

AGENDA
JAMES CITY COUNTY PLANNING COMMISSION
REGULAR MEETING
COUNTY GOVERNMENT CENTER BOARD ROOM
101 MOUNTS BAY ROAD, WILLIAMSBURG, VA 23185
December 6, 2023
6:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. PUBLIC COMMENT

D. REPORTS OF THE COMMISSION

E. CONSENT AGENDA

1. Minutes of the November 1, 2023, Regular Meeting

F. PUBLIC HEARING(S)

1. AFD-23-0001. 1105 Stewarts Road Barnes Swamp AFD Addition
2. SUP-23-0022. Westport Subdivision Tie-In to James City Service Authority
3. SUP-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In
4. SUP-23-0026. 206 The Maine Detached Accessory Apartment
5. SUP-23-0028. 9273 Richmond Road Contractor's Office and Warehouse
6. Z-23-0006/SUP-23-0025. Brickyard Landing Park Rezoning and Special Use Permit

G. PLANNING COMMISSION CONSIDERATIONS

H. PLANNING DIRECTOR'S REPORT

1. Planning Director's Report - December

I. PLANNING COMMISSION DISCUSSION AND REQUESTS

J. ADJOURNMENT

MINUTES
JAMES CITY COUNTY PLANNING COMMISSION
REGULAR MEETING
COUNTY GOVERNMENT CENTER BOARD ROOM
101 MOUNTS BAY ROAD, WILLIAMSBURG, VA 23185
November 1, 2023
6:00 PM

A. CALL TO ORDER

Mr. Polster called the meeting to order at 6 p.m.

B. ROLL CALL

Planning Commissioners Present:

Frank Polster
Rich Krapf
Tim O'Connor
Jack Haldeman
Rob Rose
Barbara Null
Stephen Rodgers

Staff Present:

Susan Istenes, Director of Planning
Liz Parman, Deputy County Attorney
Josh Crump, Principal Planner
Thomas Wysong, Senior Planner II
John Risinger, Senior Planner
Tess Lynch, Planner II

Mr. Polster noted if anyone in attendance was present for Case No. Z-22-0004 and SUP-22-0026. 8290 Richmond Road Hankins-Dunn Rezoning and Residential Cluster Development, that item (Public Hearing Item No. 1) had been withdrawn. He added that item would not be heard.

Ms. Null thanked Mr. Polster for that announcement, adding her initial and current opposition to the project.

C. PUBLIC COMMENT

Mr. Polster opened Public Comment.

As no one wished to speak, Mr. Polster closed Public Comment.

D. REPORTS OF THE COMMISSION

Mr. Haldeman stated that the Policy Committee met on October 12, 2023. He noted staff attendees included Mr. Crump, Mr. Risinger, Mr. Wysong, and Ms. Istenes. Mr. Haldeman further noted the Committee's continued discussion on scenic roadway protection according to the Board of Supervisors' Initiating Resolution and the 2045 Comprehensive Plan's Goals, Strategies, and Actions (GSA) 6.3. He cited the details of staff's draft language per the Board's guidance and the Committee's 3-1 vote in favor of approval. Mr. Haldeman noted clarification

on small farm sheds as restricted structures in setbacks was confirmed by staff. He highlighted additional points discussed during the Policy Committee meeting which included Community Character Corridors (CCCs). Mr. Haldeman noted the portion of Old Stage Road outside of the Primary Service Area (PSA) would no longer be classified as a CCC. He further noted Old Stage Road and Barhamsville Road (at the intersection of Routes 30 and 60 - Anderson's Corner) and the intersection of Barnes Road and Route 30 be reclassified from Open Agricultural to Wooded CCC at the next Comprehensive Plan update. Mr. Haldeman referenced removal of the development standard for the short-term rental requirement to have the owner live on-site in the home during the rental period. He noted the Policy Committee voted unanimously not to remove that standard.

E. CONSENT AGENDA

1. Minutes of the October 4, 2023, Regular Meeting

Mr. Krapf made a motion to approve the Consent Agenda.

On a voice vote, the Commission approved the Consent Agenda. (7-0)

F. PUBLIC HEARING(S)

Item No. 1 was removed as noted previously in the meeting.

1. Z-22-0004 and SUP-22-0026. 8290 Richmond Road Hankins-Dunn Rezoning and Residential Cluster Development

2. SUP-23-0027. 118 Winston Drive Short Term Rental

Mr. Polster welcomed Ms. Tess Lynch, Planner, to her first Planning Commission meeting.

Ms. Tess Lynch, Planner II, cited the details of the Special Use Permit (SUP) requested by L&A Renovation, LLC, for short-term rental of property at 118 Winston Drive. She noted staff had not recommended approval, adding proposed conditions had been attached if the Planning Commission approved this SUP application. Ms. Lynch further noted the applicant was present if the Commission had any questions.

Mr. Polster opened the Public Hearing.

Ms. Julia Holland, 118 Winston Drive, the applicant, addressed the Board noting she was available for questions.

Mr. Haldeman asked Ms. Holland if she resided at 118 Winston Drive.

Ms. Holland replied no, adding she and her family lived approximately five miles away. She noted possibilities for various uses for the property.

Mr. Polster closed the Public Hearing as there were no additional speakers.

Mr. Haldeman stated a number of rentals were in this particular neighborhood, adding he thought most of the renters were college students. He referenced the four criteria regarding short-term rentals and the difficulty with this particular SUP as it failed to fit any of those criteria. Mr. Haldeman stated he was not in support of the SUP application.

Mr. Krapf echoed Mr. Haldeman's sentiments. He noted he was not in support either.

Ms. Null noted she was not supportive of short-term rentals, but felt a long-term rental, which required no SUP, could be a better option.

Mr. Haldeman concurred.

Mr. O'Connor noted his stance against Airbnb rentals was twofold. He further noted for the local community, it reduced available housing stock for the workforce and the affordable housing group. Mr. O'Connor stated the Airbnb rentals also increased the costs of adjacent properties which increased the affordability component. He cited additional factors and stated his opposition to this application.

Mr. Rodgers stated his agreement with his fellow Commissioners. He noted the guiding principles in the Comprehensive Plan and maintaining good stewardship to County properties. Mr. Rodgers further noted the outcome if all four criteria were waived and its future impact, particularly on a property internal to a neighborhood. He stated he was not in support of the short-term rental application.

Mr. Krapf made a motion to deny SUP-23-0027.

On a roll call vote, the Commission voted to deny SUP-23-0027. 118 Winston Drive Short-Term Rental. (7-0)

3. ORD-22-0001. Amendments for Scenic Roadway Protection

Mr. Thomas Wysong, Senior Planner II, addressed the Board citing specifics of the adopted 2045 Comprehensive Plan regarding land use criteria for preservation of County scenic roadways. He noted the Board of Supervisors adopted an Initiating Resolution that pertained to the Zoning Ordinance and Subdivision Ordinance in 2021. Mr. Wysong further noted the Initiating Resolution directed staff to consider additional requirements in both the Zoning and Subdivision Ordinances to preserve scenic roadways such as Forge Road. He stated the term scenic roadway was not defined in the County Code, but with the Comprehensive Plan as guidance, the Policy Committee identified a portion of the CCC, outside the PSA, such as Forge Road, for the sake of this Ordinance. Mr. Wysong noted Forge Road, Old Stage Road, Richmond Road, Monticello Avenue, John Tyler Memorial Highway, and Riverview Road with the latter four classified as Wooded CCCs. He cited classifications and specifics for CCCs, adding the Policy Committee had recommended preservation tools specific to the road types. Mr. Wysong noted the setback requirements in the draft Ordinance before the Commission. He further noted a proposed amendment to the Comprehensive Plan was slated for presentation later in the meeting which proposed removal of a portion of Old Stage Road outside the PSA from the Agricultural CCC category. Mr. Wysong stated he would speak in more detail on that point later. He continued noting additional criteria regarding tiered setback requirements. He added the tiered system was specifically recommended by the Board of Supervisors. Mr. Wysong noted the specific draft language as directed by the Policy Committee regarding landscape buffering along Wooded CCCs, outside the PSA, for inclusion of a 100-foot buffer average for commercial projects. He continued noting a 200-foot-wide buffer average for major residential projects along Wooded CCCs, outside the PSA and a proposed minimum 50-foot timbered setback on properties located along Wooded CCCs, outside the PSA. Mr. Wysong stated the Policy Committee voted in favor 3-1 of the draft language at its October 12, 2023, meeting. He noted a post-meeting amendment for authorization to the major subdivision buffering. Mr. Wysong stated staff recommended the Planning Commission approve the draft language to the Board of Supervisors for approval at its December 12, 2023, Regular Meeting.

Mr. O'Connor referenced the 400-foot setback with 40 nonconforming structures and four exempt parcel structures. He questioned the exemption.

Mr. Wysong explained no tiered system was used initially and the structures nonconforming to the 400-foot setback were removed. He explained 14 residents were nonconforming with 22 nonconforming structures for a total of 36.

Mr. O'Connor questioned if a barn, a stable, shed, greenhouse, and roadside vegetable stand would be considered as structures and not allowed within the 400-foot setback.

Mr. Wysong confirmed yes.

Mr. Polster opened the Public Hearing.

Mr. Polster closed the Public Hearing as there were no speakers.

Mr. O'Connor noted his initial and continued opposition to this point. He further noted the preservation of the rural character of Forge Road, in particular, was impacted by restrictions to a number of permitted uses. Mr. O'Connor stated unwanted uses had been incorporated into SUPs. He noted the impact of the 400-foot buffer to a horse owner who wanted a paddock and referenced other diminishment to landowners. Mr. O'Connor stated he would not support this Ordinance amendment nor the Comprehensive Plan amendment (Item No. 4).

Mr. Krapf noted his support of the 400-foot setback for numerous reasons. He cited community citizen surveys during the Comprehensive Plan revisions, adding the highest scoring item was preservation of the rural lands and viewsheds within those lands. Mr. Krapf stated the importance as a visual component of the beauty and its desirability to live in James City County. He noted the agricultural use of the land and local farmer markets, adding this action preserved a significant feature of the County. Mr. Krapf further noted the new construction at the 400-foot setback along Forge Road. He referenced the Photoshop analysis of properties at the various setbacks and the visual impact. Mr. Krapf addressed several points including the potential for future compensation for the 400-foot setbacks or other factors. He noted his support of this item.

Mr. Haldeman stated his strong support of the Wooded character buffering. He noted he was amenable to a smaller setback of 250 feet versus 400 feet but concurred with Mr. Krapf's comment on the Photoshop depictions at those setbacks. He noted his support of this item in its entirety.

Mr. O'Connor addressed the question of open lands in a rural landscape or promotion of agricultural uses. He noted if agricultural uses were wanted then why were solar farms being placed on agricultural land. Mr. O'Connor questioned the intent.

Mr. Polster concurred with Mr. Haldeman on the Wooded character buffering. He noted review of Barhamsville Road as Wooded and not Agricultural at the next Comprehensive Plan review. Mr. Polster further noted he had no objection to the 400-foot setback but rather the unintended consequences. He cited Old Hickory Church on Forge Road as an example.

Several Commissioners noted it was St. John Baptist Church.

Mr. Polster noted if St. John Baptist Church had wanted to put in a paved parking lot they would not be allowed to do so. He added the preacher had a mobile home and if he wanted a permanent one he would be able to do so. Mr. Polster noted if anything happened to the church and the congregation could not start rebuilding within a year then they would not be able to do so due to the lack of the 400-foot setback. He referenced accessory structures outside of the feeding areas at horse farms along the beginning of Forge Road. Mr. Polster noted if those structures were wooden and older then they were not replaceable if they collapsed. He further noted these were unintended consequences. Mr. Polster stated he was not in support, but not

based on the 400-foot setback, but rather the unintended consequences. He noted other points such as the accessory structures for consideration.

Mr. Krapf stated the accessory structures were not detriments to the rural vista in his opinion and they served a practical use. He noted Policy Committee discussion on several of these points. He cited reference to concern of an overlay district. Mr. Krapf stated the draft Ordinance language was good, but added there were valid revisions to consider in the future, particularly in reference to Mr. Polster's points.

Discussion ensued on legally nonconforming uses.

Mr. Rose noted he aligned with the majority of the Commissioners' comments with the exception of the solar farm use. He stated he felt solar farms were a totally appropriate use in agricultural land. Mr. Rose noted the definition and interpretation of rural vista and the Comprehensive Plan and the varied responses to that phrase. He further noted allowing landowners to use their land accordingly. Mr. Rose stated he felt the 400-foot setback was excessive in this case, adding he felt this was a flawed plan that may not have these necessary issues addressed. Mr. Rose stated he was not in support.

Ms. Null commented on rural lands and corridors and how they looked. She noted this language limited a landowner's ability to put up a roadside vegetable stand. Ms. Null stated she was not in support as she felt this language lacked leeway for change.

Mr. Rodgers stated he felt 400 feet was an excessive amount. He noted he was not in support as the Ordinance was drafted.

Mr. Krapf made a motion to approve the draft language of ORD-22-0001.

Mr. Polster asked Ms. Istenes to verify the yes and no vote designations.

Ms. Istenes stated a vote of yes for the motion would show support of the amendments as presented by staff.

On a roll call vote, the motion failed. (2-5)

Mr. Haldeman noted the Board of Supervisors had requested a draft Ordinance amendment to protect scenic viewsheds. He asked if the Policy Committee reworked this language to a more acceptable form or was this forwarded to the Board in its current language.

Ms. Istenes noted the Commission would be making a recommendation to the Board based on the language presented at the current meeting. She further noted this item would continue to move forward to the Board with the Planning Commission's recommendation not to support the amendments. Ms. Istenes added the Board would then consider the amendments at the Public Hearing during its meeting for a final vote.

Ms. Parman noted a motion to recommend denial would be appropriate on the Planning Commission's decision.

Mr. Rodgers made a motion to deny the draft language of ORD-22-0001.

Mr. Polster noted the importance of conveying to the Board where the Planning Commission was on the language. He further noted three to four Commissioners were accepting of the 400-foot setback of which the unintended consequences are a part. Mr. Polster added there were no issues with the Wooded component as that piece had been supported all along. He wanted the Board to know the Commission's areas of concern. He asked if there were other exceptions for consideration as part of this motion or leave the matter as currently presented.

Mr. Krapf questioned language to address accessory structures.

Mr. Polster concurred. He noted with the denial motion, he wanted the motion to convey the consensus was for the Wooded piece and for the possibility of the accessory facilities. Mr. Polster asked if the Commissioners were in agreement on those points.

Mr. O'Connor noted the Commission was mixed on the 400-foot setback piece.

Discussion ensued.

On a roll call vote, the motion to deny was approved. (5-2)

4. Comprehensive Plan Amendment: Community Character Corridor and Short-Term Rental Development Standards Revision

Mr. Wysong addressed the Commission with the details of the September 12, 2023, Board of Supervisors meeting where Planning staff was directed to prepare a very focused and very limited amendment to the Comprehensive Plan to include only these two items. He noted the first item was the revision of the CCC table list that included the portion of Old Stage Road, outside of the PSA, would no longer be classified as a CCC. Mr. Wysong further noted the second item was removal of the recommended development standard for short-term rentals regarding the property owner living and residing on the property during rental. He stated the other three criteria would remain in effect for staff's use in evaluating applications. Mr. Wysong noted staff's review process would remain unchanged with this amendment. He stated the Policy Committee, at its October 12, 2023, meeting, recommended approval of the amendment to the CCC table by a 3-1 vote. Mr. Wysong noted the development standard for short-term rentals was unanimously recommended for denial by a 4-0 vote. He further noted Planning staff recommended the Planning Commission recommend approval of both revisions to the Board.

Mr. O'Connor questioned if the CCC revision would allow the Board to remove Forge Road and allow for the 400-foot setback.

Mr. Wysong noted the revision would remove Old Stage Road.

Mr. O'Connor questioned if it would preserve the 400-foot setback on Forge Road.

Mr. Wysong responded essentially yes. He added the category revision would only include Forge Road. Mr. Wysong noted if the Board approved the revision, then the 400-foot setback would only apply to Forge Road as it was the only road in this category.

Mr. O'Connor questioned if that point was due to the 400-foot setback not working for both Old Stage Road and Forge Road.

Mr. Wysong confirmed yes. He added the setback would work, but noted the Board saw no value in doing that.

Mr. Polster opened the Public Hearing.

Mr. Polster closed the Public Hearing as there were no speakers.

Mr. O'Connor reiterated some earlier points of revisions to the Comprehensive Plan and unintended consequences. He noted he was not in support of this amendment for two reasons: the 400-foot setback on Forge Road and intermittent, spot amendments to the Comprehensive Plan.

Mr. Haldeman noted he had no objections to spot amendments as it was difficult to see everything. He further noted he had no objections to Old Stage Road's removal from the CCC designation. Mr. Haldeman indicated his support of the revision.

Mr. Krapf commented the Comprehensive Plan was not stagnant but evolved where necessary for particular situations. He noted his support of the amendment revision.

Mr. Rose indicated he was not in support of the revision.

Mr. Rodgers noted he was in favor of the ability to spot fix the Comprehensive Plan.

Mr. Polster noted the 400-foot setback in the CCC. He further noted he was in favor of removal of the area outside the PSA and not in the CCC. Mr. Polster concurred with Mr. Haldeman on the point regarding the intersection of Anderson's Corner to Interstate 64 and its reclassification from Open Agricultural to Wooded CCC at the next Comprehensive Plan update. He noted a 100-foot setback was already included in the property at that location. Mr. Polster addressed the second piece of this item which referenced the short-term rental criteria. He asked Ms. Parman about the reasoning behind the decision.

Ms. Parman noted this recommendation was to remove one of the performance standards for short-term rentals which required owners to live on-site. She cited a recent opinion from the 5th Circuit that a residency requirement such as that discriminates against interstate commerce. Ms. Parman noted while James City County was not in the 5th Circuit jurisdiction, it was a persuasive opinion that could potentially be applied in the County's circuit. She further noted the County Attorney's Office felt that performance standard should be omitted.

Mr. Polster asked the location of the 5th Circuit.

Ms. Parman responded Louisiana was the appeal location.

Mr. Polster asked if any other Virginia localities had been considered in this performance standard decision. He questioned if Hampton, Newport News, Danville, or the City of Richmond had issues and what policies these localities implemented. Mr. Polster also inquired if these localities had policies which were in conflict with the recent 5th Circuit opinion.

Ms. Parman stated she had not reviewed those localities' policies, but she would obtain that information.

Mr. Polster noted he had seen recent articles which addressed that same requirement. He further noted references to a sign-in addition to fire and safety inspections which were not currently required. Mr. Polster addressed decisions over the past few years regarding the on-site criteria. He noted he was not in support of the short-term rental change but was in support of the CCC.

Discussion ensued.

Mr. Krapf asked Mr. Polster to clarify that his comment was to retain the residency requirement in the performance factors.

Mr. Polster confirmed yes. He noted a better solution and language were needed. Mr. Polster further noted other comparable localities were experiencing this same situation and he recommended reviewing their policies on this point.

Mr. Krapf stated his viewpoint, adding the on-site residency component created a filter on short-term rentals. He discussed that point in more depth.

Mr. O'Connor asked for a point of clarification regarding an approval or denial motion.

Ms. Istenes suggested two votes as the topics were distinctly separate.

Mr. Polster requested a motion on the CCC component.

Mr. Haldeman made a motion for recommendation of approval for the Comprehensive Plan amendment for Community Character Corridor revision.

On a voice vote, the Commission approved the motion. (6-1)

Mr. Polster sought a motion on the short-term rental piece.

Mr. Haldeman made a motion for recommendation of approval for the short-term rental development standards revision.

Mr. O'Connor questioned if the motion was to remove the performance standard.

Mr. Haldeman confirmed yes.

Mr. Polster asked that the motion be restated.

Mr. Haldeman made a motion to deny the short-term rental development standards revision.

On a voice vote, the Commission approved the denial motion. (6-1)

G. PLANNING COMMISSION CONSIDERATIONS

1. Yarmouth Creek Watershed Management Plan Update

Ms. Toni Small, Director of Stormwater and Resource Protection, noted the Division was working with a consultant for updates on the Yarmouth Creek Watershed Management Plan, originally approved by the County in 2003. She further noted two public meetings were held and the draft plan was available on the County's website until November 9 for review and public comments. Ms. Small stated final revisions and draft plan would then be presented to the Board of Supervisors for consideration. She introduced Mr. Daniel Proctor and Mr. Ari Daniels from Stantec, consultants on the plan, who would provide an update and answer any questions.

Mr. Proctor, Principal Water Resources Engineer, addressed the Board noting this update was similar to the Powhatan Creek Watershed Management Plan presented to the Planning Commission earlier in the year. He noted a brief presentation highlighting the plan's components would be presented with a three-part approach to the plan. Mr. Proctor further noted the three components were review of past information, field-level reconnaissance, and desktop-level analysis and modeling. He continued the presentation with key findings regarding water quality, flood risk, and other factors. Mr. Proctor stated overall much of the watershed was very healthy despite some impairments. He added development along the Route 60 corridor could impact the watershed health if left unmitigated. Mr. Proctor highlighted the type of recommendations in the presentation. He continued the presentation highlighting public engagement elements.

Mr. O'Connor questioned Mr. Proctor's reference to Route 60 development and future impacts if unmitigated. He inquired if the impact was due to older development without stormwater infrastructure or failing stormwater infrastructure. Mr. O'Connor questioned if the current work was part of the mitigation plan and were benefits expected as part of that plan.

Mr. Proctor replied it was a variety of issues with some older development with little stormwater controls in place. He added that a fair amount of development had occurred since stormwater requirements. Mr. Proctor noted the modeling systems accounted for some system failures.

Mr. O'Connor questioned if the runoff was nutrient loaded from fertilizer. He also asked about the downstream effects.

Mr. Proctor responded it was nutrient runoff and bacteria load from pet waste and agricultural uses. He added those factors were accounted for in the analysis.

Mr. Haldeman referenced page 5 of the presentation and the field assessment note on 30% of field channels being classified as poor or marginal condition. He asked if that point referenced erosion.

Mr. Proctor noted erosion was one aspect. He further noted a variety of factors were considered and accounted for in the analysis.

Mr. Haldeman asked if this was pollution.

Mr. Proctor responded it was the health of the stream and not just pollution itself.

Ms. Small noted that 30% reflected the percentage of stream channels evaluated as all the stream channels could not be accessed. She further noted some stream channels could not be evaluated as the property owners had not granted permission.

Mr. Proctor highlighted the stream assessment in the PowerPoint that Ms. Small referenced.

Mr. Polster questioned improvements and developer involvement to address stormwater issues. He noted the upstream impact to people downstream.

Mr. Proctor noted the suggestions for upstream improvement were in the plan.

Mr. Polster noted the funding to fix the watersheds. He addressed the missing hydrology component in this plan as identified in the Powhatan Creek plan. Mr. Polster asked if that impact was known or was modeling required.

Mr. Proctor noted the modeling would need to be reviewed.

Mr. Polster noted upcoming Capital Improvements Program (CIP) budget projects. He asked Ms. Small if the CIP would include the hydrology issue for Diascund Creek, Powhatan Creek, and Yarmouth Creek.

Ms. Small noted that was a logical next step as these plans moved forward.

Discussion ensued.

Mr. Haldeman asked if development was accounted for in projections.

Mr. Proctor confirmed yes based on known future development.

Mr. Haldeman addressed headwater pollution and erosion and that impact downstream as development continued along Route 60.

Mr. Proctor confirmed yes.

Discussion ensued on these points.

Mr. Polster thanked Mr. Proctor for the presentation.

H. PLANNING DIRECTOR'S REPORT

1. Planning Director's Report - November 2023

Ms. Istenes stated she did not have anything in addition to what was provided in the Agenda Packet.

Mr. Polster noted Mr. Rodgers was the Planning Commission representative for the Board of Supervisors November meeting.

Mr. Haldeman expressed concern with the Commission's advance reading format and difficulties accessing parts of the Agenda Packet.

Mr. Polster noted some issues when files were downloaded.

Discussion ensued.

Ms. Istenes noted she would investigate those concerns.

Mr. Rose addressed light pollution in the County, adding it was possibly a statewide problem also. He noted Dominion Energy was replacing streetlights with high-intensity LEDs with no shielding. Mr. Rose further noted the LEDs were harmful to birds and bird migrations. He stated he had checked with the County and had been notified there were no regulations on Dominion Energy regarding the lights.

Ms. Null referenced Dominion Energy's program to replace the bulbs in homes and the intensity of those lights. She noted Colonial Heritage's lanterns and regulations on lumens there in reference to the LEDs.

Mr. O'Connor noted this trend was prevalent in Northern Virginia. He further noted the removal of the shield around streetlights.

I. PLANNING COMMISSION DISCUSSION AND REQUESTS

Mr. O'Connor noted there was no policy regarding affordable housing and workforce housing. He further noted the cost of local rent and looking in surrounding localities for affordable housing. Mr. O'Connor stated those were the reasons he felt so strongly about some of these issues.

Mr. Crump addressed some of Mr. O'Connor's concerns. He noted staff had been working with Mr. Vaughn Poller, Neighborhood Development Administrator, and Ms. Marion Paine, Neighborhood Development Assistant Administrator, to review State Code and development of a County affordable housing policy in the future.

Mr. Rose noted the challenges of housing within the County. He stated the frustration of hiring yet there was no good solution for housing rentals or purchases for the employees. Mr. Rose noted a County-wide policy was important and questioned if the occasional short-term rentals had much impact.

Discussion ensued on growth, density, and affordable housing.

J. ADJOURNMENT

Ms. Null made a motion to adjourn.

The meeting was adjourned at approximately 7:43 p.m.

Susan Istenes, Secretary

Frank Polster, Chair

**AGRICULTURAL AND FORESTAL DISTRICT-23-0001. 1105 Stewarts Road Barnes Swamp AFD Addition
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

SUMMARY FACTS

Applicant: Mr. Taylor Pruitt
Landowners: Mr. Taylor and Ms. Samantha Pruitt
Proposal: Addition of ± 46.95 acres to the Barnes Swamp Agricultural and Forestal District (AFD).
Location: 1105 Stewarts Road
Tax Map/Parcel No.: 0240100011
Project Acreage: ± 46.95 acres
Zoning: A-1, General Agricultural
Comprehensive Plan: Rural Lands
Primary Service Area: Outside
Staff Contact: Ben Loppacker, Planner

PUBLIC HEARING DATES

AFD Advisory Committee: October 19, 2023, 4:00 p.m.
Planning Commission: December 6, 2023, 6:00 p.m.
Board of Supervisors: January 9, 2024, 5:00 p.m. (Tentative)

FACTORS FAVORABLE

1. Staff finds that this addition to the Barnes Swamp AFD would not adversely affect surrounding development and is consistent with the core of the District.
2. Staff finds the proposal consistent with the 2045 Comprehensive Plan Land Use (LU) Action 6.1.1.
3. Impacts: This proposal is not anticipated to generate any impacts that require mitigation.

FACTORS UNFAVORABLE

1. As this proposal is not anticipated to generate any impacts that require mitigation, staff finds no unfavorable factors.

SUMMARY STAFF RECOMMENDATION

Staff finds that the proposed addition meets all state and local requirements for inclusion in the Barnes Swamp AFD. Staff recommends that the Planning Commission recommend approval of the proposed addition to the Board of Supervisors.

AFD ADVISORY COMMITTEE RECOMMENDATION

At its October 19, 2022, meeting, the AFD Advisory Committee voted 7-0 to recommend approval of the addition request to the Planning Commission and Board of Supervisors, subject to the proposed conditions.

PROJECT DESCRIPTION

- Mr. Taylor Pruitt has applied to enroll ± 46.95 acres of land located at 1105 Stewarts Road into the Barnes Swamp AFD. The subject parcel is currently undeveloped and forested.

**AGRICULTURAL AND FORESTAL DISTRICT-23-0001. 1105 Stewarts Road Barnes Swamp AFD Addition
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

- The subject parcel is within one mile of the core parcels in the Barnes Swamp AFD and is contiguous with other parcels currently in the District, which is consistent with the criteria listed in the *Code of Virginia* (see Attachment No. 4).
- The applicant intends to use the property for recreational purposes and potentially tenant farming on the cleared portion of the property (approximately five acres). The applicant does not plan to pursue any timbering activities and there are no plans for future development.
- Per the United States Department of Agriculture’s (USDA’s) *Soil Survey of James City and York Counties and the City of Williamsburg, Virginia*, the parcels consist of the following soils:

Soil Type	Erosion Hazard	Equipment Limitation	Seedling Mortality	Windthrow Hazard
10C, Craven fine sandy loam, 6-10% slopes	Slight	Moderate	Slight	Slight
11C, Craven-Uchee complex, 6-10% slopes	Slight	Moderate	Slight	Slight
14B, Emporia fine sandy loam, 2-6% slopes	Slight	Slight	Slight	Slight
15F, Emporia complex, 25-50% slopes	Moderate	Severe	Slight	Slight

DISTRICT HISTORY

- The Barnes Swamp AFD was created in 1986 for a term of four years and originally consisted of 29 parcels totaling ± 1,838.71 acres.

- The District was renewed at four-year intervals again in 1990, 1994, 1998, 2002, 2006, 2010, 2014, 2018, and 2022 with various additions and withdrawals taking place during those periods.
- If this addition is approved, the District would consist of approximately 1,885.66 acres.

SURROUNDING ZONING AND DEVELOPMENT

All surrounding properties are zoned A-1, General Agricultural, and designated Rural Lands in the 2045 Comprehensive Plan. Existing land uses on adjacent properties include single-family residences and undeveloped forested land, as well as the Diascund Reservoir, which is located north of the property on the other side of Stewarts Road.

NATURAL AND CULTURAL ASSETS

The site is identified as having natural and cultural assets on the Natural & Cultural Assets Plan maps (and/or other supplemental resources such as the USDA’s Natural Resources Conservation Service Web Soil Survey) as follows:

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**AGRICULTURAL AND FORESTAL DISTRICT-23-0001. 1105 Stewarts Road Barnes Swamp AFD Addition
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

ASSET	PRESENCE	IMPACT
Habitat Core	Present on Site	<ol style="list-style-type: none"> 1. All habitat cores identified in the Natural & Cultural Assets Plan are important ecologically. The core on this property is ranked 3 of 5, with 5 being the highest value. It is not of heightened priority. 2. The portion of this parcel identified as habitat core is approximately 90% of the parcel. All this area would be included in the AFD.
Habitat Corridors	Present on Site	<ol style="list-style-type: none"> 1. This corridor, listed in the plan as “local connection - small road or train track,” connects the habitat core on this site to a heightened priority core (rank of 5) located along the Diascund Reservoir. 2. The corridor straddles the eastern property line. The portion of the corridor on this property would be included in the AFD.
Agricultural Assets	Present on Site	15.4 acres or 32.9% of the property is rated prime farmland. All the property with prime farmland soils would be included in the AFD.

2045 COMPREHENSIVE PLAN

The subject parcel is designated Rural Lands on the 2045 Comprehensive Plan Land Use Map. Appropriate uses in Rural Lands include traditional agricultural and forestal activities. LU Action 6.1.1 of the 2045 Comprehensive Plan states that the County shall “Support

both the use value assessment and AFD programs to the maximum degree allowed by the Code of Virginia. Explore extending the terms of the County’s Districts.” Staff finds this application to be consistent with both the Rural Lands designation and LU Action 6.1.1.

PUBLIC IMPACTS

This proposal is not anticipated to generate any impacts that require mitigation.

STAFF RECOMMENDATION

Staff finds that the proposed addition meets all state and local requirements for inclusion in the Barnes Swamp AFD. Staff recommends that the Planning Commission recommend approval of the proposed addition to the Board of Supervisors, subject to the proposed conditions.

BL/md
AFD23-1_1105StwRdBswmpAdd

Attachments:

1. Proposed Conditions
2. Location Map
3. Barnes Swamp AFD Map
4. Barnes Swamp AFD 2022 Renewal Ordinance
5. State Code § 15.2-4305 Regarding AFD Application Criteria
6. State Code § 15.2-4310 Regarding AFD District Additions
7. Applicant’s Narrative
8. Unapproved Minutes of the October 19, 2023, AFD Advisory Committee Meeting

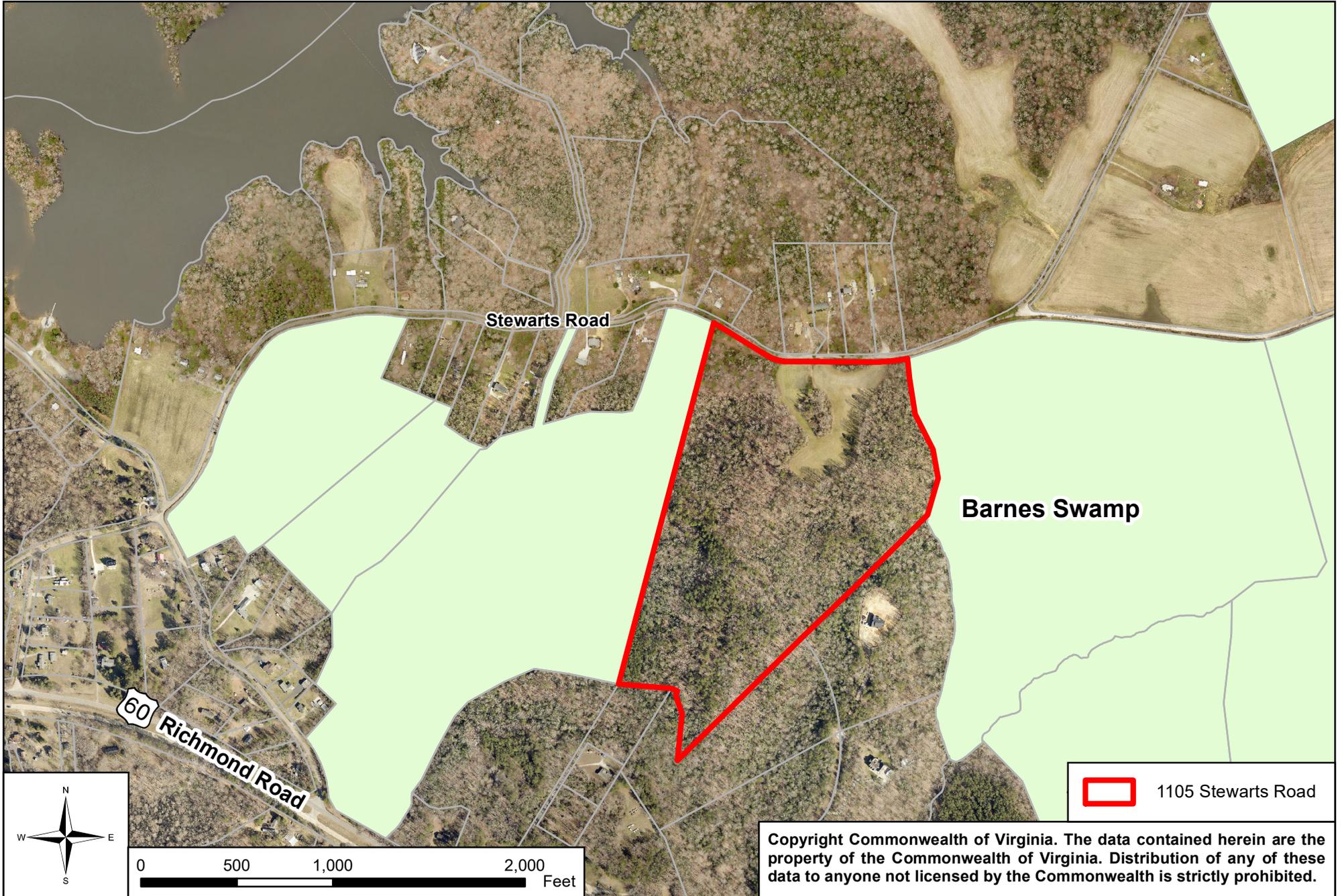
This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED CONDITIONS FOR CASE NO. AFD-23-0001. 1105 STEWARTS ROAD

BARNES SWAMP AFD ADDITION

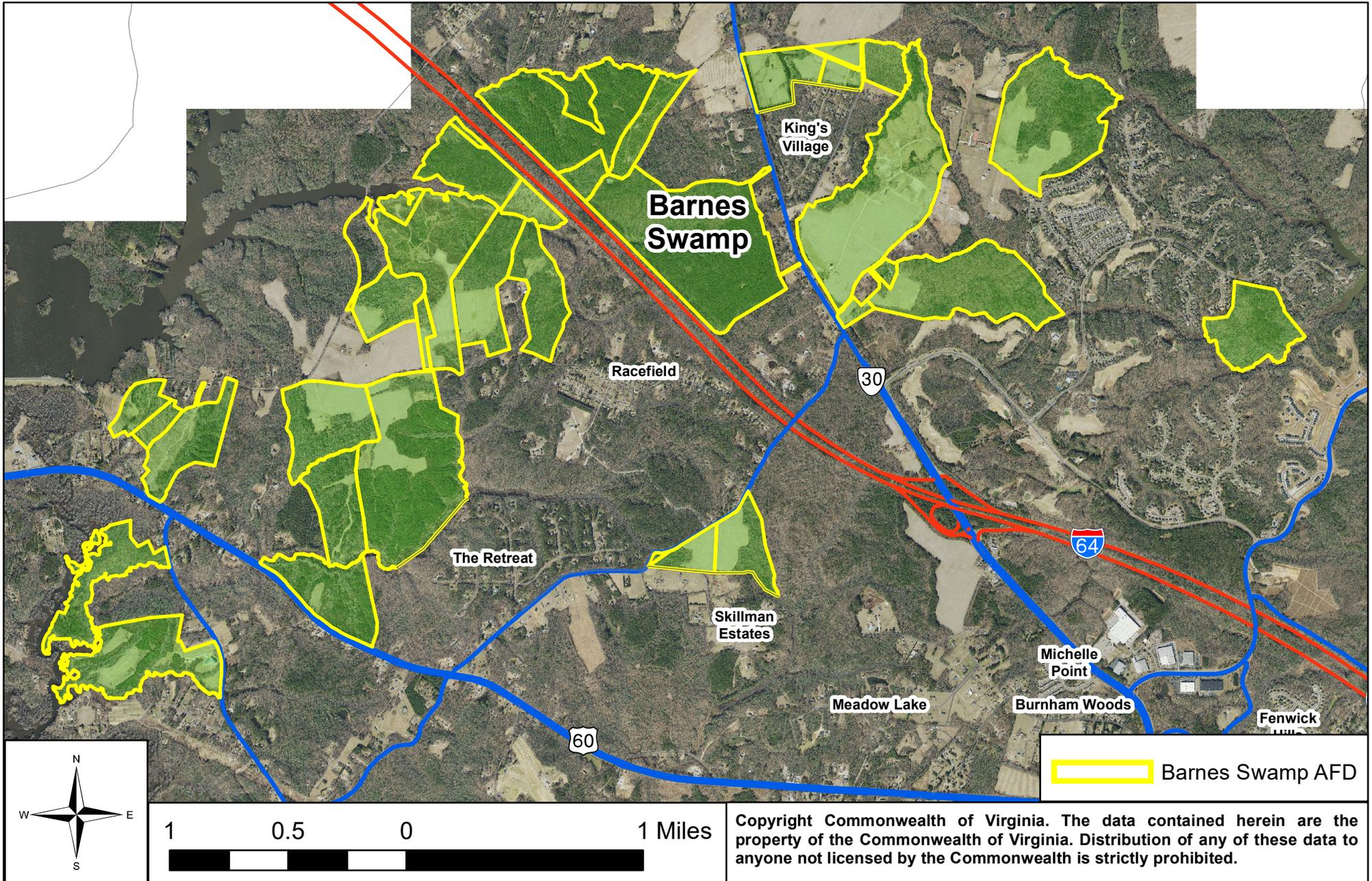
1. That pursuant to Section 15.2-4309 of the Act, the Board of Supervisors requires that any parcel in the District shall not, without the prior approval of the Board of Supervisors, be developed to any more intensive use, other than uses resulting in more intensive agricultural or forestall production. Specifically, the following restrictions shall apply:
 - a. The subdivision of land is limited to 25 acres or more, except where the Board of Supervisors authorizes smaller lots to be created for residential use by members of the owner's immediate family, as defined in the James City County Subdivision Ordinance. Parcels of up to five acres, including necessary access roads, may be subdivided for the siting of Wireless Communications Facilities (WCFs), provided: a) the subdivision does not result in the total acreage of the District to drop below 200 acres; and b) the subdivision does not result in a remnant parcel of less than 25 acres.
 - b. Land within the District may be withdrawn from the District in accordance with the Board of Supervisors' Policy Governing the Withdrawal of Properties from Agricultural and Forestal Districts, adopted September 28, 2010.
 - c. No Special Use Permit (SUP) shall be issued except for agricultural, forestal, or other activities and uses consistent with the Act, which are not in conflict with the policies of this District. The Board of Supervisors, at its discretion, may issue SUPs for WCFs on properties in the District that are in accordance with the County's policies and Ordinances regulating such facilities.

JCC AFD-23-0001, 1105 Stewarts Road Barnes Swamp AFD Addition



JCC AFD-22-0003

Barnes Swamp Agricultural Forestal District



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ADOPTED

SEP 13 2022

ORDINANCE NO. 167A-18

Board of Supervisors
James City County, VA

AGRICULTURAL AND FORESTAL DISTRICT-22-0003

BARNES SWAMP 2022 RENEWAL

WHEREAS, James City County has completed a review of the Barnes Swamp Agricultural and Forestal District (the "District"); and

WHEREAS, in accordance with Section 15.2-4311 of the Code of Virginia, 1950, as amended (the "Virginia Code"), property owners have been notified, public notices have been filed, public hearings have been advertised, and public hearings have been held on the continuation of the District; and

WHEREAS, the Agricultural and Forestal District (AFD) Advisory Committee at its meeting on July 21, 2022, voted 6-0 to recommend renewal of the District; and

WHEREAS, the Planning Commission following its public hearing on August 3, 2022, concurred with the recommendation of staff and the AFD Advisory Committee and voted 7-0 to recommend renewal of the District with the conditions listed below.

NOW, THEREFORE, BE IT ORDAINED by the Board of Supervisors of James City County, Virginia, that:

1. The Barnes Swamp Agricultural and Forestal District (the "District") is hereby continued to October 31, 2026, in accordance with the provisions of the Virginia Agricultural and Forestal District Act, Virginia Code Section 15.2-4300 et. seq. (the "Act").
2. That the District shall include the following parcels, provided, however, that all land within 25 feet of road rights-of-way is excluded from the District:

<u>Owner</u>	<u>Parcel No.</u>	<u>Acres</u>
Arline H. Bowmer Estate	0240100012	62.19
Berta L. Bowmer Estate	0240100013	18.90
Berta L. Bowmer Estate	0240100014	25.84
Alex L. Penland	0240100029	55.90
Maynard P. Phelps & Joy L. Barnes	0310100001	108.47
Leah R. Fry & Craig A. Beck	0310100001A	10.00
Maynard P. Phelps	0310100001B	10.23
Timothy & Joan Mills	0310100002	23.84
Katherine L. Hockaday, Ann Blair Hall Martin, & Justin Ray Martin	0310100003	39.26
Elizabeth O. Harwood	0320100001	43.53
Stephen E. & Rebecca Murphy, Trustee	0320100002	13.86
Frederick C. Johnson, Trustee	0320100002A	17.20
Betty Johnson & Lynn Fischer	0320100003	19.08
Betty Johnson & Lynn Fischer	0320100003A	93.99

<u>Owner</u>	<u>Parcel No.</u>	<u>Acres</u>
Robert M. Dzula	0320100004	28.08
Jane Farmer & Betty Rady	0330100003	70.00
Jane Farmer & Betty Rady	0330100004	70.00
Arline H. Bowmer, Estate	0330100006	96.75
Steven & Michelle Johnson	0340800003	52.63
Steven & Michelle Johnson	0340800005	68.43
John A. Richardson	0410100005	42.00
John A. Richardson	0410100006	10.00
Jonathan C. Kinney, Trustee	0410100010	196.30
Niceland Farm, LLC	0420100008	188.68
Cherri U. Spellmeyer, Trustee	0420100014	134.00
Donald A Hazelwood	0420100018	4.77
Pamaka, LLC	0420100020	112.44
Pamaka, LLC	0430100014A	1.12
Pamaka, LLC	0430100015	19.99
Pamaka, LLC	0430100016	36.84
Donald A. Hazelwood	0440100001	6.12
David K. & Karen P. Hogue	0540100001	60.77
Charles & Dianne Hasbrouck	0920100001	97.50
Shelton & Jennifer Daniels	1010100001	61.62
	Total:	<u>1,838.71</u>

3. That pursuant to Sections 15.2-4309 of the Act, the Board of Supervisors requires that any parcel in the District shall not, without the prior approval of the Board of Supervisors, be developed to any more intensive use, other than uses resulting in more intensive agricultural or forestal production. Specifically, the following restrictions shall apply:
 - a. The subdivision of land is limited to 25 acres or more, except where the Board of Supervisors authorizes smaller lots to be created for residential use by members of the owner's immediate family, as defined in the James City County Subdivision Ordinance. Parcels of up to five acres, including necessary access roads, may be subdivided for the siting of Wireless Communications Facilities (WCFs), provided: a) the subdivision does not result in the total acreage of the District to drop below 200 acres; and b) the subdivision does not result in a remnant parcel of less than 25 acres.
 - b. Land within the District may be withdrawn from the District in accordance with the Board of Supervisors' Policy Governing the Withdrawal of Properties from Agricultural and Forestal Districts, adopted September 28, 2010.
 - c. No Special Use Permit (SUP) shall be issued except for agricultural, forestal, or other activities and uses consistent with the Act, which are not in conflict with the policies of this District. The Board of Supervisors, at its discretion, may issue SUPs for WCFs on properties in the District that are in accordance with the County's policies and Ordinances regulating such facilities.


