relocate drop inlet structures SS #2-2 and SS #3-3 to provide a minimum horizontal clearance of 5 feet with the existing sanitary sewer line.
4. Revise label for the tapping sleeve and valve to read "16"x10"".
5. It appears the existing sanitary sewer manholes located within the "Entrance Road" and just east of "Small Loop" road may need to be adjusted to grade. If so, provide detailed notes on the plan describing how this will be accomplished.
6. The concrete ditch alignment near the BMP shall be relocated outside the existing JCSA easement. Associated grading to permit positive drainage shall be shown on the plan accordingly.
7. Per JCSA standards Section 2.22, BMP's shall not be constructed within existing JCSA easements. Revise the plan accordingly to comply.

8. EX San MH: The description provided (i.e. rim, invert, etc) contradicts the survey data provided on the plan. Verify and revise accordingly.
9. Show and label a thrust block at the proposed 16x10 wet tap.
10. The Applicant shall provide test pit data of the existing 16-inch waterline where the proposed storm sewer segment SS #4-5 to SS #4-4 crosses. A minimum vertical clearance of 18-inches shall be provided between the existing waterline and storm sewer crossing.
11. The Applicant shall acknowledge that JCSA will not be responsible for the proposed berm within JCSA's existing easement east of Building # 1 should maintenance be required in the future. It is recommended that grading be revised to minimize placement of fill in this area.

Sheet 8:

1. Provide water service connections to Building #11.
2. Provide matchlines for consistency among the plans.
3. "Loop Road" Sta 15+91 (+/-): It is recommended that the proposed fire hydrant be relocated outside of the proposed emergency access drive.

Sheet 13:

1. The design engineer shall verify the labeling of pipe sizes for that portion of waterline to be dedicated to JCSA. Sizes and layout appears to contradict the plan. Verify and revise accordingly.
2. Sta 14+50 (+/-): The existing sanitary sewer crossing graphical representation appears to contradict the survey data provided on Sheet 6. It appears the sanitary sewer may actually conflict with the 12" waterline as designed. Verify and revise accordingly.
3. Sta 17+50 (+/-): Show and label an air release valve at this location.
4. General Comment: Sanitary sewer manhole labeling contradicts the plan. Verify and revise accordingly.

Sheet 14:

1. Pipe slope shown for sanitary sewer segment San MH #1-3 to #1-2 contradicts the plan. Verify and revise accordingly.

Sheet 15:

1. Small Loop Road:
  - a. Sta 10+54 (+/-): Show and label the existing sanitary sewer line crossing.
  - b. Show the proposed concrete ditch which discharges to the BMP. Refer to Sheet 6 Comment 6 above.
  - c. Data listed for the existing sanitary sewer manhole contradicts the survey data provided on the plan. Verify and revise accordingly.

2. San MH #1-2 to Existing MH:
  - a. Provide a profile title for reference.
  - b. Pipe slopes shown contradict the plan. Verify and revise accordingly.
  - c. The design engineer shall provide calculations which substantiate that a velocity of 15 ft/sec will not be exceeded in the sanitary sewer line. Refer to JCSA standards Section 2.15 for requirements.

Sheet 18:

1. Meter and Detector Check Vault General Notes:
  - a. Revise note 7 to read as follows: "Interior concrete walls and ceilings shall be painted a TNEMEC Company, Inc., paint system as listed in the table below. The exterior concrete walls shall be painted with a water proofing coating system".
  - b. Revise note 10 to read as follows: "Interior metals, piping, valves, meters, etc., shall be painted with TNEMEC Company, Inc., paint system as listed in the table below". Interior ladder and hatch are excluded from being painted if hatch and ladder are constructed from stainless steel and/or aluminum.
2. Revise the paint schedule table as follows:
  - a. Remove "Interior Building" from the surface column. Add a comma after metal.
  - b. Add concrete floor shall be sealed and hardened using Ashford Formula as manufactured by Curecrete or JCSA approved equal.
  - c. Revise the table to include the following:

Surface	Preparation	Generic	Coats	Name	DFT	Color
Interior Walls and Ceiling	Brush Blast	Waterborne Acrylic Epoxy	Prime Fill Voids Finish	TNEMEC		
				Series 113	3-5	Warm Sun
				130-6603 PC Series 113	- 3-5	- White

3. Concrete Water Meter Vault Detail:
  - a. Label size of the Neptune HP Protectus III.
  - b. Revise water meter vault width dimensions to reflect 3 feet clearance from the concrete wall to the bypass meter. Likewise, provide 2 feet of clearance between the concrete wall and the Neptune III Protectus Strainer.
  - c. Provide the width dimension of the Protectus III meter on the detail.
  - d. Add a note stating that all pipe penetrations into the vault require wall sleeves and link seals.
  - e. Label the fasteners for connecting the Protectus III apparatus to the piping as stainless steel bolts and nuts.
  - f. Label all pipe sizes.
  - g. Label joints exterior to the vault to be restrained.
  - h. Label, describe and dimension the proposed vault ladder. Ladder shall be aluminum. All fastener connections for the ladder shall be aluminum or stainless steel.
4. The Detector Check Vault assembly shown is not applicable for this situation. The design engineer shall provide a RPZ within a vault to meet backflow prevention requirements. The Applicant is requested to refer to the

Sheet L-2 & L-3:

1. Show and label all existing and proposed JCSA easements.

Water Data Sheet:

1. Section 6: Include the bypass piping as part of the total pipe length.
2. Section 7: In parenthesis, indicate the size of the water meter required based solely on domestic demand. Provide calculations substantiating size. This meter size will be used for billing purposes in establishing the total connection fees for the Applicant.