John J. McGlennon
Chairman, Board of Supervisors

ATTEST:


Teresa J. Saad
Deputy Clerk to the Board

	VOTES			
	<u>AYE</u>	<u>NAY</u>	<u>ABSTAIN</u>	<u>ABSENT</u>
ICENHOUR	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
HIPPLE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LARSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SADLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MCGLENNON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Adopted by the Board of Supervisors of James City County, Virginia, this 13th day of September, 2022.

AFD22-3BnsSwpRen-res

§ 15.2-4305. Application for creation of district in one or more localities; size and location of parcels

On or before November 1 of each year or any other annual date selected by the locality, any owner or owners of land may submit an application to the locality for the creation of a district or addition of land to an existing district within the locality. Each district shall have a core of no less than 200 acres in one parcel or in contiguous parcels. A parcel not part of the core may be included in a district (i) if the nearest boundary of the parcel is within one mile of the boundary of the core, (ii) if it is contiguous to a parcel in the district the nearest boundary of which is within one mile of the boundary of the core, or (iii) if the local governing body finds, in consultation with the advisory committee or planning commission, that the parcel not part of the core or within one mile of the boundary of the core contains agriculturally and forestally significant land. No land shall be included in any district without the signature on the application, or the written approval of all owners thereof. A district may be located in more than one locality, provided that (i) separate application is made to each locality involved, (ii) each local governing body approves the district, and (iii) the district meets the size requirements of this section. In the event that one of the local governing bodies disapproves the creation of a district within its boundaries, the creation of the district within the adjacent localities' boundaries shall not be affected, provided that the district otherwise meets the requirements set out in this chapter. In no event shall the act of creating a single district located in two localities pursuant to this subsection be construed to create two districts.

1977, c. 681, § 15.1-1511; 1979, c. 377; 1981, c. 546; 1984, c. 20; 1985, c. 13; 1987, c. 552; 1993, cc. 745, 761; 1997, c. 587; 1998, c. 833; 2011, cc. 344, 355.

The chapters of the acts of assembly referenced in the historical citation at the end of this section may not constitute a comprehensive list of such chapters and may exclude chapters whose provisions have expired.

Code of Virginia
Title 15.2. Counties, Cities and Towns
Subtitle IV. Other Governmental Entities
Chapter 43. Agricultural and Forestal Districts Act

§ 15.2-4310. Additions to a district

Additional parcels of land may be added to an existing district at any time by following the process and application deadlines prescribed for the creation of a new district.

1977, c. 681, § 15.1-1511; 1979, c. 377; 1981, c. 546; 1984, c. 20; 1985, c. 13; 1987, c. 552; 1993, cc. 745, 761; 1997, c. 587; 2011, cc. [344](#), [355](#).

The chapters of the acts of assembly referenced in the historical citation at the end of this section(s) may not constitute a comprehensive list of such chapters and may exclude chapters whose provisions have expired.

Applicant Narrative for AFD-23-0001:

Current plans for 1105 Stewarts Rd are private recreational use and demolition of the collapsed house and surrounding vegetation (less than 0.5 acres).

Future plans for 1105 Stewarts Rd are private recreational use and potentially tenant farming on the cleared portion of the property (approximately 5 acres). My wife and I do not plan to pursue any timbering activities. No timber report or forest management plan will be included.

**MINUTES
JAMES CITY COUNTY
AGRICULTURAL AND FORESTAL DISTRICT ADVISORY COMMITTEE
ORGANIZATIONAL MEETING
101-A Mounts Bay Road, Williamsburg, VA 23185
Large Conference Room
October 19, 2023
4:00 PM**

A. CALL TO ORDER

Mr. Chris Taylor called the Agricultural and Forestal District (AFD) Advisory Committee meeting to order at 4 p.m.

B. ROLL CALL

Present:

Chris Taylor, Chair
Bruce Abbott, Vice Chair
Richard Bradshaw (arrived late)
Loretta Garrett
David Hogue
Sue Sadler (participated remotely)
Sandy Wanner

Absent:

Will Harcum
Payten Harcum

Staff:

Susan Istenes, Planning Director
Josh Crump, Principal Planner
Ben Loppacker, Planner I
Beth Klapper, Community Development Assistant

C. MINUTES

1. Minutes of the January 19, 2023, Organizational Meeting

Ms. Garrett motioned to approve the meeting minutes from January 19, 2023.

Mr. Abbott seconded the motion.

On a voice vote, the motion was approved 7-0.

D. OLD BUSINESS

There was no old business for discussion.

E. NEW BUSINESS

1. AFD-23-0001- 1105 Stewarts Road- Barnes Swamp AFD Addition

Mr. Abbott motioned to recommend approval of AFD-23-0001 of the proposed addition to the Barnes Swamp AFD to Planning Commission and the Board of Supervisors.

Ms. Garrett seconded the motion.

On a voice vote, the motion was approved 7-0.

F. DISCUSSION ITEMS

Presentation by Jim Wallace of the Colonial Soil and Water Conservation District on the Virginia Agricultural Cost Share Program.

G. ADJOURNMENT

Mr. Abbott made a motion to adjourn.

Ms. Garrett seconded the motion.

On a voice vote, the meeting was adjourned at approximately 4:30 p.m.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

SUMMARY FACTS

Applicant: Ms. Karlyn Owens
Landowner: James City Service Authority (JCSA)
Proposal: To install approximately 250 feet of new water main to connect the existing, independent water system for the Westport neighborhood to public water as part of the central JCSA system.
Locations: 4891 Centerville Road
Tax Map/Parcel No.: 3040100007A
Westport Subdivision Road Right-of-Way
Project Acreage: ± 1.91 acres
Current Zoning: A-1, General Agricultural
Comprehensive Plan: Low Density Residential and Rural Lands
Primary Service Area (PSA): Inside and Outside
Staff Contact: Thomas Wysong, Principal Planner

PUBLIC HEARING DATES

Planning Commission: December 6, 2023, 6:00 p.m.
Board of Supervisors: January 9, 2024, 5:00 p.m. (Tentative)

FACTORS FAVORABLE

1. Should this application be approved, staff finds the proposed conditions would mitigate potential impacts and prevent further expansion of public water and sewer outside of the County’s designated growth area.
2. Impacts: See Impact Analysis on Page 6.

FACTORS UNFAVORABLE

1. The proposed installation of the water main located outside the PSA is inconsistent with the County’s Utility Policy and the growth management principles within the adopted 2045 Comprehensive Plan.
2. Impacts: See Impact Analysis on Page 6.

SUMMARY STAFF RECOMMENDATION

Staff finds that the extension of a public utility outside the PSA is inconsistent with the Land Use Goals, Strategies, and Actions of the Comprehensive Plan and the Public Utilities Policy adopted as part of the Comprehensive Plan. Approval of this application may also set a precedent for similarly situated independent water systems and properties outside the PSA where property owners seek connections to nearby public utilities regardless of cost or need, especially along Centerville Road. Such precedent may have the effect of weakening or artificially expanding the PSA and undermine the County’s ability to have a credible basis with which to deny any future application. Due to inconsistency with the adopted 2045 Comprehensive Plan staff are unable to recommend approval of this application.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

PROJECT DESCRIPTION

This proposal is to install approximately 250 feet of a new 12-inch water main within the Westport right-of-way. The purpose of this installation is to connect the central well system serving the Westport neighborhood to the main JCSA system (Attachment No. 3).

JCSA has requested to connect this facility, which is currently operated and owned by the Service Authority, to the broader system for several reasons. For context, JCSA is nearing completion of a \$2.1 million construction project to add zinc orthophosphate at six remote well facilities (zinc orthophosphate is used for corrosion inhibition). The initial design for the project included the addition of zinc orthophosphate at a seventh well facility, JCSA’s Pottery Well Facility (designated as Facility W-4).

According to JCSA, the Pottery Well Facility needs rehabilitation to address structural damage to the storage tank as well as removal of an old fire pump system. In addition, the Pottery Facility has other long-term reliability and access issues. By connecting Westport and Liberty Ridge at this time, JCSA will have adequate capacity in the central system to take the Pottery Facility offline, saving a significant amount of money on rehabilitation, and eliminating the need for a \$350,000 investment in a corrosion control feed system for the Pottery Facility. Furthermore, this connection provides a health and safety benefit to customers because of increased system reliability and increased available fire flows.

Per JCSA, the following benefits will result from permitting this connection:

- Additional redundancy and available fire flows for Liberty Ridge and Westport.

- Two fewer Department of Environmental Quality (DEQ) groundwater permits to maintain and a reduction in reporting to DEQ.
- Adding the Westport and Liberty Ridge systems is expected to increase the Virginia Department of Health permitted capacity. This would result in two fewer permits to manage and would streamline sampling and reporting requirements.
- Water from Westport and Liberty Ridge is less costly to produce compared to the water at the Five Forks Water Treatment Plant (FFWTP) and will reduce the load on the FFWTP.
- Will allow JCSA to remove the W-4 Facility from service, eliminating significant investment in rehabilitation.

If the application is not approved, JCSA will continue to operate the system as is and be required to rehabilitate the Pottery Facility. The central system can remain. If approved, the piping work will be entirely within the Virginia Department of Transportation right-of-way and outages will be minimal. When construction is complete and the tie-in is made, there may be a partial day outage for some customers.

PLANNING AND ZONING HISTORY

The Westport at Ford’s Colony is a “by-right” major subdivision that has been in the process of development since the first subdivision submittal in 2003. Since 2003, the design for Westport at Ford’s Colony has been modified and changed, having been reviewed by the County’s staff, Development Review Committee (DRC), and Planning Commission (PC). Since this is a major subdivision located outside of the PSA, it is required to have an independent water system serving its lots.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Based on the concept presented to the DRC and PC in 2012, there was a total of 87 single-family lots planned for the Westport subdivision (see Attachment No. 6 for exhibit). However, to date, approximately 44 lots have been recorded as part of this concept. The conceptual lot layout proposed to the north has not been the subject of any plat submittals or intended plans.

Currently, the independent water system serves 30 residential connections. The independent water system consists of two production wells, two booster pumps for domestic use, two high-service pumps for fire flows, a hydropneumatics (pressure) tank, ground storage tanks, chemical feed system (disinfection), emergency generator, building, electrical components, and distribution piping.

SURROUNDING ZONING AND DEVELOPMENT

- North, South, and West: A-1, General Agricultural, including the platted Westport subdivision.
- East: The existing Ford’s Colony development, zoned R-4, Residential Planned Community, and located on the other side of Centerville Road.

2045 COMPREHENSIVE PLAN

Most of the area for the proposed installation of the water main is designated Low Density Residential on the 2045 Comprehensive Plan Land Use Map. Recommended primary uses for Low Density Residential include single-family and multifamily units, accessory units, cluster housing, and recreation areas.

The portion of the installation area located outside of the PSA is designated Rural Lands on the 2045 Comprehensive Plan Land Use Map, where a lower level of public service delivery exists or where utilities and urban services do not exist and are not planned for in the

future. Recommended primary uses for Rural Lands include agricultural and forestal activities, agri-tourism, rural-support businesses, and certain commercial uses which require very low-intensity settings. Residential development is not a recommended land use and is discouraged outside the PSA in the Rural Lands.

The County’s Utility Policy strongly discourages utility extensions outside the PSA. Extensions of water and sewer facilities outside the PSA have predominantly served a significant public purpose, addressed health and safety situations for existing communities, or improved utility service inside the PSA.

The PSA Policy is James City County’s long-standing principal tool for managing growth. As a growth management tool, it attempts to direct growth in one area (where public facilities and services are planned) and away from another (where the majority of agricultural and forestal activities occur). The PSA, first established in 1975, utilizes many of the same principles as Urban Growth Boundaries or Urban Service Areas found in other localities. They are all concepts for promoting growth in a defined geographical area in order to accomplish the following goals:

- To encourage efficient utilization of public facilities and services (water and sewer, roadways, schools, fire and police stations, libraries, etc.);
- To help ensure such facilities and services are available where and when needed;
- To increase public benefit per dollar spent;
- To promote public health and safety through improved emergency response time;
- To minimize well and septic failures; and
- To preserve rural lands.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

The PSA is most effective when it is tied to the provision of public utilities. Connecting developments to public utilities facilitates development and increases the need for associated peripheral uses. Extending utilities to the rural lands encourages previously farmed for forested lands to convert to development. Development pressures could entice more rural landowners into selling their lands, which could increase the pace of development and increase the amount of forest and farmland developed.

The effectiveness of the PSA as a policy tool is affected as more housing and amenities are allowed. More intensive expansion outside the PSA boundary creates a need for additional core services, such as health facilities, supermarkets, post offices, and so forth. While the County does not necessarily directly bear the cost of providing these types of services, there are indirect effects: the new services require staffing, which brings traffic to the Rural Lands; the creation of new businesses and services in the Rural Lands increases the demand for new housing. As more new houses are built, the demand for businesses, services, and amenities increases, creating a cycle of “providing amenities leading to demanding additional amenities.” The net effect of this cycle is that the PSA boundary could quickly become an ineffectual way of controlling or limiting growth.

Any extension of utilities beyond the PSA boundary is essentially an artificial expansion of the PSA. The incremental expansion of public utilities outside the PSA undermines the County’s growth management efforts. Should this application be approved, a precedent may be set and the County would lack a credible basis to deny any future applications. This undermines the County’s ability to ensure growth proceeds in a logical and orderly fashion.

Examples of Previously Approved Water and Sewer Extensions Outside the PSA:

One of the basic legal tenets of land use planning is that similarly situated parcels must be treated similarly. For this reason, allowing any extension of public utilities outside the PSA must be carefully considered to avoid setting a precedent for other landowners to make a similar request. During the 2009 update, the County’s land use consultant recommended if the Board elects to expand the PSA or allow for a utility extension outside the PSA, it should outline the unique reasons why such an extension is appropriate for a particular site and what public purpose is met by the extension. Furthermore, the consultant stated utility extensions for environmental or health reasons or to serve public facilities will generally have the least potential to weaken the PSA concept, while extensions for economic development or to encourage a specific private development have greater potential to weaken the PSA concept more because they can be extended more generally to adjacent, similarly situated properties.

The Board has often followed this guidance. The following are specific examples where utility lines were extended outside the PSA for a public purpose or for a health issue:

Jolly Pond Road Water and Sewer Extension - This extension was to serve Lois S. Hornsby Middle School and J. Blaine Blayton Elementary School. This is an example of an extension to serve a public benefit.

Brick Bat Road Water and Sewer Extension - This extension was to serve Matoaka Elementary School. This is an example of an extension to serve a public benefit.

Greensprings Mobile Home Park - In this instance, the mobile home park’s aging septic system was failing. This is an example of extending service to address a public health, safety, and welfare issue.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Riverview Plantation - This extension was approved to address a failing water system within the development that was maintained by the JCSA. This is an example of extending service for a public health issue.

Chickahominy Road - The intent of constructing the lines was to improve the quality of housing and living conditions for the existing residents of that area, many of whom did not have indoor plumbing. This extension was also to help protect the reservoir from aging septic systems.

Cranston's Mill Pond Road - This transmission line was constructed to connect to the Jolly Pond Road line. This loop provided the Centerville Road area with a more reliable water source.

In the instances mentioned above, the Board made the judgment that sufficient and significant public benefit existed to permit extensions of public utilities to occur outside the PSA, with minimal impact due to limitations placed on additional connections to the utilities. This rationale is consistent with the consultant's recommendations.

For this current request and application, should the Board of Supervisors find that a sufficient and significant public benefit exists to permit an extension outside of public utilities outside the PSA, with minimal impact due to limitations placed on additional connections to the utilities, staff has proposed Special Use Permit (SUP) conditions to prohibit further extension of public water and sewer into the portions of the parcels designated for Rural Lands.

FINDING OF CONSISTENCY

Section 15.2-2232 of the Code of Virginia states, in part, that no public facility be allowed unless the Planning Commission finds the location of the facility "substantially" consistent with the adopted 2045 Comprehensive Plan. As previously stated, the proposed location of the water main includes installation located outside the PSA, which prevents this proposal from being substantially consistent from the staff's perspective. For the Commission's consideration, a consistency determination resolution finding it not substantially in accord with the adopted Comprehensive Plan is included as Attachment No. 4.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Public Transportation: Vehicular</u>	<u>No Mitigation Required</u>	- No transportation improvements are required.
<u>Public Transportation: Pedestrian/Bicycle</u>	<u>No Mitigation Required</u>	- Pedestrian/bicycle accommodations are not necessitated because of this proposed use.
<u>Public Safety</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to the County’s emergency services or facilities.
<u>Public Schools</u>	<u>No Mitigation Required</u>	- The proposal is not expected to generate any schoolchildren.
<u>Public Parks and Recreation</u>	<u>No Mitigation Required</u>	- The proposal is not expected to generate any impacts to public parks and recreation.
<u>Public Libraries and Cultural Centers</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to public libraries or cultural centers.
<u>Groundwater and Drinking Water Resources</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to groundwater and drinking water resources.
<u>Watersheds, Streams, and Reservoirs</u>	<u>No Mitigation Required</u>	- The proposed infrastructure is not expected to impact Resource Protection Area or wetlands.
<u>Cultural/Historic</u>	<u>No Mitigation Required</u>	- The proposed infrastructure is not located within any identified historic or cultural resources.
<u>Nearby and Surrounding Properties</u>	<u>Mitigated</u>	- The proposal is not anticipated to impact neighboring properties. Proposed Condition No. 1 prohibits public water and sewer from being extended into the parcels designated Rural Lands. This condition is anticipated to protect the character of the Rural Lands portion of the properties.
<u>Community Character</u>	<u>Mitigated</u>	
<u>Covenants and Restrictions</u>	<u>No Mitigation Required</u>	- The applicant has verified that she is not aware of any covenants or restrictions on the property that prohibit the proposed use.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0022. Westport Subdivision Tie-In to James City Service Authority
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

PROPOSED SUP CONDITIONS

Proposed conditions are provided as Attachment No. 1.

STAFF RECOMMENDATION

Overall, staff finds the proposal to be inconsistent with the County's adopted Comprehensive Plan. As such, staff is unable to recommend approval of this application to the Planning Commission. Staff also recommends that the Planning Commission find this application inconsistent with Section 15.2-2232 of the Code of Virginia. Should the Planning Commission recommend approval of this application to the Board of Supervisors, staff has included proposed conditions to mitigate impacts, as well as a consistency determination resolution finding it substantially in accord with the adopted Comprehensive Plan as Attachment No. 5.

TW/ap
SUP23-22_Wstprt

Attachments:

1. Proposed SUP Conditions
2. Location Map
3. Community Impact Statement and Master Plan
4. Resolution finding the application Not Consistent with the Comprehensive Plan, per 15.2-2232
5. Resolution finding the application consistent with the adopted Comprehensive Plan, per 15.2-2232
6. James City County Utility Policy
7. Conceptual Layout

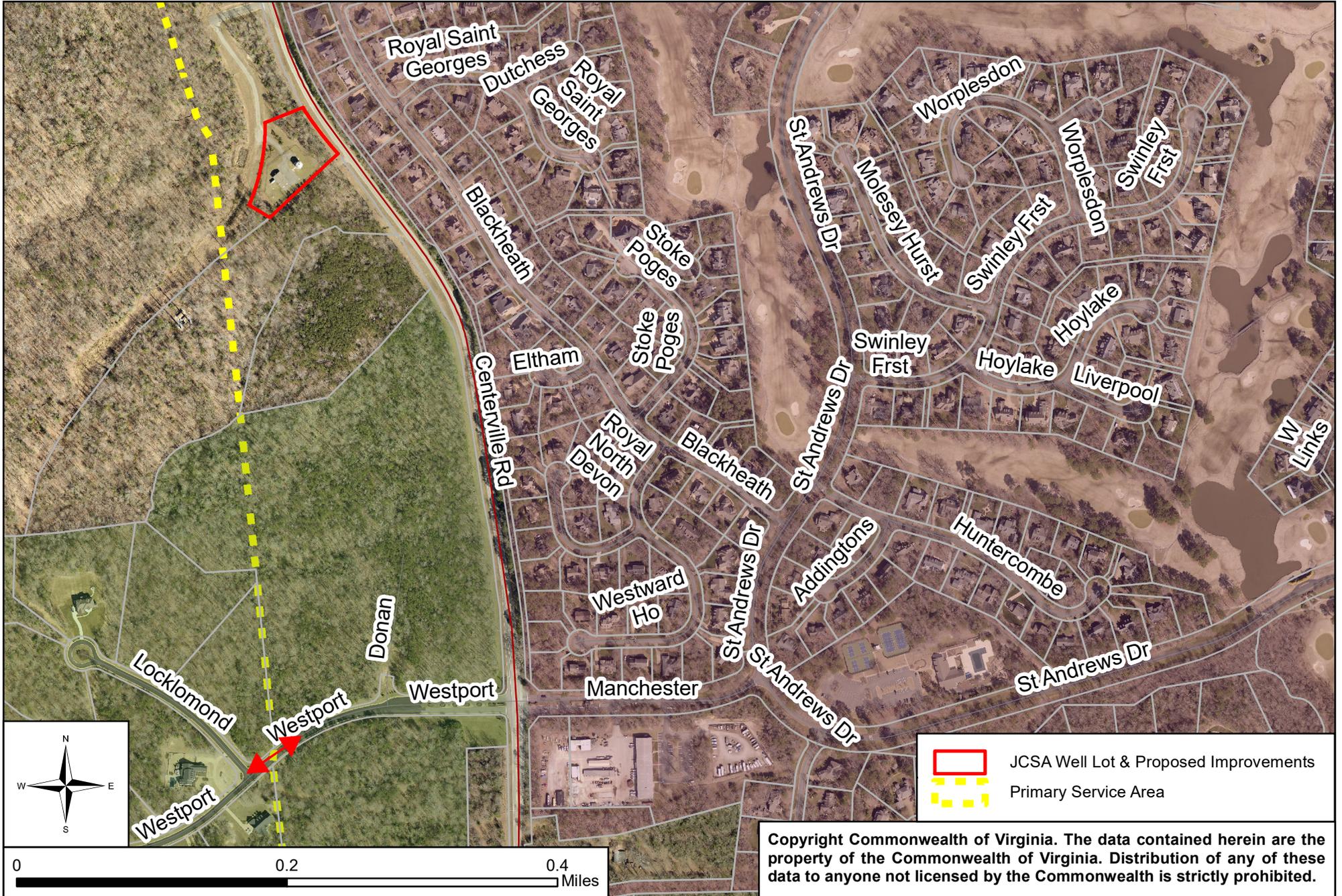
This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED CONDITIONS FOR CASE NO. SUP-23-0022.

WESTPORT SUBDIVISION TIE-IN TO JAMES CITY SERVICE AUTHORITY

1. Master Plan. This Special Use Permit (the “SUP”) shall be valid for the installation of a water main with a diameter of three (3) inches or greater in accordance with the Master Plan entitled “JCSA Master Plan” prepared by JCSA, dated November 15, 2023 (the “Master Plan”), with any deviations considered per Section 24-23(a)(2) of the James City County Zoning Ordinance, as amended.
2. Connections Outside of the Primary Service Area (PSA). No connections shall be made to the existing water system which would serve any property located outside the PSA with the exception of one connection no larger than a 1-1/4-inch service line for each platted lot recorded in the James City County Circuit Court Clerk’s Office as of December 1, 2023.
3. Construction Hours. The hours of construction shall be limited to daylight hours, Monday through Friday.
4. Commencement. Final approval of the site plan shall be obtained within 24 months of issuance of this SUP or the SUP shall become void.
5. Severability. The SUP is not severable. Invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.

SUP 23-0022. Westport JCSA Tie-In





Community Impact Statement for Connection of Westport Independent System to JCSA Central Water System

June 22, 2023

Project Need and Background:

JCSA's water system consists of a larger Central System that provides water service mostly inside of the Primary Service Area (PSA), and 8 smaller independent water systems that serve developments outside of the PSA. Due to the limited number of customers served by independent water systems, and the complex nature of the facilities required to serve these developments, these water systems generally operate at a loss and cannot be financially supported by the limited customer base alone. Recent changes to County land development ordinances limit the potential for future independent water systems.

As part of a review of the Central System water treatment facility needs, JCSA staff has identified potential benefits of combining the Liberty Ridge and Westport independent well facilities with the Central System. The Liberty Ridge and Westport systems are located in close proximity to the Central System. Connecting these independent systems to the Central System would provide the following benefits:

- The systems would be combined into the Central System DEQ groundwater withdrawal permit. No change to the limits of the Central System withdrawal permit is anticipated. This would result in 2 fewer GW permits to manage and streamline reporting requirements.
- The systems would be combined into VDH Central System operations permit. It is expected that this would increase the VDH permitted capacity. This would result in 2 fewer permits to manage, and it would also streamline sampling and reporting requirements as these would no longer be treated as separate water systems.
- Improves reliability/redundancy to Liberty Ridge and Westport by providing an additional water source.
- Adds two newer well facilities with excess capacity to the Central System, which provides opportunities to reevaluate needed improvements at some of the older Central System well facilities. For example, the well facility at the Pottery is in need of rehabilitation to address structural damage to the 500,000 gallon storage tank and removal of an old fire pump system. Adding the two additional well facilities will allow JCSA to abandon the Potter facility, thus avoiding significant investments to make the necessary improvements to a 40+ year old facility. This can be done without negatively impacting our DEQ or VDH permits.
- Water from these independent well facilities is less costly to produce compared to Five Forks Water Treatment Plant (FFWTP) will reduce the load on FFWTP.

Several developments outside of the PSA have been connected to the Central System in the past, most notably, Governors Land and Greensprings West. In addition, Stonehouse was originally constructed as an Independent System, but was eventually connected to the Central System.

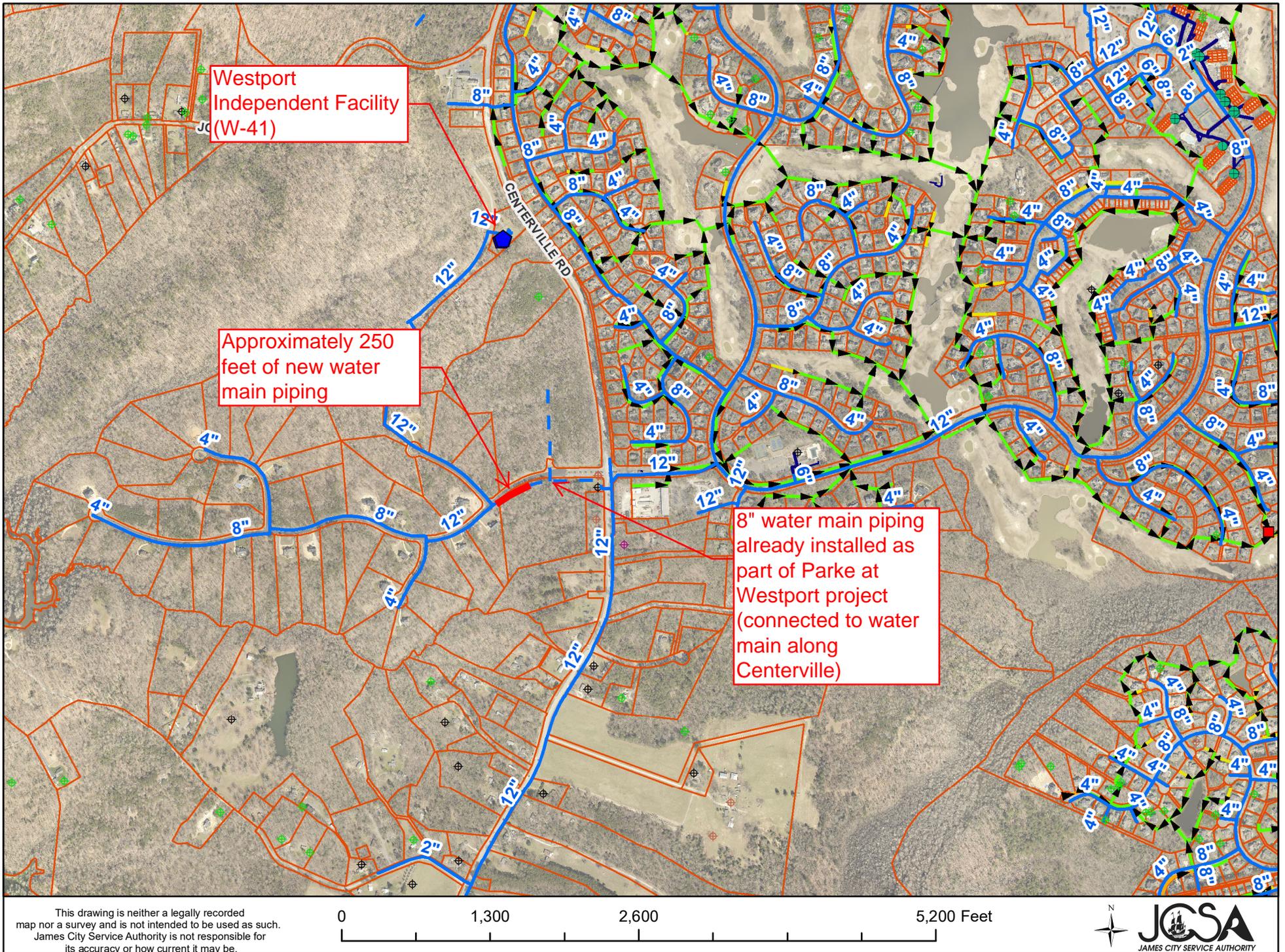
A conceptual plan (C-23-0026) was submitted in May 2023. Based on direction from JCC Planning, a Special Use Permit would be required to connect these systems.

Project Impacts

- **Traffic:** The proposed project will not increase the amount of traffic generated.
- **Water and Sewer:** As stated above, the proposed project will provide positive improvements to the JCSA Water System. There will not be any impacts to sewer as part of the project.
- **Environmental/Site/SRP:** Water main installation will take place within existing VDOT right of way. SRP comments on the conceptual plan stated that a land disturbance permit would not be required for the project.

Master Plan

- See attached for proposed improvements.



This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. James City Service Authority is not responsible for its accuracy or how current it may be.

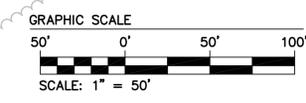
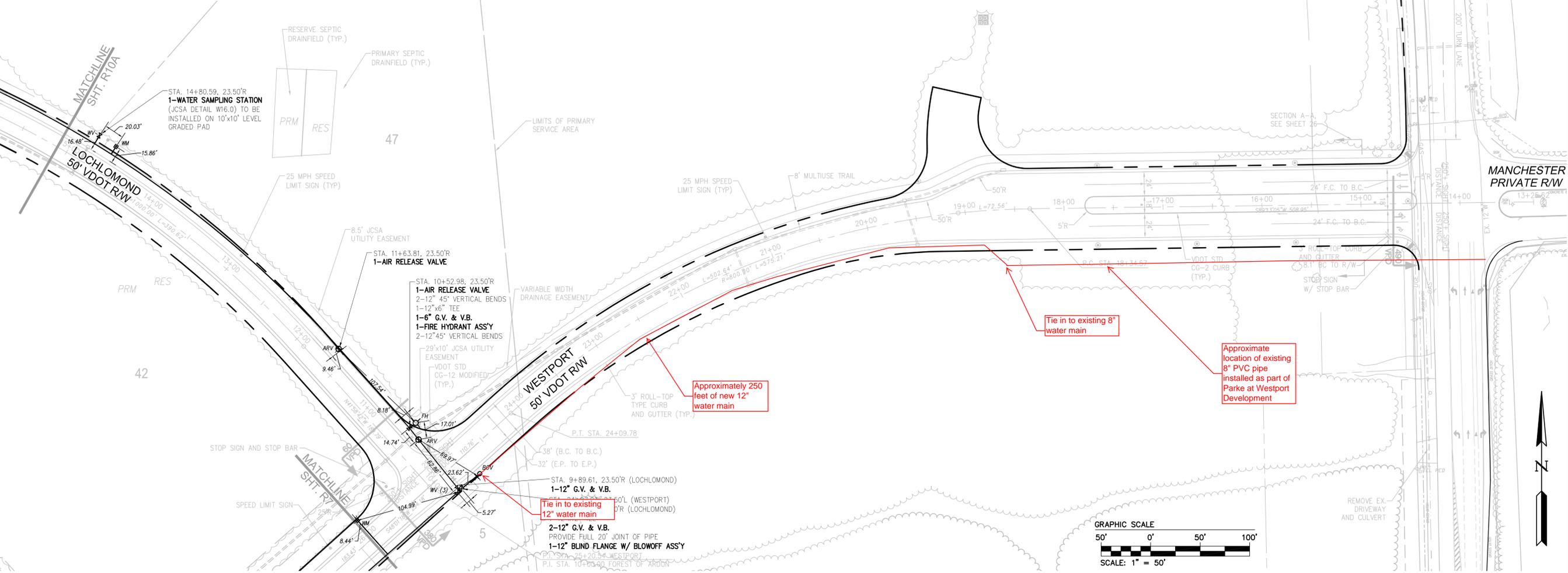
RESTRAINED JOINT LENGTHS						
FITTING	11.25'	22.5'	45'	90'	PLUG/VALVE	REDUCER
12" HORIZONTAL	5'	10'	20'	45'	135'	-
8" HORIZONTAL	5'	10'	15'	35'	100'	-
6" HORIZONTAL	5'	5'	10'	25'	75'	-
4" HORIZONTAL	5'	5'	10'	20'	55'	-
12x12	-	-	-	-	-	100'
12x8	-	-	-	-	-	75'
12x6	-	-	-	-	-	100'
8x8	-	-	-	-	-	75'
8x6	-	-	-	-	-	40'
8x4	-	-	-	-	-	70'

NOTE: L = CORRESPONDING LENGTH BELOW

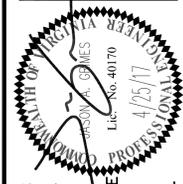
ASSUME: 150 PSI TEST PRESSURE
BARE PIPE (NO POLYETHYLENE WRAP)
LAYING CONDITION 4
SILT & SOILS
3" MIN. COVER
1.5 SAFETY FACTOR

- GENERAL NOTES**
- ALL RADII SHOWN ARE DIMENSIONED TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - SEE JCSA GENERAL NOTES FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEM ON THIS SHEET.
 - ALL CONCRETE SHALL HAVE EXPOSED AGGREGATE FINISH.
 - MAINTAIN A MINIMUM 5' HORIZONTAL SEPARATION BETWEEN WATERLINE AND ALL OTHER UTILITIES AND STORM SEWER STRUCTURES.
 - ALL SPEED LIMIT SIGNS ARE TO BE 25 MPH.
 - DIMENSIONS WITH ASTERISK (*) ARE MEASURED FROM FACE OF CURB TO FACE OF CURB.

- HRPDC DETAIL REFERENCES**
- EARTHWORK (EW)
EW_01 PIPE BEDDING DETAILS (TYPE 4-PVC, TYPE 3-DIP)
- WATER DISTRIBUTION SYSTEMS (WD)
WD_01 SINGLE & DUAL SERVICE CONNECTIONS **
WD_05 BLOW-OFF ASSEMBLY **
WD_06 FIRE HYDRANT SETTING (TYPE I) **
WD_09 TEMPORARY MANIFOLD FOR TEST & CHLORINATION **
- WATER & SANITARY SYSTEMS (WS)
WS_01 STANDARD VALVE BOX FRAME AND COVER
WS_02 VALVE SETTING DETAIL
WS_03 MANUAL AIR VENT ASSEMBLY **
WS_04 STEEL CASING DETAIL
WS_05 STANDARD THRUST BLOCK
WS_07 RESTRAINING ROD DETAIL
- ** REFER TO SPECIAL PROVISIONS TO REGIONAL STANDARDS (3rd EDITION, JANUARY 2003) (APPENDIX A TO JCSA STANDARDS AND SPECIFICATIONS)
- JCSA DETAIL REFERENCES**
W1.0 TYPICAL WATER METER INSTALLATION
W1.0 5/8 x 3/4 THRU 1" RESIDENTIAL METER SETTING
W1.0 WATER SAMPLE STATION DETAIL



No.	DATE	REVISION / COMMENT / NOTE	BY
3	4/25/17	JCSA WATERLINE RECORD DRAWINGS	JAG
2	8/17/15	JCSA WATERLINE RECORD DRAWINGS	PCJ
1	7/20/15	JCSA WATERLINE RECORD DRAWINGS	LBA



"THE AS-BUILT LOCATIONS AND GRADES SHOWN ON THESE DRAWINGS, ARE ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND I CERTIFY THAT I, OR MY AGENT, HAVE MADE SUFFICIENT INSPECTION TO ENSURE THE ACCURACY OF THIS STATEMENT."

JASON A. GRIMES, P.E. DATE 4/25/17

AECS
CONSULTING ENGINEERS
Hampton Roads | Central Virginia | Middle Peninsula

6248 Old Towne Road, Suite 1
Williamsburg, Virginia 23188
Phone: (757) 220-8884
Fax: (757) 220-8884
www.aecsv.com

JCSA WATERLINE RECORD DRAWINGS FOR WESTPORT SUBDIVISION FORD'S COLONY AT WILLIAMSBURG SECTION XXXV, LOTS 1-87

POWhatan DISTRICT JAMES CITY COUNTY VIRGINIA

Designed CBR/QAM	Drawn LBA/DLD
Scale 1"=50'	Date 5/15/14
Project No. 5652-21	
Drawing No. R6	

RESOLUTION

VIRGINIA CODE 15.2-2232 ACTION ON CASE NO. SUP-23-0022. 4891 CENTERVILLE

ROAD WESTPORT WATER SYSTEM TIE-IN

WHEREAS, in accordance with Section 15.2-2232 of the Code of Virginia, a public utility facility, whether publicly or privately owned, shall not be constructed, established or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the Planning Commission as being substantially in accord with the adopted Comprehensive Plan or part thereof; and

WHEREAS, James City Service Authority (the “Owner”) owns property located at 4891 Centerville Road and further identified as James City County Real Estate Tax Map Parcel No. 3040100007A (the “Property”), which is zoned A-1, General Agricultural; and

WHEREAS, Ms. Karlyn Owens on behalf of the Owner, has applied for a Special Use Permit to install 250 feet of a new 12-inch water main within the Westport right-of-way as shown on a plan titled “JCSA Master Plan” and dated November 15, 2023; and

WHEREAS, in accordance with 15.2-2204 of the Code of Virginia and Section 24-9 of the James City County Zoning Ordinance, a public hearing was advertised, adjacent property owners notified, and a hearing scheduled for Case No. SUP-23-0022.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of James City County, Virginia, finds that the general or approximate location, character, and extent of the public facility shown in Case No. SUP-23-0022 are not substantially in accord with the adopted Comprehensive Plan and applicable parts thereof.

Frank Polster
Chairman, Planning Commission

ATTEST:

Susan Istenes, Secretary
Clerk to the Board

Adopted by the Planning Commission of James City County, Virginia, this 6th day of December, 2023.

SUP23-22_Wstprt-res

RESOLUTION

VIRGINIA CODE 15.2-2232 ACTION ON CASE NO. SUP-23-0022. 4891 CENTERVILLE

ROAD WESTPORT WATER SYSTEM TIE-IN

WHEREAS, in accordance with Section 15.2-2232 of the Code of Virginia, a public utility facility, whether publicly or privately owned, shall not be constructed, established or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the Planning Commission as being substantially in accord with the adopted Comprehensive Plan or part thereof; and

WHEREAS, James City Service Authority (the “Owner”) owns property located at 4891 Centerville Road and further identified as James City County Real Estate Tax Map Parcel No. 3040100007A (the “Property”), which is zoned A-1, General Agricultural; and

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WHEREAS, in accordance with 15.2-2204 of the Code of Virginia and Section 24-9 of the James City County Zoning Ordinance, a public hearing was advertised, adjacent property owners notified, and a hearing scheduled for Case No. SUP-23-0022.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of James City County, Virginia, finds that the general or approximate location, character, and extent of the public facility shown in Case No. SUP-23-0022 are substantially in accord with the adopted Comprehensive Plan and applicable parts thereof.

Frank Polster
Chairman, Planning Commission

ATTEST:

Susan Istenes, Secretary
Clerk to the Board

Adopted by the Planning Commission of James City County, Virginia, this 6th day of December, 2023.