Sanitary Sewer Data Sheet:

1. Section 5b thru 5e: Revise demand shown to reflect 250 GPM/DU per JCSA standards Table 2.1
2. Section 6: Verify the average manhole depth shown (appears to contradict plan data). Revise accordingly.

Hydraulic Analysis:

1. Summary Table:
  - a. Elevation Column: Data provided does not reflect plan grading nor the model input data. Verify and revise accordingly.
  - b. Average Demand Column: Flows appear to be based on a factor of 225 GPM/D.U. This does not meet the requirements of JCSA standards Table 2.1. Verify and revise accordingly.
  - c. Irrigation Demand Column: Demands listed do not correlate to the executive summary provided with the report. Verify and revise accordingly.
2. A C-factor of 130 is the maximum allowed by JCSA. Revise model accordingly.
3. Indicate subdivision street names on the node/junction map for reference.
4. The elevations listed for nodes J-7 and J-9 contradict the plan. Verify and revise accordingly.
5. Verify the pipe lengths shown as they appear to contradict the plan.
6. Average Day Scenario: The demands listed in the model are not consistent to this project. Verify and revise accordingly.
7. Provide a Max Day + Fire Analysis.
8. A more detailed review of the Hydraulic Analysis will be performed once the above issues have been addressed.

Please call me at 253-6836 if you have any questions or require any additional information.

**SUMMARY FACTS**

**Applicant:** Kenneth Jenkins of LandTech Resources, Inc.

**Landowner:** Andy Piplico of C D & A, Inc.

**Proposal:** To construct a road within an existing right-of-way.

**Location:** Braddock Court between and behind 112 Braddock Road and 1 Braddock Court (also known as 110 Braddock Road).

**Tax Map/Parcel Nos.:** Road will provide access to Parcel Nos. (7-82) which has an existing residence, and (7-83), (7-84), (7-85) and (7-86) on JCC Tax Map (47-2)

**Primary Service Area:** Inside

**Site Area:** 2.337 acres

**Existing Zoning:** R-1, Limited Residential

**Comprehensive Plan:** Low Density Residential

**Reason for DRC Review:** Unresolved problems between the applicant and adjacent property owners

**Staff Contact:** Sarah Weisiger, Planner      Phone: 253-6685

**NOTE:** On the cover sheet of the drawings attached to this report, the title of the plan contains the word "Subdivision"; this is not a subdivision. Staff has asked that the title be changed as part of agency comments.

**STAFF RECOMMENDATION:**

Staff has reviewed the site plan and recommends preliminary approval of the plan subject to agency comments.

The applicant in this case has submitted a site plan to construct a cul-de-sac road in an existing right-of-way currently owned by the County. The proposed road, Braddock Court, would be publicly owned and maintained by the Virginia Department of Transportation. The right-of-way and four lots were created in 1968 on a plat approved for the Druid Hills Subdivision. The cul-de-sac road will provide access to four unimproved lots noted above, and also to an existing residence on the corner at 110 Braddock Road.

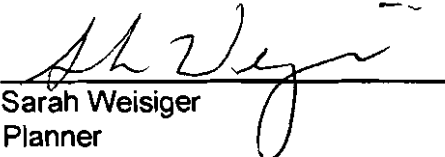
A site plan of this kind is typically considered under administrative review only, however, staff has brought the case to the DRC because of concerns by adjacent property owners about the

development of the property and road. While no written complaints have been received at the time of this report, the two main concerns expressed by area residents are with the lack of curb and gutter construction proposed for the road and on environmental issues related to the road and future construction of houses on the vacant lots.

In 1968, when this part of Druid Hills Subdivision was approved, curb and gutter construction was not required by the James City County's Subdivision Ordinance. The developers of the subdivision subsequently chose curb and gutter construction, but this was not required. As no subdivision is being proposed with this site plan, public streets such as this one must be constructed to standards required by the Virginia Department of Transportation. In this case, VDOT has determined that the proposed construction of an 18-foot wide road (plus larger radius cul-de-sac) with open ditches is satisfactory. Also, the County's Environmental Director believes that drainage and stormwater impacts are better in this case with an open ditch system and reduced street width.

Adjacent property owners are also concerned about runoff and the impact of construction on the creek and surrounding property. The lots in the cul-de-sac were approved and recorded prior to the 1990 adoption of the Chesapeake Bay Preservation Ordinance. Therefore, the project is exempt for the requirements of that Ordinance. However, the project is subject to the requirements of the Erosion and Sediment Control Ordinance, and issues related to runoff and the impacts of construction have been addressed through the provisions of that Ordinance. The Environmental Division has reviewed the plan and recommends preliminary approval of the site plan subject to agency comments attached to this report.

Staff has reviewed the site plan and recommends that the DRC grant preliminary approval of the plan subject to agency comments.

  
Sarah Weisiger  
Planner

Attachments:

Agency comments  
Photo Map  
Site Plan - Drawings C1 and C2

Agency Review Comments  
for  
SP- 51-04 Druid Hills Section D

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Planning:

1. As stated in an earlier letter to you, this case will go before the Development Review Committee on June 2, 2004. The meeting will be held at 4PM in Building C at the County Government Complex.
2. Since this is no longer a subdivision plan, please change title of plan on all sheets. Please note new site plan number.
3. In reference to Environmental memorandum, General Comment #2, in place of "subdivision agreement" that should read "agreement".

County Engineer:

1. No comments.

Fire:

1. No comments.

Virginia Department of Transportation:

1. See attached memorandum dated April 29, 2004.

Environmental:

1. See attached memorandum dated May 12, 2004.

JCSA:

1. See attached memorandum dated May 7, 2004.

Agency Review Comments  
for  
SP- 51-04 Druid Hills Section D

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1. See attached memorandum dated April 29, 2004.

Environmental:

1. See attached memorandum dated May 12, 2004.

JCSA:

1. See attached memorandum dated May 7, 2004.





# COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION  
4451 IRONBOUND ROAD  
WILLIAMSBURG, VA 23188



STEVEN W. HICKS  
RESIDENT ENGINEER  
TEL (757) 253-4832  
FAX (757) 253-5148

PHILIP SHUCET  
COMMISSIONER

April 29, 2004

Sarah Weisiger  
James City County Planning  
Post Office Box 8784  
Williamsburg, Virginia 23187

Ref: Druid Hills Section D (Re-subdivision)  
SP-51-04  
Braddock Road (Route 732), James City County

Dear Ms. Weisiger:

We have completed our review of the above mentioned development plan and offer the following comments:

- 1) Stop sign will be required at entrance. Stop sign must be in accordance with Standard MUTCD R1-1 (30" x 30").
- 2) During construction the location of the stop sign should be reviewed. It may be necessary to adjust the location, to ensure proper placement.
- 3) Private entrances will require VDOT "Standard Private Entrance", PE-1. Provide PE-1 (std. 602.02) detail on plans.
- 4) All fire hydrants, light poles, power poles and other fixed objects must be placed behind the ditch line.
- 5) Provide description on plans for paved ditch, right of station 10+50.
- 6) Paved ditch left of station 12+00, should extend a minimum of 10' in each direction from the pipe inlet.
- 7) We recommend using Standard VDOT DI-12's instead of DI-5's.
- 8) Ditch side slopes should be minimum of 3:1.

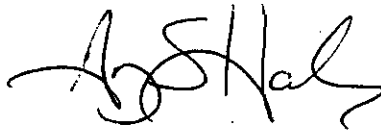
uid Hills Section D (Re-subdivision)  
April 29, 2004  
Page Two

- 9) Recommend roadway shoulder slope to be a minimum of 6:1.
- 10) Provide drainage calculations and drainage area map. Drainage calculations must be signed and stamped by Professional Engineer (PE).
- 11) Plans must be revised to note lighting as "Security Lighting" instead of "Street Lighting", unless the street lighting is redesigned to ANSI standards for such.

When the above comments have been addressed, please submit two sets of revised plans to this office for further review. Also, attach a letter noting what action was taken to correct the above comments and any revisions that may impact the right-of-way.

Should you have any questions please contact me at 253-4832.

Sincerely,

A handwritten signature in black ink, appearing to read 'A. L. Handy', with a stylized flourish at the end.

Anthony L. Handy, PE, LS  
Assistant Resident Engineer

*James City County Environmental Division  
Resubdivision of a portion of Druid Hills, Section D  
SP-51-04 (replaces S-07-04)  
May 12, 2004*



**General Comment:**

1. Wetlands. Provide evidence that any necessary wetlands permits have been obtained or are not necessary for this project. Refer to Chapter 23 Chesapeake Bay Preservation Ordinance, Section 23-9(b)(9) and 23-10(7)(d). A land disturbing permit cannot be issued until the Environmental Division has received evidence that the wetlands permitting issue has been addressed.
2. A Subdivision Agreement, with surety, shall be executed with the County prior to issuance of a land disturbing permit.

**Erosion & Sediment Control Plan:**

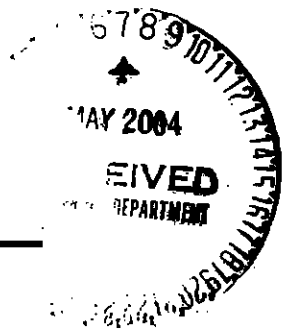
3. Outlet Protections. Provide dimensions for all outlet protection in accordance with VESCH standards and specifications. Include La, W, d<sub>50</sub>, and depth of apron. The information currently provided reflects rectangular aprons, which is not conformance to the VESCH Standard and Specification 3.18 for outlet protection.
4. Steep Slopes. Section 23-5 of the Chesapeake Bay Preservation Ordinance does not allow land-disturbing activities to be performed on slopes 25 percent or greater. It appears that there are minor steep slope areas impacted for the construction of the road. Therefore, a written request for an exception to disturb steep slopes must be submitted.