SUP23-22_Wstprt-res

Primary Service Area - Utility Policy

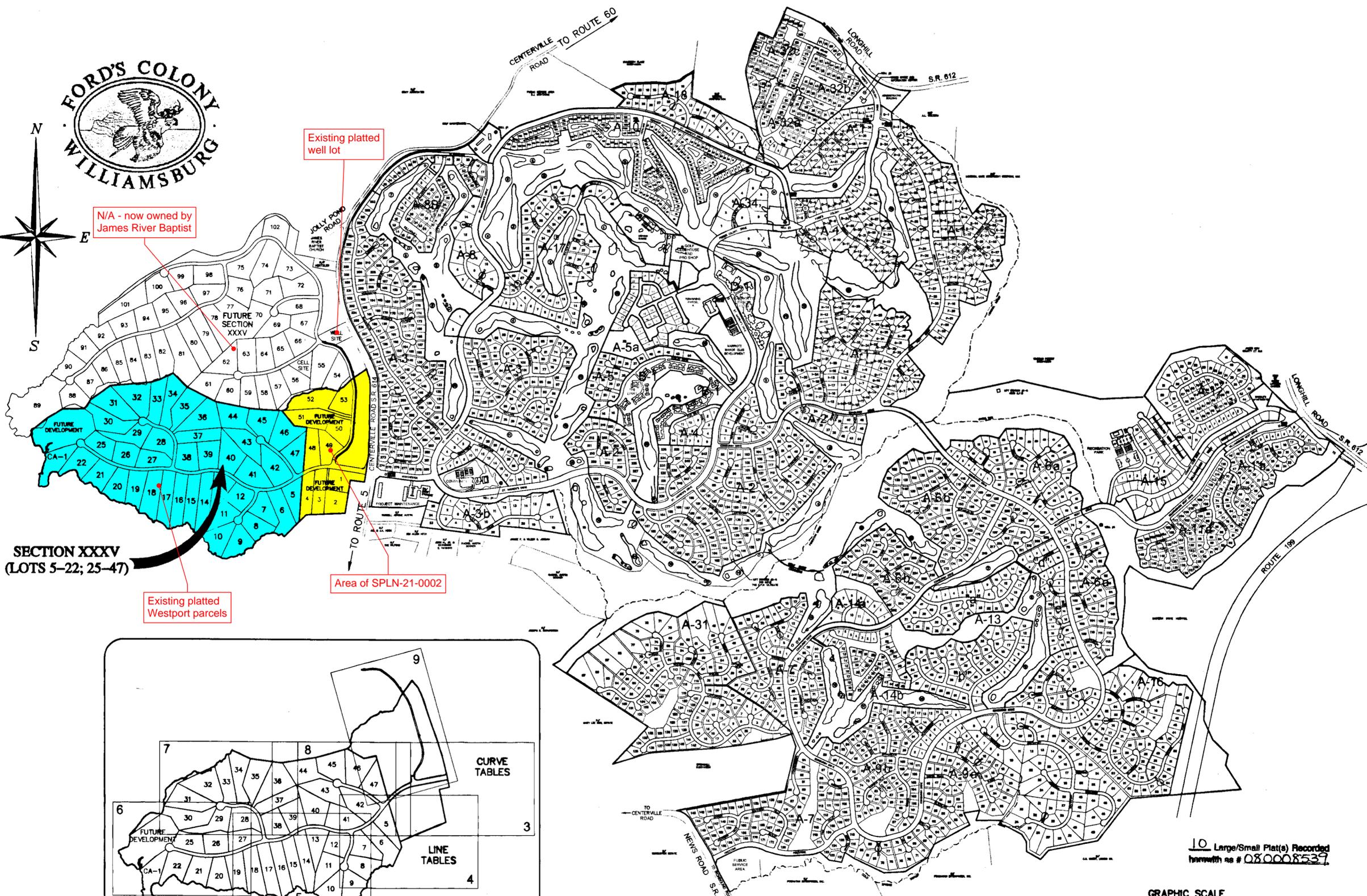
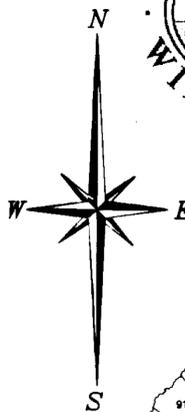
James City County's Utility Policy plays a major role in limiting growth to areas within the PSA. The following outlines the County's pertinent water and sewer requirements, which are explained in more detail in the County's Zoning Ordinance and Subdivision Ordinance, and in the regulations governing utility service provided by the James City Service Authority (JCSA).

Generally speaking, most existing development inside the PSA is connected to public water and sewer, and new development must connect if it is a major residential subdivision or within 55-feet of JCSA infrastructure that is accessible through an applicable and existing right-of-way and/or JCSA water or sanitary sewer easement. Most developments desire to be served by public water and sewer to achieve a higher density and reduce the infrastructure costs. Outside the PSA, subdividers of major subdivisions are required by the Subdivision Ordinance to construct an independent water system, but can use individual onsite sewage disposal systems. Subdividers of minor subdivisions are permitted to use individual well and sewage disposal systems.

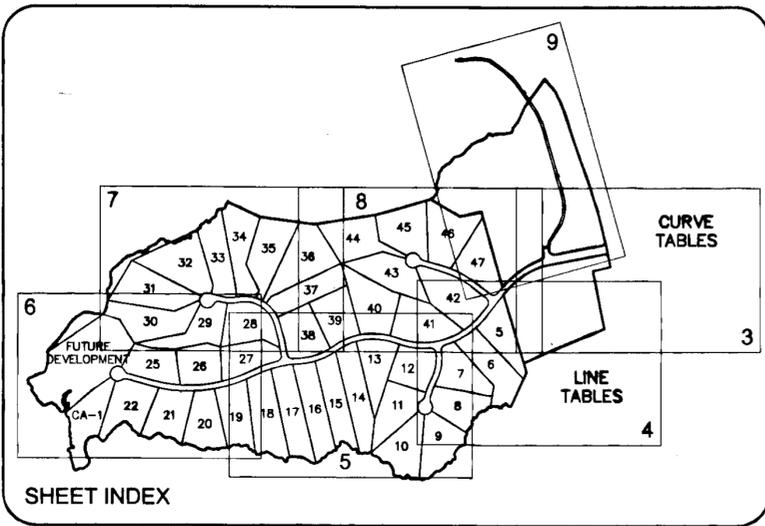
An SUP is required for extensions of major water and sewer mains. SUPs for utility extensions within the PSA occur infrequently due to the extensive network of utility lines already in place. The PSA concept strongly discourages extension of utilities outside the PSA. Over past years, there have been certain limited locations that have received SUPs for extension of utilities. Other than two exceptions for neighborhoods (Governors Land on John Tyler Highway and Deer Lake Rural Cluster adjacent to Colonial Heritage), the extensions have been to serve a significant public purpose (school sites), address health and safety situations (Chickahominy Road Community Development Block Grant area, Riverview Plantation, and Greensprings Mobile Home Park), or improve utility service inside the PSA (Cranston's Mill Pond Road and Jolly Pond Road mains, and the JCSA College Creek Pipeline). In keeping with the Utility Policy included as part of the 1997 Comprehensive Plan, all of the SUPs associated with these mains include conditions that place clear limits on connections to directly adjacent properties, a policy that should continue into the future.

Finally, the developer is responsible for paying the cost of providing water and sewer service to and within new subdivisions. JCSA may contribute to the costs to upsize water or sewer lines to serve additional areas. Any decisions about changes to the Utility Policy and the PSA must be carefully examined in conjunction with decisions about Rural Lands policy, which is discussed above.

080008539

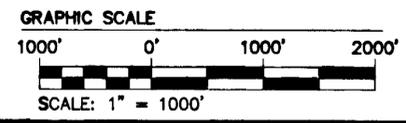


SECTION XXXV
(LOTS 5-22; 25-47)



VICINITY MAP

10 Large/Small Plat(s) Recorded
herewith as # 080008539



City of Williamsburg & County of James City
Circuit Court: This PLAT was recorded on
3-27-2008
at 2:16 PM, PB PG
DOCUMENT # 080008539
BETSY B. WOOLRIDGE, CLERK
Betsy B. Woolridge Clerk

No.	DATE	REVISION / COMMENT / NOTE	BY
4	2/28/08	REVISED PER COUNTY COMMENTS	JAG AMR
3	2/15/08	REVISED PER COUNTY COMMENTS	JAG GVC
2	8/9/07	REVISED PER COUNTY COMMENTS	JAG AWT
1	1/24/07	REVISED PER COUNTY COMMENTS	JAG AWT

Designed JAG	Drawn AES
Scale 1"=1000'	Date 3/5/08
Project No. 5652-21	
Drawing No. 1 of 10	

CONSULTING ENGINEERS
WILLIAMSBURG • RICHMOND • GLOUCESTER

5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994

PLAT OF SUBDIVISION
LOTS 5 - 22; 25 - 47, SECTION XXXV
**FORD'S COLONY
@ WILLIAMSBURG**
POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA

CERTIFICATION OF SOURCE OF TITLE

THE PROPERTY SHOWN ON THIS SUBDIVISION PLAT WAS CONVEYED BY GORDON CREEK CORPORATION, A VIRGINIA CORPORATION TO REALTEC, INCORPORATED, A NORTH CAROLINA CORPORATION BY DEED DATED MARCH 31, 2005 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY AS INSTRUMENT NO. 050007368 ON APRIL 1, 2005.

THE PROPERTY SHOWN ON THIS SUBDIVISION PLAT WAS CONVEYED BY THEODORA GREENHOW WILSON TO REALTEC, INCORPORATED, A NORTH CAROLINA CORPORATION BY DEED DATED FEBRUARY 16, 2006 AND RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE COUNTY OF JAMES CITY AS INSTRUMENT NO. 060008988 ON APRIL 19, 2006.

OWNER'S CERTIFICATE

THE SUBDIVISION SHOWN ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS, PROPRIETORS AND OR TRUSTEES.

[Signature] 2/28/08
FOR REALTEC, INCORPORATED DATE

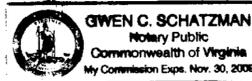
DREW R. MULHARE
PRINTED NAME

CERTIFICATE OF NOTARIZATION

STATE OF VIRGINIA
CITY/COUNTY OF JAMES CITY, GIVEN C. SCHATZMAN
A NOTARY PUBLIC IN AND FOR THE CITY/COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT THE PERSON WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAS ACKNOWLEDGED THE SAME BEFORE ME IN THE CITY/COUNTY AFORESAID.
GIVEN UNDER MY NAME THIS DAY 28th OF FEBRUARY, 2008.

MY COMMISSION EXPIRES 11/30/09

[Signature] 361448
SIGNATURE



REFERENCES:

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH ALL OF THE REQUIREMENTS OF THE BOARD OF SUPERVISORS AND ORDINANCES OF THE COUNTY OF JAMES CITY, VIRGINIA, REGARDING THE PLATTING OF SUBDIVISIONS WITHIN THE COUNTY.

[Signature] 2/28/08
THOMAS C. SUBLETT L.S. #1886 DATE

GENERAL NOTES

- TAX MAP PARCEL TO BE SUBDIVIDED # (36-2)(1-1), (36-2)(1-1B), (36-2)(1-2), AND (36-2)(1-3); ADDITIONALLY A JCSA UTILITY EASEMENT IS SHOWN ON PARCELS # (36-2)(1-1A), (36-2)(1-56), AND (30-3)(1-2).
- PROPERTY AS SHOWN IS CURRENTLY ZONED "A1" - GENERAL AGRICULTURAL DISTRICT.
- BUILDING SETBACKS SHOWN ARE AS DESCRIBED IN THE CURRENT JCC ORDINANCE. DECLARANT RESERVES THE RIGHT TO MODIFY SETBACKS AS ALLOWED BY JAMES CITY COUNTY.
FRONT = 75'
FRONT (SIDE STREET) = 50'
SIDE = 15' (MAIN STRUCTURE); 5' (ACCESSORY BUILDING)
REAR = 35' (MAIN STRUCTURE); 5' (ACCESSORY BUILDING)
- THIS PLAT IS BASED UPON RECORD INFORMATION AND FIELD SURVEYS PREVIOUSLY PERFORMED BY AES CONSULTING ENGINEERS AND DOES NOT REPRESENT A CURRENT FIELD SURVEY. EASEMENTS OF RECORD MAY EXIST BUT ARE NOT SHOWN ON THIS PLAT. THIS PLAT PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.
- C/L OF STREAMS AND THE EDGE OF WATER OF GORDON'S CREEK WERE TAKEN FROM DIGITAL AERIAL TOPOGRAPHY AND MAPPING, DATED JUNE, 2002 BY WINGS AERIAL MAPPING CO., INC. THE MEAN LOW WATER OF GORDON'S CREEK AS SHOWN IS APPROXIMATE, THE ACTUAL MEAN LOW WATER OF GORDON'S CREEK IS THE PROPERTY LINE.
- AREAS ARE COMPUTED TO CENTERLINE STREAM, OR ALONG MEAN LOW WATER OF GORDON'S CREEK AS NOTED ON PLAT. SURVEY TIE LINES ARE FOR CLOSURE PURPOSES ONLY.
- THE PARCELS WITHIN THE PSA SHALL BE SERVED BY PUBLIC SEWER AND WATER SYSTEMS OF THE JAMES CITY SERVICE AUTHORITY. LOTS OUTSIDE THE PSA SHALL BE SERVED BY PRIVATE SEPTIC SYSTEMS AND A COMMUNITY WELL.
- SEPTIC TANK AND SOILS INFORMATION SHOULD BE VERIFIED AND REEVALUATED BY THE HEALTH DEPARTMENT PRIOR TO ANY NEW CONSTRUCTION.
- THE DRAINFIELD LOCATIONS SHOWN ON THIS DRAWING HAVE BEEN PROVIDED AND FIELD LOCATED BY ENVIRO UTILITIES. TELEPHONE # (804) 796-1090
- UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS DESIGNATED ON THIS PLAT SHALL BE PRIVATE.
- ALL UTILITIES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH SECTION 19-33 OF THE JAMES CITY COUNTY SUBDIVISION ORDINANCE.
- UTILITY EASEMENTS DENOTED AS "JCSA UTILITY EASEMENTS" ARE FOR THE EXCLUSIVE USE OF THE JCSA AND THE PROPERTY OWNER. OTHER UTILITY SERVICE PROVIDERS DESIRING TO USE THESE EASEMENTS WITH THE EXCEPTION OF PERPENDICULAR UTILITY CROSSINGS MUST OBTAIN AUTHORIZATION FOR ACCESS AND USE FROM THE JCSA AND THE PROPERTY OWNER. ADDITIONALLY, JCSA SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE TO IMPROVEMENTS WITHIN THIS EASEMENT, FROM ANY CAUSE.
- THE CENTERLINE OF THE SANITARY SEWER AND WATER LINE PIPE IS THE CENTERLINE OF THE JCSA EASEMENT.
- ANY EXISTING, UNUSED WELLS SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
- PORTIONS OF THIS PROPERTY LIE WITHIN RPA (RESOURCE PROTECTION AREAS) AND ARE SUBJECT TO REGULATION UNDER THE CHESAPEAKE BAY PRESERVATION ORDINANCE.
- WETLANDS AND LAND WITHIN RESOURCE PROTECTION AREAS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7(c)(1) OF THE JAMES CITY COUNTY CODE. WETLANDS LOCATIONS WERE DELINEATED BY KOONTZ BRYANT, P.C., CONFIRMED BY THE ARMY CORPS OF ENGINEERS, AND LOCATED BY FIELD SURVEY.
- OWNERS AND BUILDERS ARE REFERRED TO THE "DECLARATION OF PROTECTIVE COVENANTS AND THE SUPPLEMENTAL DECLARATION OF PROTECTIVE COVENANTS, SECTION XXXV, FORD'S COLONY AT WILLIAMSBURG" FOR ADDITIONAL BUILDING RESTRICTIONS AND REGULATIONS IMPOSED BY THE DEVELOPER AND OR HIS ASSIGNS.
- NEW MONUMENTS SHALL BE SET IN ACCORDANCE WITH SECTIONS 19-34 THRU 19-36 OF THE JAMES CITY COUNTY SUBDIVISION ORDINANCE.
- THIS PROPERTY LIES WITHIN ZONES X AND AE AS SHOWN ON F.I.M.A. FLOOD MAPS 510201 115C AND 120C, DATED SEPTEMBER 28, 2007. THE BASE FLOOD ELEVATION OF 7.5 FEET IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH CORRESPONDS TO ELEVATION 8.5 FEET ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) WHICH THIS PROJECT TOPOGRAPHY IS BASED.
- RPA SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH SECTION 23-7(c) OF THE CHESAPEAKE BAY PRESERVATION ORDINANCE AND THE JAMES CITY COUNTY CODE.
- IN ACCORDANCE WITH SECTION 19-20H OF THE JAMES CITY COUNTY ZONING ORDINANCE, THE NATURAL OPEN SPACE EASEMENTS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7 (C)(1) OF THE JAMES CITY COUNTY CODE.

GENERAL NOTES (CONTINUED):

- THIS PROPERTY LIES WITHIN ZONES X AND AE AS SHOWN ON F.I.M.A. FLOOD MAPS 510201 115C AND 120C, DATED SEPTEMBER 28, 2007. THE BASE FLOOD ELEVATION OF 7.5 FEET IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH CORRESPONDS TO ELEVATION 8.5 FEET ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) WHICH THIS PROJECT TOPOGRAPHY IS BASED.
- THE STREETS WITHIN THE SUBDIVISION WILL BE DEDICATED FOR PUBLIC USE.
- JAMES CITY COUNTY DEVELOPMENT REVIEW COMMITTEE APPROVED EXTENDING CUL-DE-SAC RIGHT-OF-WAY LENGTHS FOR THE FOLLOWING ROADS (FOR DESCRIBED LENGTHS): ESKERHILLS (1,153'); WESTPORT (1,619'); DUNHUGH (1,502'); FOREST OF ARDON (1,053'); TAYMOUTH CASTLE (3,451').
- A 15' PRINCIPAL DWELLING FOUNDATION SETBACK EXISTS OFF ALL RPA BUFFERS AND CONSERVATION EASEMENTS. THIS SETBACK PROHIBITS THE INSTALLATION OF BUILDING FOUNDATIONS ASSOCIATED WITH THE PRIMARY DWELLING AND DOES NOT PROHIBIT THE INSTALLATION OF DECKS, PATIOS OR OTHER STRUCTURES NOT REQUIRING A FOUNDATION.

AREA TABULATION

	S.E.±	ACRES±
TOTAL AREA OF RESIDENTIAL LOTS	6,738,043	154.88
FUTURE DEVELOPMENT AREAS (1-3)	2,473,709	56.79
TOTAL AREA OF R/W	427,717	9.82
TOTAL AREA OF COMMON AREA	171,060	3.93
TOTAL AREA OF SECTION XXXV (SEE NOTE 6)	9,810,529	225.22
TOTAL NUMBER OF LOTS SECTION XXXV	41	
AVERAGE LOT SIZE	188,451 S.F.	3.87
GROSS LOTS PER ACRE	0.18 LOTS/ACRE	
TOTAL AREA OF CONSERVATION EASEMENT	83,584	1.46
TOTAL LENGTH OF ROADS	7,350 L.F.	

LEGEND

--- --	RIGHT-OF-WAY LINE	●	IRON ROD SET
-----	PROPERTY LINE	■	CONCRETE MONUMENT FOUND
-----	CENTER LINE	RPA	RESOURCE PROTECTION AREA
-----	TRAVERSE LINE	PRM	PRIMARY DRAINFIELD
-----	EASEMENT	RES	RESERVE DRAINFIELD
-----	BUILDING SETBACK LINE (B.S.L. TYP.)	C/L	CENTERLINE
-----	WETLANDS LINE	P/L	PROPERTY LINE
-----	RPA BUFFER LINE		
-----	STREAM		

CERTIFICATE OF APPROVAL

THIS SUBDIVISION IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH EXISTING SUBDIVISION REGULATIONS AND MAY BE ADMITTED TO RECORD.

[Signature] 3/19/08
VIRGINIA DEPARTMENT OF TRANSPORTATION DATE

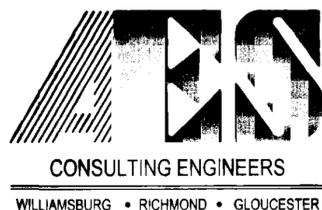
[Signature] 3/18/08
VIRGINIA DEPARTMENT OF HEALTH DATE

[Signature] 3/16/08
SUBDIVISION AGENT OF JAMES CITY COUNTY DATE

10 Large/Small Plat(s) Recorded herewith as # 080008539

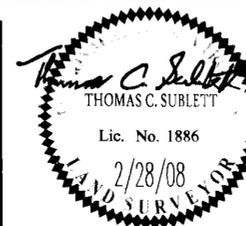
STATE OF VIRGINIA
CITY OF WILLIAMSBURG & COUNTY OF JAMES CITY CIRCUIT COURT.
THIS 27 DAY OF MARCH, 2008.
THE PLAT SHOWN HEREON WAS PRESENTED AND ADMITTED TO THE RECORD AS THE LAW DIRECTS. @ 2:16 AM/PM
INSTRUMENT # 080008539

TESTE: **BETSY B. WOOLRIDGE, CLERK**
By: *[Signature]* Deputy



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994

PLAT OF SUBDIVISION
LOTS 5 - 22; 25 - 47, SECTION XXXV
**FORD'S COLONY
@ WILLIAMSBURG**
POWhatan DISTRICT JAMES CITY COUNTY VIRGINIA



No.	DATE	REVISION / COMMENT / NOTE	BY
4	2/28/08	REVISED PER COUNTY COMMENTS	JAG AMR
3	2/15/08	REVISED PER COUNTY COMMENTS	JAG GVC
2	8/9/07	REVISED PER COUNTY COMMENTS	JAG AWI
1	1/24/07	REVISED PER COUNTY COMMENTS	JAG AWI

Designed	Drawn
JAG	AES
Scale	Date
N/A	3/5/08
Project No.	
5652-21	
Drawing No.	
2 of 10	

08000 8539

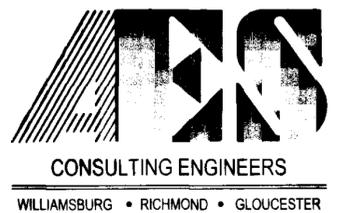
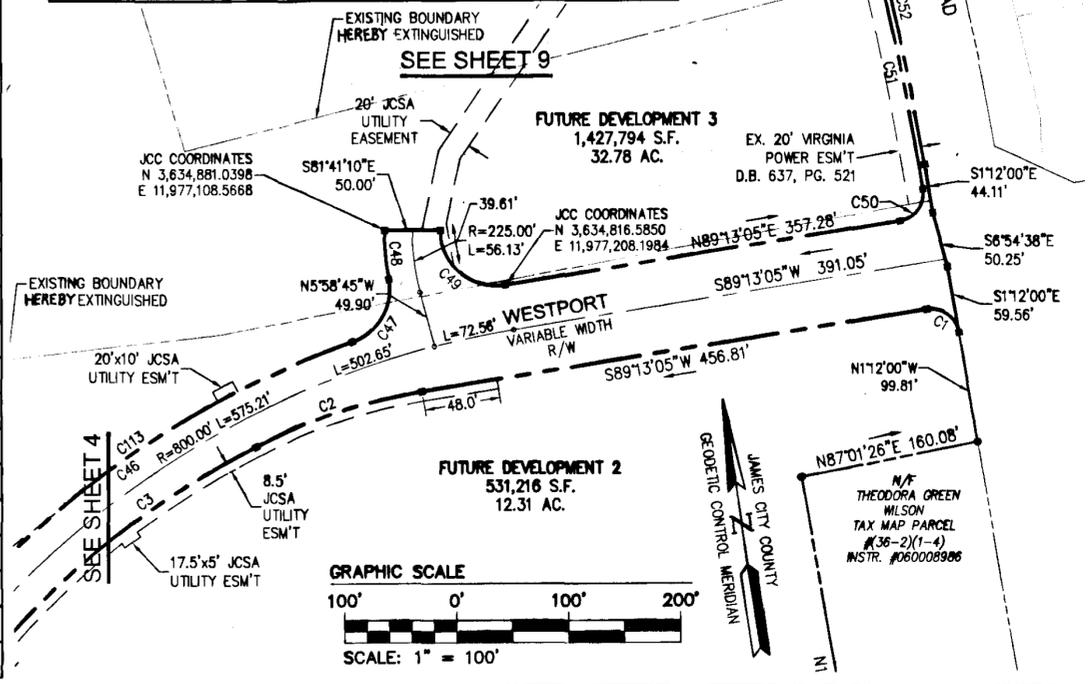
CURVE TABLE						
CURVE #	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	89°34'55"	25.00'	39.09'	24.82'	35.23'	N45°59'28"W
C2	18°23'16"	488.89'	156.90'	79.13'	156.23'	S80°01'27"W
C3	23°48'01"	735.30'	305.44'	154.95'	303.25'	S59°55'29"W
C4	35°20'07"	700.00'	431.70'	222.96'	424.89'	N65°41'22"E
C5	82°59'56"	50.00'	72.43'	44.24'	66.26'	N41°51'27"E
C6	35°14'40"	425.00'	261.43'	135.00'	257.33'	N17°58'49"E
C7	10°02'47"	725.00'	127.12'	63.72'	126.96'	S30°34'46"W
C8	53°12'59"	50.00'	46.44'	25.05'	44.79'	S1°03'07"E
C9	280°34'05"	67.50'	330.54'		86.26'	S67°22'34"E
C10	47°53'07"	50.00'	41.79'	22.20'	40.58'	N48°57'55"E
C11	10°34'47"	775.00'	143.11'	71.76'	142.90'	S30°18'46"W
C12	34°39'46"	375.00'	226.87'	117.03'	223.42'	N18°16'16"E
C13	86°06'01"	50.00'	75.14'	46.71'	68.26'	N42°06'38"W
C14	25°49'45"	700.00'	315.56'	160.51'	312.90'	S72°14'46"E
C15	57°03'27"	550.00'	547.71'	298.98'	525.36'	N87°51'37"W
C16	33°42'27"	625.00'	367.69'	189.34'	362.41'	N80°27'53"E
C17	24°31'21"	950.00'	406.60'	206.46'	403.50'	S85°03'26"W
C18	42°33'09"	1300.00'	965.48'	506.23'	943.44'	S85°55'40"E
C19	50°20'06"	50.00'	43.93'	23.49'	42.53'	N89°49'09"W
C20	280°40'41"	67.50'	330.67'		86.16'	S25°21'08"W
C21	50°19'27"	50.00'	43.92'	23.49'	42.52'	S39°29'22"E
C22	42°33'08"	1250.00'	928.34'	486.76'	907.16'	S85°55'40"E
C23	13°28'47"	1000.00'	235.27'	118.18'	234.72'	S79°32'10"W
C24	85°54'14"	50.00'	74.97'	46.55'	68.14'	N43°19'26"E
C25	4°44'13"	500.00'	41.34'	20.68'	41.33'	N1°59'48"W
C26	88°09'49"	275.00'	423.15'	266.32'	382.63'	N48°26'49"W
C27	29°47'48"	325.00'	169.02'	86.47'	167.12'	S77°37'49"E
C28	80°48'49"	40.00'	56.42'	34.05'	51.86'	S76°51'40"W
C29	255°03'16"	67.50'	300.48'		107.06'	S16°01'07"E
C30	29°47'48"	275.00'	143.01'	73.16'	141.41'	S77°37'49"E
C31	88°09'49"	325.00'	500.09'	314.75'	452.20'	N48°26'49"W
C32	4°44'13"	550.00'	45.47'	22.75'	45.46'	N1°59'48"W
C33	85°54'14"	50.00'	74.97'	46.55'	68.14'	S42°34'48"E
C34	2°51'02"	1000.00'	49.75'	24.88'	49.75'	N84°06'24"W
C35	33°42'27"	575.00'	338.28'	174.19'	333.42'	N80°27'53"E
C36	57°03'27"	600.00'	597.51'	326.16'	573.12'	N87°51'37"W
C37	72°38'49"	650.00'	824.15'	477.88'	770.05'	N84°20'43"E
C38	90°00'00"	50.00'	78.54'	50.00'	70.71'	N3°01'18"E
C39	22°22'52"	975.00'	380.86'	192.89'	378.44'	N53°10'08"W
C40	48°11'23"	60.00'	50.46'	26.83'	48.99'	N88°27'15"W
C41	276°22'46"	67.50'	325.60'		90.00'	S25°38'26"W
C42	48°11'23"	60.00'	50.46'	26.83'	48.99'	S40°15'52"E
C43	10°30'20"	67.50'	12.38'	6.21'	12.36'	N72°42'13"E
C44	22°22'52"	1025.00'	400.39'	202.78'	397.85'	N53°10'08"W

CURVE TABLE						
CURVE #	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C45	90°00'00"	50.00'	78.54'	50.00'	70.71'	S86°58'42"E
C46	31°08'06"	825.00'	448.31'	229.84'	442.82'	S63°35'21"W
C47	80°56'25"	50.00'	70.63'	42.66'	64.91'	N38°41'12"E
C48	10°05'50"	250.00'	44.06'	22.09'	44.00'	S31°55'55"W
C49	99°05'45"	50.00'	86.48'	58.64'	76.09'	S41°14'03"E
C50	90°00'53"	25.00'	39.28'	25.01'	35.36'	N44°12'38"E
C51	4°07'05"	2842.00'	204.26'	102.18'	204.22'	N2°51'21"W
C52	5°44'00"	2829.79'	283.17'	141.70'	283.05'	N4°04'00"W
C53	8°58'07"	700.00'	109.57'	54.90'	109.46'	N52°30'22"E
C54	19°30'16"	700.00'	238.29'	120.31'	237.14'	N66°44'34"E
C55	6°51'43"	700.00'	83.83'	41.97'	83.78'	N79°55'34"E
C56	1°24'26"	725.00'	17.80'	8.90'	17.80'	S34°53'57"W
C57	8°38'21"	725.00'	109.32'	54.76'	109.21'	S29°52'33"W
C58	68°59'32"	67.50'	81.28'	46.38'	76.46'	N6°50'10"E
C59	63°08'21"	67.50'	74.38'	41.48'	70.68'	N72°54'06"E
C60	52°42'41"	67.50'	62.10'	33.44'	59.93'	N49°10'22"W
C61	95°43'31"	67.50'	112.77'	74.61'	100.11'	S25°02'44"W
C62	3°08'36"	775.00'	42.52'	21.26'	42.51'	S26°35'40"W
C63	7°26'11"	775.00'	100.59'	50.36'	100.52'	S31°53'04"W
C64	22°53'53"	700.00'	279.75'	141.77'	277.90'	S73°42'42"E
C65	2°55'52"	700.00'	35.81'	17.91'	35.81'	S60°47'49"E
C66	36°50'48"	550.00'	353.70'	183.21'	347.64'	N77°45'17"W
C67	20°12'39"	550.00'	194.01'	98.02'	193.01'	N73°42'59"E
C68	1°10'35"	625.00'	12.83'	6.42'	12.83'	N64°11'57"E
C69	18°51'27"	625.00'	205.70'	103.79'	204.78'	N74°12'58"E
C70	13°40'26"	625.00'	149.16'	74.93'	148.80'	S89°31'06"E
C71	3°08'54"	950.00'	52.20'	26.11'	52.20'	N84°15'20"W
C72	12°05'20"	950.00'	200.44'	100.59'	200.07'	S88°07'33"W
C73	9°17'07"	950.00'	153.95'	77.15'	153.79'	S77°26'19"W
C74	3°38'19"	1300.00'	82.55'	41.29'	82.54'	S74°36'55"W
C75	13°16'05"	1300.00'	301.05'	151.20'	300.37'	N83°04'07"E
C76	7°54'32"	1300.00'	179.44'	89.87'	179.30'	S86°20'34"E
C77	14°04'06"	1300.00'	319.20'	160.41'	318.40'	S75°21'15"E
C78	3°40'06"	1300.00'	83.23'	41.63'	83.22'	S66°29'09"E
C80	51°58'57"	67.50'	61.24'	32.91'	59.16'	S88°59'43"E
C81	45°03'36"	67.50'	53.08'	28.00'	51.73'	S40°28'27"E
C82	146°40'58"	67.50'	172.81'	225.58'	129.33'	S55°23'50"W
C83	36°57'09"	67.50'	43.53'	22.55'	42.78'	N32°47'06"W
C84	12°02'47"	1250.00'	262.81'	131.89'	262.33'	S70°40'30"E
C85	17°08'55"	1250.00'	374.12'	188.47'	372.73'	S85°16'21"E
C86	13°21'26"	1250.00'	291.41'	146.37'	290.75'	N79°28'29"E
C87	17°00'47"	325.00'	96.50'	48.61'	96.15'	S84°01'20"E
C88	12°47'01"	325.00'	72.51'	36.41'	72.36'	S69°07'26"E

CURVE TABLE						
CURVE #	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C89	126°09'25"	67.50'	148.63'	132.93'	120.37'	S80°28'02"E
C90	26°59'00"	67.50'	31.79'	16.19'	31.50'	S3°53'49"E
C91	35°16'15"	67.50'	41.55'	21.46'	40.90'	S27°13'48"W
C92	66°38'35"	67.50'	78.51'	44.38'	74.16'	S78°11'14"W
C93	29°47'48"	275.00'	143.01'	73.16'	141.41'	S77°37'49"E
C96	10°59'17"	325.00'	62.33'	31.26'	62.23'	N55°56'31"W
C97	6°23'55"	325.00'	36.29'	18.17'	36.28'	N47°14'55"W
C98	28°47'20"	325.00'	163.30'	83.41'	161.59'	N29°39'18"W
C99	10°53'44"	325.00'	61.80'	31.00'	61.71'	N9°48'46"W
C100	30°22'49"	575.00'	304.88'	156.12'	301.33'	N82°07'43"E
C101	3°19'39"	575.00'	33.39'	16.70'	33.39'	S65°16'29"W
C102	25°18'41"	600.00'	265.06'	134.73'	262.91'	S76°16'00"W
C103	25°15'13"	600.00'	264.45'	134.41'	262.32'	N78°27'03"W
C104	6°29'33"	600.00'	67.99'	34.03'	67.95'	N62°34'40"W
C105	55°10'54"	650.00'	626.01'	339.68'	602.10'	S86°55'20"E
C106	17°27'55"	650.00'	198.14'	99.84'	197.37'	N56°45'16"E
C107	127°41'03"	67.50'	150.42'	137.43'	121.17'	S38°12'05"E
C108	22°11'55"	67.50'	26.15'	13.24'	25.99'	S36°44'24"W
C109	115°59'27"	67.50'	136.65'	108.00'	114.48'	N74°09'55"W
C110	5°38'28"	1025.00'	100.92'	50.50'	100.88'	N61°32'20"W
C111	16°44'24"	1025.00'	299.47'	150.81'	298.41'	N50°20'54"W
C112	2°08'35"	825.00'	30.86'	15.43'	30.86'	S49°05'36"W
C113	28°59'31"	825.00'	417.45'	213.30'	413.01'	S64°39'38"W
C114	1°08'22"	1125.00'	22.37'	11.19'	22.37'	N67°55'18"W
C115	4°37'15"	1125.00'	90.71'	45.39'	90.69'	N65°02'31"W

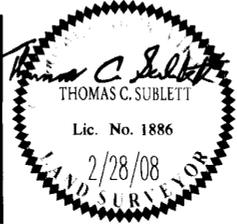
City of Williamsburg & County of James City
 Circuit Court: This PLAT was recorded on
 3-27-2008
 at 2:16 PM PG
 DOCUMENT # 080008539
 BETSY B. WOOLRIDGE, CLERK
Betsy B. Woolridge Clerk

10 Large (over 14") Plots Recorded
 herewith as # 080008539



5248 Olde Towne Road, Suite 1
 Williamsburg, Virginia 23188
 (757) 253-0040
 Fax (757) 220-8994

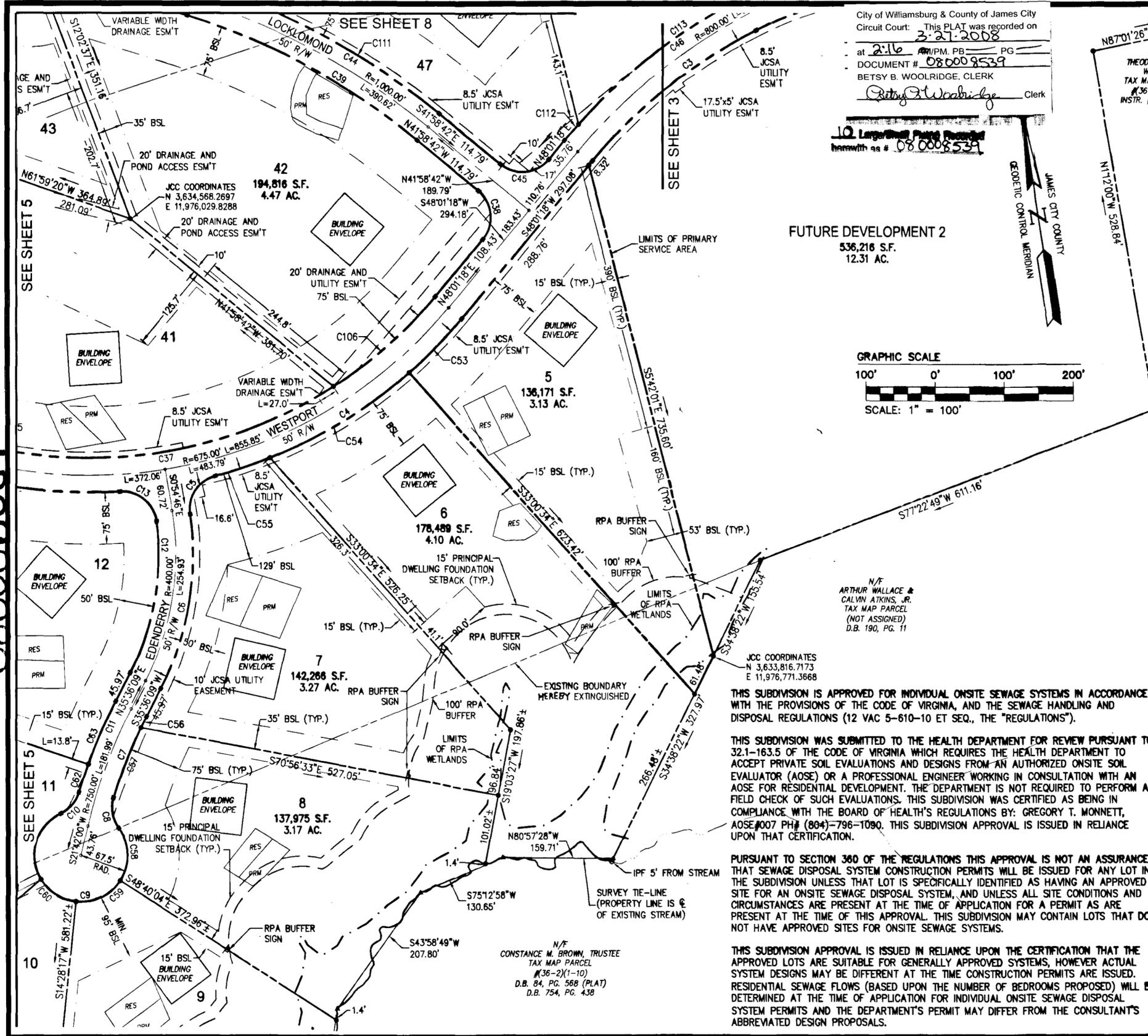
PLAT OF SUBDIVISION
 LOTS 5 - 22; 25 - 47, SECTION XXXV
FORD'S COLONY
WILLIAMSBURG
 POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA



No.	DATE	REVISION / COMMENT / NOTE	REVISED BY	REVIEWED BY
4	2/28/08	REVISED PER COUNTY COMMENTS	JAG	AMR
3	2/15/08	REVISED PER COUNTY COMMENTS	JAG	GVC
2	8/9/07	REVISED PER COUNTY COMMENTS	JAG	AWT
1	1/24/07	REVISED PER COUNTY COMMENTS	JAG	AWT

Designed	Drawn
JAG	AES
Scale	Date
1"=100'	3/5/08
Project No.	
5652-21	
Drawing No.	
3 of 10	

080008539

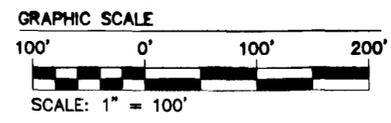


City of Williamsburg & County of James City
 Circuit Court: This PLAT was recorded on
 at 2:16 P.M. PG
 DOCUMENT # 080008539
 BETSY B. WOOLRIDGE, CLERK
Betsy Woolridge Clerk

10 Large Print Plat Recorded
 herewith as # 080008539

SEE SHEET 3 FOR
 CURVE DATA
 THIS SHEET ADDRESSES
 LOTS 5 - 8

FUTURE DEVELOPMENT 2
 536,218 S.F.
 12.31 AC.



LINE TABLE		
LINE	BEARING	LENGTH
L1	S61°35'32"E	18.24'
L2	S84°38'33"E	53.56'
L3	S5°21'27"W	21.67'
L4	S62°06'58"E	10.29'
L5	S33°42'17"E	14.69'
L6	S40°00'09"E	13.74'
L7	S1°03'41"E	18.34'
L8	S23°58'28"E	10.03'
L9	N84°42'07"W	165.48'
L10	N20°21'34"E	34.65'
L11	N5°21'27"E	40.35'
L12	S84°38'33"E	18.46'
L13	N50°57'45"E	16.76'
L14	S81°38'19"E	11.67'
L15	N82°37'35"E	28.60'
L16	N90°00'00"E	13.32'
L17	N85°00'46"E	16.85'
L18	S82°20'17"E	6.99'
L19	S60°01'55"E	4.00'
L20	S19°48'31"E	3.54'
L21	S21°51'19"W	16.93'
L22	S21°09'17"E	13.18'
L23	S3°58'01"W	4.18'
L24	S56°26'31"W	13.68'
L25	S17°30'49"W	13.00'
L26	S40°03'33"W	8.77'
L27	S59°46'58"W	27.25'
L28	N21°24'40"W	80.43'
L29	N64°04'27"W	9.39'
L30	N42°08'47"W	14.69'
L31	N49°30'13"W	38.10'
L32	N82°26'34"W	14.03'
L33	N35°44'03"E	18.04'
L34	N29°00'11"W	36.87'
L35	N39°36'19"W	34.22'
L36	N23°07'33"W	8.24'
L37	N2°17'30"E	11.57'

LINE TABLE		
LINE	BEARING	LENGTH
L38	N27°04'01"E	25.78'
L39	S55°54'37"E	24.27'
L40	S65°48'24"E	15.33'
L41	S74°43'30"E	28.67'
L42	S45°37'52"E	23.38'
L43	S40°14'25"E	18.73'
L44	S45°35'37"E	17.99'
L45	S38°58'50"E	26.21'
L46	S30°17'52"W	76.31'
L47	N67°48'39"W	10.64'
L48	N42°38'32"W	33.70'
L49	N57°57'34"W	64.97'
L50	N74°23'12"W	33.45'
L51	N76°10'18"W	21.47'
L52	N63°47'23"W	13.93'
L53	N84°02'35"W	24.67'
L54	N70°11'23"W	18.24'
L55	N85°01'43"W	24.05'
L56	N61°47'37"W	8.54'
L57	N33°42'22"W	1.01'
L58	N36°29'03"E	16.25'
L59	N41°39'37"W	33.30'
L60	N59°31'00"E	11.62'
L61	N88°29'26"E	12.08'
L62	S82°01'50"E	8.69'
L63	N77°03'02"E	23.02'
L64	S87°19'27"E	38.23'
L65	N85°12'17"E	40.67'
L66	S88°59'19"E	49.00'
L67	N52°32'40"E	28.88'
L68	N21°55'25"E	37.47'
L69	N68°45'36"E	1.84'
L70	S54°42'17"E	1.71'
L71	S35°18'48"E	37.98'
L72	S4°22'28"E	38.99'
L73	S57°23'38"E	19.27'
L74	S14°05'05"W	109.82'

THIS SUBDIVISION IS APPROVED FOR INDIVIDUAL ONSITE SEWAGE SYSTEMS IN ACCORDANCE WITH THE PROVISIONS OF THE CODE OF VIRGINIA, AND THE SEWAGE HANDLING AND DISPOSAL REGULATIONS (12 VAC 5-610-10 ET SEQ., THE "REGULATIONS").