**Stormwater Management / Drainage:**

5. Drainage. The road has been changed from a curb and gutter system to an open ditch section to reduce street width and thereby reduce impervious cover. This is a positive change from an environmental viewpoint and is supported by the Environmental Division. It is possible that environmental impacts could be further reduced if roll top curb and gutter were provided in the cul-de-sac only. This would reduce the amount of fill material required and the associated wetland impacts. This has been allowed by VDOT on some County projects. The road side ditches would still be used along the street which would help reduce the water quality impacts for the project. It is recommended that VDOT be consulted regarding this matter and if this is determined to be a positive change, the plans would need to be revised as necessary.
6. Drainage. The previous comment 13 has not been fully addressed. While the roadside drainage system has been changed to an open ditch system, this does not eliminate the need for a pipe system to convey offsite drainage through lot 83. As there are over 4 acres of drainage going through the lot in close proximity to where the future house will be sited, the drainage should be piped through the lot rather than remain in an open ditch. This is likely to conflict with uses of the yard area and the flow velocities could possibly be erosive. The use of a pipe would allow the drainage easement to be located closer to the west property line freeing up more of the yard area from restrictions due to the presence of a drainage easement. The outlet of the system would be the roadside ditch.



## MEMORANDUM



Date: May 7, 2004

To: Sarah Weisiger, Planner

From: Timothy O. Fortune, P.E. *TF* Civil Engineer

Subject: S-007-04, Druid Hills Section D Subdivision (Construction Plans)

James City Service Authority has reviewed these plans for general compliance with the JCSA Standards and Specifications, Water Distribution and Sanitary Sewer Systems and have the following comments for the above project you forwarded on April 21, 2004. Quality control and back checking of the plans and calculations for discrepancies, errors, omissions, and conflicts is the sole responsibility of the professional engineer and/or surveyor who has signed, sealed, and dated the plans and calculations. It is the responsibility of the engineer or surveyor to ensure the plans and calculations comply with all governing regulations, standards, and specifications. Before the JCSA can approve these plans for general compliance with the JCSA Standards and Specifications, the following comments must be addressed. We may have additional comments when a revised plan incorporating these comments is submitted.

### Sheet C-2:

1. Based on the recorded sewer easements shown, a JCSA sewer easement shall be provided for the existing sewer main located north-south on Lot 86. Sewer width shall be 20' centered on the sewer main per JCSA standards Section 2.5. The sewer easement shown across Lot 87 shall be extinguished as part of the plat. The Applicant shall provide a plat showing these revisions prior to recordation of the plat and final approval of these plans.
2. Note 10: If a shared driveway is proposed, it is recommended that individual water meters be provided for Lots 85 and 86. Show and label the approximate limits for the shared driveway for coordination of water meter placement. Add the following note to the plan: "Water meters shall be installed a minimum of 18" from edge of driveways".
3. Instructions for Lowering Existing JCSA Manhole Rims: Add a note requiring the adjusted manhole to be vacuum tested in accordance with the JCSA standards.
4. Verify the cover provided over all proposed sanitary sewer laterals (i.e. Lot 86). As a minimum, cover shall meet Code requirements. Any sewer lateral with less than three feet of cover shall be ductile iron pipe and clearly labeled as such on the plan for each location. Verify and revise accordingly.

5. Clearly specify the limits of the existing sewer pipe bridge along Lot 86.
6. Note 1: The Applicant shall clarify with VDOT the requirement to provide "Standard Manhole Frame and Cover B" for structures within the pavement. This appears to include the sanitary sewer system which does not reflect JCSA requirements or standards. Verify if this is actually VDOT's intent and if so, contact JCSA to coordinate further discussion with the engineer and agencies involved.
7. Based on VDOT's requirement to have UB-1 pipe bedding for utilities, remove Note 4 from the plan requiring EW-1. It is suggested that the Applicant discuss this item with VDOT (similar to Comment 6 above) prior to revising.

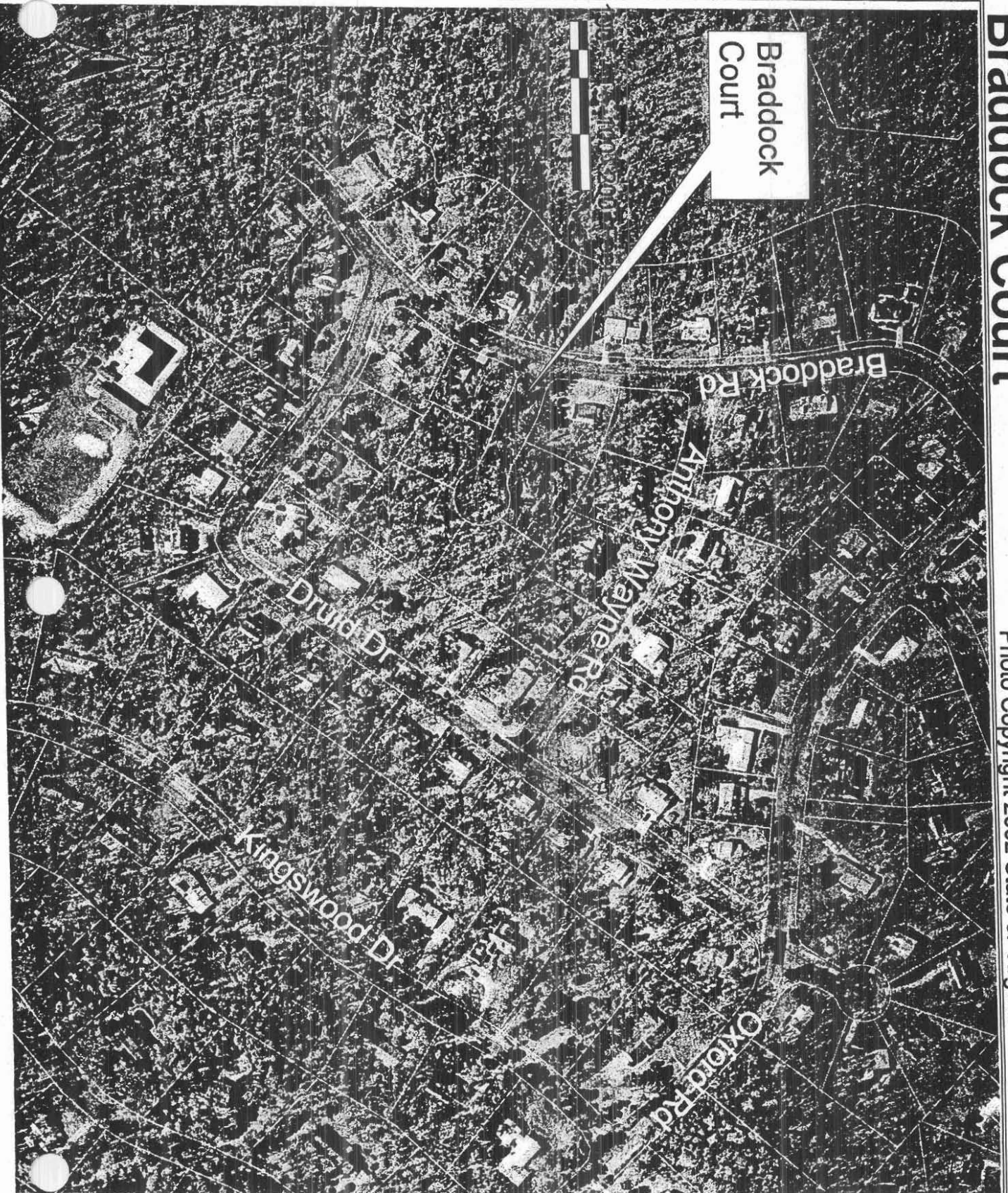
Water Data Sheet:

1. Section 6: Verify the pipe length shown as it appears to contradict the plan length of 255 lf. Revise accordingly.

Please call me at 253-6836 if you have any questions or require any additional information.

# Case No. SP-51-04. Druid Hills Section D Braddock Court

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**DEVELOPMENT REVIEW COMMITTEE ACTION REPORT**  
**Meeting of June 2, 2004**

**Case No. C-055-04**

**Mid-County Park, Trail Addition**

Mr. Paul Tubach of James City County Parks and Recreation submitted a conceptual plan proposing approximately 3500 linear feet of 10' multi-use trail at Mid-County Park. The property is further identified as 3793 Ironbound Road, or parcel (1-10) on James City County Tax Map (38-3). DRC Review is required by Virginia State Code, which states that no changes at a public facility shall be allowed unless the Planning Commission finds the changes "substantially" consistent with the adopted Comprehensive Plan.

**DRC Action:** The DRC unanimously recommended that the Planning Commission find the proposed multi-use trail around Mid County Park substantially consistent with the 2003 Comprehensive Plan.

**Case No. SP-057-04**

**Archaearium at Historic Jamestown**

Ms. Jane Jacobs of the Association for the Preservation of Virginia Antiquities (APVA) has submitted a site plan proposing off-site parking spaces to be shared with National Park Service visitors. The site is located on Jamestown Island and is further identified as parcel (1-1) on James City County Tax Map (54-2). DRC review is necessary to obtain permission for off-site parking.

**DRC Action:** The Archaearium at Historic Jamestowne. The DRC recommended approval of off-site parking for the Archaearium.

**Case No. SP-27-04**

**Greensprings Condominiums**

Mr. Ralph Simmons of Greensprings Plantation, Inc. submitted a site plan proposing 282 condominiums to be located on the Monticello Avenue extension between Centerville Road and Greensprings Plantation Drive. The parcel is further identified as parcel (1-6) on James City County Tax Map (37-3). DRC review is necessary for any site plan proposing fifty or more residential units.

**DRC Action:** The DRC recommended preliminary approval be issued for the site plan subject to agency comments being addressed.