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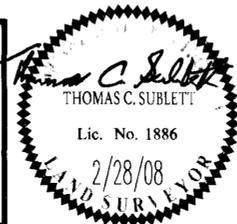
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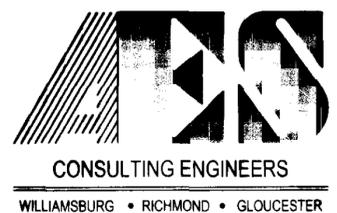
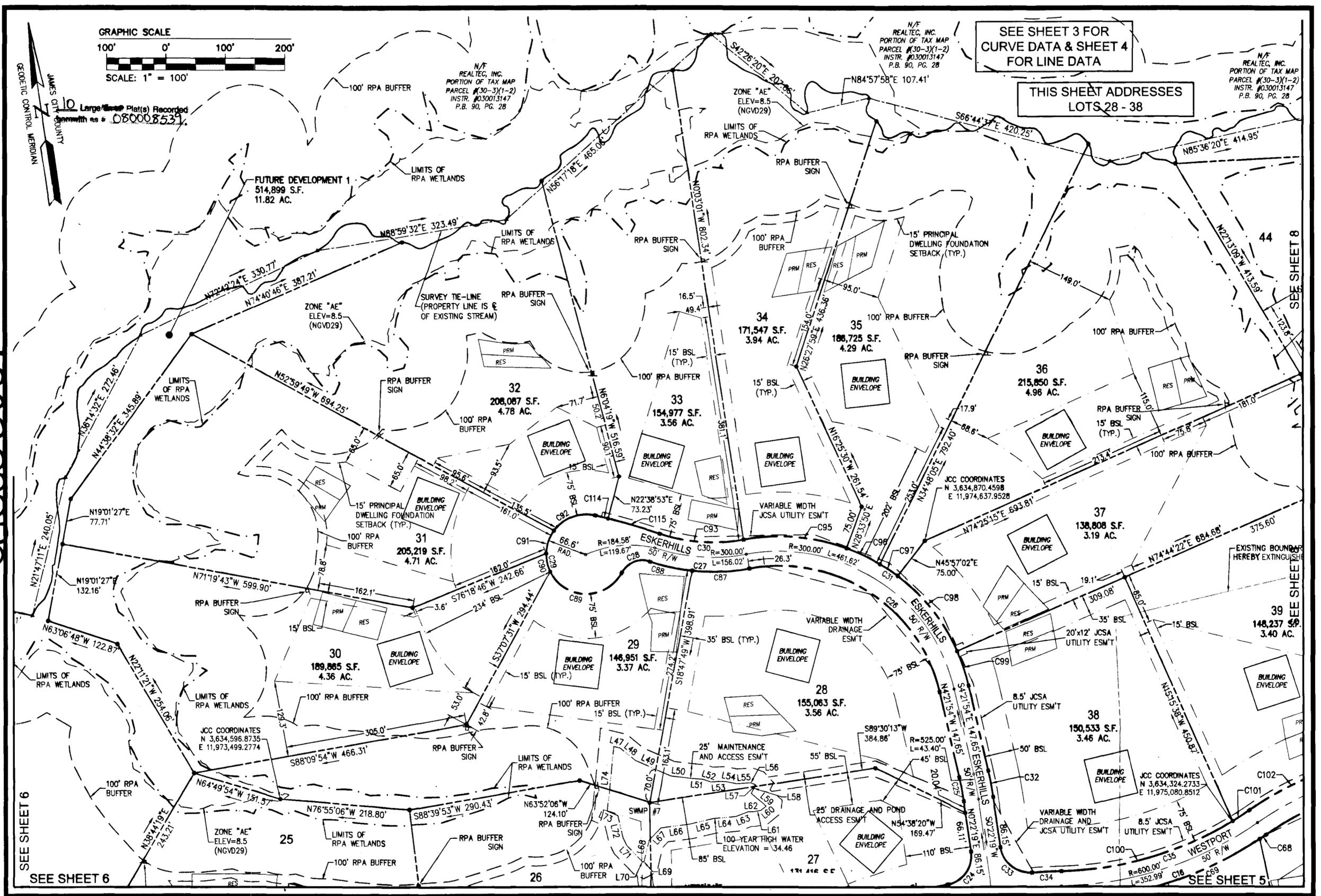
PLAT OF SUBDIVISION
 LOTS 5 - 22; 25 - 47, SECTION XXXV
FORD'S COLONY
WILLIAMSBURG
 POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA



No.	DATE	REVISION / COMMENT / NOTE	REVIEWED BY	DESIGNED BY
4	2/28/08	REVISED PER COUNTY COMMENTS	JAG	AMR
3	2/15/08	REVISED PER COUNTY COMMENTS	JAG	GVC
2	8/9/07	REVISED PER COUNTY COMMENTS	JAG	AWT
1	1/24/07	REVISED PER COUNTY COMMENTS	JAG	AWT

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 Project No. **5652-21**
 Drawing No. **4 of 10**

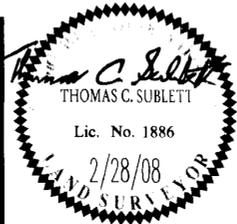
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City of Williamsburg & County of James City Circuit Court: This PLAT was recorded on 3-27-2008 at 2:16 P.M. P.B. PG. DOCUMENT # 080008539 BETSY B. WOOLRIDGE, CLERK
Betsy B. Woolridge Clerk

PLAT OF SUBDIVISION
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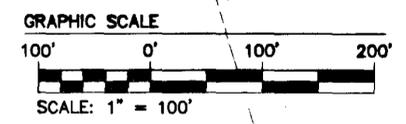
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Drawing No. 7 of 10	

SEE SHEET 3 FOR
CURVE DATA & SHEET 4
FOR LINE DATA

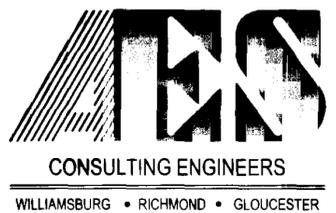
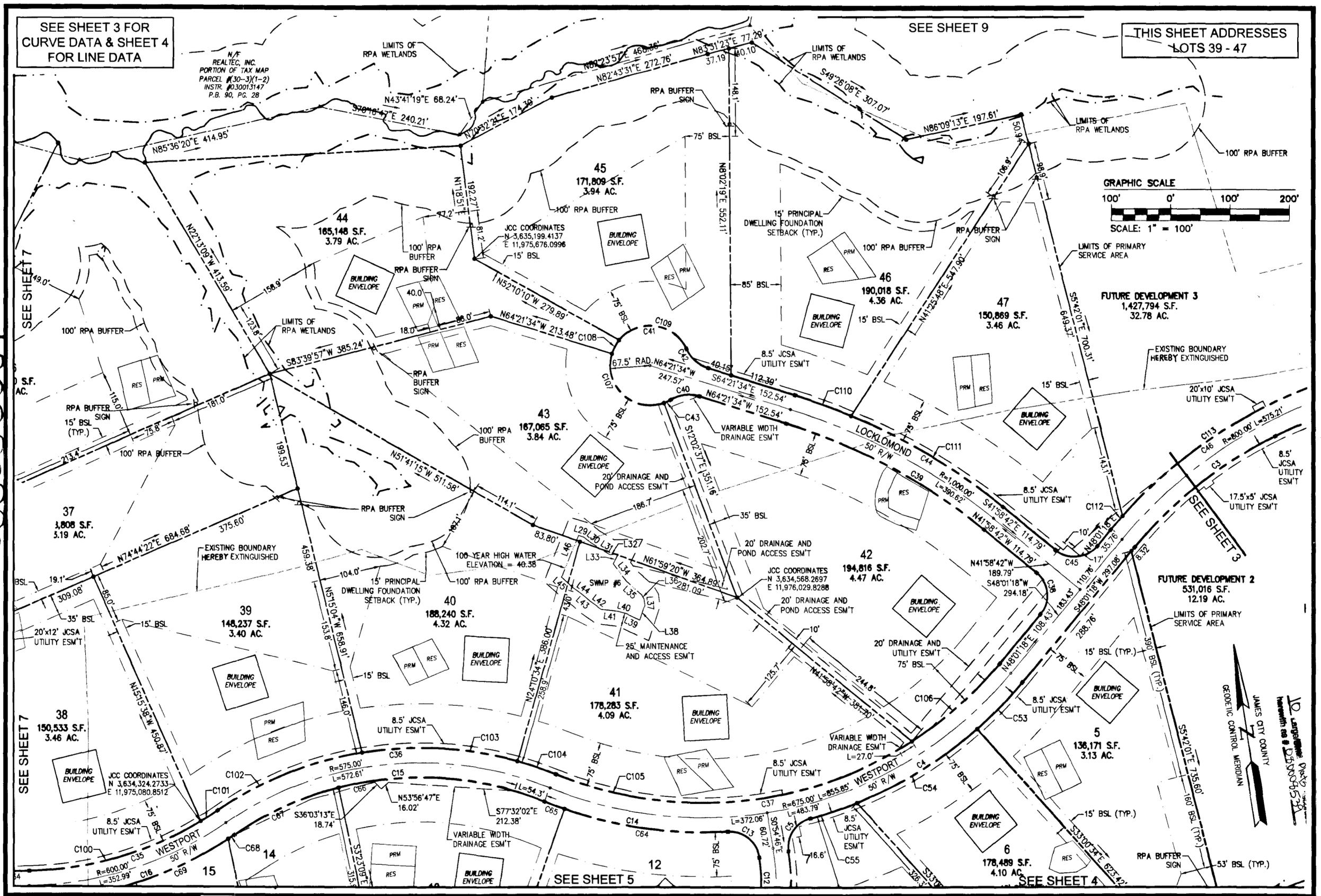
SEE SHEET 9

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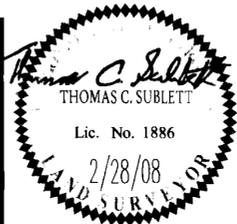


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WILLIAMSBURG**
POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA

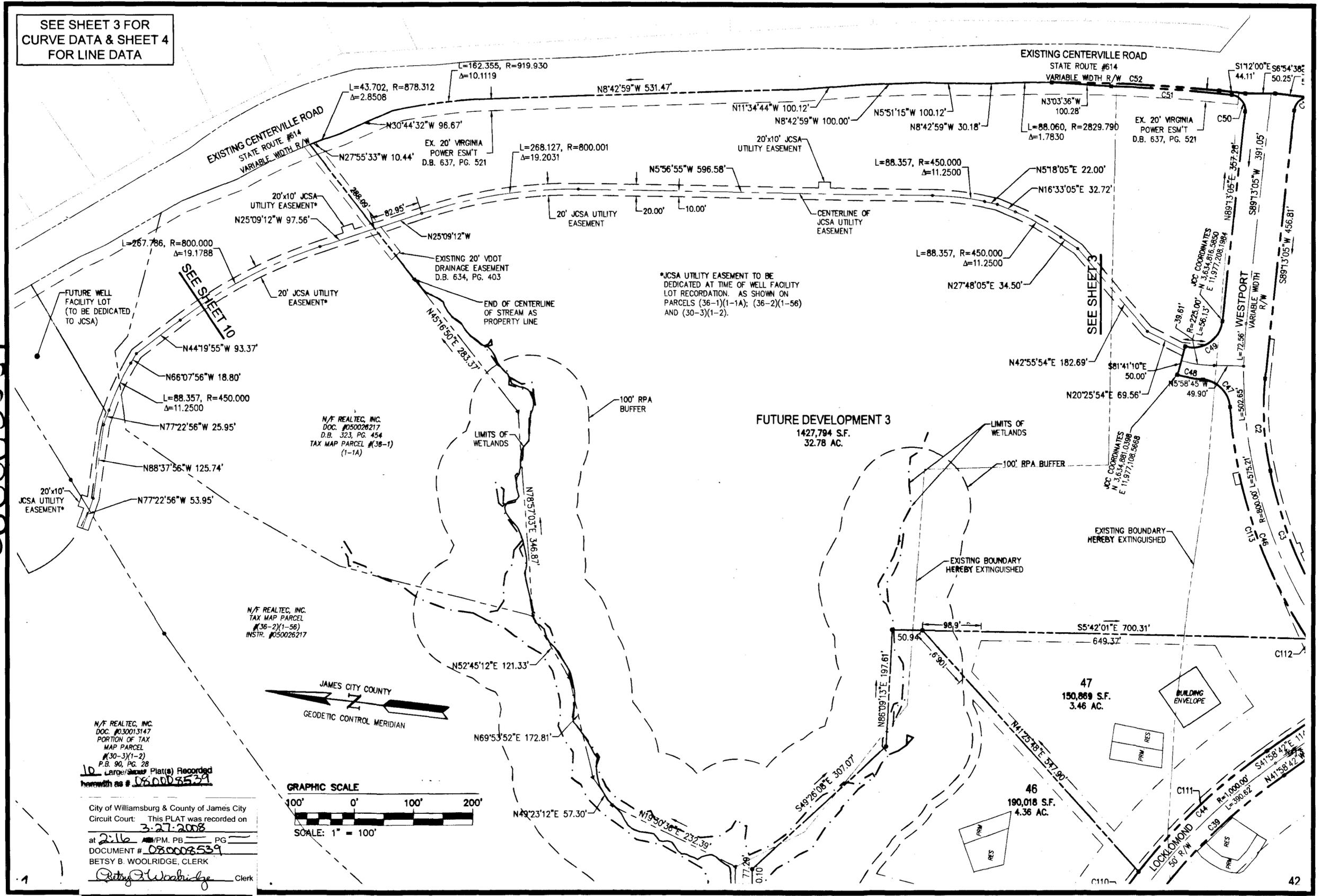


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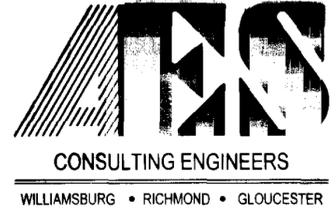
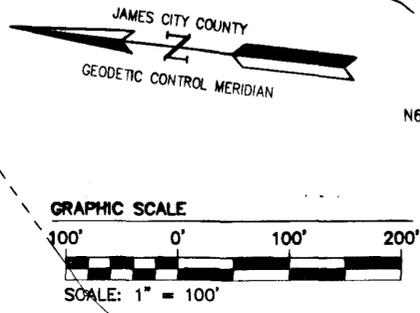
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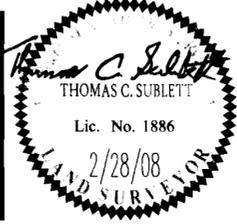
N/F REALTEC, INC.
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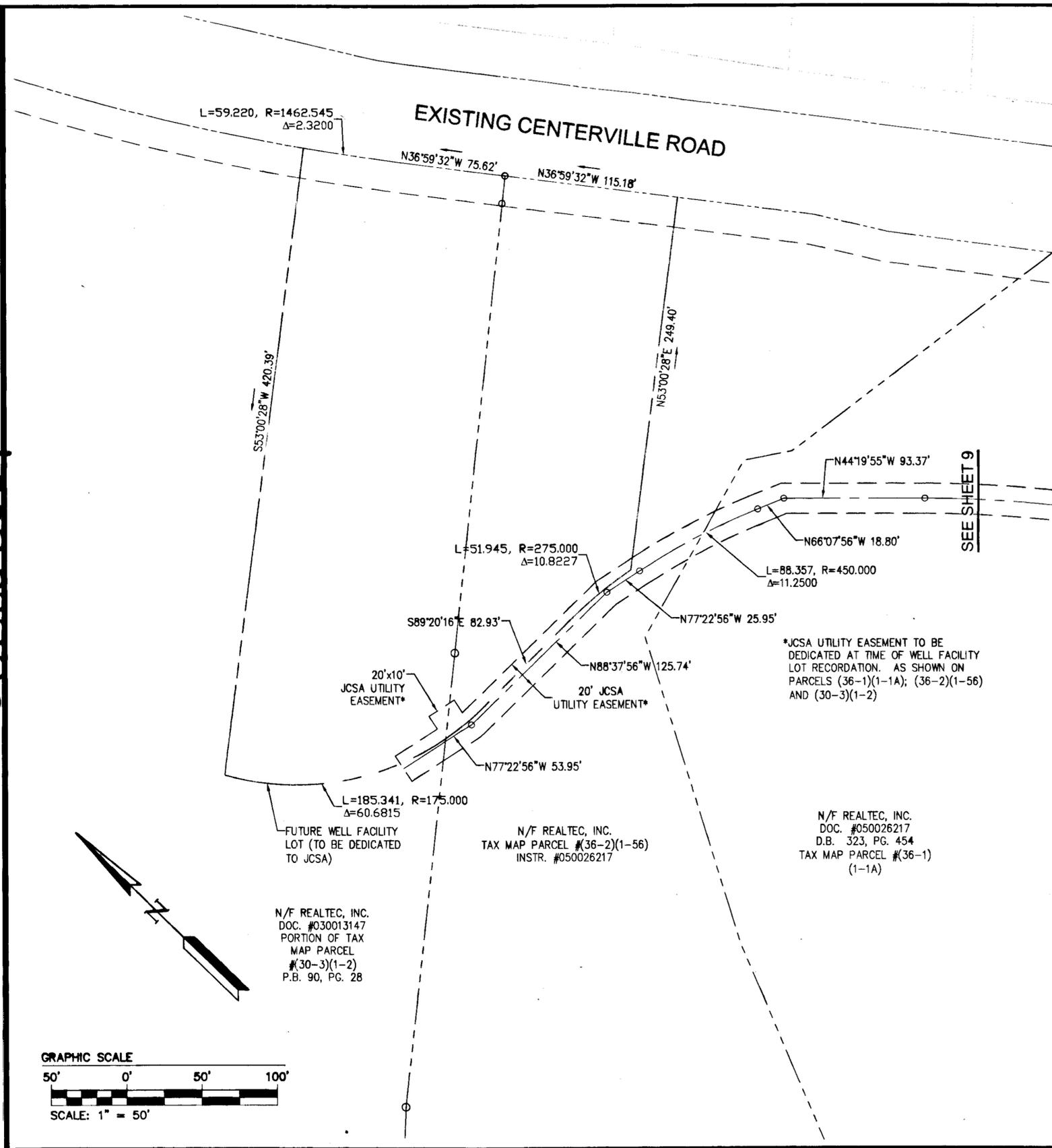
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Drawing No. 9 of 10	

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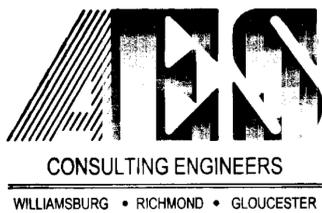
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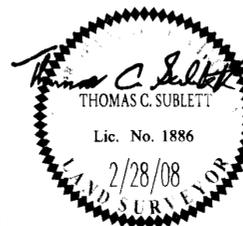
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PLAT OF SUBDIVISION
LOTS 5 - 22; 25 - 47, SECTION XXXV
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@ WILLIAMSBURG**
POWHATAN DISTRICT JAMES CITY COUNTY VIRGINIA



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SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

SUMMARY FACTS

Applicant: Ms. Karlyn Owens

Landowner: James City Service Authority (JCSA)

Proposal: To install approximately 630 feet of a water main to connect the independent water system for the Liberty Ridge neighborhood to the central JCSA system.

Locations: 5207 Colonnade Parkway

Tax Map/Parcel No.: 3030300001A
Mallory Place Right-of-Way

Project Acreage: ± 1.91 acres

Current Zoning: A-1, General Agricultural

Comprehensive Plan: Rural Lands

Primary Service Area (PSA) Outside

Staff Contact: Thomas Wysong, Principal Planner

PUBLIC HEARING DATES

Planning Commission: December 6, 2023, 6:00 p.m.

Board of Supervisors: January 9, 2024, 5:00 p.m. (Tentative)

FACTORS FAVORABLE

1. Should this application be approved, staff finds the proposed conditions would mitigate potential impacts and prevent further expansion of public water and sewer outside of the County’s designated growth area.
2. Impacts: See Impact Analysis on Page 6.

FACTORS UNFAVORABLE

1. The proposed installation of the water main located outside the PSA is inconsistent with the County’s Utility Policy and the growth management principles within the adopted 2045 Comprehensive Plan.
2. Impacts: See Impact Analysis on Page 6.

SUMMARY STAFF RECOMMENDATION

Staff finds that the extension of a public utility outside the PSA is inconsistent with the Land Use Goals, Strategies, and Actions of the Comprehensive Plan and the Public Utilities Policy adopted as part of the Comprehensive Plan. Approval of this application may also set a precedent for similarly situated independent water systems and properties outside the PSA where property owners seek connections to nearby public utilities regardless of cost or need, especially along Centerville Road. Such precedent may have the effect of weakening or artificially expanding the PSA and undermine the County’s ability to have a credible basis with which to deny any future application. Due to inconsistency with the adopted 2045 Comprehensive Plan staff are unable to recommend approval of this application.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

PROJECT DESCRIPTION

This proposal is to install approximately 630 feet of a new 12-inch water main within the Mallory Place right-of-way. The purpose of this installation is to connect the central well system serving the Liberty Ridge neighborhood to the main JCSA system (Attachment No. 3).

JCSA has requested to connect this facility, which is currently operated and owned by the Service Authority, to the broader system for several reasons. For context, JCSA is nearing completion of a \$2.1 million construction project to add zinc orthophosphate at six remote well facilities (zinc orthophosphate is used for corrosion inhibition). The initial design for the project included the addition of zinc orthophosphate at a seventh well facility, JCSA’s Pottery Well Facility (designated as W-4 Facility).

The Pottery Well Facility needs rehabilitation to address structural damage to the storage tank as well as removal of an old fire pump system. In addition, the Pottery Facility has other long-term reliability and access issues. By connecting Westport and Liberty Ridge at this time, JCSA will have adequate capacity in the central system to take the Pottery Facility offline, saving a significant amount of money on rehabilitation, and eliminating the need for a \$350,000 investment in a corrosion control feed system for the Pottery Facility. Furthermore, this connection provides a health and safety benefit to customers because of increased system reliability and increased available fire flows.

Per JCSA, the following benefits will result from permitting this connection:

- Additional redundancy and available fire flows for Liberty Ridge and Westport.

- Two fewer Department of Environmental Quality (DEQ) groundwater permits to maintain and a reduction in reporting to DEQ.
- Adding the Westport and Liberty Ridge systems is expected to increase the Virginia Department of Health permitted capacity. This would result in two fewer permits to manage and would streamline sampling and reporting requirements.
- Water from Westport and Liberty Ridge is less costly to produce compared to the water at the Five Forks Water Treatment Plant (FFWTP) and will reduce the load on the FFWTP.
- Will allow JCSA to remove the W-4 Facility from service, eliminating significant investment in rehabilitation.

If the application is not approved, JCSA will continue to operate the system as is and be required to rehabilitate the Pottery Facility. The central system can remain. If approved, the piping work will be entirely within the Virginia Department of Transportation right-of-way and outages will be minimal. When construction is complete and the tie-in is made, there may be a partial day outage for some customers.

PLANNING AND ZONING HISTORY

The Liberty Ridge is a “by-right” major subdivision that has been in the process of development since the early 2000s and has a conceptual final build out of 139 lots. Since 2005, the design for Liberty Ridge has been reviewed by the County’s staff, Development Review Committee (DRC), and Planning Commission (PC). Since this is a major subdivision located outside of the PSA, it is required to have an independent water system serving its lots.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

The independent water system serving Liberty Ridge is permitted for 139 residential lots, a clubhouse, and a community pool. Approximately 64 lots have been platted within the subdivision, with the independent water system serving 35 residential connections as of April 2020, though several units appear to have been constructed since then. Staff are not aware of any proposals to pursue the platting of the remaining lots within the well capacity.

The independent water system consists of two production wells, two booster pumps for domestic use, two high-service pumps for fire flows, a hydropneumatics (pressure) tank, ground storage tanks, chemical feed system (disinfection), emergency generator, building, electrical components, and distribution piping.

SURROUNDING ZONING AND DEVELOPMENT

- North, South, and West: A-1, General Agricultural, including the platted Westport subdivision.
- East: D.J. Montague Elementary School, zoned Public Lands, and the existing Ford’s Colony development, zoned R-4, Residential Planned Community, are located on the other side of Centerville Road.

2045 COMPREHENSIVE PLAN

A minority of the area for the proposed installation of the water main is designated Low Density Residential on the 2045 Comprehensive Plan Land Use Map. Recommended primary uses for Low Density Residential include single-family and multifamily units, accessory units, cluster housing, and recreation areas.

The portion of the installation area is located outside of the PSA and is designated Rural Lands on the 2045 Comprehensive Plan Land Use Map, where a lower level of public service delivery exists or where utilities and urban services do not exist and are not planned for in the

future. Recommended primary uses for Rural Lands include agricultural and forestal activities, agri-tourism, rural-support businesses, and certain commercial uses which require very low-intensity settings. Residential development is not a recommended use and is discouraged outside the PSA in the Rural Lands.

The County’s Utility Policy strongly discourages utility extensions outside of the PSA. Extensions of water and sewer facilities outside of the PSA have predominantly served a significant public purpose, addressed health and safety situations for existing communities, or improved utility service inside the PSA.

The PSA Policy is James City County’s long-standing principal tool for managing growth. As a growth management tool, it attempts to direct growth in one area (where public facilities and services are planned) and away from another (where the majority of agricultural and forestal activities occur). The PSA, first established in 1975, utilizes many of the same principles as Urban Growth Boundaries or Urban Service Areas found in other localities. They are all concepts for promoting growth in a defined geographical area in order to accomplish the following goals:

- To encourage efficient utilization of public facilities and services (water and sewer, roadways, schools, fire and police stations, libraries, etc.);
- To help ensure such facilities and services are available where and when needed;
- To increase public benefit per dollar spent;
- To promote public health and safety through improved emergency response time;
- To minimize well and septic failures; and
- To preserve rural lands.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

The PSA is most effective when it is tied to the provision of public utilities. Connecting developments to public utilities facilitates development and increases the need for associated peripheral uses. Extending utilities to the rural lands encourages previously farmed for forested lands to convert to development. Development pressures could entice more rural landowners into selling their lands, which could increase the pace of development and increase the amount of forest and farmland developed.

The effectiveness of the PSA as a policy tool is affected as more housing and amenities are allowed. More intensive expansion outside the PSA boundary creates a need for additional core services, such as health facilities, supermarkets, post offices, and so forth. While the County does not necessarily directly bear the cost of providing these types of services, there are indirect effects: the new services require staffing, which brings traffic to the Rural Lands; the creation of new businesses and services in the Rural Lands increases the demand for new housing. As more new houses are built, the demand for businesses, services, and amenities increases, creating a cycle of “providing amenities leading to demanding additional amenities.” The net effect of this cycle is that the PSA boundary could quickly become an ineffectual way of controlling or limiting growth.

Any extension of utilities beyond the PSA boundary is essentially an artificial expansion of the PSA. The incremental expansion of public utilities outside the PSA undermines the County’s growth management efforts. Should this application be approved, a precedent may be set and the County would lack a credible basis to deny any future applications. This undermines the County’s ability to ensure growth proceeds in a logical and orderly fashion.

Examples of Previously Approved Water and Sewer Extensions Outside the PSA:

One of the basic legal tenets of land use planning is that similarly situated parcels must be treated similarly. For this reason, allowing any extension of public utilities outside the PSA must be carefully considered to avoid setting a precedent for other landowners to make a similar request. During the 2009 update, the County’s land use consultant recommended if the Board elects to expand the PSA or allow for a utility extension outside the PSA, it should outline the unique reasons why such an extension is appropriate for a particular site and what public purpose is met by the extension. Furthermore, the consultant stated utility extensions for environmental or health reasons or to serve public facilities will generally have the least potential to weaken the PSA concept, while extensions for economic development or to encourage a specific private development have greater potential to weaken the PSA concept more because they can be extended more generally to adjacent, similarly situated properties.

The Board has often followed this guidance. The following are specific examples where utility lines were extended outside the PSA for a public purpose or for a health issue:

Jolly Pond Road Water and Sewer Extension - This extension was to serve Lois S. Hornsby Middle School and J. Blaine Blayton Elementary School. This is an example of an extension to serve a public benefit.

Brick Bat Road Water and Sewer Extension - This extension was to serve Matoaka Elementary School. This is an example of an extension to serve a public benefit.

Greensprings Mobile Home Park - In this instance, the mobile home park’s aging septic system was failing. This is an example of extending service to address a public health, safety, and welfare issue.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

Riverview Plantation - This extension was approved to address a failing water system within the development that was maintained by the JCSA. This is an example of extending service for a public health issue.

Chickahominy Road - The intent of constructing the lines was to improve the quality of housing and living conditions for the existing residents of that area, many of whom did not have indoor plumbing. This extension was also to help protect the reservoir from aging septic systems.

Cranston's Mill Pond Road - This transmission line was constructed to connect to the Jolly Pond Road line. This loop provided the Centerville Road area with a more reliable water source.

In the instances mentioned above, the Board made the judgment that sufficient and significant public benefit existed to permit extensions of public utilities to occur outside the PSA, with minimal impact due to limitations placed on additional connections to the utilities. This rationale is consistent with the consultant's recommendations.

For this current request and application, should the Board of Supervisors find that a sufficient and significant public benefit exists to permit an extension outside of public utilities outside the PSA, with minimal impact due to limitations placed on additional connections to the utilities, staff has proposed Special Use Permit (SUP) conditions to prohibit further extension of public water and sewer into the portions of the parcels designated for Rural Lands.

FINDING OF CONSISTENCY

Section 15.2-2232 of the Code of Virginia states, in part, that no public facility be allowed unless the Planning Commission finds the location of the facility "substantially" consistent with the adopted 2045 Comprehensive Plan. As previously stated, the proposed location of the water main includes installation located outside the PSA, which prevents this proposal from being substantially consistent from the staff's perspective. For the Commission's consideration, a consistency determination resolution finding it not substantially in accord with the adopted Comprehensive Plan is included as Attachment No. 4.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0023. 5207 Colonnade Parkway Liberty Ridge James City Service Authority Water System Tie-In Staff Report for the December 6, 2023, Planning Commission Public Hearing

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Public Transportation: Vehicular</u>	<u>No Mitigation Required</u>	- No transportation improvements are required.
<u>Public Transportation: Pedestrian/Bicycle</u>	<u>No Mitigation Required</u>	- Pedestrian/bicycle accommodations are not necessitated because of this proposed use.
<u>Public Safety</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to the County’s emergency services or facilities.
<u>Public Schools</u>	<u>No Mitigation Required</u>	- The proposal is not expected to generate any schoolchildren.
<u>Public Parks and Recreation</u>	<u>No Mitigation Required</u>	- The proposal is not expected to generate any impacts to public parks and recreation.
<u>Public Libraries and Cultural Centers</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to public libraries or cultural centers.
<u>Groundwater and Drinking Water Resources</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to groundwater and drinking water resources.
<u>Watersheds, Streams, and Reservoirs</u>	<u>No Mitigation Required</u>	- The proposed infrastructure is not expected to impact RPA or wetlands.
<u>Cultural/Historic</u>	<u>No Mitigation Required</u>	- The proposed infrastructure is not located within any identified historic or cultural resources.
<u>Nearby and Surrounding Properties</u>	<u>No Mitigation Required</u>	- The proposal is not anticipated to impact neighboring properties. Proposed Condition No. 1 prohibits public water and sewer from being extended into the parcels designated Rural Lands. This condition is anticipated to protect the character of the Rural Lands portion of the properties.
<u>Community Character</u>	<u>Mitigated</u>	
<u>Covenants and Restrictions</u>	<u>No Mitigation Required</u>	- The applicant has verified that she is not aware of any covenants or restrictions on the property that prohibit the proposed use.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED SUP CONDITIONS

Proposed conditions are provided as Attachment No. 1.

STAFF RECOMMENDATION

Overall, staff finds the proposal to be inconsistent with the County’s adopted Comprehensive Plan. As such, staff is unable to recommend approval of this application to the Planning Commission. Staff also recommends that the Planning Commission find this application inconsistent with Section 15.2-2232 of the Code of Virginia. Should the Planning Commission recommend approval of this application to the Board of Supervisors, staff has included proposed conditions to mitigate impacts, as well as a consistency determination resolution finding it substantially in accord with the adopted Comprehensive Plan as Attachment No. 5.

TW/md
SUP23-23LibRdg-JCSA-rev

Attachments:

1. Proposed SUP Conditions
2. Location Map
3. Community Impact Statement and Master Plan
4. Resolution finding the application Not Consistent with the Comprehensive Plan, per 15.2-2232
5. Resolution finding the application consistent with the adopted Comprehensive Plan, per 15.2-2232
6. James City County Utility Policy

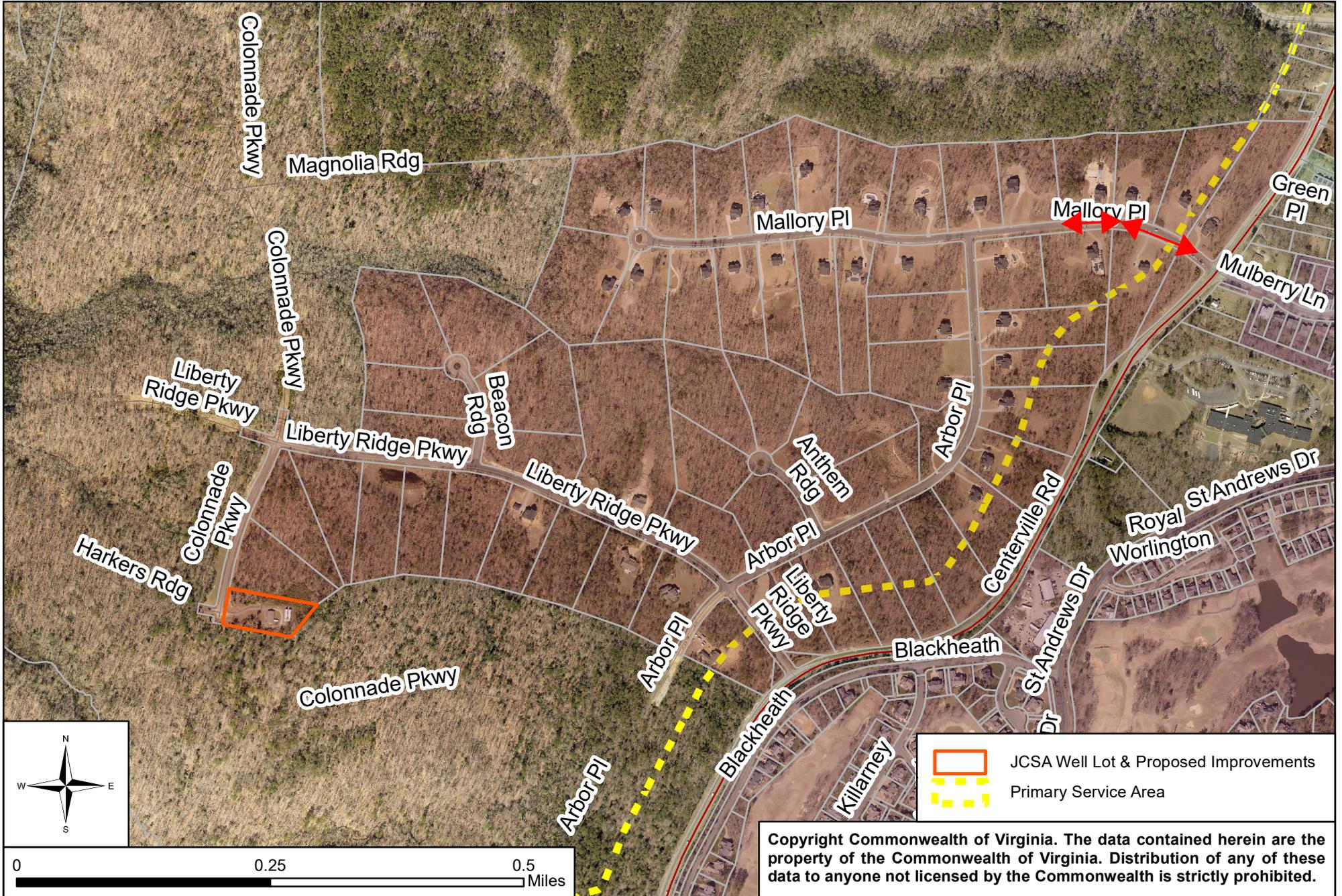
This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED CONDITIONS FOR CASE NO. SUP-23-0023.

LIBERTY RIDGE SUBDIVISION TIE-IN TO JAMES CITY SERVICE AUTHORITY

1. Master Plan. This Special Use Permit (the “SUP”) shall be valid for the installation of a water main with a diameter of three (3) inches or greater within the Mallory Place right-of-way. Development of the Property shall require a site plan and shall be generally in accordance with the Master Plan entitled “JCSA Master Plan” prepared by JCSA, dated November 15, 2023 (the “Master Plan”), with any deviations considered per Section 24-23(a)(2) of the James City County Zoning Ordinance, as amended.
2. Connections Outside of the Primary Service Area (PSA). No connections shall be made to the existing water system which would serve any property located outside the Primary Service Area with the exception of one connection no larger than a 1-1/4-inch service line for each platted lot recorded in the James City County Circuit Court Clerk’s Office as of December 1, 2023.
3. Construction Hours. The hours of construction shall be limited to daylight hours, Monday through Friday.
4. Commencement. Final approval of the site plan shall be obtained within 24 months of issuance of this SUP or the SUP shall become void.
5. Severability. The SUP is not severable. Invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.

SUP 23-0023. Liberty Ridge JCSA Tie-In





Community Impact Statement for Connection of Liberty Ridge Independent System to JCSA Central Water System

June 22, 2023

Project Need and Background:

JCSA's water system consists of a larger Central System that provides water service mostly inside of the Primary Service Area (PSA), and 8 smaller independent water systems that serve developments outside of the PSA. Due to the limited number of customers served by independent water systems, and the complex nature of the facilities required to serve these developments, these water systems generally operate at a loss and cannot be financially supported by the limited customer base alone. Recent changes to County land development ordinances limit the potential for future independent water systems.

As part of a review of the Central System water treatment facility needs, JCSA staff has identified potential benefits of combining the Liberty Ridge and Westport independent well facilities with the Central System. The Liberty Ridge and Westport systems are located in close proximity to the Central System. Connecting these independent systems to the Central System would provide the following benefits:

- The systems would be combined into the Central System DEQ groundwater withdrawal permit. No change to the limits of the Central System withdrawal permit is anticipated. This would result in 2 fewer GW permits to manage and streamline reporting requirements.
- The systems would be combined into VDH Central System operations permit. It is expected that this would increase the VDH permitted capacity. This would result in 2 fewer permits to manage, and it would also streamline sampling and reporting requirements as these would no longer be treated as separate water systems.
- Improves reliability/redundancy to Liberty Ridge and Westport by providing an additional water source.
- Adds two newer well facilities with excess capacity to the Central System, which provides opportunities to reevaluate needed improvements at some of the older Central System well facilities. For example, the well facility at the Pottery is in need of rehabilitation to address structural damage to the 500,000 gallon storage tank and removal of an old fire pump system. Adding the two additional well facilities will allow JCSA to abandon the Potter facility, thus avoiding significant investments to make the necessary improvements to a 40+ year old facility. This can be done without negatively impacting our DEQ or VDH permits.
- Water from these independent well facilities is less costly to produce compared to Five Forks Water Treatment Plant (FFWTP) will reduce the load on FFWTP.

Several developments outside of the PSA have been connected to the Central System in the past, most notably, Governors Land and Greensprings West. In addition, Stonehouse was originally constructed as an Independent System, but was eventually connected to the Central System.

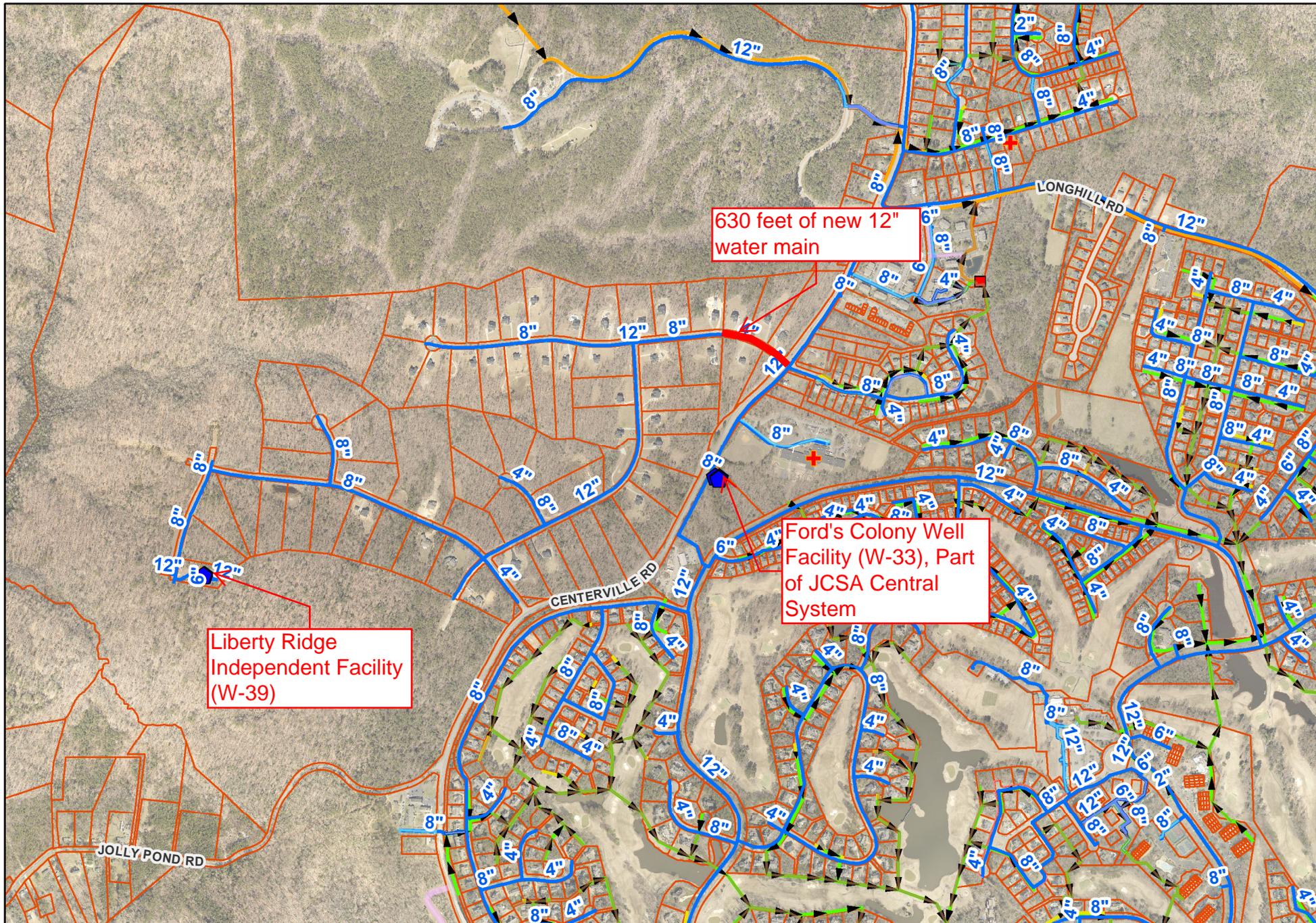
A conceptual plan (C-23-0027) was submitted in May 2023. Based on direction from JCC Planning, a Special Use Permit would be required to connect these systems.

Project Impacts

- **Traffic:** The proposed project will not increase the amount of traffic generated.
- **Water and Sewer:** As stated above, the proposed project will provide positive improvements to the JCSA Water System. There will not be any impacts to sewer as part of the project.
- **Environmental/Site/SRP:** Water main installation will take place within existing VDOT right of way. SRP comments on the conceptual plan stated that a land disturbance permit would not be required for the project.

Master Plan

- See attached for proposed improvements.