**Case No. SP-018-04**

**New Town Block 8, Phase IB Residential**

Mr. Bob Cosby of AES Consulting Engineers, on behalf of Mr. Bob Ripley of GCR, submitted a site plan proposing sixty-six townhomes and four single family homes in Phase IB of New Town. The property is located at 5216 Monticello Avenue adjacent to Center Street and Casey Boulevard and is further identified as parcel (1-50) on James City County Tax Map (38-4). DRC review is necessary because the site plan propose more than fifty residential units. This case was deferred from the DRC's March 31 meeting.

**DRC Action:** The DRC voted unanimously to recommend preliminary approval be issued for this site plan subject to staff's recommendations detailed in the June 2<sup>nd</sup> staff report.

**Case No. S-038-04****Greensprings West, Phases 4B and 5**

Mr. Rick Smith of AES Consulting Engineers, on behalf of Lewis Waltrip of Jamestown Development, submitted a subdivision plan proposing 65 lots on 33.52 acres located at 4001 Centerville Road. The property is further identified as parcel (1-22) on James City County Tax Map (36-3). DRC review is necessary because the plan proposes a subdivision greater than fifty lots.

**DRC Action:** The DRC unanimously voted to recommend preliminary approval be issued subject to agency comments being addressed.

**Case No. S-037-04 / SP-056-04****Michelle Point**

Mr. Jay Epstien of Michelle Point LLC submitted subdivision and site plans proposing the creation of single-family and townhouse units in Michelle Point. The property is located at 9001 Barhamsville Road and is further identified as parcel (1-3) on James City County Tax Map (12-1). DRC review is necessary for the following reasons: That the proffers for this development state that there shall be a variable width, undisturbed buffer along Route 30 frontage subject to approval by the DRC; that the proffers also state that the owner shall provide recreational facilities subject to the approval of the DRC; and that the project proposes more than fifty residential units.

**DRC Action:** The DRC deferred action on the case.

**Case No. SP-59-04****Norge Neighborhood**

Mr. Jason Grimes of AES Consulting Engineers, on behalf of Norge Neighborhood LLC, submitted a site plan proposing 80 multi-family units to be located on 7101, 7145, and 7147 Richmond Road, 126 Rondane Place, and 75 Nina Lane. The parcels are further identified, respectively, as parcels (1-50), (1-50C), (1-49), and (1-51) on James City County Tax Map (23-2) and parcel (1-8) on Tax Map (24-1). DRC review is necessary for any site plan proposing fifty or more residential units.

**DRC Action:** The DRC deferred action on the case.

**Case No. SP-51-04****Druid Hills, Section D**

Mr. Kenneth Jenkins of LandTech Resources, on behalf of Andy Piplico of CD&A, submitted a site plan proposing the construction of a road within existing right-of-way in the Druid Hills subdivision. The road will provide access to parcels (7-83), (7-84), (7-85), and (7-86) on James City County Tax Map (47-2). DRC review is necessary due to unresolved problems between the applicant and adjacent property owners.

**DRC Action:** The DRC deferred action on the case.



**JAMES CITY COUNTY  
DEVELOPMENT REVIEW COMMITTEE REPORT**

**FROM: 5/1/2004**

**THROUGH: 5/31/2004**

**I. SITE PLANS**

**A. PENDING PRELIMINARY APPROVAL**

SP-087-01	The Vineyards, Ph. 3
SP-116-01	Powhatan Secondary - Ph. 7, Sanitary Sewer Ext.
SP-112-02	Ford's Colony Recreation Park
SP-035-03	Prime Outlets, Ph. 5-A & 5-B - SP Amend.
SP-045-03	Noah's Ark Vet Hospital SP Amend.
SP-052-03	Kingsmill Access Ramp for Pool Access Bldg.
SP-063-03	District Park Sports Complex Parking Lot Expansion
SP-079-03	Tequila Rose Walk-in Cooler
SP-082-03	Williamsburg Winery-Gabriel Archer Tavern
SP-086-03	Colonial Heritage Golf Course
SP-095-03	KTR Stonemart
SP-131-03	Colonial Heritage Ph. 2, Sec. 1
SP-132-03	Windy Hill Market Gas Pumps & Canopy SP Amend.
SP-145-03	Williamsburg National 13 Course Expansion
SP-001-04	Strawberry Plains Center
SP-006-04	Williamsburg Christian Retreat Center Amend.
SP-014-04	Action Park of Williamsburg Ride
SP-016-04	Richardson Office & Warehouse
SP-017-04	Settlement at Monticello - Community Club
SP-018-04	New Town - Block 8, Ph. 1B
SP-025-04	Carter's Cove Campground
SP-027-04	Greensprings Condominiums SP Amend.
SP-028-04	Shiloh Baptist of Croaker
SP-041-04	Ford's Colony - Country Club Redevelopment SP Amd.
SP-042-04	Dream Catchers Therapeutic Riding Center
SP-047-04	Villages at Westminster Drainage Improvements
SP-050-04	AJC Woodworks
SP-051-04	Druid Hills, Sec. D
SP-054-04	Milanville Kennels
SP-056-04	Michelle Point
SP-057-04	The Archaearium at Historic Jamestowne
SP-058-04	Dominion Power - Maintenance Building
SP-059-04	Norge Neighborhood
SP-060-04	New York Deli
SP-063-04	Merrimac Center Project Greenhouse
SP-064-04	Eckerd's at Powhatan Secondary
SP-065-04	Jamestown High School PTSA Sign

Wednesday, June 02, 2004

Page 1 of 4

SP-067-04      Treyburn Drive Courtesy Review  
 SP-068-04      Owens-Brockway - Concrete Slab

**B. PENDING FINAL APPROVAL**

**EXPIRE DATE**

SP-061-02	Powhatan Plantation Recreation Bldg Amd	6/18/2004
SP-009-03	Energy Services Group Metal Fabrication Shop	11/14/2004
SP-050-03	Wmbg-Jamestown Airport T-Hanger & Parking Exp.	7/29/2004
SP-056-03	Shell Building - James River Commerce Center	3/ 4/2005
SP-091-03	Colonial Heritage Ph. 1, Sec. 5	8/ 4/2004
SP-092-03	Ford's Colony - Westbury Park, Recreation Area #2	9/ 8/2004
SP-108-03	Fieldstone Parkway Extension	2/26/2005
SP-116-03	Kingsmill - Armistead Point	11/19/2004
SP-127-03	New Town - Old Point National Bank	3/26/2005
SP-134-03	Ironbound Center 4	12/15/2004
SP-136-03	GreenMount Industrial Park Road Extension	3/15/2005
SP-138-03	New Town - Prudential-McCardle Office Building	12/29/2004
SP-139-03	New Town - Block 8, Ph. 1	2/25/2005
SP-140-03	Pocahontas Square	3/ 1/2005
SP-141-03	Colonial Heritage - Ph. 2, Sec. 3	1/12/2005
SP-143-03	New Town - United Methodist Church	1/12/2005
SP-150-03	WindsorMeade Marketplace	2/ 3/2005
SP-003-04	WindsorMeade Villas	3/ 1/2005
SP-004-04	WindsorMeade - Windsor Hall	3/ 1/2005
SP-005-04	WindsorMeade - Villa Entrance & Sewer Const.	3/ 3/2005
SP-009-04	Colonial Heritage - Ph. 1, Sec. 3 & 3A	3/ 1/2005
SP-013-04	Gabriel Archer - Williamsburg Winery - Amend.	3/22/2005
SP-015-04	New Town - Sec. 4, Ph. 2 Infrastructure	4/ 5/2005
SP-023-04	Williamsburg Landing SP Amend.	4/ 2/2005
SP-045-04	Powhatan Co-Location Monopole Tower	4/29/2005
SP-046-04	Williamsburg Cancer Treatment Center SP Amend.	5/ 3/2005

**C. FINAL APPROVAL**

**DATE**

SP-130-03	Wythe-Will Distributing Company, LLC	5/ 7/2004
SP-021-04	New Town - Block 2, Parcel F Office Building	5/14/2004
SP-026-04	New Town - Block 2, Parcel E, Office Building	5/17/2004
SP-029-04	HRSD Wmbg. Plant Electrical Shop Addition	5/ 4/2004
SP-030-04	JCC Communications Tower - Regional Jail	5/10/2004
SP-031-04	JCC Communications Tower - JCC Landfill	5/20/2004
SP-032-04	JCC Communications Tower - Hankins	5/10/2004
SP-036-04	D.J. Montague ES Trailer Addition	5/14/2004
SP-055-04	Busch Gardens - Stroller Rental Deck Expansion	5/ 3/2004
SP-061-04	Unitarian Universalists Landscape Amend.	5/21/2004
SP-062-04	Miller's Greenhouse at Basketville	5/24/2004

**D. EXPIRED**

**EXPIRE DATE**

Wednesday, June 02, 2004

Page 2 of 4

## II. SUBDIVISION PLANS

### A. PENDING PRELIMINARY APPROVAL

S-104-98	Skiffes Creek Indus. Park, VA Trusses, Lots 1,2,4
S-013-99	JCSA Mission Bank ROW Acquisition
S-074-99	Longhill Station, Sec. 2B
S-110-99	George White & City of Newport News BLA
S-091-00	Greensprings West, Plat of Subdv Parcel A&B
S-032-01	Subdivision and BLE Plat of New Town Associates LLC
S-008-02	James F. & Celia Ann Cowles Subdivision
S-086-02	The Vineyards, Ph. 3, Lots 1, 5-9, 52 BLA
S-058-03	Ford's Colony - Sec. 10, 171-172
S-062-03	Hicks Island - Hazelwood Subdivision
S-066-03	Stonehouse, BLA & BLE Parcel B1 and Lot 1, Sec. 1A
S-067-03	Ford's Colony Sec. 33, Lots 1-49
S-083-03	Columbia Drive Subdivision
S-094-03	Brandon Woods Parkway ROW
S-100-03	Colonial Heritage Ph. 2, Sec. 1
S-101-03	Ford's Colony - Sec. 35
S-107-03	Stonehouse Conservation Easement Extinguishment
S-108-03	Leighton-Herrmann Family Subdivision
S-115-03	Eagle Tree Farm Lot 12
S-116-03	Stonehouse Glen, Sec. 2
S-003-04	Monticello Ave. ROW plat for VDOT
S-008-04	Lake Powell Forest Ph. 6
S-021-04	Varble Subdivision
S-022-04	ROW Conveyence for Rt. 5000 & Rt. 776 Abandonment
S-027-04	Lake Powell Forest Ph. 7
S-029-04	BLA Lots 1A & 1B Longhill Gate
S-034-04	Warhill Tract BLE / Subdivision
S-036-04	Subdivision at 4 Foxcroft Road
S-037-04	Michelle Point
S-038-04	Greensprings West Ph. 4B & 5
S-039-04	Governor's Land - Wingfield Lake Lots 27, 28
S-041-04	6199 Richmond Road Subdivision
S-042-04	Eckerd's at Powhatan Secondary
S-045-04	ARGO Ph. 1
S-046-04	ARGO Ph. 2
S-047-04	ARGO Ph. 3
S-048-04	Colonial Heritage - Open Space Easement
S-049-04	Norge Neighborhood
S-050-04	Colonial Heritage - Golf Maintenance ROW
S-051-04	WindsorMeade Marketplace
S-052-04	The Villages at Powhatan, Ph. 7