630 feet of new 12" water main

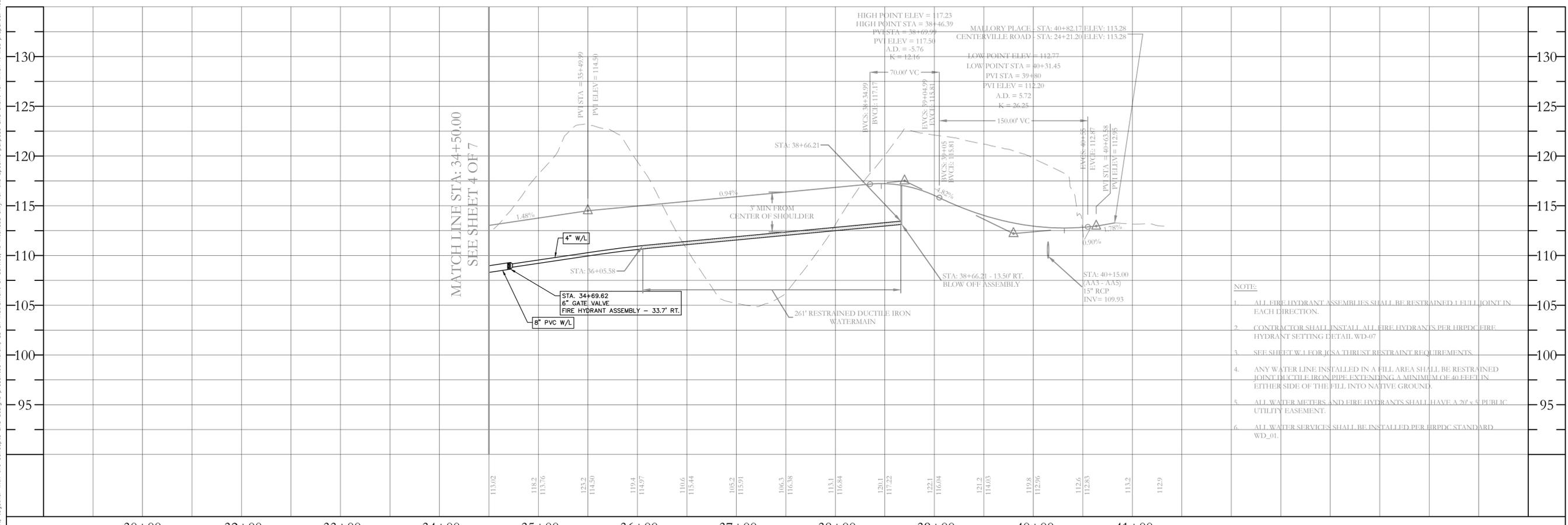
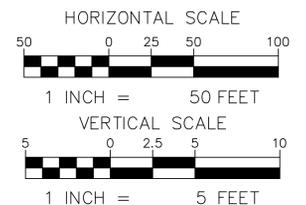
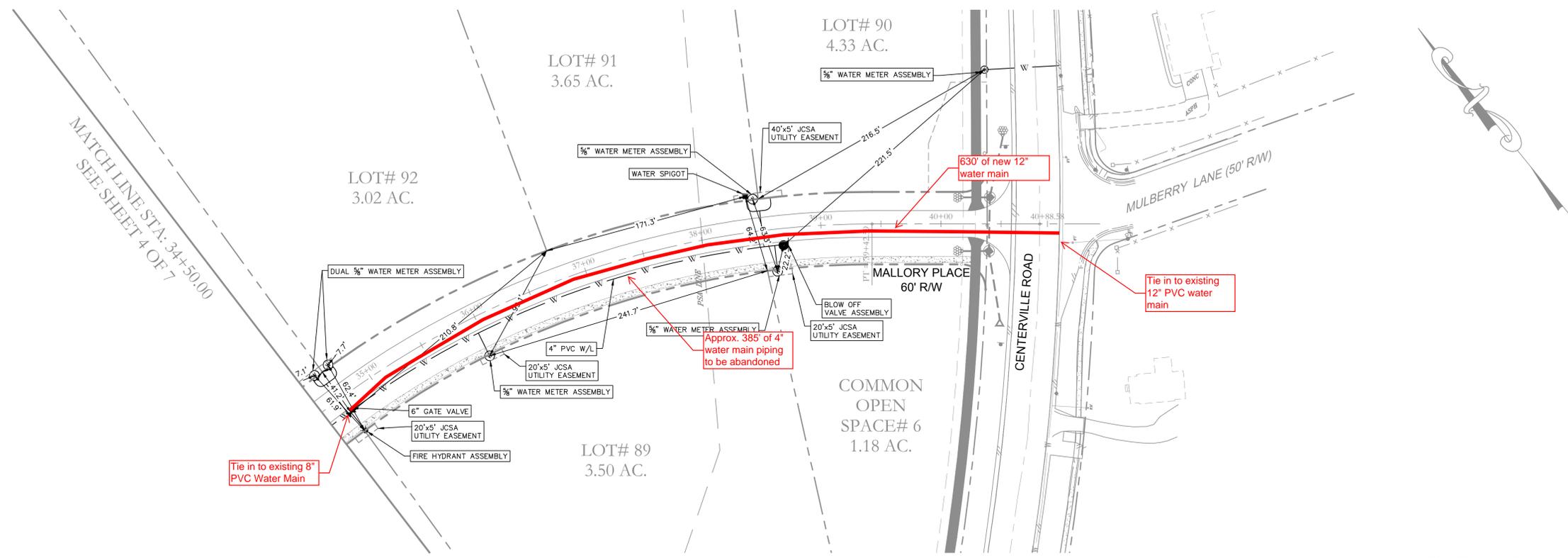
Liberty Ridge Independent Facility (W-39)

Ford's Colony Well Facility (W-33), Part of JCSA Central System

This drawing is neither a legally recorded map nor a survey and is not intended to be used as such. James City Service Authority is not responsible for its accuracy or how current it may be.



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

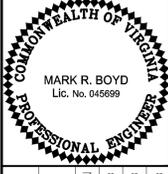


- NOTE:
- ALL FIRE HYDRANT ASSEMBLIES SHALL BE RESTRAINED 1 FULL JOINT IN EACH DIRECTION.
 - CONTRACTOR SHALL INSTALL ALL FIRE HYDRANTS PER HRPDC FIRE HYDRANT SETTING DETAIL WD-07
 - SEE SHEET W-1 FOR JCSA THRUST RESTRAINT REQUIREMENTS.
 - ANY WATER LINE INSTALLED IN A FILL AREA SHALL BE RESTRAINED JOINT DUCTILE IRON PIPE EXTENDING A MINIMUM OF 40 FEET IN EITHER SIDE OF THE FILL INTO NATIVE GROUND.
 - ALL WATER METERS AND FIRE HYDRANTS SHALL HAVE A 20' x 5' PUBLIC UTILITY EASEMENT.
 - ALL WATER SERVICES SHALL BE INSTALLED PER HRPDC STANDARD WD_01.

NO.	REVISIONS	DATE	BY
1	REVISED PER JCSA COMMENTS	04/01/15	MRE

Kimley»Horn

1700 WILLOW LAWN DR., SUITE 200, RICHMOND, VA 23230
 PHONE: 804-673-3882
 WWW.KIMLEY-HORN.COM



KHA PROJECT 113184000	DATE 12/15/2014	SCALE AS SHOWN	DESIGNED BY MRE	DRAWN BY MRE	CHECKED BY BUE
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WATERLINE AS-BUILT PLAN

JCSA RECORD DRAWINGS FOR LIBERTY RIDGE SECTION 2
 JAMES CITY COUNTY VA

RESOLUTION

VIRGINIA CODE 15.2-2232 ACTION ON CASE NO. SUP-23-0023. 5207 COLONNADE

PARKWAY LIBERTY RIDGE WATER SYSTEM TIE-IN

WHEREAS, in accordance with Section 15.2-2232 of the Code of Virginia, a public utility facility, whether publicly or privately owned, shall not be constructed, established, or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the Planning Commission as being substantially in accord with the adopted Comprehensive Plan or part thereof; and

WHEREAS, James City Service Authority (the “Owner”), owns property located at 5207 Colonnade Parkway and further identified as James City County Real Estate Tax Map Parcel No. 3030300001A (the “Property”), which is zoned A-1, General Agricultural; and

WHEREAS, Ms. Karlyn Owens on behalf of the Owner, has applied for a Special Use Permit to install approximately 630 feet of new 12-inch water main within the Mallory Place right-of-way as shown on a plan titled “JCSA Master Plan” and dated November 15, 2023; and

WHEREAS, in accordance with 15.2-2204 of the Code of Virginia and Section 24-9 of the James City County Zoning Ordinance, a public hearing was advertised, adjacent property owners notified, and a hearing scheduled for Case No. SUP-23-0023.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of James City County, Virginia, finds that the general or approximate location, character, and extent of the public facility shown in Case No. SUP-23-0023 are not substantially in accord with the adopted Comprehensive Plan and applicable parts thereof.

Frank Polster
Chairman, Planning Commission

ATTEST:

Susan Istenes, Secretary

Adopted by the Planning Commission of James City County, Virginia, this 6th day of December, 2023.

SUP23-23LibRdg-JCSA-res

RESOLUTION

VIRGINIA CODE 15.2-2232 ACTION ON CASE NO. SUP-23-0023. 5207 COLONNADE

PARKWAY LIBERTY RIDGE WATER SYSTEM TIE-IN

WHEREAS, in accordance with Section 15.2-2232 of the Code of Virginia, a public utility facility, whether publicly or privately owned, shall not be constructed, established, or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the Planning Commission as being substantially in accord with the adopted Comprehensive Plan or part thereof; and

WHEREAS, James City Service Authority (the “Owner”), owns property located at 5207 Colonnade Parkway and further identified as James City County Real Estate Tax Map Parcel No. 3030300001A (the “Property”), which is zoned A-1, General Agricultural; and

WHEREAS, Ms. Karlyn Owens on behalf of the Owner, has applied for a Special Use Permit to install approximately 630 feet of new 12-inch water main within the Mallory Place right-of-way as shown on a plan titled “JCSA Master Plan” and dated November 15, 2023; and

WHEREAS, in accordance with 15.2-2204 of the Code of Virginia and Section 24-9 of the James City County Zoning Ordinance, a public hearing was advertised, adjacent property owners notified, and a hearing scheduled for Case No. SUP-23-0023.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of James City County, Virginia, finds that the general or approximate location, character, and extent of the public facility shown in Case No. SUP-23-0023 are substantially in accord with the adopted Comprehensive Plan and applicable parts thereof.

Frank Polster
Chairman, Planning Commission

ATTEST:

Susan Istenes, Secretary

Adopted by the Planning Commission of James City County, Virginia, this 6th day of December, 2023.

SUP23-23LibRdg-JCSA-res

Primary Service Area - Utility Policy

James City County's Utility Policy plays a major role in limiting growth to areas within the PSA. The following outlines the County's pertinent water and sewer requirements, which are explained in more detail in the County's Zoning Ordinance and Subdivision Ordinance, and in the regulations governing utility service provided by the James City Service Authority (JCSA).

Generally speaking, most existing development inside the PSA is connected to public water and sewer, and new development must connect if it is a major residential subdivision or within 55-feet of JCSA infrastructure that is accessible through an applicable and existing right-of-way and/or JCSA water or sanitary sewer easement. Most developments desire to be served by public water and sewer to achieve a higher density and reduce the infrastructure costs. Outside the PSA, subdividers of major subdivisions are required by the Subdivision Ordinance to construct an independent water system, but can use individual onsite sewage disposal systems. Subdividers of minor subdivisions are permitted to use individual well and sewage disposal systems.

An SUP is required for extensions of major water and sewer mains. SUPs for utility extensions within the PSA occur infrequently due to the extensive network of utility lines already in place. The PSA concept strongly discourages extension of utilities outside the PSA. Over past years, there have been certain limited locations that have received SUPs for extension of utilities. Other than two exceptions for neighborhoods (Governors Land on John Tyler Highway and Deer Lake Rural Cluster adjacent to Colonial Heritage), the extensions have been to serve a significant public purpose (school sites), address health and safety situations (Chickahominy Road Community Development Block Grant area, Riverview Plantation, and Greensprings Mobile Home Park), or improve utility service inside the PSA (Cranston's Mill Pond Road and Jolly Pond Road mains, and the JCSA College Creek Pipeline). In keeping with the Utility Policy included as part of the 1997 Comprehensive Plan, all of the SUPs associated with these mains include conditions that place clear limits on connections to directly adjacent properties, a policy that should continue into the future.

Finally, the developer is responsible for paying the cost of providing water and sewer service to and within new subdivisions. JCSA may contribute to the costs to upsize water or sewer lines to serve additional areas. Any decisions about changes to the Utility Policy and the PSA must be carefully examined in conjunction with decisions about Rural Lands policy, which is discussed above.

**SPECIAL USE PERMIT-23-0026. 206 The Maine Detached Accessory Apartment
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

SUMMARY FACTS

Applicant: Mr. Jason Buckley, Promark Custom Homes, Inc.

Landowners: Mr. James Keith Ducker and Ms. Johanna M. Kroenlein

Proposal: To build a detached garage to include a 356-square-foot accessory apartment.

Location: 206 The Maine

Tax Map/Parcel No.: 4540200076

Property Acreage: ± 1.35 acres

Zoning: R-1, Limited Residential

Comprehensive Plan: Low Density Residential

Primary Service Area: Inside

Staff Contact: Tess Lynch, Planner II

PUBLIC HEARING DATES

Planning Commission: December 6, 2023, 6:00 p.m.

Board of Supervisors: January 9, 2024, 5:00 p.m. (tentative)

FACTORS FAVORABLE

1. With the proposed conditions, staff finds the proposal will not impact the surrounding zoning and development.
2. With the proposed conditions, staff finds the proposal consistent with the recommendations of the 2045 Comprehensive Plan.
3. The proposal meets the requirements of Section 24-32(b) of the Zoning Ordinance.
4. Impacts: See Impact Analysis on Pages 3-4.

FACTORS UNFAVORABLE

1. With the proposed conditions, staff finds no factors unfavorable.

SUMMARY STAFF RECOMMENDATION

Staff recommends approval subject to the proposed conditions.

PROJECT DESCRIPTION

Mr. Jason Buckley has applied for a Special Use Permit (SUP) to allow a detached accessory apartment to be constructed within a detached accessory structure. The detached garage will be approximately 1,120 square feet, and the proposed apartment would be approximately 356 square feet or approximately 32% of the floor area.

R-1, Limited Residential, allows detached accessory apartments as a specially permitted use in accordance with Section 24-32(b) of the Zoning Ordinance, which states that detached accessory apartments, where approved, shall comply with the following requirements (staff comments in *italics*):

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

SPECIAL USE PERMIT-23-0026. 206 The Maine Detached Accessory Apartment Staff Report for the December 6, 2023, Planning Commission Public Hearing

1. Only one accessory apartment shall be created per lot.

Only one accessory apartment is proposed with this application.

2. The accessory apartment may not occupy more than 50% of the floor area of the accessory structure and shall meet all setback, yard, and height regulations applicable to accessory structures in the zoning district in which it is located.

The proposed apartment unit will occupy approximately 32% of the accessory structure's floor area (1,120 square feet).

3. The accessory apartment shall not exceed 400 square feet in size and shall meet all setback, yard, and height regulations applicable to accessory structures in the zoning district in which it is located.

The proposed apartment unit will be approximately 356 square feet.

4. The property owner or an immediate family member as defined in Section 19-17 of the Subdivision Ordinance shall reside in either the single-family dwelling or the accessory apartment.

Per the applicant, the property owners will reside in the single-family dwelling in the future, but do not currently. Condition No. 4 mitigates this by requiring the property owners to provide to the Director of Planning a notarized affidavit stating that they or an immediate family member intend to reside in the single-family dwelling or the accessory apartment within 12 months from the issuance of the Certificate of Occupancy.

5. Approval from the Virginia Department of Health shall be required where the property is served by an individual well and/or sewer disposal system.

Not applicable. The lot is served by public water/sewer.

6. The accessory structure shall be so designed such that the size and scale of the structure is compatible with surrounding structures.

The apartment will be located in a detached accessory structure where a single-family residence currently exists. The single-family structure is approximately 3,759 square feet. Staff finds the proposed accessory structure consistent and compatible with the surrounding residential dwelling units and structures.

7. Off-street parking shall be required in accordance with Section 24-54 of this chapter.

Staff analysis: Section 24-59 states that the minimum off-street parking required for a single-family unit with an accessory apartment is three parking spaces. The detached accessory structure will have a three-car garage in the bottom portion of the structure as well as the driveway, which meets the Ordinance requirement for three parking spaces.

Staff has reviewed the proposed design and finds that all requirements have been met.

PLANNING AND ZONING HISTORY

- There have been no previous legislative cases associated with this parcel.

SURROUNDING ZONING AND DEVELOPMENT

- Adjacent properties are all zoned R-1, Limited Residential. The property is bound by the James River to the south.
- Properties surrounding this parcel are also designated Low Density Residential on the 2045 Comprehensive Plan Land Use Map.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0026. 206 The Maine Detached Accessory Apartment
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Public Transportation: Vehicular</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - The proposal is not anticipated to generate traffic exceeding a typical residential use. - The subject property is located on a local road.
<u>Public Transportation: Bicycle/Pedestrian</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Bicycle and pedestrian accommodations are not required per the Pedestrian Accommodation Master Plan.
<u>Public Safety</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Fire Station 5 on Monticello Avenue is approximately 2.9 miles from the proposed detached accessory garage. - Staff finds this project does not generate impacts that require mitigation to the County’s Fire Department facilities or services.
<u>Public Schools</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Staff finds this project does not generate impacts that require mitigation.
<u>Public Parks and Recreation</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Staff finds this project does not generate impacts that require mitigation.
<u>Public Libraries and Cultural Centers</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Staff finds this project does not generate impacts that require mitigation.
<u>Groundwater and Drinking Water Resources</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - The property receives public water and sewer. - The proposal does not generate impacts that require mitigation to groundwater or drinking water resources.
<u>Watersheds, Streams, and Reservoirs</u> Project is located in the College Creek Watershed.	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - The Stormwater and Resource Protection Division has reviewed this application and had no objections. - This project will need to demonstrate full compliance with environmental regulations at the development plan stage, but no other specific environmental impacts have been identified for mitigation. - There are special flood hazard and Resource Protection Areas on the property. However, this project will be located outside of these areas.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0026. 206 The Maine Detached Accessory Apartment
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Cultural/Historic</u>	<u>No Mitigation Required</u>	- The subject property has been previously disturbed and has no known cultural resources on-site.
<u>Nearby and Surrounding Properties</u>	<u>No Mitigation Required</u>	- Traffic is anticipated to be typical of a residential home. The subject property must adhere to the County’s Noise Ordinance.
<u>Community Character</u>	<u>No Mitigation Required</u>	- The Maine is not a Community Character Corridor, and this parcel is not located within a Community Character Area.
<u>Covenants and Restrictions</u>	<u>No Mitigation Required</u>	- Staff is not aware of any covenants or restrictions on the property that prohibit the proposed use.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0026. 206 The Maine Detached Accessory Apartment
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

2045 COMPREHENSIVE PLAN

The site is designated Low Density Residential on the 2045 Comprehensive Plan Land Use Map. The adopted 2045 Comprehensive Plan includes “single family and multifamily units, accessory units, cluster or cottage homes on small lots, recreation areas” within lands designated Low Density Residential.

Staff finds the proposal is consistent with the recommendations of the adopted 2045 Comprehensive Plan.

PROPOSED SUP CONDITIONS

Proposed conditions are provided in Attachment No. 1.

STAFF RECOMMENDATION

Staff finds the proposal compatible with surrounding zoning and development and consistent with the recommendations of the adopted 2045 Comprehensive Plan.

Staff therefore recommends approval of the proposed SUP and has included proposed conditions.

TL/md
SUP23-26_206TheMaineDApt

Attachments:

1. Proposed SUP Conditions
2. Location Map
3. Master Plan
4. Garage Accessory Apartment Layout
5. Lot Layout

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED CONDITIONS FOR CASE NO. SUP-23-0026. 206 THE MAINE

DETACHED ACCESSORY APARTMENT

1. Master Plan. This Special Use Permit (“SUP”) shall be valid for a detached accessory apartment (the “Project”) located at 206 The Maine, further identified as James City County Real Estate Tax Map Parcel No. 4540200076 (the “Property”). Development of the Project on the Property shall be in accordance with Section 24-32(b) of the James City County Code (the “County Code”), as amended, and shall occur generally as shown on the exhibit entitled, “206 The Maine Detached Accessory Apartment,” dated November 22, 2023 (the “Master Plan”), with any deviations considered pursuant to Section 24-23(a)(2) of the County Code, as amended.
2. Recordation. A certified copy of the Board of Supervisors’ SUP resolution shall be recorded against the Property in the Williamsburg/James City County Circuit Court prior to issuance of any Certificate of Occupancy for the Project. Proof of recordation shall be provided to the Zoning Administrator.
3. Certificate of Occupancy. Within 24 months from the issuance of this SUP, a permanent Certificate of Occupancy for the Project shall be issued, or the SUP shall become void.
4. Dwelling Occupied. Within 12 months from the issuance of the Certificate of Occupancy, the property owner(s) shall submit a notarized affidavit to the Director of Planning stating that they or an immediate family member as defined by Section 19-17 of the Subdivision Ordinance intend to reside in either the single-family dwelling or the accessory apartment, or the SUP shall become void.
5. Access. No new ingress/egress points shall be created to The Maine.
6. Parking. Off-site parking for this use shall be prohibited.
7. Severance Clause. This SUP is not severable. Invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.

SUP-23-0026

206 The Maine Detached Accessory Apartment



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SUP-23-0026, 206 The Maine Detached Accessory Apartment

November 22, 2023

Property Information

4540200076
 James Keith Ducker and Johanna M. Kroenlein
 206 The Maine
 Williamsburg, VA 23185
 Zoning: R-1, Limited Residential
 Comp. Plan: Low Density Residential
 Acres: 1.35

Sheet Index

1. Cover Page
2. Location Map
3. Site Photos



General Notes

1. Site is served by public water and sewer.
2. Property is located in a FEMA floodplain zone.
3. Property does contain Resource Protection Area.
4. Property has an existing driveway.

Adjacent Properties

4540200077
 Rollin E. Collins and Marlene E. Collins
 208 The Maine
 Williamsburg, VA 23185-1425
 R-1, Limited Residential

4540200090
 Robert E. Hamilton
 201 The Maine
 Williamsburg, VA 23185-1458
 R-1, Limited Residential

15-1
 Swann's Point Plantation
 P.O. Box 2700
 Newport, RI 02840

4540200089
 Barbara Kent Hudgins Trustee and George M. Hudgins, Jr. Trustee
 203 The Maine
 Williamsburg, VA 23188-1458
 R-1, Limited Residential

4540200075
 Donald L. Alexander Trustee and Alice Alexander Trustee
 9808 Lake Meadow Pl.
 Henrico, VA 23238
 R-1, Limited Residential

15-1A
 National Park Service
 1849 C St. NW
 Washington, D.C. 20240

SUP-23-0026

206 The Maine Detached Accessory Apartment



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GENERAL NOTES:

- ALL FINISHES AND FIXTURES TO BE PER OWNERS SPECIFICATIONS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH 2018 VRC
- 1.1 HEADERS FOR ALL EXTERIOR OPENINGS PER TABLE R602.7(1) UNLESS NOTED OTHERWISE.
- 1.2 HEADERS FOR ALL INTERIOR OPENINGS PER TABLE R602.7(2) UNLESS NOTED OTHERWISE.
- 1.3 DOUBLE FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL TO THE FLOOR JOISTS.
- 1.4 FINISHED GRADE TO SLOPE 6" FOR A DISTANCE OF 10'-0 AWAY FROM THE HOUSE TO AN APPROVED DRAINAGE SYSTEM.
- 1.5 FOUNDATION HEIGHTS SHOWN IN SECTIONS AND ELEVATIONS ARE NORMAL. ACTUAL FOUNDATION HEIGHT SHALL BE DETERMINED BY GRADE. THE BOTTOM OF THE FOOTING SHALL BE LOCATED BELOW THE LOCAL FROST LINE AND TOP OF FOUNDATION 8" MINIMUM ABOVE GRADE (EXCEPT FOR SLAB ON GRADE APPLICATIONS).
- 1.6 SEE VRC R602.3(1) FOR FASTENER SCHEDULE.
- 1.7 WHEN A DIMENSIONAL LUMBER IS SPECIFIED TO FORM A BUILT-UP POST, EACH MEMBER SHALL BE NAILED TO THE PREVIOUS @ 6" O.C. W/ 10d NAILS. NAIL FROM BOTH SIDES IF POSSIBLE. BUILT-UP COLUMNS >3 PLIES SHALL BE NAILED IN ACCORDANCE WITH THE CURRENT NDS.
- 1.8 WIND/HURRICANE ANCHORING METHODS SHOWN ON THESE DRAWINGS MAY BE ALTERED PROVIDED THE ALTERNATE METHOD IS IN ACCORDANCE WITH VRC SECTION R301 AND IS STRUCTURALLY SOUND, AND APPROVED BY THE BUILDING OFFICIAL.
- 1.9 MOISTURE CONTENT OF FRAMING LUMBER SHALL NOT EXCEED 19% PRIOR TO DRYWALL APPLICATION.
- 1.10 LAMINATED BEAMS, IF SPECIFIED SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS
- 1.11 ROOF COVERING AND FLASHING SHALL BE INSTALLED PER SECTIONS R802, R803, R806, R807, R903.1 OF THE VRC.
- 1.12 EXTERIOR OF BUILDING SHEATHED ENTIRELY IN 1/2" PLYWOOD OR 7/16" OSB.
- 1.13 PROVIDE CHEMICAL TERMITICIDE TREATMENT PER SECTION R318.1 OF THE VIRGINIA RESIDENTIAL CONSTRUCTION CODE AS REQUIRED.
- 1.14 BUILDER IS RESPONSIBLE FOR ASSURING ALL BUILDING CODES ARE COMPLIED WITH. IF THERE IS A CONFLICT BETWEEN THIS DRAWING AND THE BUILDING CODE, THE BUILDING CODES SHALL TAKE PRECEDENCE.
- 1.15 DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE EXTERIOR SHEATHING LINE.
- 1.16 MANUFACTURED TRUSSES AND ALL BRACING AND ANCHORAGE PER MANUFACTURER'S RECOMMENDATIONS.

FINISH NOTES:

- 2.1 ALL DOORS ARE 6'-8" TALL UNLESS OTHERWISE NOTED.
- 2.2 ALL WINDOW HEADERS ARE AT 6'10 FOR 8'-0 CEILING AND 7'-10 FOR 9'-0 CEILING, UNLESS OTHERWISE NOTED.
- 2.3 IF NO ATTIC ACCESS IS SHOWN ON THE PLAN, FIELD LOCATE A 24"x48" PULL DOWN STAIR TO ALL ATTIC SPACES.
- 2.4 ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER SECTION [B] R308.4 PER THE VRC BUILDING CODE SHALL BE GLAZED WITH TEMPERED GLASS OR SIMILAR SAFETY MEASURES.
- 2.5 ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL AND AT LEAST 1 COAT DRYWALL TAPE AND MUD.
- 2.6 ALL INTERIOR WALLS TO BE COVERED IN 1/2" DRYWALL W/ 3 COATS DRYWALL COMPOUND. GARAGE CEILING TO BE COVERED IN 5/8" TYPE-X FIRE RATED DRYWALL IF ROOM OVER GARAGE. IN ACCORDANCE WITH SECTION R302.6 AND TABLE R302.6 OF THE VRC.
- 2.7 BATHROOM WALLS AND CEILING SHALL BE COVERED IN 1/2" MOISTURE RESISTANT DRYWALL (GREENBOARD), OR CEMENT BACKERBOARD AS REQUIRED FOR TILE.
- 2.8 IT IS NOT THE INTENT OF THIS DRAWING TO EXCLUDE ALTERNATE PRODUCTS OF EQUAL MERIT. WHERE A PARTICULAR MAKE AND MANUFACTURER IS SPECIFIED, SUBSTITUTIONS MAY BE MADE PROVIDED THE SUBSTITUTION IS FUNCTIONALLY, STRUCTURALLY, AND TECHNICALLY ADEQUATE AND IS APPROVED BY THE HOMEOWNER AND /OR BUILDING INSPECTOR.

FOUNDATION NOTES:

- 3.1 FOOTING/FOUNDATION DESIGN MAY BE MODIFIED BASED ON SOIL REPORT.
- 3.2 FOUNDATION AND FOOTINGS ARE BASED ON THE PREMISE THAT THE PROPOSED BUILDING SITE POSSESSES AVERAGE, FIRM, SUITABLE SOIL CONDITIONS (2000 LB BEARING CAPACITY). IF UNUSUAL OR QUESTIONABLE CONDITIONS EXIST, A STRUCTURAL OR CIVIL ENGINEER SHOULD REVIEW THE SITE AND THESE PLANS AND MAKE RECOMMENDATIONS PRIOR TO THE BEGINING OF ANY PORTION OF THE WORK.
- 3.3 ANCHOR BOLTS SHALL BE INSTALLED PER SECTION R403.1.6 OF THE VRC. WHERE THE MUDSILL DOES NOT END ON AN ANCHOR BOLT, A SIMPSON STRONG-TIE GALVANIZED TITEN THREADED ANCHOR MAY BE USED ON EITHER SIDE OF THE JOINT AS APPROVED BY THE BUILDING INSPECTOR.
- 3.4 ALL UNDER FLOOR GRADING SHALL BE CLEARED OF ALL VEGETATION AND ORGANIC MATERIAL PER SECTION R408.6 OF THE VRC.
- 3.5 ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-615, GRADE 60 SPECIFICATIONS.
- 3.6 CONCRETE PROTECTION FOR REINFORCING AS WELL AS PLACING AND FABRICATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI-318-02).
- 3.7 CONTINUOUS REINFORCING SHALL LAP 40 DIAMETERS UNLESS NOTED OTHERWISE.
- 3.8 BEFORE PLACING CONCRETE ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED AND MAINTAINED IN PLACE.
- 3.9 EARTH FORMED FOUNDATIONS SHALL CONFORM TO THE SHAPE, LINES AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLANS, THE EXCAVATIONS SHALL BE ADEQUATELY PROTECTED UNTIL THE CONCRETE IS PLACED. DO NOT ALLOW WATER TO ACCUMULATE OR STAND IN THE EXCAVATED BOTTOMS.

PLUMBING NOTES:

- 4.1 PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION M2101 OF THE VRC.
- 4.2 PROVIDE 2X6 BLOCKING (VERTICAL ORIENTATION, FLUSH WITH FACE OF STUD) @ 36" ABOVE FINISHED FLOOR AROUND ALL BATHTUBS, SHOWER STALLS AND TOILETS FOR FUTURE HANDICAP ACCESSIBLE HANDRAILS.
- 4.3 IF NOT SHOWN, PROVIDE ACCESS TO MECHANICALS FOR JETTED TUB, WALK-IN TUB PER MANUFACTURER'S RECOMMENDATIONS.

SITE NOTES:

- 5.1 CONTRACTOR SHALL NOTIFY "MISS UTILITIES OF VIRGINIA" AT 800-522-7001 A MINIMUM OF THREE DAYS TO START OF ANY EXCAVATIONS OR EARTH WORK.
- 5.2 CARE SHALL BE EXERCISED DURING THE GRADING OPERATIONS AT THE SITE. IF PROBLEMS SUCH AS DEGRADATION OF THE BEARING MATERIAL ARISE, THE OPERATIONS IN THE AREA AFFECTED SHALL BE HALTED AND THE OWNER'S GEOTECHNICAL CONSULTANT SHALL EVALUATE THE CONDITION.
- 5.3 THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE AS REQUIRED TO REMOVE UNSUITABLE SOIL.
- 5.4 FILL ALL EXCAVATED AREAS WITH APPROVED NO 57 STONE TO GRADE.
- 5.5 IF SOFT POCKETS ARE ENCOUNTERED IN THE FOOTING EXCAVATIONS, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND THE FOOTINGS TO BE LOCATED AT A LOWER ELEVATION. ALTERNATIVELY, THE PROPOSED FOOTING ELEVATIONS MAY BE RE-ESTABLISHED BY BACKFILLING WITH NO 57 STONE.
- 5.6 WHERE WATER IS ENCOUNTERED IN THE BOTTOM OF THE EXCAVATION, OR BASE MATERIAL IS TOO WET TO COMPACT, FILL EXCAVATION WITH 12" TO 18" WORKING MAT OF CRUSHED STONE.
- 5.7 CONTRACTOR SHALL TAKE ALL CARE NECESSARY TO PREVENT UNDERMINING OF ANY EXISTING STRUCTURES DURING CONSTRUCTION.

ELECTRICAL NOTES:

- 7.1 RECEPTACLES AND TV OUTLETS SHALL BE MOUNTED 12" ABOVE FINISHED FLOOR.
- 7.2 BATHROOM RECEPTACLES SHALL BE GFI MOUNTED 42" ABOVE FINISHED FLOOR.
- 7.3 IF NOT SHOWN ON PLAN, TWO EXTERIOR RECEPTACLES SHALL BE FIELD LOCATED AT 12" ABOVE FINISHED FLOOR.
- 7.4 TELEPHONE RECEPTACLES TO BE MOUNTED AT 12" ABOVE FINISHED FLOOR TABLE MODELS, 54" ABOVE FINISHED FLOOR W/ COVER PLATE FOR WALL MODEL.
- 7.5 SWITCHES SHALL BE MOUNTED AT 48" ABOVE FINISHED FLOOR.
- 7.6 SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING AREAS PLUS ONE PER FLOOR AT A MINIMUM OF 3'-0 FROM ANY HVAC DUCT OPENINGS, AND SHALL BE PERMANENTLY WIRED TOGETHER WITH A BATTERY BACKUP.
- 7.7 LIGHTING AND ELECTRICAL LAYOUT PER OWNER'S WALK THROUGH. ALL WORK TO BE PERFORMED BY A CLASS "A" ELECTRICAL CONTRACTOR OR MASTERS LEVEL ELECTRICIAN.

FRAMING NOTES:

- 8.1 PER R502.7 JOISTS SHALL BE SUPPORTED Laterally AT ENDS BY FULL DEPTH SOLID BLOCKING NOT LESS THAN 2" NOM THICKNESS; OR BY ATTACHMENT TO FULL DEPTH HEADER, BAND OR RIM JOIST, OR TO AN ADJOINING STUD OR SHALL BE OTHERWISE PROVIDED W/ LATERAL SUPPORT TO PREVENT ROTATION.
- 8.2 WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW CONCEALED SPACE OF FLOOR/CEILING ASSEMBLY DRAFTSTOPS SHALL BE INSTALLED SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 SF. DRAFTSTOPPING SHAL DIVIDE SPACE EVENLY.
- 8.3 FIREBLOCKING MATERIAL FOR PENETRATIONS OF WIRES, VENTS, PIPE DUCTS AND CABLES SHALL BE 3M "FIRE BARRIER CP25" AND FIRE RESISTANT MINERAL WOOL ASTM E-84 PER VRC 602.8 #4

DESIGN LOAD CRITERIA

ROOF TRUSSES		LIVING SPACES	
TRUSS LOAD	PSF	FLOOR LOAD	PSF
TOP CORD LIVE LOAD	20 PSF	LIVE LOAD	40 PSF
TOP CORD DEAD LOAD	10 PSF	DEAD LOAD	10 PSF
BOTTOM CORD LIVE LOAD*	20 PSF	TOTAL LOAD	50 PSF
BOTTOM CORD DEAD LOAD	10 PSF	LIVE LOAD DEFLECTION	L/360
TOTAL LOAD	40 PSF		
LIVE LOAD DEFLECTION	L/360		
*TRUSS LOAD NOTES: 1. WITH LIMITED STORAGE: DESIGN BCLL = 20 PSF 2. WITH HABITABLE STORAGE: DESIGN BCLL = 40 PSF		SLEEPING SPACES	
RAFTERS		FLOOR LOAD	
RAFTERS W/ INTERIOR FINISH	PSF	LIVE LOAD	30 PSF
LIVE LOAD	20 PSF	DEAD LOAD	10 PSF
DEAD LOAD	15 PSF	TOTAL LOAD	40 PSF
TOTAL LOAD	35 PSF	LIVE LOAD DEFLECTION	L/360
LIVE LOAD DEFLECTION	L/240		
RAFTERS W/O INTERIOR FINISH	PSF	EXTERIOR WALLS	
LIVE LOAD	20 PSF	HEIGHT	PSF
DEAD LOAD	10 PSF	8' WALL	11.0
TOTAL LOAD	30 PSF	9' WALL	8.8
LIVE LOAD DEFLECTION	L/180		
WIND RATINGS		INTERIOR WALLS	
WIND SPEED	115 MPH	HEIGHT	PSF
WIND GUST	3 SEC GUST	8' WALL	8.0
		9' WALL	7.2
		CEILING JOISTS	
		CEILING LOAD	PSF
		LIVE LOAD	20 PSF
		DEAD LOAD	10 PSF
		TOTAL LOAD	30 PSF
		LIVE LOAD DEFLECTION	L/240

WINDOW & DOOR HEADER SIZES

ROOF LOAD ONLY				ROOF LOAD + 1 STORY (CLEAR SPAN)				ROOF + 2 STORY (CLEAR SPAN)			
SIZE	MAX. SPAN	NJ		SIZE	MAX. SPAN	NJ		SIZE	MAX. SPAN	NJ	
(2)-2X4	3'-1"	1		(2)-2X4	2'-3"	1		(2)-2X4	1'-8"	1	
(2)-2X6	4'-7"	1		(2)-2X6	3'-4"	1		(2)-2X6	2'-6"	1	
(2)-2X8	5'-9"	1		(2)-2X8	4'-3"	1		(2)-2X8	3'-3"	1	
(2)-2X10	6'-10"	2		(2)-2X10	5'-0"	2		(2)-2X10	3'-10"	2	
(2)-2X12	8'-1"	2		(2)-2X12	5'-11"	2		(2)-2X12	4'-6"	2	

- NOTES: (1) BASED ON TABLE NO. R602.7(1) IRC 2018
- (2) HEADER MATERIAL SHALL BE SOUTHERN PINE NO. 2
- (3) ALL HEADERS INCLUDE 1/2" FLY SPACER TO MATCH 5/12" WALL
- (4) BASED ON 30 PSF SNOW LOAD & BUILDING WIDTH 24 FT

RESTRICTIVE NOTICE: ARCHITECTURAL DRAWINGS
THE INFORMATION, PLANS, SPECIFICATIONS, AND DESIGNS CONTAINED IN THESE DRAWINGS CANNOT BE USED OR REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT PRIOR WRITTEN CONSENT.

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OWNER:
MR. & MRS. DUCKER
206 THE MAINE
WILLIAMSBURG, VA

PROJECT NAME:
DUCKER GARAGE

DRAWING TITLE:
COVER SHEET

ADDRESS

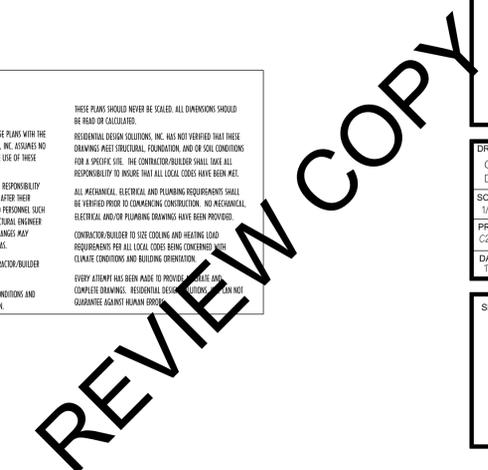
DRAWN BY:
CAROL CASON
DESIGNER, AIBD

SCALE:
1/4" = 1'-0"

PROJECT:
C22-0729 DUCKER

DATE:
Tuesday, September 26, 2023

SHEET NO.
CS1





RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A I D
B I D

RDS
Residential Design Solutions

124 Druid Dr. - Williamsburg, VA 23185
804.362.2332
carol@resdesignsol.com
www.resdesignsol.com

OWNER

MR. & MRS. DUCKER
206 THE MAINE
WILLIAMSBURG, VA

PROJECT NAME:
DUCKER GARAGE

DRAWING TITLE:
EXTERIOR ELEVATIONS

ADDRESS

DRAWN BY:
CAROL CASON
DESIGNER, AIBD

SCALE:
1/4" = 1'-0"

PROJECT:
C22-0729 DUCKER

DATE:
Tuesday, September 26, 2023

SHEET NO.
3.1

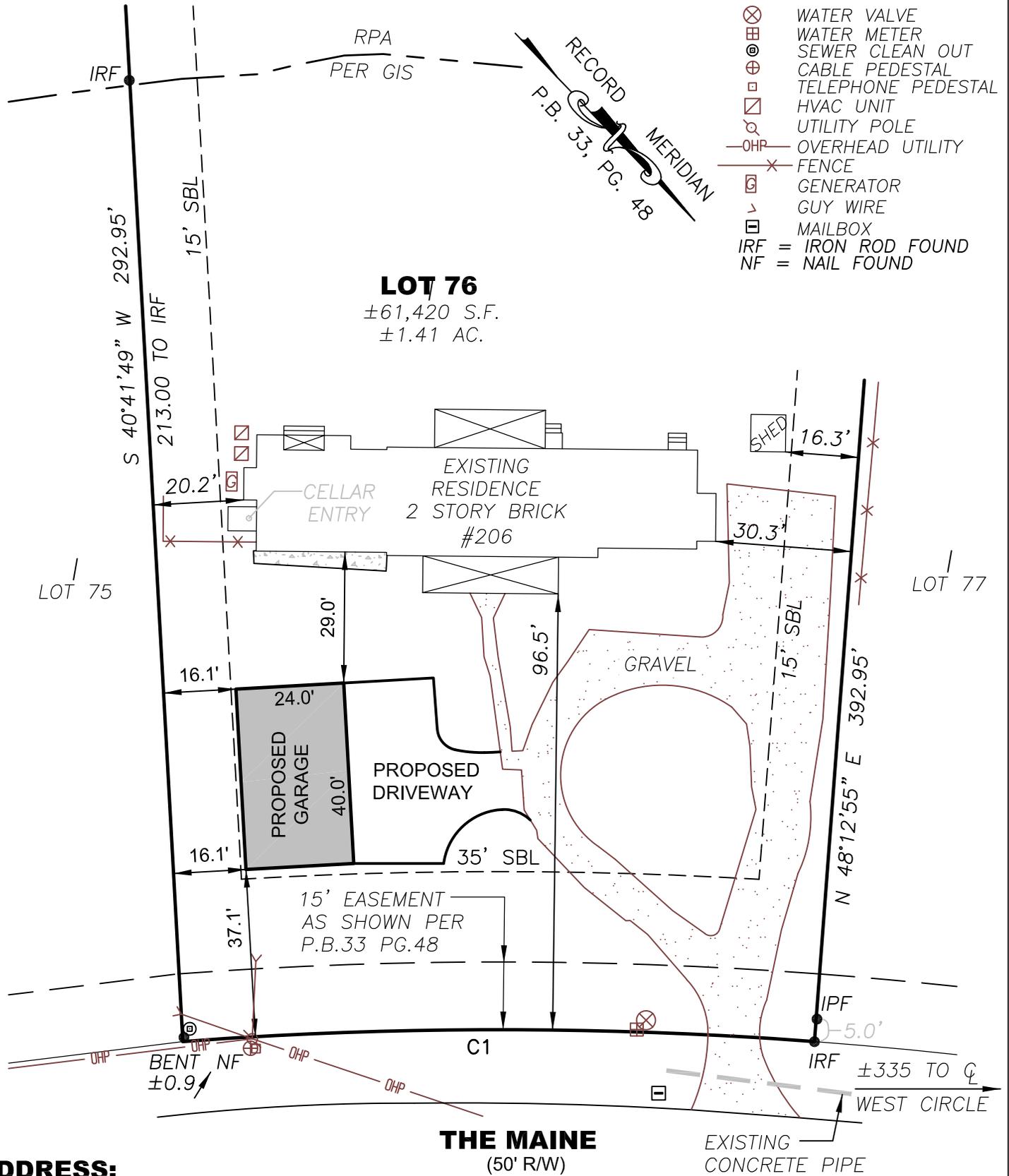
REVIEW COPY

NOTES:

1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN P.B. 33, PG. 48.
2. THIS FIRM IS NOT RESPONSIBLE FOR THE LOCATION OF ANY STRUCTURE, MANHOLE, VALVE, ETC., HIDDEN OR OBSTRUCTED AT THE TIME THE FIELD SURVEY WAS PERFORMED.
3. LOT LIES IN F.I.R.M. ZONE "X" ZONE "VE" (ELEV 12) ACCORDING TO FLOOD INSURANCE RATE MAP #51095C0181D DATED DECEMBER 16, 2015. PROPOSED GARAGE FALLS IN ZONE "X".
4. WETLANDS, IF ANY, WERE NOT LOCATED FOR THIS SURVEY.
5. UNDERGROUND UTILITIES WERE NOT LOCATED.
6. REAR PROPERTY LINE IS MEAN LOW WATER PER P.B. 33 PG.48.

LEGEND

- ⊗ WATER VALVE
- ⊕ WATER METER
- ⊕ SEWER CLEAN OUT
- ⊕ CABLE PEDESTAL
- ⊕ TELEPHONE PEDESTAL
- ⊕ HVAC UNIT
- ⊕ UTILITY POLE
- OHP— OVERHEAD UTILITY
- X— FENCE
- ⊕ GENERATOR
- > GUY WIRE
- ⊕ MAILBOX
- IRF = IRON ROD FOUND
- NF = NAIL FOUND



ADDRESS:

206 THE MAINE
JAMES CITY COUNTY, VIRGINIA

CURVE	ARC LEN.	RADIUS	DELTA	CHORD BEARING	CHORD LEN.
C1	140.58'	941.73'	8°33'10"	S 46°07'20" E	140.45'



REFERENCES:
P.B.33 PG.48
P.B.30 PG.2
P.B.21 PG.9

DATE: 9/27/23
SCALE: 1"=30'
JOB# 23-022
CAD File
23-022.dwg

PARTIAL PHYSICAL SURVEY OF LOT 76, SECTION THREE
SHOWING PROPOSED GARAGE
FIRST COLONY
For:
PROMARK CUSTOM HOMES
JAMES CITY COUNTY VIRGINIA

LandTech Resources, Inc.
Engineering and Surveying Consultants
205 E Bulifants Blvd., Williamsburg, Virginia 23188
Telephone: 757-565-1677 Fax: 757-565-0782
Web: landtechresources.com

**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor’s Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

SUMMARY FACTS

Applicant: Ms. Erin Martin, Crossroad Custom Builders, Inc.