S-053-04            The Colonial Heritage Club

**B. PENDING FINAL APPROVAL**

**EXPIRE DATE**

S-037-02	The Vineyards, Ph. 3	5/ 4/2005
S-052-02	The Retreat--Fence Amend.	6/18/2004
S-076-02	Marion Taylor Subdivision	10/ 3/2004
S-094-02	Powhatan Secondary Ph. 7-C	12/30/2004
S-108-02	Scott's Pond, Sec. 3	1/13/2005
S-033-03	Fenwick Hills, Sec. 2	10/31/2004
S-044-03	Fenwick Hills, Sec. 3	6/25/2004
S-049-03	Peleg's Point, Sec. 5	7/ 3/2004
S-055-03	Colonial Heritage Ph. 1, Sec. 5	8/ 4/2004
S-056-03	Colonial Heritage Ph. 1, Sec. 4	9/23/2004
S-057-03	Ford's Colony - Sec. 34	8/19/2004
S-063-03	102 Lands End BLA & BLE	4/30/2005
S-073-03	Colonial Heritage Ph. 2, Sec. 2	10/ 6/2004
S-076-03	Wellington, Sec. 4	11/ 3/2004
S-078-03	Monticello Woods - Ph. 2	11/ 3/2004
S-098-03	Stonehouse Glen, Sec. 1	4/ 5/2005
S-099-03	Wellington, Sec. 5	2/ 3/2005
S-106-03	Colonial Heritage Ph. 2, Sec. 3	1/12/2005
S-001-04	Ironbound Village Ph. 2, Parcel 2	2/17/2005
S-002-04	The Settlement at Monticello (Hiden)	3/ 1/2005
S-006-04	Colonial Heritage - Ph. 1, Sec. 3 & 3A	3/ 1/2005
S-007-04	Druid Hills, Sec. D Resubdivision	3/12/2005
S-009-04	Colonial Heritage Public Use Site B	3/18/2005
S-017-04	Green Mount Lot 1A	3/26/2005
S-024-04	161 Old Stage Road Subdivision	4/19/2005
S-033-04	2011 Bush Neck Subdivision	5/ 4/2005
S-035-04	Colonial Heritage Blvd. Ph. 2 Plat	4/28/2005
S-044-04	8715 Pocahontas Trail BLE	5/20/2005

**C. FINAL APPROVAL**

**DATE**

S-039-02	Powhatan Secondary, Ph. 6-C	5/ 6/2004
S-012-04	New Town - Block 2, Parcel E (CD&A)	5/13/2004
S-015-04	170 Racefield Drive Subdivision	5/ 5/2004
S-023-04	New Town - Block 5, Parcel F; Block 8, Parcels ABC	5/21/2004
S-030-04	Villages at Powhatan, Ph. 6	5/25/2004
S-032-04	Forge Road Dye Subdivision	5/18/2004
S-040-04	Ford's Colony Sec. 10 Lots 56/57 BLA	5/ 6/2004
S-043-04	Viall/Halligan BLA	5/17/2004

**D. EXPIRED**

**EXPIRE DATE**

**AGENDA**  
**DEVELOPMENT REVIEW COMMITTEE**

**June 2, 2004**

4:00 p.m.

JAMES CITY COUNTY GOVERNMENT COMPLEX

Conference Room, Building C

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1. Roll Call
2. Minutes
  - A. Meeting of April 28, 2004
3. Consent Cases
  - A. C-055-04 Mid-County Park Trail
  - B. SP-057-04 Archaerium at Historic Jamestown
4. Cases
  - A. SP-027-04 Greensprings Condos
  - B. SP-018-04 New Town Block 8, Phase 1B Residential
  - C. S-038-04 Greensprings West, Phases 4B and 5
  - D. S-037-04/SP-056-04 Michelle Point
  - E. SP-059-04 Norge Neighborhood
  - F. SP-051-04 Druid Hills - Braddock Court
5. Adjournment