Landowner: Mr. Shawn Lemon, Crossroad Properties

Proposal: To allow for the construction of an approximately 6,000-square-foot building to be used as a contractor’s office and warehouse.

Location: 9273 Richmond Road

Tax Map/Parcel No.: 1010100005

Property Acreage: ± 4.34

Zoning: A-1, General Agricultural

Comprehensive Plan: Rural Lands

Primary Service Area: (PSA) Outside

Staff Contact: Suzanne Yeats, Planner

PUBLIC HEARING DATES

Planning Commission: December 6, 2023, 6:00 p.m.

Board of Supervisors: January 9, 2024, 5:00 p.m. (Tentative)

FACTORS FAVORABLE

1. The proposal includes adequate off-street parking.
2. With the proposed conditions, staff finds the proposal compatible with surrounding zoning and development and consistent with the *Our County, Our Shared Future: James City County 2045 Comprehensive Plan*.
3. Impacts: See Impact Analysis on Pages 3-5.

FACTORS UNFAVORABLE

1. With the attached Special Use Permit (SUP) conditions, staff finds that there are no unfavorable factors.

SUMMARY STAFF RECOMMENDATION

Staff finds the proposal is compatible with surrounding zoning and development and consistent with the 2045 Comprehensive Plan. Staff recommends the Planning Commission recommend approval to the Board of Supervisors subject to the proposed conditions (Attachment No. 1).

PROJECT DESCRIPTION

Ms. Erin Martin has applied for an SUP to allow for the construction and operation of a contractor’s office and warehouse to be located at 9273 Richmond Road, on property zoned A-1, General Agricultural, to accommodate both current business operations and anticipated growth. According to information provided by the applicant, the existing operation is a professional contractor’s business that specializes in the building of custom homes, additions, or interior improvements and proposes the following organizational structure and activities:

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor's Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

- There are a total of 12 employees (including the owner). Roughly half of the employees work on-site, and the other half work out in the field daily;
- The proposal includes a 6,000-square-foot building which designates 2,000 square feet for a contractor's office and 4,000 square feet as a warehouse;
- The dedicated office space will be utilized to meet with clients to discuss individual projects and no retail sales will occur on the Property;
- The dedicated warehouse will be utilized to store materials, equipment, and woodshop area;
- Currently, deliveries are sent to job sites directly. With the advent of the proposed warehouse, the applicant anticipates receiving one major delivery per month and distributing smaller deliveries to work sites using company vehicles on an as-needed basis; and
- The hours of operation will be Monday through Friday, 7:30 a.m. to 5:30 p.m.

The owner purchased the property in 2020 as a residence; it is currently occupied and will remain as such. The proposed contractor's office and warehouse is approximately 75 feet from Richmond Road and would be visible from the right-of-way. The proposed parking lot is approximately 55 feet from Richmond Road and will be visually screened from the right-of-way. Mature trees surround the project site providing a natural buffer from adjacent properties.

PLANNING AND ZONING HISTORY

- There have been no legislative cases associated with the property.

SURROUNDING ZONING AND DEVELOPMENT

- All surrounding parcels are zoned A-1, General Agricultural.
- All surrounding parcels are designated Rural Lands on the 2045 Comprehensive Plan.

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**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor’s Office and Warehouse
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Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Public Transportation: Vehicular</u>	<u>Mitigated</u>	<ul style="list-style-type: none"> - The new contractor’s office/warehouse will not exceed 100 peak hour trips. - Virginia Department of Transportation (VDOT) requires a commercial entrance to accommodate any commercial traffic (CE-1 standards and specifications). The existing horseshoe shaped driveway will be redesigned to a single commercial entry. - VDOT will review the commercial entry design during the site plan review.
<u>Public Transportation: Bicycle/Pedestrian</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Per the Adopted Regional Bikeways Map and Pedestrian Accommodations Master Plan, neither a bike lane nor pedestrian accommodations are required.
<u>Public Safety</u>	<u>Mitigated</u>	<ul style="list-style-type: none"> - Fire Station 1 on Forge Road serves this area of the County and is approximately 6.2 miles from the property. - The Fire Department has reviewed the proposal and does not have concerns with the Master Plan. During the site plan and building permit application processes, the Fire Department will provide additional review and comments.
<u>Public Schools</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - N/A since no residential dwelling units are proposed.
<u>Public Parks and Recreation</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - N/A since no residential dwelling units are proposed.
<u>Public Libraries and Cultural Centers</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Staff finds this project does not generate impacts that require mitigation.
<u>Groundwater and Drinking Water Resources</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - The property is on a private well and septic. - The Virginia Department of Health has reviewed the proposal and does not have concerns with the Master Plan. - During the site plan and building permit application processes, the Fire Department will provide additional review and comments.

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**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor’s Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Watersheds, Streams, and Reservoirs</u> Project is located in the Diascund Creek Watershed.	<u>Mitigated</u>	<ul style="list-style-type: none"> - The Master Plan shows a conceptual layout for stormwater management facilities. - This project will need to demonstrate full compliance with environmental regulations at the development plan stage, but no other specific environmental impacts have been identified for mitigation. - There are no special flood hazard nor resource protected areas on the property. - Condition Nos. 9, 10, 11, 12, and 13 address the impervious cover capture for existing and proposed site improvements, stormwater best management practice design, a spill prevention and pollutant containment plan, limiting forested open space to 25% of the required water quality associated with the Project, and the application of Special Stormwater Criteria.
<u>Cultural/Historic</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - Per Section 24-145 of the Zoning Ordinance, this proposal includes an archaeological study and will be evaluated at the site plan stage should this application be approved. - A natural resource inventory was not required.
<u>Nearby and Surrounding Properties</u>	<u>Mitigated</u>	<ul style="list-style-type: none"> - Condition Nos. 2, 3, and 4 limit sales (no sales shall occur), hours of operation, and deliveries. - Condition Nos. 6 and 7 state the project will need to demonstrate full compliance with lighting, landscaping, and screening regulations in the Zoning Ordinance at the development plan stage. - Condition No. 8 states no outdoor storage is allowed and dumpsters shall be screened by landscaping or fencing.
<u>Community Character</u>	<u>No Mitigation Required</u>	<ul style="list-style-type: none"> - This portion of Richmond Road is designated as a Wooded Community Character Corridor and is not designated as a Community Character Area. - Condition No. 5 requires the Director of Planning to review and approve all new building elevations, colors, and future expansions as consistent with submitted elevations (Attachment No. 4).

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**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor’s Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Covenants and Restrictions</u>	<u>No Mitigation Required</u>	- The applicant has verified that she is not aware of any covenants or restrictions on the property that prohibit the proposed use.

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**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor’s Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

NATURAL AND CULTURAL ASSETS

The site is identified as having natural and cultural assets on the Natural & Cultural Assets Plan maps, supplemented by information from the Natural Resources Conservation Service - Web Soil Survey website. Data points are included for information purposes below:

ASSET	PRESENCE	IMPACT
Habitat Core	Present on Site	1. All habitat cores identified in the Natural & Cultural Assets Plan are important ecologically. Of the 1-5 ranking system used in the Plan, the habitat core on this property is ranked between the 1 and 2 quintile or lowest priority. 2. The portion of this parcel identified as habitat core is 2.38 acres or 54.8% of the property. The project area encroaches into the area identified as a habitat core.
Corridors	Not Applicable	Not Applicable
Agricultural Assets	Present on Site	1.8 acres or 36.8% of the Property is rated prime farmland. The project area is outside the area designated as prime farmland.

2045 COMPREHENSIVE PLAN

The site is designated Rural Lands on the 2045 Comprehensive Plan Land Use Map.

Per the adopted Comprehensive Plan, appropriate primary uses include traditional agricultural and forestal activities, but also innovative agriculture, horticulture, silviculture, specialty or niche farming, commercial and noncommercial equine opportunities, agri-tourism, rural-based public or commercial recreation, rural-support businesses and certain public or semi-public and institutional uses that require a spacious site and are compatible with the natural and rural surroundings.

Retail and other commercial uses serving Rural Lands are encouraged to be located at planned commercial locations on major thoroughfares inside the PSA. However, appropriately scaled and located direct agricultural or forestal-support uses (including agri-business and eco-tourism), home-based occupations, or certain uses which require very low-intensity settings relative to the site in which it will be located may be considered on the case of a case-by-case review, provided such uses are compatible with the natural and rural character of the area and are in accordance with the Rural Lands Development Standards.

According to the Rural Lands Development Standards, uses should reflect and enhance the rural character of the County. Particular attention should be given to locating structures and uses outside of sensitive areas, and maintaining existing topography, vegetation, trees, and tree lines to the maximum extent possible, especially along roads and uses.

Typically, office uses of this size and nature are encouraged to be located in commercially or industrially zoned or designated areas inside the PSA. While not agricultural or forestal use, staff finds the proposed scale of the business would be a very low-intensity operation which would not negatively impact the natural and rural character of the area. Further, staff finds that the undisturbed vegetation located along the perimeter surrounding the Project will provide a natural buffer from all surrounding properties.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**SPECIAL USE PERMIT-23-0028. 9273 Richmond Road Contractor's Office and Warehouse
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

The site, existing and proposed structures, and parking necessary for the Project would be accessible by a single entrance. Staff further finds that proposed Condition No. 7 (Landscape and Screening) and proposed Condition No. 8 (Outdoor Storage and Dumpsters) in conjunction with the layout of the Master Plan, will help ensure the use is screened and buffered from adjacent properties and road rights-of-way.

STAFF RECOMMENDATION

Staff finds that the proposal is compatible with surrounding zoning and development and is consistent with the adopted 2045 Comprehensive Plan and Zoning Ordinance. Staff recommends that the Planning Commission recommend approval to the Board of Supervisors, subject to the proposed conditions (Attachment No. 1).

SY/ap
SUP23-28_9273RichRd

Attachments:

1. Proposed Conditions
- 2a. Location Map A
- 2b. Location Map B
3. Master Plan
4. Building Elevations

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

PROPOSED CONDITIONS FOR CASE NO. SUP-23-0028. 9273 RICHMOND ROAD

CONTRACTOR'S OFFICE AND WAREHOUSE

1. Master Plan. This Special Use Permit (the "SUP") shall be valid for the construction and operation of a contractor's office and warehouse, and accessory uses thereto (the "Project"), on property located at 9273 Richmond Road and further identified as James City County Real Estate Tax Map Parcel No. 1010100005 (the "Property"). The Project shall be developed and constructed substantially in accordance with the Master Plan titled "SUP-23-0028 9273 Richmond Road Contractor's Office and Warehouse for Crossroad Custom Builders" prepared by LandTech Resources, Inc., dated November 17, 2023 (the "Master Plan"), with any deviations considered per Section 24-23(a)(2) of the James City County Zoning Ordinance, as amended.
2. Limitations. No retail sales shall occur on the Property.
3. Hours of Operation. The hours of operation for the Project shall be limited to Monday through Friday, 7:30 a.m. to 5:30 p.m.
4. Deliveries. Deliveries, including trash pickup, shall be limited to Monday through Friday, 8 a.m. to 5 p.m.
5. Architectural Review. All building elevations, colors, and future expansions shall be generally consistent with the building elevations shown on the document entitled "Proposed Office and Warehouse," date stamped November 14, 2023. The colors and building materials shall be submitted to the Director of Planning or designee for review and approval prior to final site plan approval.
6. Lighting. Prior to site plan approval, if any exterior lighting is proposed for the Project, the Director of Planning or designee shall review and approve a lighting plan for the Property. All new light poles shall not exceed sixteen (16) feet in height from finished grade. There shall be no light trespass, defined as light intensity measured 0.1-foot candle or higher, extending beyond the boundaries of the Property. Lights shall be operated by a motion detector or be able to be turned on as needed. Lights shall not be routinely illuminated from dusk until dawn.
7. Landscape and Screening Plan. Prior to site plan approval, a landscape and screening plan shall be submitted to the Director of Planning or designee for review and approval. The landscape and screening plan shall provide, at a minimum, native and evergreen plantings and fencing that shall effectively screen the storage and/or parking areas associated with the Project from public roads and adjacent properties. Tree clearing on the Property shall be limited to that shown on the landscape plan. A minimum of 50% of the new plantings shall be species native to eastern Virginia.
8. Outdoor Storage and Dumpsters. No outdoor storage of equipment, machinery, or heavy construction equipment shall be permitted on the Property; provided, however, that trucks and other vehicles, such as tractor trucks, tractor truck/semi-trailers, tractor truck/trailer combinations, dump trucks, and concrete mixer trucks are expressly permitted. All dumpsters shall be screened by landscaping native to eastern Virginia and fencing as shown on the site plan approved by the Director of Planning.

9. *Impervious Cover Capture.* All proposed impervious cover on the Property resulting from the proposed site improvements shall be captured and conveyed to on-site stormwater management facilities. Special Stormwater Criteria credit(s), for the capture and conveyance of existing impervious cover to proposed on-site stormwater management facilities, shall be determined by the Director of Stormwater and Resource Protection Division.
10. *Stormwater Best Management Practice (BMP) Design.* All stormwater BMPs shall meet or exceed the criteria of the appropriate Virginia Stormwater BMP Clearinghouse Design Specifications Nos. 1 through 17, as determined by the Director of Stormwater and Resource Protection Division.
11. *Spill Prevention and Containment Plan.* Prior to approval of the site plan for the Project, a Spill Prevention Control and Countermeasure Plan (the "SPCCP") for the Property shall be submitted to the County Director of Stormwater and Resource Protection Division or designee for review and approval. The SPCCP shall outline spill prevention and pollutant containment measures and procedures necessary for the operation of the Project and activities conducted on the Property.
12. *Virginia Runoff Reduction Method.* The Forested Open Space (the "FOS") land use category may be used to account for a maximum of 25% of the required water quality associated with the Project. The purchase of offsite nutrient credits toward needed water quality associated with the Project will not be allowed. Should FOS be used in the Virginia Runoff Reduction Method calculations, the area of FOS must meet the criteria set forth in Virginia Stormwater BMP Clearinghouse, Design Specification No. 2: Sheet Flow to a Vegetated Filter Strip or Conserved Open Space. The declared FOS area must treat sheet flow from the Project, in accordance with the Virginia Stormwater BMP Clearinghouse design specification criteria. The proposed use of FOS on the Property, disconnected from any drainage patterns of the Facility, will not be allowed.
13. *Special Stormwater Criteria.* The application of Special Stormwater Criteria practices are required for the Project and shall be shown on the site plan. The number of practices required shall be per Table SSC-1 of the Stormwater Resource Protection Division's form entitled, "Stormwater-Special Criteria (SSC) in James City County, Virginia." Practices to be used for the Project shall be approved by the Director of Stormwater and Resource Protection Division.
14. *Site Plan.* A site plan shall be required for this Project. Final approval of the site plan shall be obtained within 36 months of issuance of this SUP, or the SUP shall become void.
15. *Severability.* This SUP is not severable. Invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.

JCC-SUP-23-0028

9273 Richmond Road

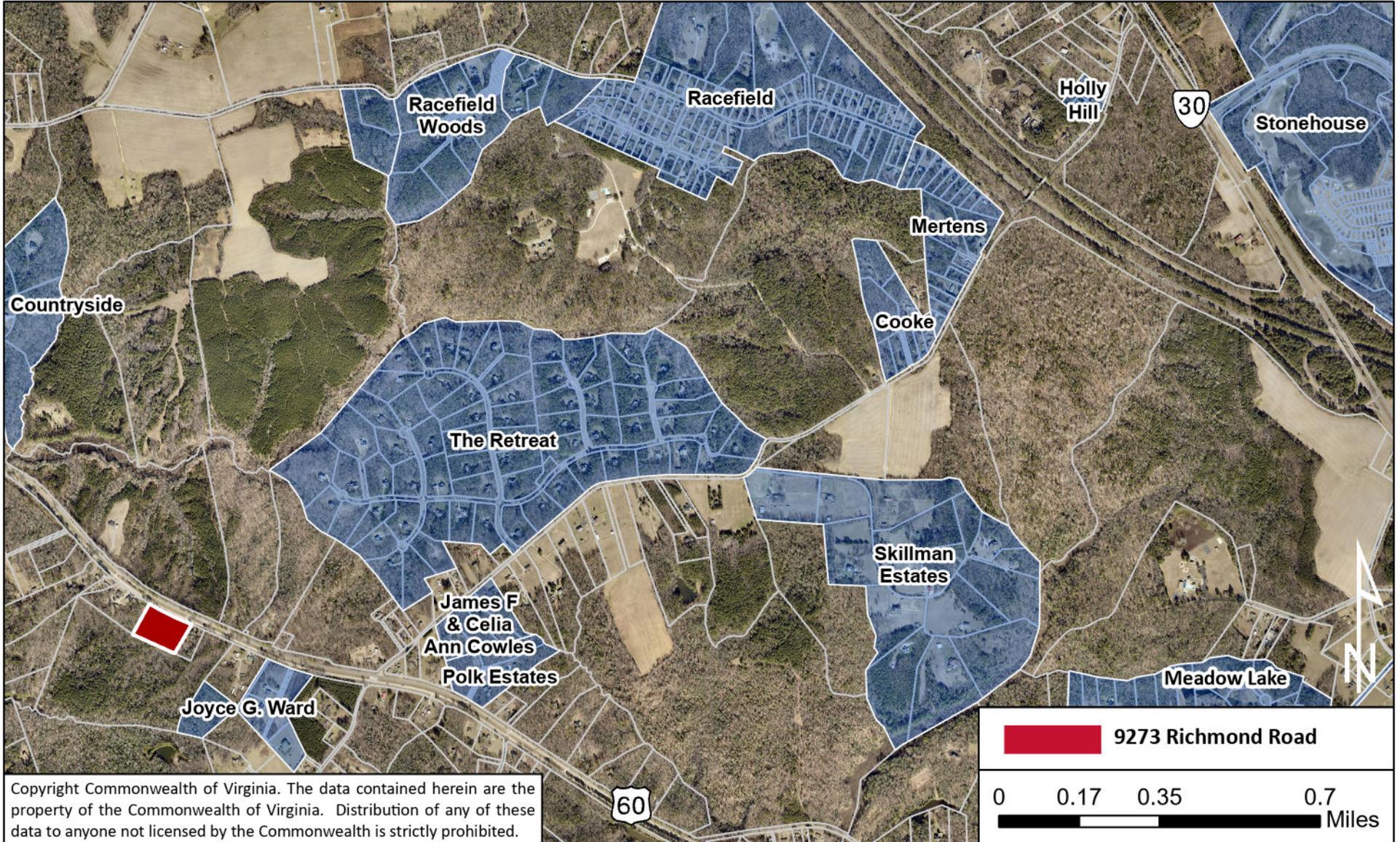
Contractor's Office Warehouse



SUP-23-0028

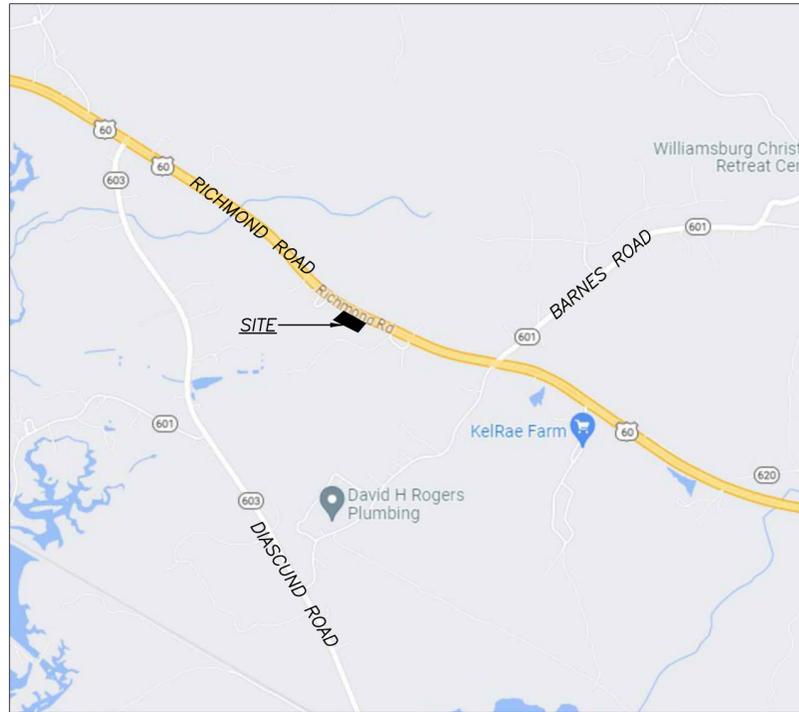
9273 Richmond Road

Contractor's Office & Warehouse SUP



SUP-23-0028

9273 RICHMOND ROAD CONTRACTOR'S
OFFICE AND WAREHOUSE
FOR
CROSSROAD CUSTOM BUILDERS



VICINITY MAP
1" = 2,000'

GENERAL NOTES

1. A TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM.
2. ELEVATION SHOWN HEREON ARE IN FEET AND ARE GPS DERIVED NAVD88.
3. WETLANDS, IF ANY, WERE NOT RESEARCHED OR LOCATED FOR THIS PLAT.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
5. PARCEL LIES IN F.I.R.M. ZONE "X" ACCORDING TO COMMUNITY PANEL #51095C0036D, DATED DECEMBER 16, 2015.
6. LOT SERVED BY PRIVATE WATER AND SEWER.
7. PROPERTY LINE SHOWN PER DEED LEGAL DESCRIPTION & MONUMENTATION FOUND.
8. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY.
9. SECTION 24-98 OF THE JAMES CITY COUNTY ZONING ORDINANCE WILL BE VERIFIED AND INSTALLED AT THE SITE PLAN PHASE.
10. ALL NEW UTILITIES WILL BE PLACED UNDERGROUND.
11. BUSINESS HOURS FROM 7:00 A.M. TO 5:00 P.M.
12. THERE ARE APPROXIMATELY 20-25 CUSTOMERS/VISITORS THAT VISIT THE PROPERTY PER WEEK.

LEGEND

- X— FENCE
- MAIL BOX
- ⊕ SIGN
- ⊙ WELL
- OHP— OVERHEAD UTILITY
- ⊗ LIGHT POLE
- IPF = IRON ROD FOUND
- CMF = CONCRETE MONUMENT FOUND
- ▨ CONCRETE

PROJECT OVERVIEW

This is the proposed location for Crossroad Custom Builders office and work shop space. We are a residential construction company with 10 employees. The structure is to be an approximately 50'x120' metal building structure with the Richmond Road side of the building, built out to be an approximately 1,600 sf office space. The remaining space of the building would be left as open shop space for wood working and materials and tool inventory to support the business efforts with 3 or 4 garage doors.

SITE INFORMATION

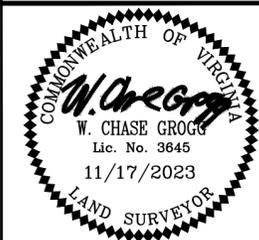
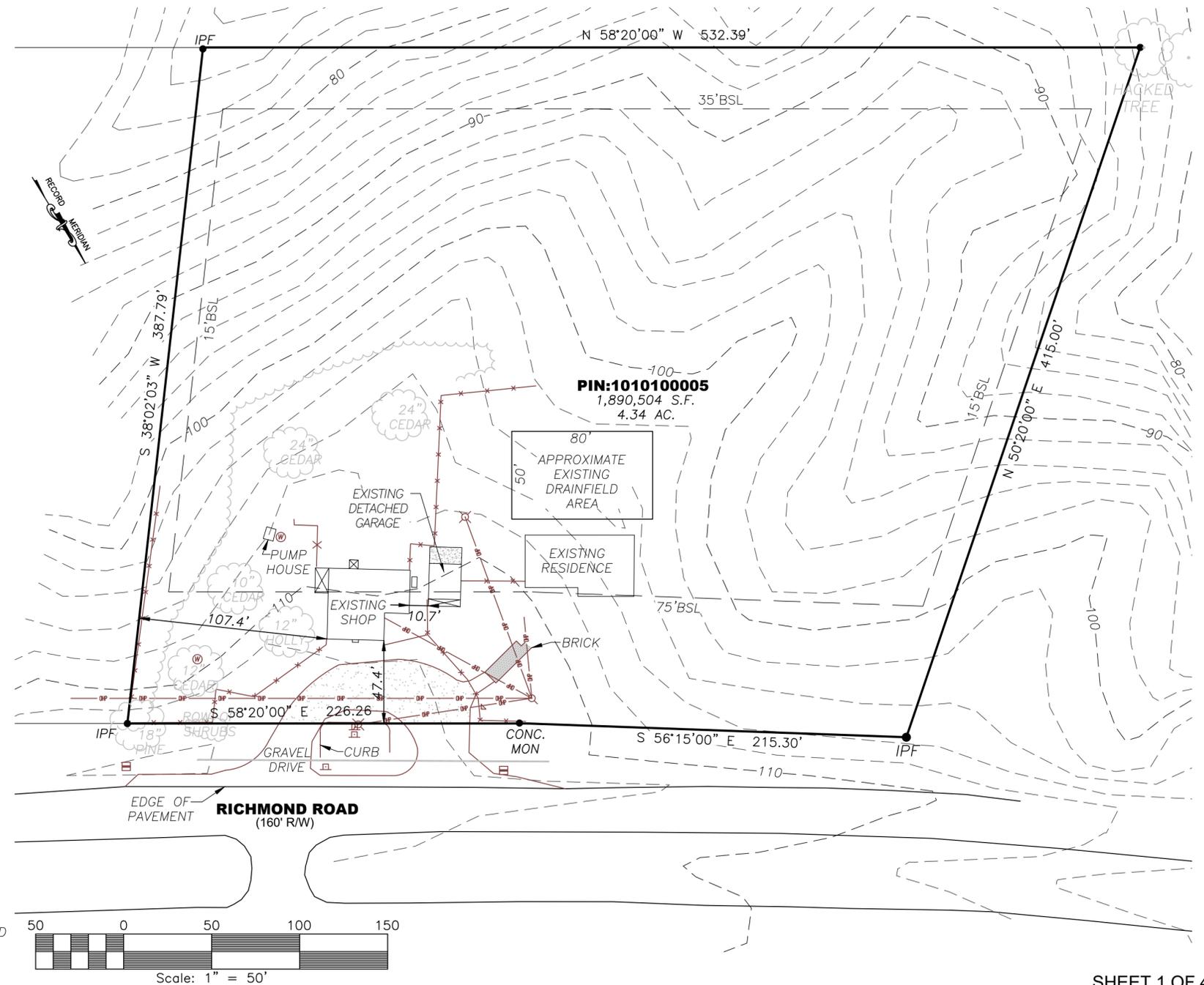
PARCEL ID: 1010100005
TOTAL AREA: 1,890,504 S.F. / 4.34 AC.
ZONING DISTRICT: A1 GENERAL AGRICULTURE
EXISTING SITE IS MOSTLY WOODED AS SHOWN

BUILDING SETBACK (SBL)

FRONT: 75'
REAR: 35'
SIDE: 15'

EXISTING ADDRESS:

9273 RICHMOND ROAD
JAMES CITY COUNTY, VIRGINIA



DATE: 09/19/2023
DRAWN BY: AR
PROJECT No. 22-017
FILE NAME: 22-017.DWG
REFERENCES:
DEED INST.#200015403

EXISTING SITE CONDITIONS EXHIBIT OF
PIN: 1010100005
FOR
CROSSROAD CUSTOM BUILDERS
SUP-23-0028
JAMES CITY COUNTY VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
4	11-17-2023	REVISED PER COUNTY COMMENTS
3	11-16-2023	REVISED PER COUNTY COMMENTS
2	11-15-2023	REVISED PER COUNTY COMMENTS
1	11-2-2023	REVISED PER COUNTY COMMENTS

LRI
LANDTECH
RESOURCES, INC.
ENGINEERING & SURVEYING CONSULTANTS
205 Bullfants Blvd., Suite E, Williamsburg, VA 23188
Ph: (757) 565-1677 Fax: (757) 565-0782
web: landtechresources.com

N 58°20'00" W 532.39'

HACKED TREE



35'BSL

80

90

15'BSL

PIN:1010100005

1,890,504 S.F.
4.34 AC.

EXISTING TREELINE

LEGEND

- FENCE
- MAIL BOX
- SIGN
- WELL
- OVERHEAD UTILITY
- LIGHT POLE
- IRF = IRON ROD FOUND
- CMF = CONCRETE MONUMENT FOUND
- CONCRETE

APPROXIMATE EXISTING DRAINFIELD AREA TO BE REMOVED

WELL TO BE REMOVED & RELOCATED

EXISTING BUILDING TO BE REMOVED

EXISTING SHOP TO BE REMOVED

PUMP HOUSE TO BE REMOVED

EXISTING RESIDENCE

OVERHEAD POWER LINE TO BE REMOVED & RELOCATED

BRICK

CONC. MON

EXISTING GRAVEL DRIVE TO BE REMOVED

S 38°02'03" W 387.79'

S 58°20'00" E 226.26

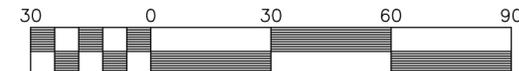
S 56°15'00" E 215.30'

15'BSL

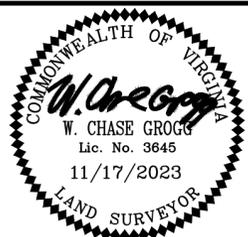
N 50°20'00" E 415.00'

EDGE OF PAVEMENT

RICHMOND ROAD
(160' R/W)



Scale: 1" = 30'



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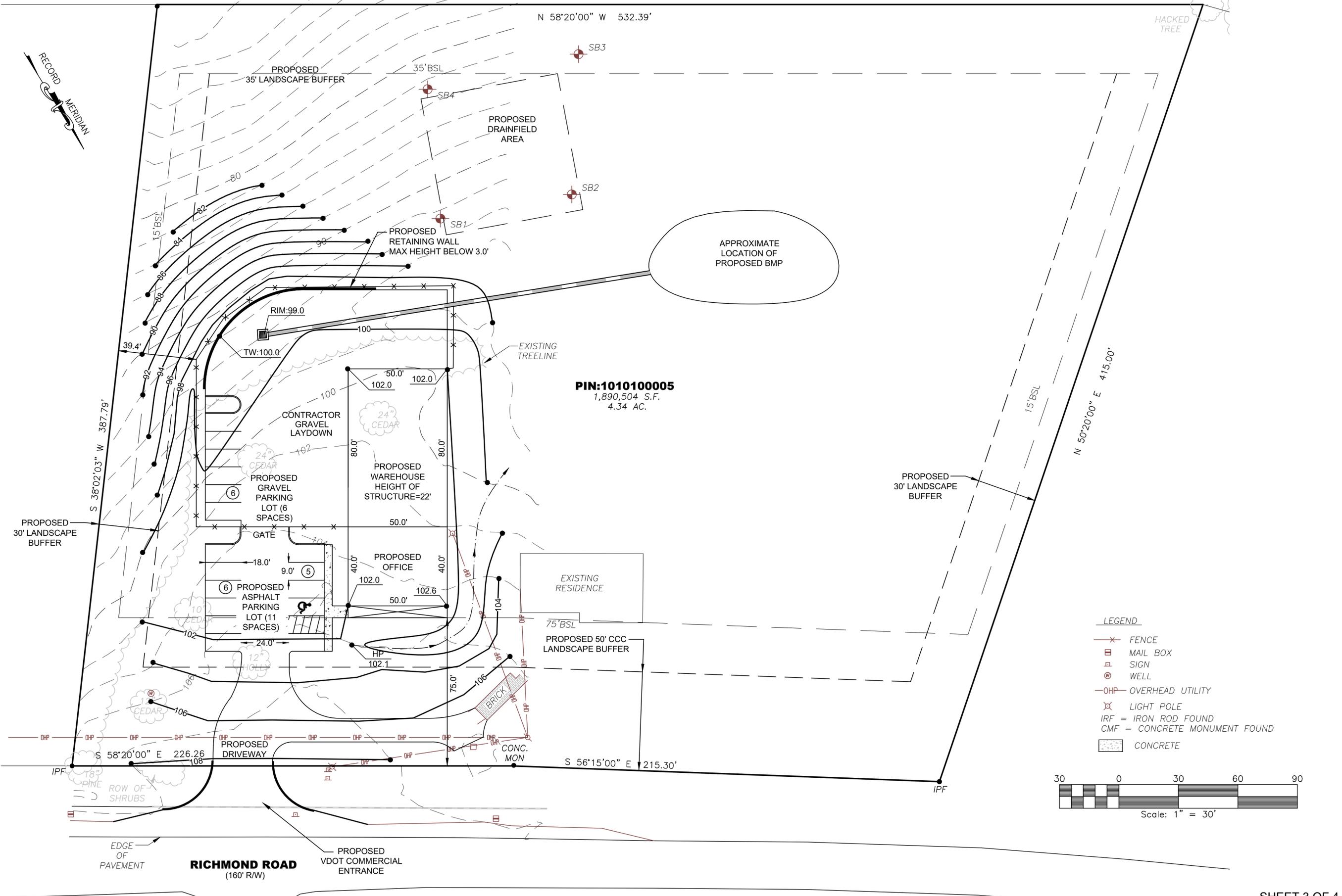
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 SUP-23-0028

JAMES CITY COUNTY

VIRGINIA

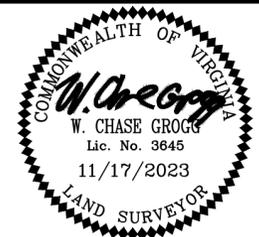
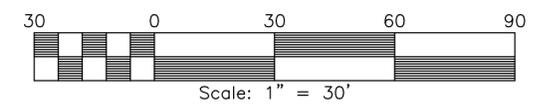
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PIN:1010100005
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- LEGEND**
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 - MAIL BOX
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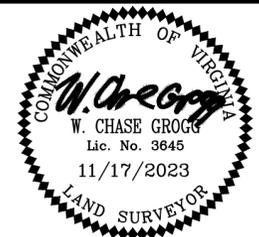
DATE: 09/19/2023
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 PROJECT No. 22-017
 FILE NAME: 22-017.DWG
 REFERENCES:
 DEED INST.#200015403

PROPOSED IMPROVEMENTS EXHIBIT OF
 PIN: 1010100005
 FOR
CROSSROAD CUSTOM BUILDERS
 SUP-23-0028
 JAMES CITY COUNTY VIRGINIA

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SITE STATISTICS	
SITE ADDRESS:	9273 RICHMOND ROAD
UTILITIES:	
WATER:	PRIVATE
SEWER:	PRIVATE
EXISTING SITE AREA:	189,204.7 S.F. / 4.34 ACRES
PIN #:	1010100005
CURRENT ZONING:	A-1 (GENERAL AGRICULTURE)
EXISTING USE:	SINGLE FAMILY RESIDENCE
EXISTING IMPERVIOUS AREA:	7,697 S.F. / 0.18 ACRES
IMPERVIOUS AREA REMOVED:	4,722 S.F. / 0.13 ACRES
PROPOSED IMPERVIOUS AREA:	19,912 S.F. / 0.47 ACRES
TOTAL IMPERVIOUS AREA:	22,887 S.F. / 0.53 ACRES
PROPOSED OFFICE BUILDING AREA:	2,000 S.F.
PROPOSED WAREHOUSE BUILDING AREA:	4,000 S.F.
REQUIRED OFFICE PARKING:	8 SPACES (1 SPACE PER 250 S.F. OF OFFICE)
REQUIRED WAREHOUSE PARKING:	5 SPACES (1 SPACE PER 2 EMPLOYEES ON THE LARGEST SHIFT - LARGEST SHIFT = 10 EMPLOYEES)
TOTAL REQUIRED PARKING:	13 SPACES
120% INCREASE IN REQUIRED PARKING:	16 SPACES
ADA ACCESSIBLE PARKING SPACE:	1 SPACE
PROPOSED PARKING SPACES:	17 SPACES

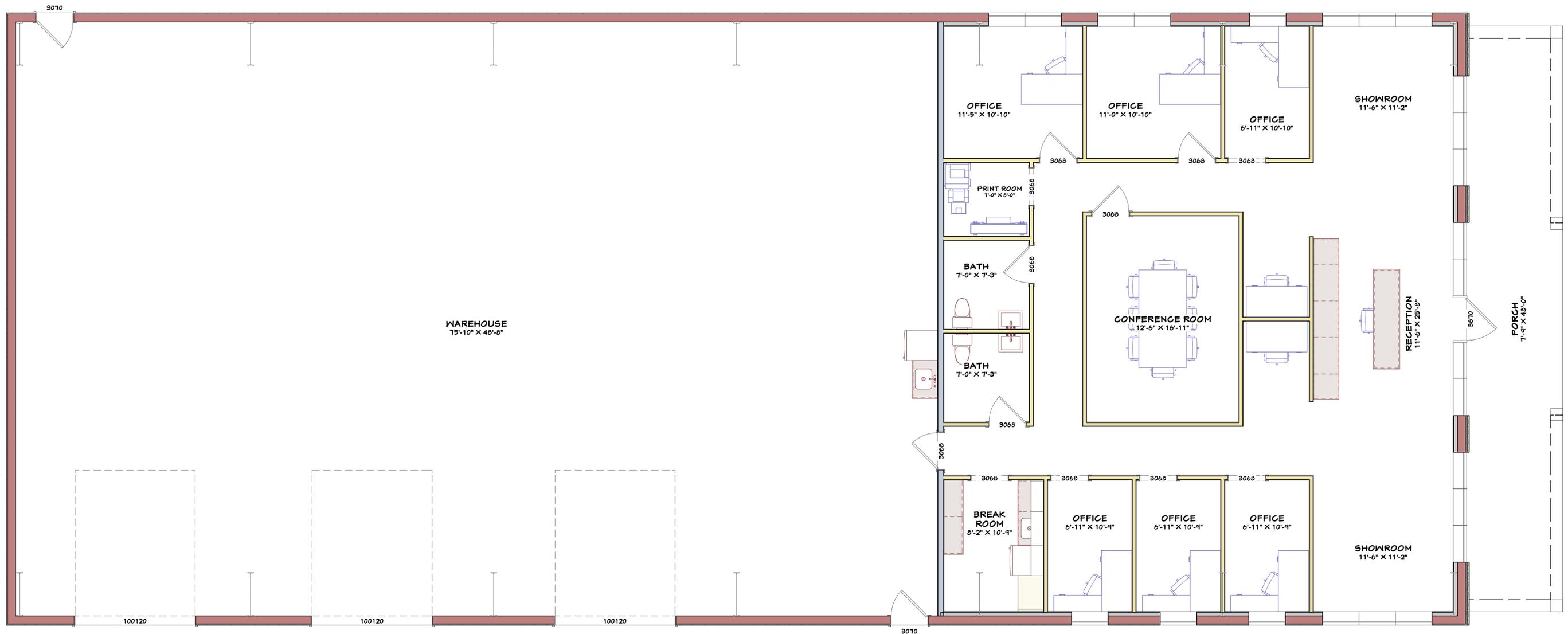


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CROSSROAD CUSTOM BUILDERS
SUP-23-0028
 JAMES CITY COUNTY VIRGINIA

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1 PROPOSED OFFICE & WAREHOUSE BUILDING
 A1.1 1/4" = 1'-0"



NUMBER	DATE	REVISION BY	DESCRIPTION

CROSSROAD CUSTOM BUILDERS, LLC
 9279 RICHMOND RD.
 JAMES CITY COUNTY, VA

PROPOSED OFFICE & WAREHOUSE



DATE:
 11/14/2023

SCALE:
 AS NOTED

SHEET:
A1.1

**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

SUMMARY FACTS

Staff Contact: Ben Loppacker, Planner

Applicant: Mr. Alister Perkinson, Parks Administrator, for the Parks & Recreation Department

Landowner: James City County

Proposal: A request to rezone 1006 Brickyard Road to PL, Public Lands, with a Special Use Permit (SUP) to allow for a community recreation facility to include, but not limited to, boat trailer parking, car parking, restrooms, hiking and mountain biking trails, a paddle craft launch, a paved multiuse path, and camping areas.

Locations: 990 Brickyard Road
1006 Brickyard Road

Tax Map/Parcel Nos.: 1920100018
1920100018A

Property Acreage: ± 119.33 acres

Zoning: PL, Public Lands
A-1, General Agricultural

Comprehensive Plan: Community Character Conservation
Open Space, or Recreation

Primary Service Area: Outside

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

PUBLIC HEARING DATES

Planning Commission: December 6, 2023, 6:00 p.m.
Board of Supervisors: January 9, 2024, 5:00 p.m. (Tentative)

FACTORS FAVORABLE

1. With the proposed conditions, the proposal is compatible with surrounding zoning and development.
2. The proposal is consistent with *Our County, Our Shared Future: James City County 2045 Comprehensive Plan*.
3. Impacts: See Impact Analysis on Pages 3-4.

FACTORS UNFAVORABLE

1. With the attached SUP conditions, staff finds that there are no unfavorable factors.
2. Impacts: See Impact Analysis on Pages 3-4.

SUMMARY STAFF RECOMMENDATION

Staff recommends the Planning Commission recommend approval of this rezoning and SUP application to the Board of Supervisors, subject to the proposed conditions.

PLANNING AND ZONING HISTORY

- There have been no previous legislative cases associated with this parcel.

PROJECT DESCRIPTION

Mr. Alister Perkinson, Parks Administrator for the Parks & Recreation Department, has submitted a request to rezone approximately 119 acres of land located at 1006 Brickyard Road from A-1, General Agricultural, to PL, Public Lands, which would correspond to the land use designation for 1006 Brickyard Road shown in the 2045 Comprehensive Plan. Mr. Perkinson has also applied for a corresponding SUP to allow the use of community recreation facilities, public, including parks, playgrounds, clubhouses, boating facilities, swimming pools, ball fields, tennis courts, and other similar recreation facilities, which requires an SUP in the PL, Public Lands Zoning District.

Since the County acquired the property at 1006 Brickyard Road in 2020, multiple improvements have been undertaken. The existing picnic shelters have been restored, and the existing pier was repaired and expanded.

The Parks & Recreation Department’s proposed Master Plan (Attachment No. 3) includes the following amenities:

- Addition of dedicated car and boat trailer parking;
- Creation of camping areas for youth organizations;
- Creation of hiking and mountain biking trails;
- Construction of a 0.25-mile asphalt multiuse path;
- Construction of restroom facilities;
- Construction of a playground on-site; and

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**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

- Construction of a paddle craft launch area attached to the existing pier.

SURROUNDING ZONING AND DEVELOPMENT

- The parcels are located at the terminus of Brickyard Road, along the Chickahominy River. The subject parcels are surrounded by parcels zoned A-1, General Agricultural.

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Public Transportation: Vehicular</u>	<u>No Mitigation Required</u>	- Transportation concerns related to this project brought up by the Virginia Department of Transportation included improvements to Brickyard Road, site lines at the intersection of Brickyard Road and Riverside Drive and potential traffic generated by the park. These concerns will be addressed at the site plan level.
<u>Public Transportation: Bicycle/Pedestrian</u>	<u>No Mitigation Required</u>	- Pedestrian/bicycle accommodations are not shown on the adopted Pedestrian/Bicycle Accommodations Master Plan.
<u>Public Safety</u>	<u>No Mitigation Required</u>	- Fire Station 1 on Forge Road serves this area of the County and is approximately 4.7 miles from Brickyard Landing Park. - Staff finds this SUP does not generate impacts that require mitigation to the County’s Fire Department facilities or services.
<u>Public Schools</u>	<u>No Mitigation Required</u>	- N/A since no residential dwelling units are proposed.
<u>Public Parks and Recreation</u>	<u>No Mitigation Required</u>	- N/A since no residential dwelling units are proposed.
<u>Public Libraries and Cultural Centers</u>	<u>No Mitigation Required</u>	- Staff finds this project does not generate impacts that require mitigation.
<u>Groundwater and Drinking Water Resources</u>	<u>No Mitigation Required</u>	- The proposal does not generate impacts that require mitigation to groundwater or drinking water resources.

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**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

Impacts/Potentially Unfavorable Conditions	Status <i>(No Mitigation Required/Mitigated/Not Fully Mitigated)</i>	Considerations/Proposed Mitigation of Potentially Unfavorable Conditions
<u>Watersheds, Streams, and Reservoirs</u> Project is located in the Yarmouth Creek Watershed.	<u>Mitigated</u>	- The Stormwater and Resource Protection Division has reviewed this application and had no objections. No new impervious surface is proposed as part of this Rezoning and SUP request. Should site improvements be made in the future, those improvements would be subject to additional environmental review at that time. The Stormwater and Resource Protection Division has also added Condition No. 2 requiring a Master Stormwater Management Plan.
<u>Cultural/Historic</u>	<u>No Mitigation Required</u>	- Staff finds that this project does not generate impacts that require mitigation. A Phase 1 Cultural Resource Survey has been submitted and concluded that the areas with proposed disturbance are not areas listed for avoidance or Phase II studies within the Cultural Resource Survey.
<u>Nearby and Surrounding Properties</u>	<u>No Mitigation Required</u>	- Staff finds this project does not generate impacts that require mitigation.
<u>Community Character</u>	<u>No Mitigation Required</u>	- Brickyard Road is not a Community Character Corridor; therefore, no mitigation is required. This parcel is not located within a Community Character Area.
<u>Covenants and Restrictions</u>	<u>No Mitigation Required</u>	- The applicant has verified that he is not aware of any covenants or restrictions on the property that prohibit the proposed use.

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**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

NATURAL AND CULTURAL ASSETS

The site is identified as having natural and cultural assets on the Natural & Cultural Assets Plan maps, supplemented by information from the Natural Resources Conservation Service - Web Soil Survey website. Data points are included for information purposes (see right):

ASSET	PRESENCE	IMPACT
Habitat Core	Two habitat cores are present on-site.	1. All habitat cores identified in the Natural & Cultural Assets Plan are important ecologically. Of the 1-5 ranking system used in the Plan, the habitat core with the larger area on this property is ranked 1 of 5, with 5 being the highest. The habitat core with the smaller area on this property is ranked 3 of 5. Neither are of heightened priority. 2. The portion of this parcel identified as habitat core is approximately 111 acres or 93% of the property. All the planned improvements, with the exception of hiking/mountain biking trails, are located outside of the areas identified as a habitat cores.
Habitat Corridors	Present on-site	1. This corridor, listed in the plan as “local connection - small road or train track,” connects the two habitat cores on this site.

		2. The corridor straddles the entrance road to the park. The portion of the corridor on this property would be outside any area slated for improvements.
Agricultural Assets	Not present on-site	None of the property is identified as having prime farmland.

2045 COMPREHENSIVE PLAN

The 2045 Comprehensive Plan Land Use Map designates Brickyard Landing Park as Community Character Conservation, Open Space or Recreation (CCOR). The 2045 Comprehensive Plan states that properties designated CCOR contribute to the rural, historic, or scenic character of the County and include areas used for recreation, historical or cultural resources, or open space. Staff finds that the proposed improvements to Brickyard Landing Park are consistent with these designations.

Surrounding Comprehensive Plan designations include rural lands to the north, east and west. The Chickahominy River and Charles City County lie to the south.

FINDING OF CONSISTENCY

Section 15.2-2232 of the Code of Virginia states, in part, that no public park facility be allowed unless the Board of Supervisors finds the location of the park “substantially” consistent with the adopted Comprehensive Plan. As previously stated, in the *Our County, Our Shared Future: James City County 2045 Comprehensive Plan* Comprehensive Plan Land Use Map, Brickyard Landing Park is designated as CCOR. Also, staff finds this proposal consistent with the Comprehensive Plan since the Park will serve the County and

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

**Rezoning-23-0006 and SUP-23-0025. 990 and 1006 Brickyard Road. Brickyard Landing Park
Staff Report for the December 6, 2023, Planning Commission Public Hearing**

region as a whole and because it is a public facility (i.e., owned and operated by James City County).

STAFF RECOMMENDATION

Staff recommends that the Planning Commission recommend approval of this application to the Board of Supervisors, subject to the proposed conditions.

BL/ap
RZ23-6_SUP23-25-BrydLndg

Attachments:

1. Proposed SUP Conditions
2. Location Map
3. Brickyard Landing Park Master Plan
4. Phase 1 Cultural Resources Survey
5. Applicant Narrative
6. Resolution for Consistency with the adopted Comprehensive Plan

This staff report is prepared by the James City County Planning Division to provide information to the Planning Commission and Board of Supervisors to assist them in making a recommendation on this application. It may be useful to members of the general public interested in this application.

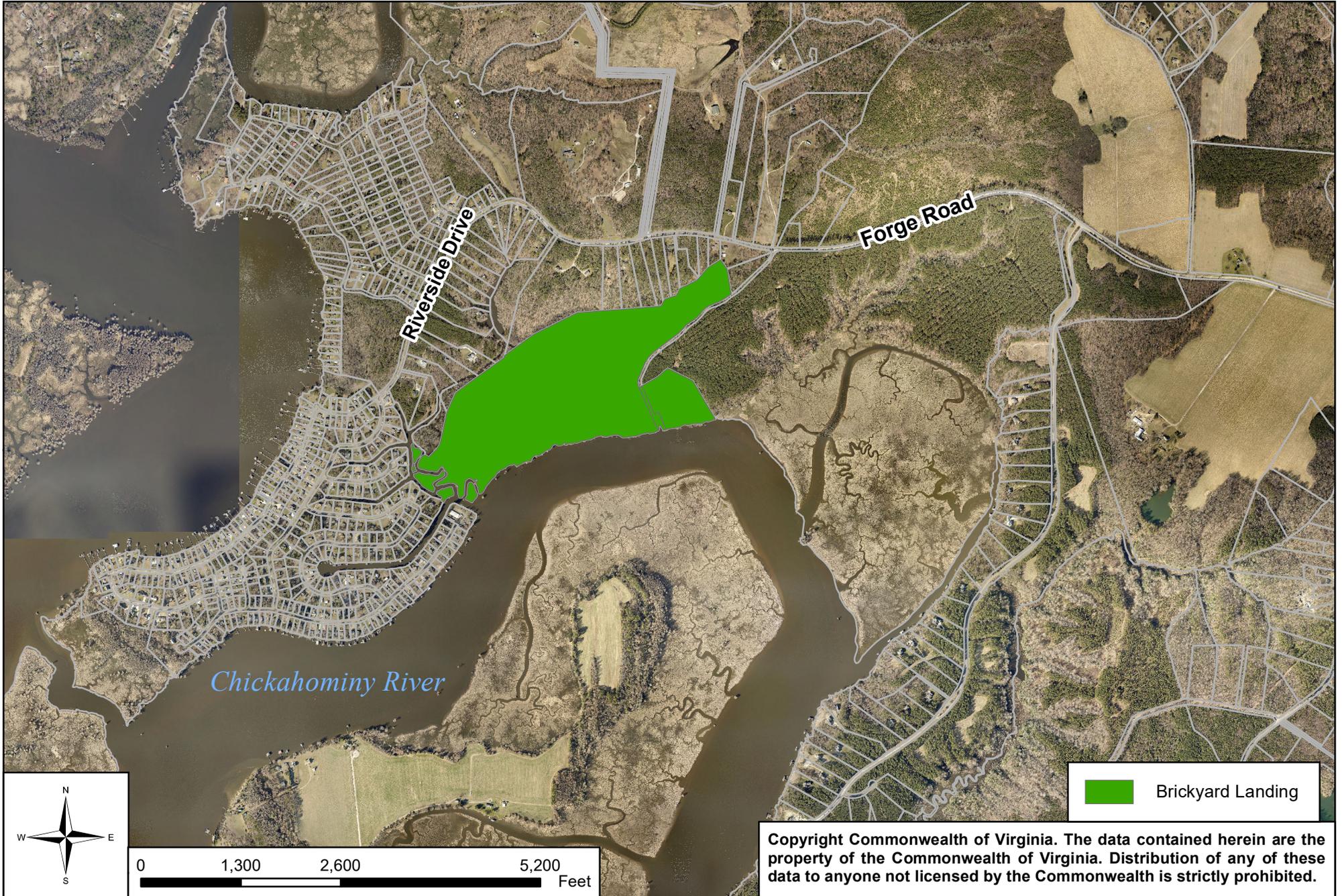
PROPOSED CONDITIONS FOR CASE NO. RZ-23-0006/SUP-23-0005. BRICKYARD LANDING

PARK REZONING AND SPECIAL USE PERMIT

1. Master Plan and Use. This Special Use Permit (the “SUP”) shall be valid for the Brickyard Landing Park Facility and accessory uses (the “Project”). The Project is located at 1006 and 990 Brickyard Road and further identified as James City County Real Estate Tax Map Parcel Nos. 1920100018 and 1920100018A, respectively (the “Properties”). Development of the Properties shall be completed in accordance with the “the Brickyard Landing Park Master Plan July 2023,” dated July 2023, (the “Master Plan”), with any deviations considered per Section 24-23 (a)(2) of the Zoning Ordinance.
2. Master Stormwater Management Plan. The applicant shall submit a Master Stormwater Management (“SWM”) Plan for review and approval by the Director of Stormwater and Resource Protection Division or designee within 18 months of adoption of this SUP. Material deviations from the approved SWM must be approved by the Director of Stormwater and Resource Protection Division. All development of the Properties must adhere to the approved SWM Plan.
3. Tree Clearing. Tree clearing on the Properties shall be limited to the minimum necessary to accommodate the Project as determined by the Director of Planning or designee.
4. Outdoor Speakers. All outdoor speakers used on the Properties shall be oriented generally towards the interior of the Properties and away from exterior property lines.
5. Severance Clause. This SUP is not severable. Invalidation of any word, phrase, clause, sentence, or paragraph shall invalidate the remainder.

JCC Z-23-0006/SUP-23-0025

Brickyard Landing Park Rezoning and SUP



Z-23-0006/SUP-23-0025. Brickyard Landing Park Master Plan

Property Information:

PIN: 1920100018 &
1920100018A

James City County
990 & 1006 Brickyard Road
Lanexa, VA 23089

PSA: Outside

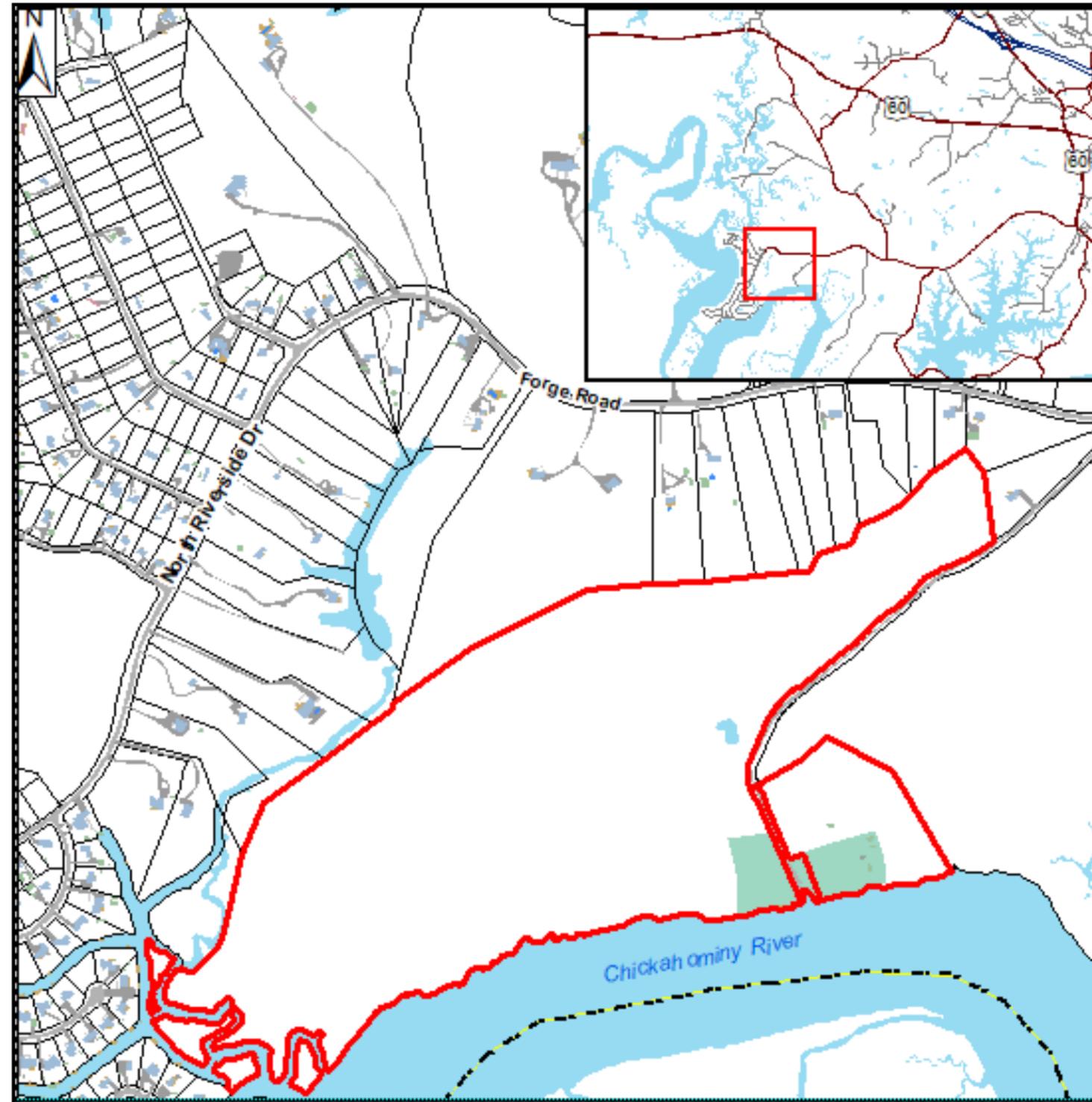
Zoning: A1 General Agricultural &
PL Public Lands

2045 Comp Plan: Open Space or
Recreation

Parcel Acreage: 119.33

Sheet Index:

1. Cover Page
2. Master Plan



General Notes:

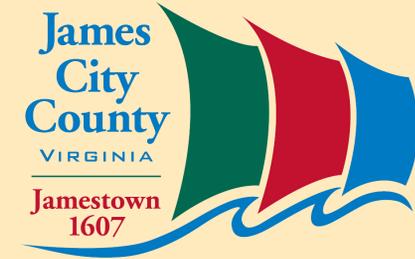
1. Property does contain a Resource Protected Area.
2. This property is located within an easement.
3. Portions of the property located in a special flood hazard area based on Flood Insurance Rate Map 51095C0082D, effective 12/16/2015.

K - Hiking/Mountain Biking Trails



Draft Master Plan

Brickyard
July 2023



Label	Feature
A	Tending Pier
B	Boat Ramp
C	Picnic Shelters
D	Utility Shed
E	Boat trailer parking Approx. 25-30 parking spaces for boat trailers
F	Car parking lot Approx. 25-30 parking spaces for cars 2 ADA Accessible parking spaces
G	Restroom Facility
H	0.25 Mile ADA accessible asphalt multiuse path with connections to park amenities
I	Playground
J	Meadow
K	Hiking/Mountain Biking Trails
L	Fishing Pier/area
M	Paddlecraft Launch
N	Primitive Camping for Youth Organizations
O	Potential Parking Expansion

- Contours
- Flood Plain
- RPA Lines
- Natural Surface Trail
- Asphalt Trail
- Pavement
- Concrete/Gravel
- Restroom



**PHASE I
CULTURAL RESOURCES SURVEY
OF THE BRICKYARD LANDING PROPERTY
JAMES CITY COUNTY, VIRGINIA**

DHR File No. 2020-0543

November 2020

Prepared For:

James City County
101 Mounts Bay Road
Williamsburg, Virginia 23185

Prepared By:

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ABSTRACT

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing property at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which had recently purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old. The archaeological survey excluded approximately 53 acres within a resource protection area (RPA), and focused on the remaining 66 upland acres. Prior to the current investigation, one archaeological site (44JC0305) had been recorded on the property based on an historic map projection, but its location had not been verified.

The archaeological sites and architectural resource identified in the Phase I survey reflect a continuum of occupation and use of the property from at least 1730, when the Hog Neck Landing tobacco inspection warehouse was established, through the mid-1950s, when the extensive Clay Products Corporation brick plant was dismantled and the property was converted to its present recreational use. In addition to the potential eighteenth-century component, and the large-scale industrial facility which occupied the waterfront portion of the property, there are also a number of former farmstead sites, spanning the nineteenth and early twentieth centuries, which represent the historic agricultural use of the property.

Based on the results of the Phase I archaeological survey, JRIA recommended that Sites 44JC0305, 44JC1366, 44JC1367, 44JC1369, 44JC1370, and 44JC1371 should be considered potentially eligible for listing in the National Register of Historic Places (National Register) under Criterion D, while Sites 44JC1368 and 44JC1372 are not eligible. JRIA also identified two archaeological locations which, by definition, are not National Register eligible. Finally, JRIA recorded the extant buildings and structures associated with the former Newport News Shipbuilding and Dry Dock Company's Chickahominy River employee recreation area as DHR ID #047-5540. JRIA recommended that this resource, which was established in 1955 and currently remains in use, should not be considered eligible for inclusion in the National Register, either individually or as part of an historic district.

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I. INTRODUCTION

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the approximately 119-acre Brickyard Landing property (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The Brickyard Landing parcel recently acquired by James City County is located in the northwestern portion of the county, along the Chickahominy River (Figures 1-3). It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed (Figure 4). As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register). To accomplish this, all documentary research, archaeological field testing, and architectural survey was conducted at a level in compliance with the Secretary of the Interior's standards (Department of the Interior 1983, 48 FR 44720-44723), as well as the Virginia Department of Historic Resources' (DHR) *Guidelines for Conducting Historic Resources Survey in Virginia* (2017). Moreover, the field survey was conducted in compliance with statutes regarding the impact of undertakings on historic properties as summarized by the Advisory Council on Historic Preservation (36 CFR 800 [1986]). To meet Advisory Council standards, a Phase I survey must be conducted in "a reasonable and good faith effort to identify historic properties that may be affected by the undertaking" (36 CFR 800.4). The Phase I cultural resources survey was performed and documented at a level that meets or exceeds these standards.

JRIA Partner and Senior Researcher Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel.

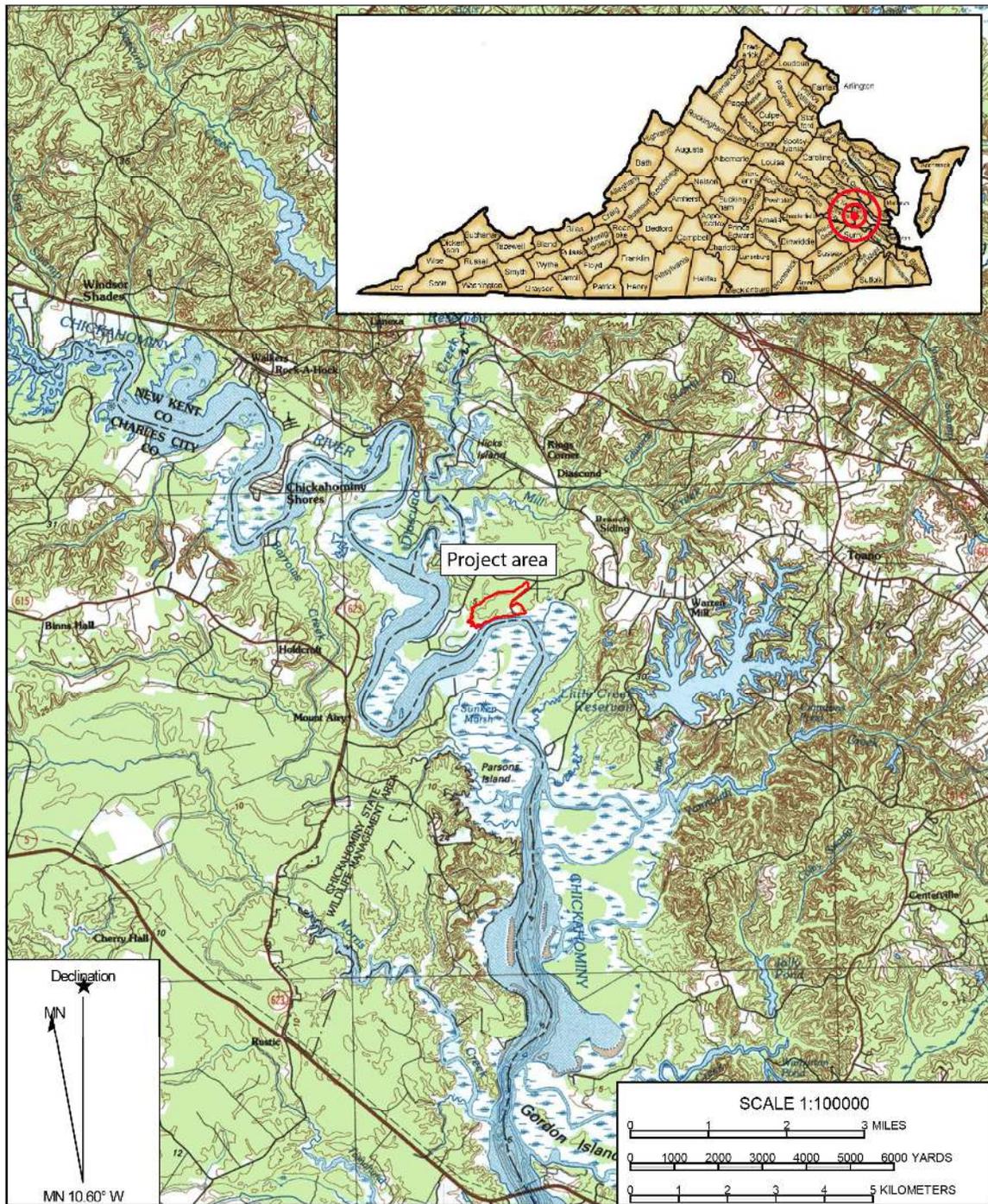


Figure 1. Location of the project area on detail of U.S.G.S. 1:100,000 Williamsburg topographic quadrangle map, 1984.

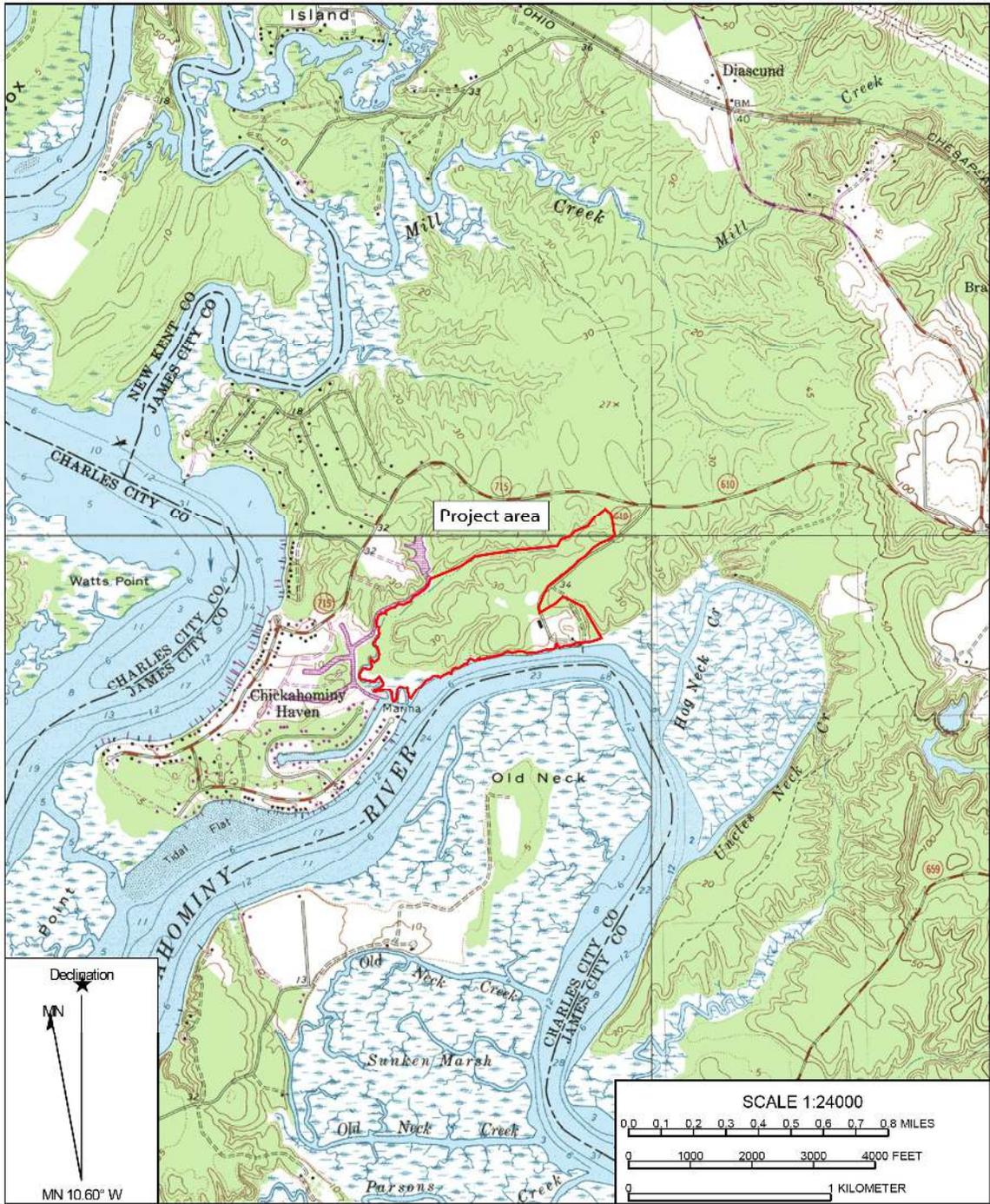


Figure 2. Location of the project area on detail of U.S.G.S. 7.5' Brandon (1980) and Walkers (1981) topographic quadrangle maps.

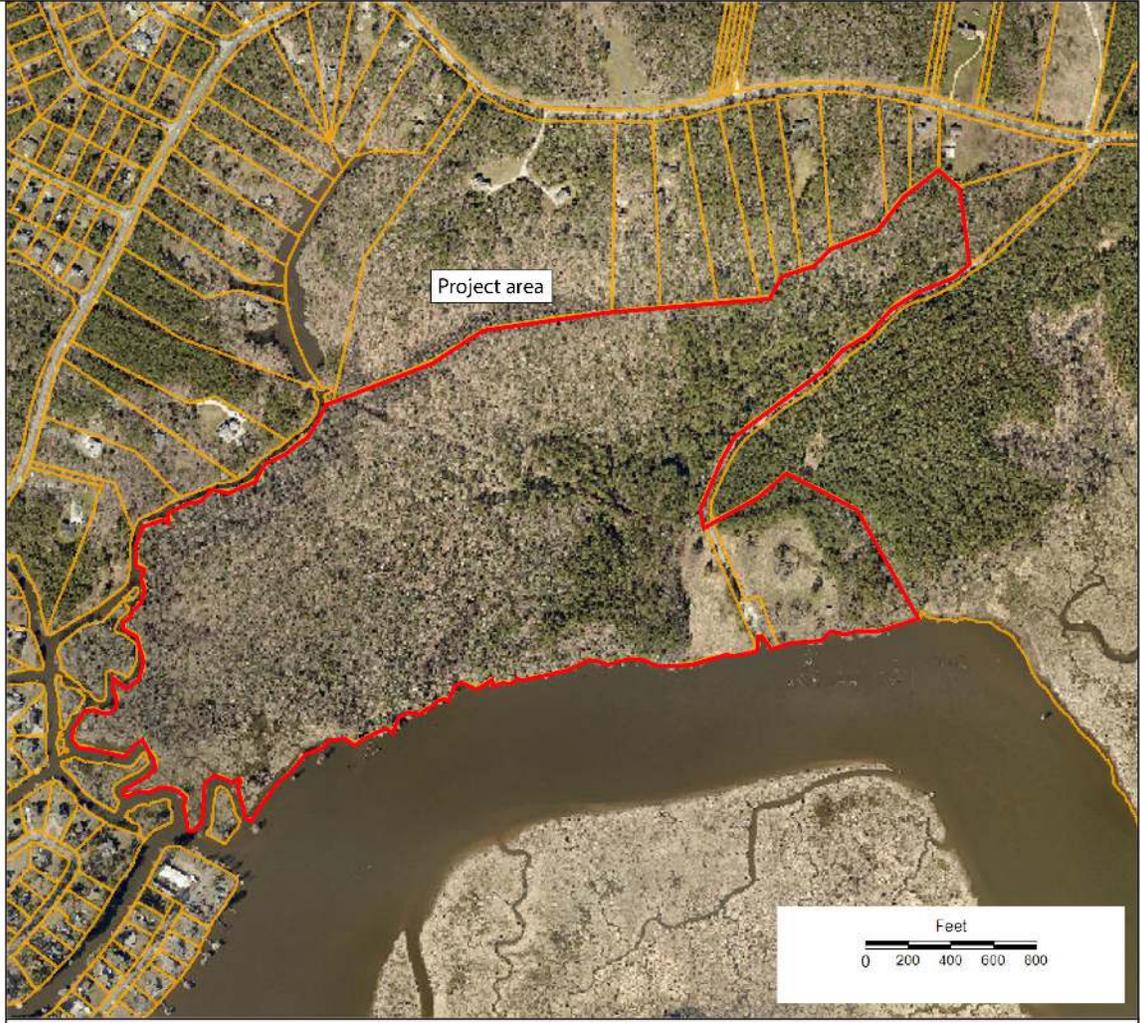


Figure 3. Location of the project area on a 2019 aerial photograph (James City County GIS).

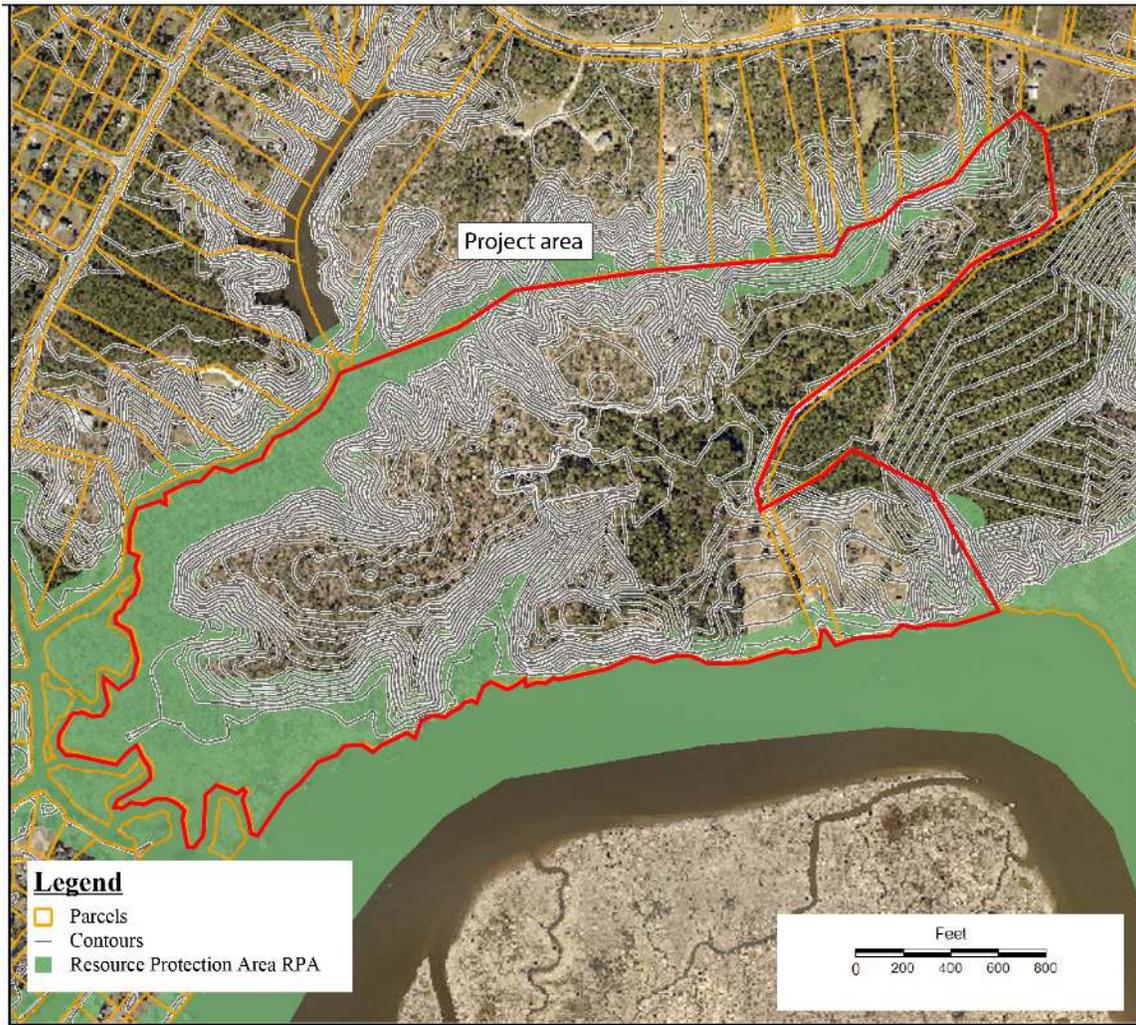


Figure 4. Location of RPA areas excluded from Phase I archaeological testing (James City County GIS).

The architectural documentation and analysis were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC, on behalf of JRIA. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

This report is divided into seven chapters, including the introduction. Chapter II situates the survey area within its physical and environmental contexts. Chapter III summarizes the prehistoric and historic context for the property. Chapter IV describes previously recorded cultural resources within the project area and vicinity, as well as the research objectives and methodology of the current Phase I investigation. Chapters V and VI detail the results of the archaeological and architectural surveys, while Chapter VII offers conclusions and recommendations concerning the identified archaeological and architectural resources.

II. PHYSICAL AND ENVIRONMENTAL CONTEXT

The Brickyard Landing property encompasses just over 119 acres in northwestern James City County, and is bounded to the south by the Chickahominy River, to the east by Brickyard Road, to the north by a tidal marsh, and to the west by an unnamed primary tributary to the Chickahominy River. The project area is situated within the Coastal Lowland subprovince of the Coastal Plain physiographic province. The topography of this low-relief region along major rivers and the Chesapeake Bay is relatively flat, with elevations ranging between 0 and 60 feet above mean sea level (amsl). The project area consists of a relatively narrow central upland ridge, running generally east-west, which descends to the Chickahominy River and its tributary. Elevations generally range between approximately 30 feet in the central upland portion of the property to sea level along the tidal Chickahominy River and marshes along the shoreline (Figure 5). Several drainages, some evidently perennial, dissect this area.

The project area comprises three distinct environments. The roughly 10-acre area immediately surrounding the river landing is open and unforested, with several small groupings of mature hardwood trees (Figures 6-7). This area has seen substantial disturbance and/or truncation of the soil column as a result of the intensive use of the property by the early twentieth-century brick plant. This area includes a number of twentieth-century buildings and structures associated with the recreational use of the property, including picnic shelters and tables, rest room/shower facilities, and barbecue grills.

The majority of the property is wooded and undeveloped. Significant portions (approximately 25-30 acres) of the wooded area were extensively disturbed by clay-mining activities associated with the former brick plant. This area is characterized by dramatic cuts around its periphery, from 5-15 feet deep, with intermittent wetlands and spoil piles (Figure 8). Opportunistic mature pine growth predominates within this area, with a relatively thick understory of younger pine, holly, and greenbrier. In contrast, the undisturbed wooded portions of the project area are characterized by relatively open, mature woods with American beech, dogwood, sweet gum, and oak, with an understory of holly, beech, and occasionally cedar (Figure 9).

The upland testing areas encompasses three primary soil types (Table 1, Figure 10). Peawick silt loam (27) is a moderately well drained soil type characteristic of stream terraces. Although the soil profile is relatively shallow, with only 0-2 inches of silty loam over silty clay, it is considered generally suited to cultivated crops, with some limitations due to wetness. Craven-Uchee complex, with slopes of 6-10 percent, is moderately well drained and generally found on marine terraces. The soil profile consists of 0-9 inches of fine sandy loam over clay, and has significant agricultural limitations due to wetness. Large portions of the testing area are comprised as disturbed Udorthents, the results of large-scale clay mining during the first half of the twentieth century (USDA Web Soil Survey 2020).

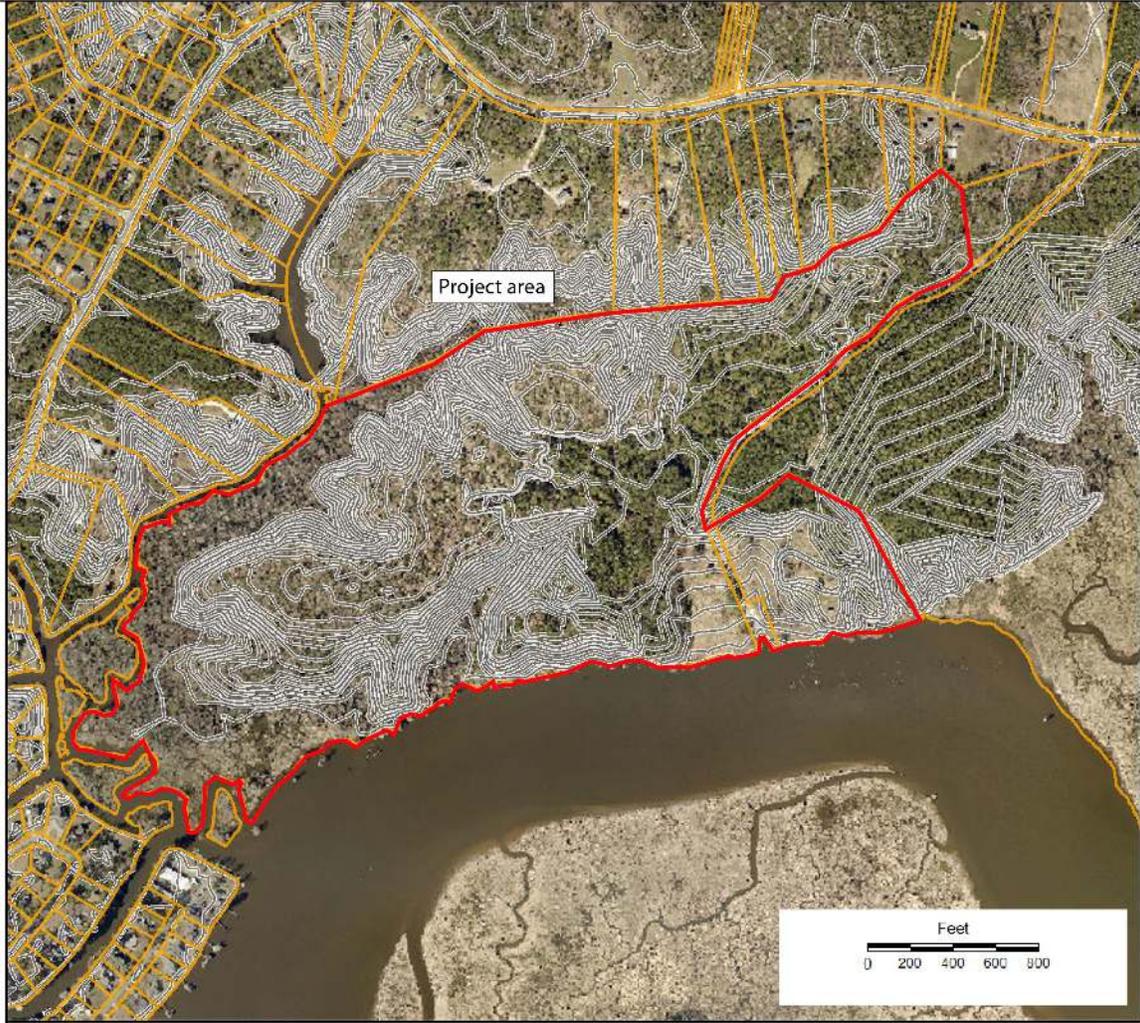


Figure 5. Topographic contour map of the project area (James City County GIS).



Figure 6. Chickahominy river shoreline near the boat landing, view to the west.



Figure 7. Maintained recreation area along the Chickahominy River, view to the north.



Figure 8. Typical inundated areas of twentieth-century clay-mining disturbance.



Figure 9. Typical undisturbed wooded uplands.

Table 1. Soil types within the project area (U.S.D.A. Web Soil Survey 2014).

Soil Symbol	Soil Name	Slope	Drainage	Capability Class*
9	Chickahominy silt loam	n/a	Poorly drained	4w
11C	Craven-Uchee complex	6-10%	Moderately well drained	3e
13	Dragstone fine sandy loam	n/a	Somewhat poorly drained	3w
15D	Emporia complex	10-15%	Well drained	4e
15E	Emporia complex	15-25%	Well drained	6e
17	Johnston complex	n/a	Very poorly drained	7w
23	Newflat silt loam	n/a	Somewhat poorly drained	3w
27	Peawick silt loam	n/a	Moderately well drained	2w
28	Seabrook loamy fine sand	n/a	Moderately well drained	3s
35	Udorthents, loamy	n/a	n/a	n/a

*Soils designated as Capability Class 2-4 are all generally suited to cultivated crops, pasture, range, and woodland, with varying degrees of limitations. Class 2 soils have some limitations which reduce the choice of plants or require moderate conservation practices; Class 3 soils have severe limitations; and Class 4 have very severe limitations. Class 6 and 7 soils have severe limitations which make them generally unsuited to cultivation, and may limit their use mainly to pasture, range, or woodland. Capability limitations include shallow, droughty, or stony soils (s); erosion (e); and excess water (w).

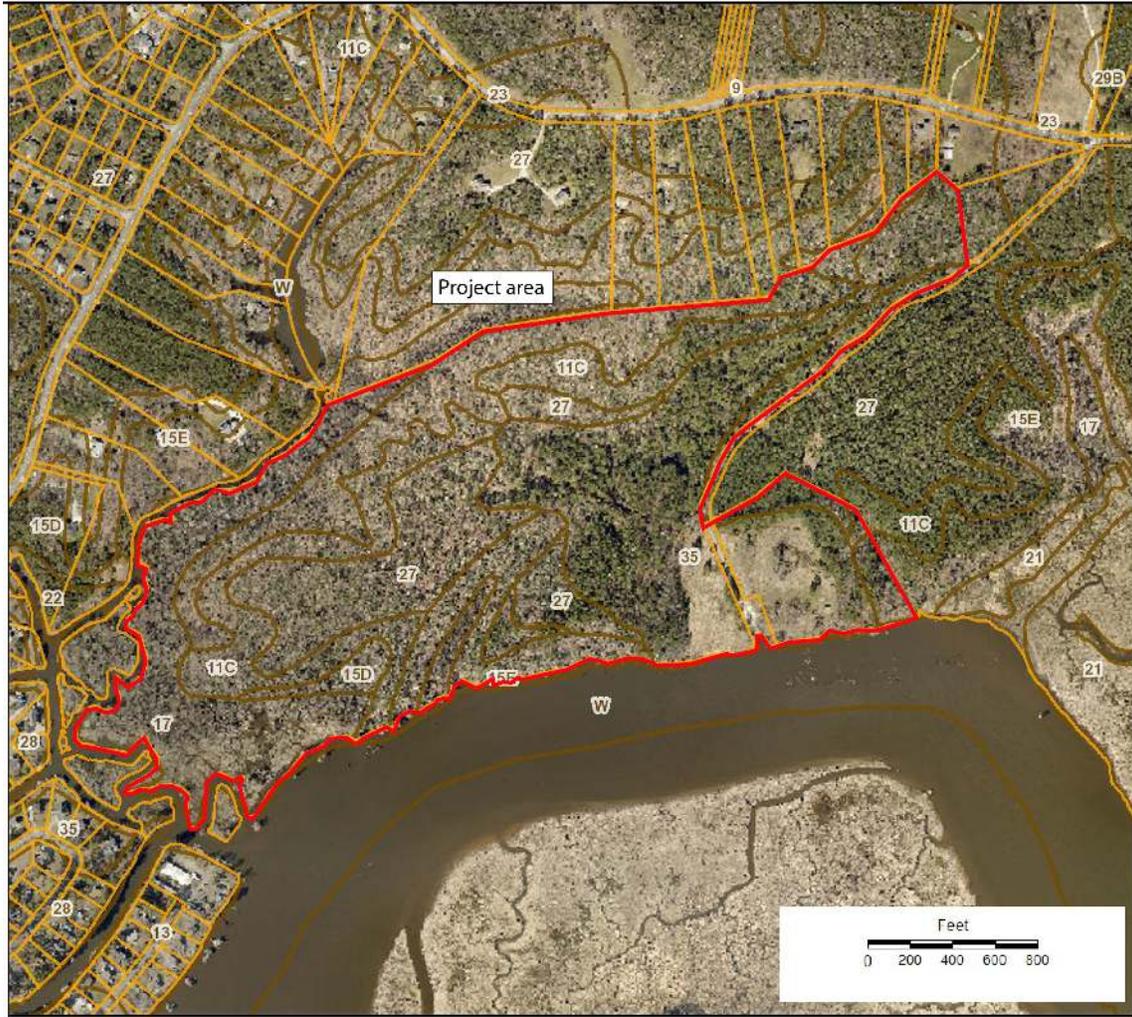


Figure 10. Soils map of the project area (James City County GIS).

III. CULTURAL CONTEXT

PREHISTORIC CONTEXT

Virginia's prehistoric cultural chronology is subdivided into three major time periods based on changes in subsistence as exhibited by material remains and settlement patterns. These divisions are known as the Paleoindian, Archaic, and Woodland periods. A brief summary of the regional cultural chronology follows, with comments on manifestations of each period within the project area vicinity.

Paleoindian (Prior to 10,000 B.C.E.E.)

Paleoindian occupation in Virginia, the first human occupation of the region, began some time before 10,000 B.C.E.E. The earliest recognized diagnostic artifacts are Clovis projectile points, typically fashioned of high-quality cryptocrystalline materials such as chert, chalcedony, and jasper. Later Paleoindian points include smaller Clovis-like and Cumberland variants, small "Mid-Paleo" points, and, at the end of the period, Dalton, Hardaway-Dalton and Hardaway Side-notched points. Also diagnostic, though to a lesser extent, are certain types of well-made endscrapers, sidescrapers, and other formalized tools. Most current views now hold that eastern Paleoindians were generalized foragers with an emphasis on hunting. Social organization apparently consisted of relatively small bands that exploited a wide, but defined, territory (Gardner 1989: 5-52; Turner 1989: 71-94).

The majority of Paleoindian remains in Virginia are represented by isolated projectile point finds and what appear to be small temporary camps. Although some larger and very notable base camps are present in the state, they are relatively rare and usually associated with sources of preferred, high quality, lithic materials. The most important Paleoindian sites in Virginia, and in the eastern United States are the Thunderbird Site in the Shenandoah Valley (Gardner 1974, 1977), the Williamson Site in south-central Virginia (McCary 1951, 1975, 1983), and the Cactus Hill Site in Sussex County (McAvoy and McAvoy 1997). Both the Thunderbird and Williamson sites are large base camps associated with local sources of high-grade cryptocrystalline lithic materials. At the Thunderbird site (44WR0011) and its environs, a site typology has been formulated which includes lithic quarries, quarry-related base camps, quarry reduction stations, base camp maintenance stations, outlying hunting sites, and isolated point sites (Gardner 1981, 1989). Cactus Hill (44SX202), located on the Nottoway River near Stony Creek, is characterized by stratified deposits associated with the Paleoindian through Woodland periods. The site has yielded numerous Clovis projectile points, and generated a radiocarbon date of 15,070 before present (B.P.) from a pre-Clovis occupation layer, which is characterized by artifacts in a pre-Clovis core blade tradition (McAvoy and McAvoy 1997).

Archaic (10,000-1200 B.C.E.E.)

The beginning of the Archaic Period generally coincided with the end of the Pleistocene epoch, marked in the region by a climatic shift from a moist, cool period to a warmer, drier climate. Vegetation also changed at this time from a largely boreal forest

setting to a mixed conifer-deciduous forest. In eastern Virginia, a temperate climate was established, and the formation of the Chesapeake estuary began. Increasing differences in seasonal availability of resources brought on by post-Pleistocene changes are thought to have coincided with increasing emphasis on strategies of seasonally geared mobility (Dent 1995:147).

Archaic populations likely were characterized by a band-level social organization involving seasonal movements corresponding to the seasonal availability of resources and, in some instances, shorter-interval movements. Settlement during this era probably involved the occupation of relatively large regions by single band-sized groups living in base camps during part of the year, and then dispersing as necessary during certain seasons, creating smaller microband camps that may have consisted of groups as small as single families. The Archaic Period saw the development of more specialized resource procurement activities and associated technologies. These differences in material culture are believed to reflect larger, more localized populations, as well as changes in food procurement and processing methods. The Archaic Period also marked the beginning of ground stone technology, with the occurrence of ground atlatl weights and celts. New tool categories that developed during the Archaic include chipped and ground stone celts, ground stone net sinkers, pestles, pecked stones, mullers, axes, and, during the more recent end of the Late Archaic, vessels carved from soapstone quarried in the Piedmont (Custer 1990: 35-40; Geier 1990: 84-86, 93-94).

Early Archaic

Corner and side-notching became a common characteristic of projectile points during the Early Archaic Period, ca. 10,000-6500 B.C.E.E., indicating changes in hafting technology and possibly the invention of the spear-thrower (atlatl). Notched point forms include Palmer and Kirk Corner-notched and, in localized areas, various side-notched types. The later end of the Early Archaic Period and the beginning of the Middle Archaic Period are marked by a series of bifurcate base projectile point forms that, in this area, are mainly represented by Lecroy points. As with the preceding Paleoindian Period, the most common Early Archaic site locations were near the confluence of major streams and tributaries.

Middle Archaic

As a whole, the Middle Archaic ca. 6500-3000 B.C.E., witnessed the rise of various stemmed projectile point forms, and there is a notable increase in the number of early Middle Archaic components over the immediately preceding Early Archaic. The most common Middle Archaic artifact forms are, from oldest to youngest, Lecroy, Stanly, Morrow Mountain, and Guilford projectile point types, followed by the side-notched Halifax type at the end of the period as it transitions into the Late Archaic between ca. 3500 and 3000 B.C.E. However, since finds of typical Middle Archaic artifacts are so few in the James City County area, it has been suggested that particular regional styles of tools/weapons have gone unrecognized; alternatively, many sites of this period may be located within drowned estuarine settings (WMCAR 1997: 43).

Late Archaic

The Late Archaic Period, ca. 3000-1200 B.C.E., was dominated by stemmed and notched knife and spear point forms, including various large, broad-bladed stemmed knives and projectile points that generally diminish in size by the succeeding Early

Woodland Period (e.g., Savannah River points and variants). Also found, though less common, are stemmed and notched-stem forms identical to those associated more prominently with areas of Pennsylvania and adjoining parts of the northeast (Susquehanna and Perkiomen points).

Marked increases in population density and, in some areas, decreased mobility characterized the Late Archaic Period in the Middle Atlantic states and eastern North America as a whole. Locally, there is an increase in the numbers of late Middle Archaic (Halifax) and Late Archaic (Savannah River) sites over those of earlier periods, suggesting a population increase and/or intensity of use of this region between about 3500 B.C.E. and ca. 1200 B.C.E.

Agriculture in the Middle Atlantic region probably has its origins during this period. Yarnell (1976: 268), for example, writes that sunflower, sumpweed, and possibly goosefoot may have been cultivated as early as 2000 B.C.E. In the lower Little Tennessee River Valley, remains of squash have been found in Late Archaic Savannah River contexts (ca. 2400 B.C.E.), with both squash and gourd in slightly later Iddins Period contexts (Chapman and Shea 1981: 70). However, no cultigens have been found in Late Archaic contexts locally.

Woodland (1200 B.C.E. – ca. A.D. 1600)

The Woodland period was characterized by the introduction of ceramic technology, a gradually developing dependence on horticulture, and increased sedentism. Three subperiods (Early, Middle, and Late Woodland) have been designated, based primarily on stylistic and technological changes in ceramic and projectile point types, as well as evolving settlement patterns.

Early Woodland

The Early Woodland Period, ca. 1,200-500 B.C.E., is generally defined by the appearance of ceramics in the archaeological record (Egloff 1991: 243-48). The earliest Woodland ceramic wares, Marcey Creek Plain and variants, are rectangular or oval and resemble the preceding Late Archaic soapstone vessels, and the clay pastes typically contained crushed soapstone as a tempering agent. Characteristic projectile points included variants of the Savannah River type.

Middle Woodland

The Middle Woodland period in this area, ca. 500 B.C.E. and A.D. 900, was marked by the appearance of net-marked, sand-tempered, and pebble-tempered pottery that generally spans the period ca. 500 B.C.E. to about A.D. 300 (Pope's Creek and Prince George wares). These ware types were supplanted by shell-tempered net- and cord-marked Mockley pottery until about A.D. 900 in areas lying east of the Fall Line. Local wares, such as Varina net-marked, were quite common in the Inner Coastal Plain, and have been dated to ca. A.D. 200/250 (Egloff 1991: 243-48).

Previous archaeological studies in the region have demonstrated the intensive use of small tributary streams as well as major river floodplains throughout the Middle Woodland period (ca. 500 B.C.E. and A.D. 900). Archaeologists have suggested that the

Middle Woodland was characterized by “restricted wandering,” in which groups used various campsites for several weeks at a time, obtaining needed materials in the site vicinity (Stewart 1992: 12-16).

Late Woodland

By the Late Woodland Period (A.D. 900-1600), agriculture had assumed a role of major importance in the prehistoric subsistence system. The adoption of agriculture represented a major change in the subsistence economy and patterns of settlement. The availability of large areas of arable land became a dominant factor in settlement location, and sites increasingly were located on fertile floodplain soils or on higher terraces or ridges adjacent to them. Permanent habitation sites gradually replaced base camp habitation sites more characteristic of those of previous foragers and hunter-gatherers. Villages varied widely in spatial layout and appearance: some were highly nucleated while others were dispersed over a relatively wide area. A number of villages were completely fortified by circular or oval palisades, indicating a rise in intergroup conflict, while others contained both a fortified core area and outlying houses. The more dispersed settlements were scattered over a wide area and characterized by fluid settlements within large, sprawling, and loosely defined town or village territories (Turner 1992: 108-114).

Drawings and accounts of early European explorers indicate that houses were constructed of oval, rectanguloid, or circular frameworks of flexible, green sapling poles set in the ground, lashed together, and covered with thatch or bark mats. Burial sites of the period were situated in individual pits or in ossuaries. Such historical accounts are consistent with data obtained from archaeological excavations of Coastal Plain Late Woodland village sites (Hodges and Hodges 1994).

Archaeological research in the Virginia Coastal Plain over the past 30 years has demonstrated a marked decrease in the number of small, temporary, interior sites occupied during the Late Woodland period. This trend is not unexpected, given the increasing role of agriculture and accompanying development of more permanent village settlements. Even so, hunting continued to provide a large proportion of the protein in the diet of Late Woodland peoples. As early as the Late Archaic period, overhunting had caused a significant drop in local deer and other mammal populations; so much so, in fact, that relatively few deer could be found in the vicinity of villages. In response, large-scale hunts, which typically included entire family groups, were mounted annually in the late fall and winter after the crops had been harvested. Various supporting camps and activity areas also were established in the day-to-day procurement of food and other resources (i.e., short-term hunting and foraging camps, quarries, butchering locations, and re-tooling locations). These small seasonal camps and non-seasonally based satellite camps supporting nearby sedentary villages and hamlets tended to be located along smaller streams in the interior. Archaeologically, these campsites are generally manifested by limited concentrations of lithics and ceramics (Barfield and Barber 1992: 225-26; Rountree 1989: 38-45; Turner 1992: 108-114).

Diagnostic artifacts of the Late Woodland period include several triangular projectile point styles that originated during the latter part of the Middle Woodland period and consistently decreased in size through time. The most common Late Woodland ceramics from about A.D. 900 to the time of European contact in Tidewater

included shell-tempered Townsend and Roanoke ceramics; untyped, sand-tempered, fabric-impressed ceramics that are otherwise similar to Townsend; and lithic- and sand-tempered simple-stamped ceramics similar to Gaston and Cashie types of North Carolina (Turner 1992: 102-05).

HISTORIC CONTEXT

Early Contact Between the Chickahominy Tribe and the English, 1607-1646

In 1607, John Smith and his fellow Jamestown adventurers unwittingly stumbled into the midst of the Powhatan Chiefdom, one of the most complex Native American groups on the eastern seaboard. As head of the largest “centralized polity” in Virginia, the paramount leader Wahunsonacock (or Powhatan) commanded the allegiance of local chiefs, or “weroances,” in 31 different districts, including a total population of approximately 13,000 men, women, and children. Even so, one of the first Native American groups the English encountered were the Chickahominy Indians, who had resisted inclusion in Powhatan’s chiefdom. The Chickahominy Indians lived in a series of towns and smaller villages along both sides of the Chickahominy River, from its fall line in the west to an area near its confluence with the James, which was occupied by the Powhatan-aligned Paspheghs. They spoke an Algonquian dialect and practiced a culture similar to that of their Powhatan neighbors, but governed themselves through a council of elders, rather than being under the authority of a single weroance. In the wake of the first Anglo-Powhatan War of 1609-1614, the Chickahominies negotiated an independent treaty with the English, and became their tributary allies, promising to supply 300 fighting men in the event of a Spanish attack, and paying two bushels of corn for every bowman. However, this alliance would not last, and the Chickahominies joined the paramount chief Opechancanough in his failed 1644 uprising against the ever-encroaching English. Under the ensuing peace treaty, land was set aside at Pamunkey Neck for the Virginia Indians, including the Chickahomies, who were forced to abandon their ancestral territory along the Chickahominy River to land-hungry Anglo-Virginian tobacco planters (Rountree 1989: 11; Rountree 1990: 30-31, 54-55; Encyclopedia Virginia 2019).

In the early years of English settlement at Jamestown, John Smith made several voyages up the Chickahominy river, and his 1612 map of Virginia provides one of the best available sources for predicting the location of Chickahominy Indian settlements. In the 1970s, archaeologists Ben C. McCary and Norman F. Barka conducted a detailed study of the Smith map to inform their archaeological investigation of Chickahominy Indian sites. They carefully correlated it with the sketch map—famously known as the “Zuniga Map”—which likely was prepared by Smith and acquired by Don Pedro de Zuniga, the Spanish Ambassador to the English court, in 1608. The two maps differ in many significant details, but McCary and Barka concluded that there most likely had been two Chickahominy villages in the general vicinity of the project area (Figures 11-13). The settlement labeled “Werawahon” on Smith’s 1612 map, and “Werewahone” on the Zuniga Map, evidently represented the Native American archaeological site reportedly destroyed by construction of the Chickahominy Haven residential development. A short distance downriver was the village of “Oraniek,” which was

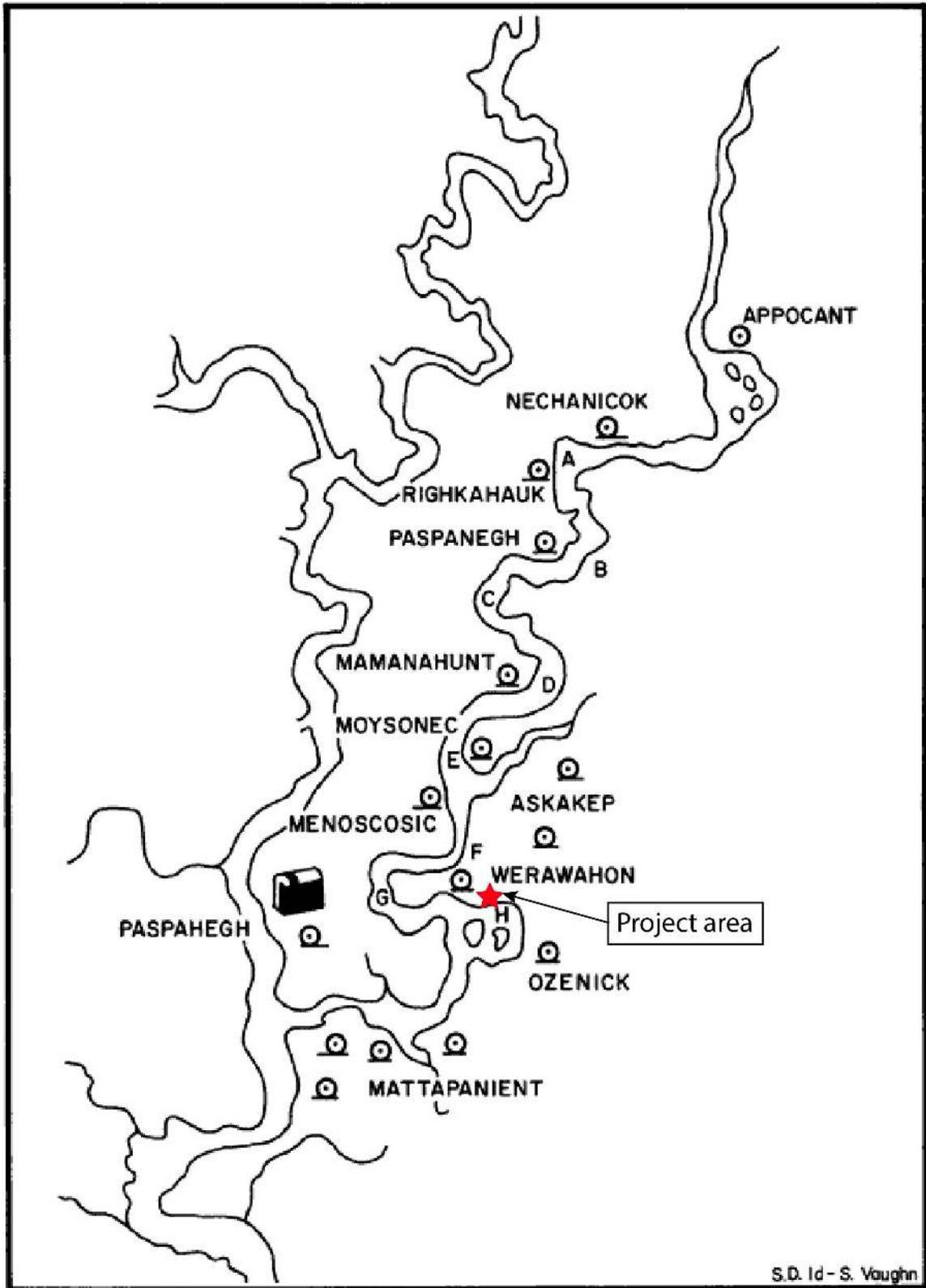


Figure 11. Chickahominy Indian villages depicted on the 1612 Smith map (McCary and Barka 1977: 78).

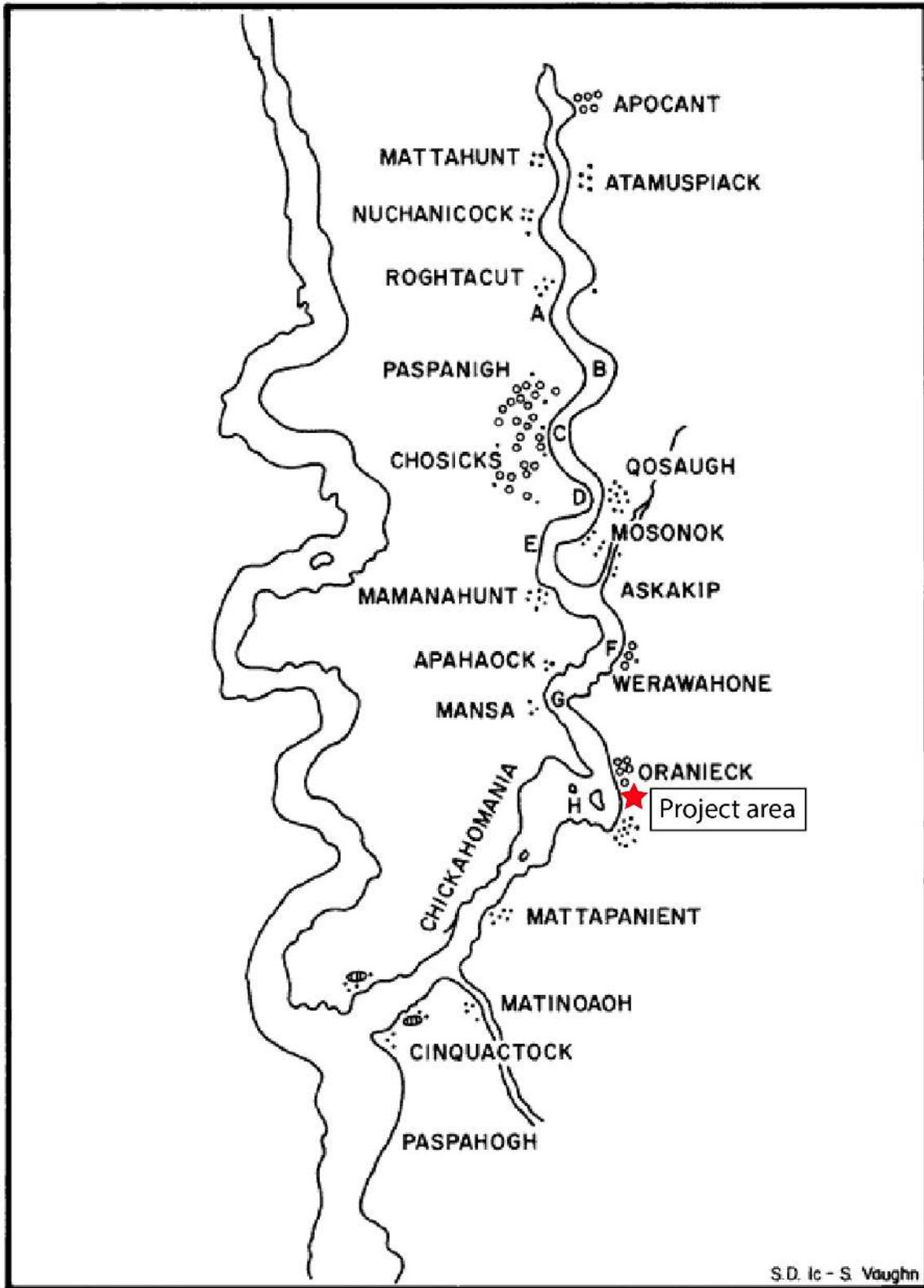


Figure 12. Chickahominy Indian villages depicted on the 1608 Zuniga map (McCary and Barka 1977: 79).

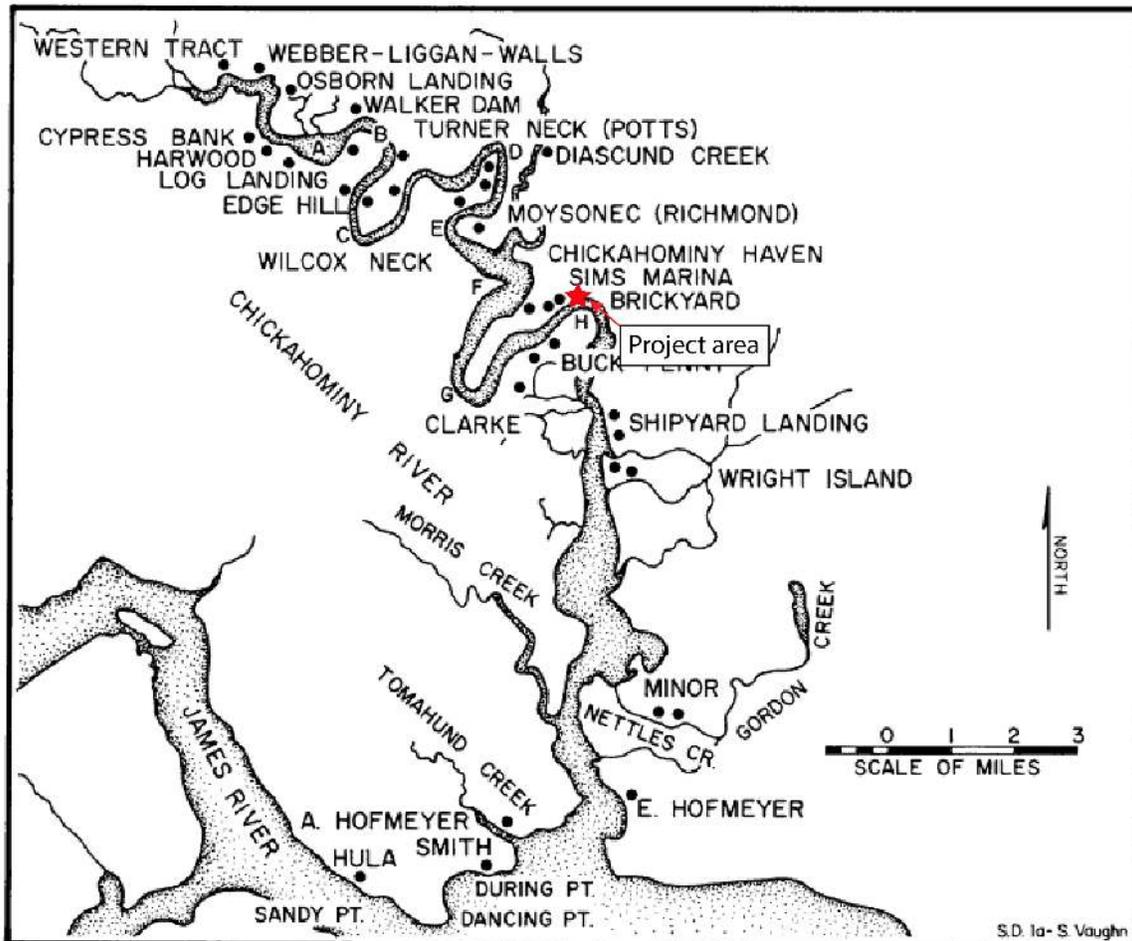


Figure 13. Projected location of Chickahominy Indian archaeological sites (McCary and Barka 1977: 81).

depicted only on the Zuniga map. According to McCary and Barka, this village was “no doubt small,” and the projected location coincided with “the old Brick Yard or with Sims Marina.” However, they believed it unlikely that it was situated within the current project area. “The heavy, clayey soil in the vicinity of the Brick Yard,” they posited, “would not have appealed to Indians interested in agriculture. Our investigations revealed no indications of Indian habitation. It was impossible to make any determination in the vicinity of the housing development and the marina because of extensive bulldozing and filling operations undertaken several years ago” (McCary and Barka 1977: 83).

From Hog Neck to Brickyard Landing, 1646-present

At the time of Opechanough’s uprising, the western portion of James City County, including the project area, was a contested frontier zone between the English settlements along the James River and the traditional territory of the Chickahominy Indians. In 1645, the colonists built a small defensive outpost, known as Fort James, at the site of the former Moysenec village, on the west side of Diascund Creek’s mouth, a short distance upriver from the project area. Thomas Rolfe, who had directed the fort’s construction, subsequently was granted 525 acres in this vicinity for his service in 1646. Unfortunately, the various contemporary geographic points of reference (e.g. creeks, points, necks, and islands) all have names which post-date this period, making it difficult to determine exactly who may have patented the land which later became known as Hog Neck. However, it almost certainly had been taken up by Anglo-Virginian tobacco planters by the 1640s or 1650s (McCartney 1997: 85-86).

Throughout the seventeenth century, and well into the eighteenth, tobacco remained Virginia’s staple crop, completely dominating the colonial economy. Since tobacco plants required almost constant attention throughout the growing season, this form of monoculture was extremely labor-intensive. In fact, the amount of tobacco a planter could produce was directly related to the number of laborers he could get into the fields. Unfortunately, labor in the Chesapeake was perpetually in short supply, and therefore costly. In order to produce enough tobacco to yield even modest profits in the face of unpredictable markets, all planters, large or small, were forced to invest the bulk of their financial resources in labor. The corresponding shortage of skilled carpenters and masons also made building a traditional “English” house astronomically expensive. Certainly, Virginia’s wealthiest elite could always afford a stately brick house. But the vast majority of Virginians could not, and so accommodated themselves to earthfast dwellings, which required relatively little capital investment, expensive materials, or skilled labor. And if their house required significant repairs after ten years, so be it (Carson et al. 1981).

As the seventeenth-century drew to a close, the supply of white indentured servant labor that had formed the backbone of Virginia’s workforce slowed to a trickle. As a result, Virginia planters turned to enslaved African labor for the maintenance of their plantation economy. In so doing, Virginians established a unique, racially divided, social and economic system that would endure until the Civil War (Kulikoff 1986: 4-6).

James City County's land records were largely destroyed in Richmond at the end of the Civil War, making it more difficult to determine who owned or occupied the project area during the seventeenth and eighteenth centuries. However, the available documentary evidence indicates that the Chickahominy River landing within the project area was designated as an official public tobacco warehouse site under the Tobacco Inspection Act of 1730. Supported by Virginia's Lieutenant Governor William Gooch, the act was designed to improve and control the quality of the tobacco being exported from the colony to Britain. The law centralized the inspection of tobacco at 40 warehouse locations throughout Virginia, where inspectors had the authority to destroy what they deemed to be substandard crops, and issue bills of exchange which served as currency throughout the colonial period. One of these tobacco inspection warehouses was established "at Hog-Neck, in James City County," and its inspector also had authority over the warehouse at Taskinas on the York River, in what is now York River State Park (Encyclopedia Virginia 2012).

An advertisement placed in the *Virginia Gazette* in October 1737 listed the 300-acre Hog Neck property for sale, describing it as "very convenient for trade," due to its location on the Chickahominy River where "inspection is now kept" (Figure 14).

A D V E R T I S E M E N T S.
 To be SOLD very reasonably,
ABOUT Six Hundred Acres of Land, on Chicko-
 hominy River, very convenient for Trade, with a
 very good Dwelling-House, Out-houses, and Orchards;
 as also a good accustomed Water-Mill, joyning to the
 said Land, being formerly the Land, Mill, and Dwel-
 ling Plantation of Mr. William Brown. And also One
 other Piece of Land, on Chickohominy River aforesaid,
 commonly called Hog-Neck, very convenient for Trade,
 containing about 300 Acres, on which an Inspection is
 now kept; with convenient Houses for that Purpose.
 As also One other Piece of Land, of about 250 Acres,
 whereon Nansemond Court-house now stands, at the
 Head of a navigable River, very convenient for Trade,
 and for keeping an Ordinary. As also One other Par-
 cel of Land, in King William County, of about 1500
 Acres, adjoyning to the College Lands, on the Muncuin
 Swamp, with 3 Plantations thereon, very well seated.
 To be sold separately, or together. Enquire further of
 William Parks, Printer hereof.

T H A T

Figure 14. Advertisement for Hog Neck, *Virginia Gazette* (Parks edition), 21 October 1737, p. 3.

The tobacco inspection site at Hog Neck appeared frequently in colonial records. By the early 1740s, a faction of local planters began petitioning the House of Burgesses to discontinue inspection at that location, which they argued had become "very inconvenient to navigation." These requests were routinely rejected, however, and it appears that the warehouse remained active at least into the 1760s. The earliest known

reference to the owner of the property dated to September 1744, when William Walker, “Proprietor of the Public Warehouse at Hog-Neck,” successfully petitioned to be allowed additional rent for building a new warehouse and wharf, as well as for shingling the two existing warehouses. Walker evidently died within the next few years, as his widow, Catherine Walker, requested the sum of £7 to build a wharf at the “public warehouses” at Hog Neck in November 1748. This new wharf reportedly did not last long, “it being carried across the river, by a fresh [flood]” in 1752. By the following year, one John Walker had become the proprietor of Hog Neck, and was once again seeking public funds to rebuild the wharf and warehouses (McIlwaine 1909a: 25, 96, 101, 298, 302; McIlwaine 1909b: 36, 137; McIlwaine 1910: 202-203; Hening 1819a: 174; Hening 1819b: 15, 143, 145-146, 325; Kennedy 1907: 72, 97, 108, 112).

Whoever was living at Hog Neck in April 1781 no doubt would have seen the glow of flames against the night sky after the British set fire to the Virginia State Navy’s Chickahominy Shipyard, located a short distance downriver. Soon after, the state capital relocated from Williamsburg to Richmond, accelerating a decline in the region’s economic and political power which would continue into the nineteenth century. When architect Benjamin Henry Latrobe toured area in 1796, he noted that “poverty and decay seem indeed to have laid their withering hands upon every building public and private between Hampton and Shockoe Creek at Richmond.” Between 1790 and 1820, James City County’s population dropped a staggering 42 percent. Land and personal property tax records demonstrate that during this period the ranks of the middle class declined while the number of small farmers increased. Only the largest landowners became more secure economically (McCartney 1997: 221; WMCAR 1997: 55; CWF 1986: Section XII).

Whatever their social standing, James City County farmers found themselves confronted in the early years of the nineteenth century by land that was simply worn out by decades of tobacco farming. Meanwhile, the prevailing agricultural practice of crop rotation every three years insured that even wheat and corn depleted the soils at an alarming rate. But it was not long before a small group of Virginians dedicated to “scientific agriculture” helped to usher in a new era of productive farming. In his series of essays entitled *Arator*, Caroline County’s John Taylor demonstrated the benefits of four-field crop rotation, in which soils could be improved significantly by rotating corn, wheat, fertilizer, and clover. Similarly, in the early 1820s, Edmund Ruffin publicized the effectiveness of marl in reducing soil acidity, a technique that could triple the productivity of Tidewater soils. Other agricultural improvements included contour plowing to reduce erosion, cast iron plows, threshing machines, and corn shellers (Kaplan 1993: 87-88).

By the mid-nineteenth century, improved agricultural techniques and crop diversification led to a revitalization of the region’s agricultural economy, which had shifted from tobacco cultivation to the production of grain crops. By the time of the Civil War, Tidewater’s agriculture had evolved into a mixed crop system and beef production and other forms of animal husbandry were growing in importance. More sophisticated farming methods became prevalent, including the use of marl to restore soil that had been acidified by long-term tobacco production and erosion (CWF 1986: Section XII).

While the tobacco warehouses at Hog Neck would have long since vanished from the landscape, the Chickahominy River landing remained active throughout the nineteenth century. In September 1854, the James City County merchant and farmer Beverly Slater deeded a one-eighth share of the Hog Neck tract to his younger brother, James M. Slater, reserving the right to use the wharf on the property. A later document included the following description of this parcel: “Beginning at a persimmon which stands upon the Hog Neck Road and between the Mansion House and the Chickahominy River, from thence in a line direct to another persimmon, standing in the open field (as it then was), from thence in a line nearly direct to a sweet gum, standing outside of the field, from thence to a rave, and from thence at right angles to the run aforesaid. . . .” (James City County Deed Book [JCCDB]1: 80; JCCDB 3: 378).

The “mansion house” referred to in the 1850s was likely the same dwelling which was depicted in a cleared field northeast of the landing on the 1863 Confederate Engineers’ map of James City County (Figure 15). This building would have been located roughly in the vicinity of the current picnic shelters. Aside from a cleared area immediately west of the landing, the remainder of the project area was wooded and undeveloped at that time, with no indication of other buildings or significant features. The public road leading to the landing followed essentially the same alignment as it does today.

No intensive fighting occurred in or around the project area during the Civil War. However, during the Confederate withdrawal after the Battle of Williamsburg in May 1862, both armies passed through this area heading west towards Richmond, with many units crossing the Chickahominy River to the south at Barrett’s Ferry. Throughout the remainder of the war, this area remained nominally under Union control, although Confederate marauders frequently harassed Federal troops behind the lines (McCartney 1997: 310-11).

The devastation wrought by the Civil War left the Peninsula depopulated and depressed. The emancipation of the enslaved African-American population resulted in a scarcity of laborers, and rural families shifted to less labor-intensive modes of agriculture. Many farms were operated by white landowners who struggled to survive, and by black sharecroppers who chose to stay in their old neighborhoods after the war. During this period, Tidewater’s agricultural productivity dropped by more than half, and farm size decreased as larger parcels were subdivided and sold. James City County remained largely rural and agricultural throughout this period, although the arrival of the Chesapeake and Ohio Railroad in the early 1880s helped spur the county’s economic development by providing ready access to the region’s major urban markets. Despite the agricultural profits made possible through improvements in the transportation system, however, the average size of the James City County farm dropped significantly during this period, and tenancy became more prevalent. Farm bankruptcies were common, and many immigrants arrived from the north to take advantage of depressed land prices. Timber companies also bought up large quantities of inexpensive real estate, and many properties throughout the county were cut over to feed the growing local timber industry (WMCAR 1997: 59-60; McCartney 1997: 337-40).

In June 1871, James M. Slater sold the Hog Neck Landing parcel to John C. Timberlake (Figure 16). Born in New Kent County in 1829, Timberlake was working as

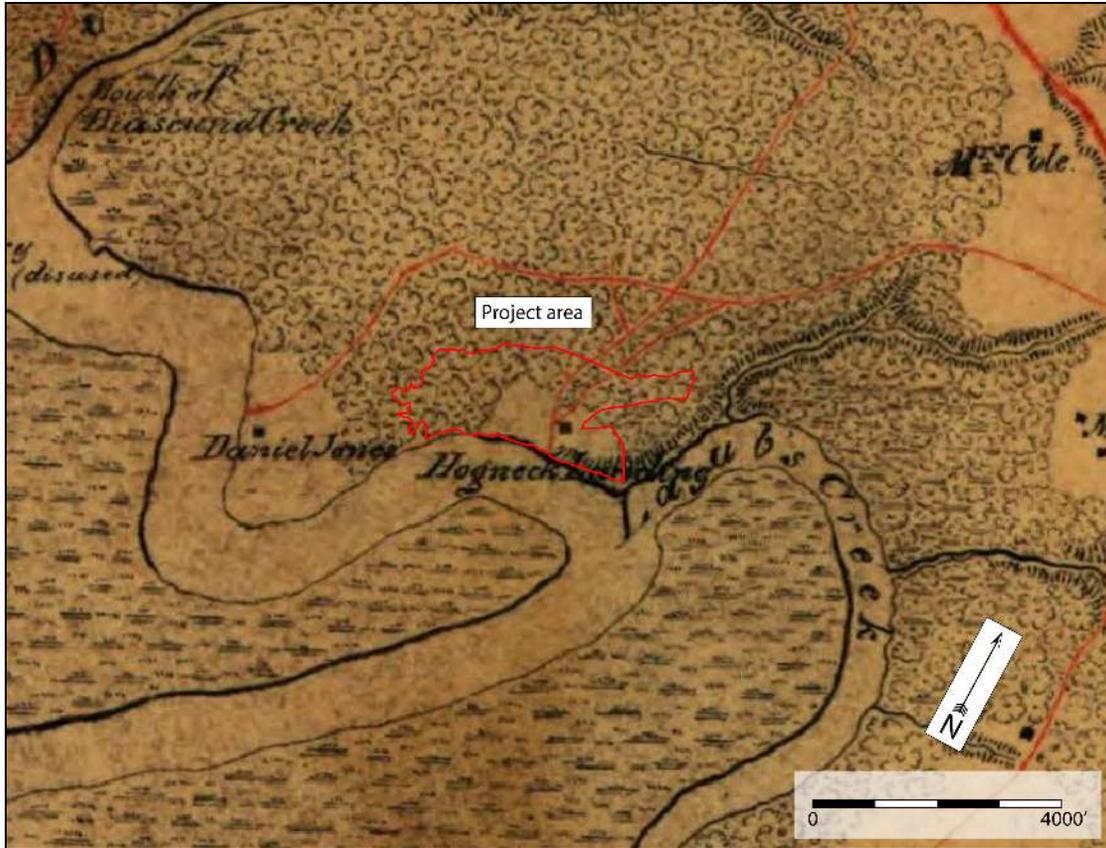


Figure 15. Location of the project area on detail of *New Kent, Charles City, James City and York Counties* (Gilmer 1863).

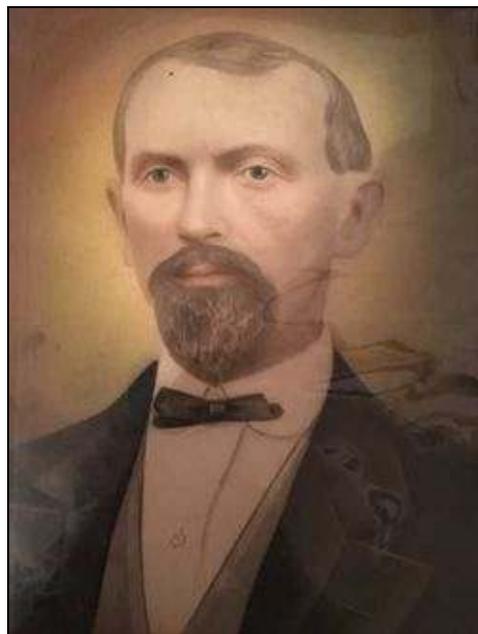


Figure 16. Undated photograph of John C. Timberlake (Meekins 2006).

a merchant when the Civil War began in 1861. He had a colorful military career, enlisting in Company E of the 53rd Infantry, and eventually rising to the rank of major. He fought with the regiment at the Battle of Gettysburg, where he was captured. He was returned to Virginia in a prisoner exchange in 1864, and after recovering from a debilitating bout of dysentery, rejoined the Confederate Army as a Lieutenant Colonel. He was captured yet again at Sailor's Creek in April 1865, but was released a few months later after taking the oath of allegiance. The 43-year-old Timberlake married the teenage Missouri Florida Blassingham in July 1869, and the couple would have eight children together. In the post-Civil War years, he worked as a lumberman and farmer in the Powhatan District of James City County. He died in April 1888 and was buried in Cedar Grove Cemetery in Williamsburg (Meekins 2006).

According to a notice published in Richmond's *Daily Dispatch* newspaper in December 1879, a devastating fire at Hog Neck Landing destroyed Timberlake's storehouse, along with a substantial quantity of cordwood and railroad ties (Figure 17). Evidently, Timberlake was using the landing to ship his lumber products to wider markets via the Chickahominy and James rivers.

FIRE IN JAMES CITY COUNTY.—On Sunday morning about 2 o'clock fire was discovered in the storehouse of Mr. J. C. Timberlake, at Hog-Neck landing, on the Chickahominy river, in James City county, which entirely destroyed the building, together with 500 cords of wood and 1,000 railroad-ties piled up on the landing near the storehouse. The schooner Clarence, Captain Tredmore, had a narrow escape from destruction, and was only saved by the most vigorous efforts of the officers and crew. The fire is supposed to have been accidental. Loss about \$9,500. No insurance.

Figure 17. Notice of fire at Hog Neck Landing, *Daily Dispatch* (Richmond, Virginia), 2 December 1879, p. 1.

A U.S. Coast Survey chart of the Chickahominy River prepared in 1873-1874 provides at least a partial depiction of the project area around this time (Figure 18). Although the chart included only the southern portion of the property, it appears that the cleared areas around the landing shown on the 1863 Confederate Engineers' map had been allowed to revert to woodland. And it is unclear whether the antebellum "mansion house" was still standing at that time.

In December 1892, Melvin F. Timberlake of York County, Virginia, deeded the 18-acre Hog Neck Landing parcel to Martha Hill of James City County. Hill and her husband, George, then sold the property to Robert V. Richardson of Hampton in December 1908. A Toano native, Richardson was the son of brick mason Richard H. Richardson. After serving in the Confederate Army during the Civil War, Richardson

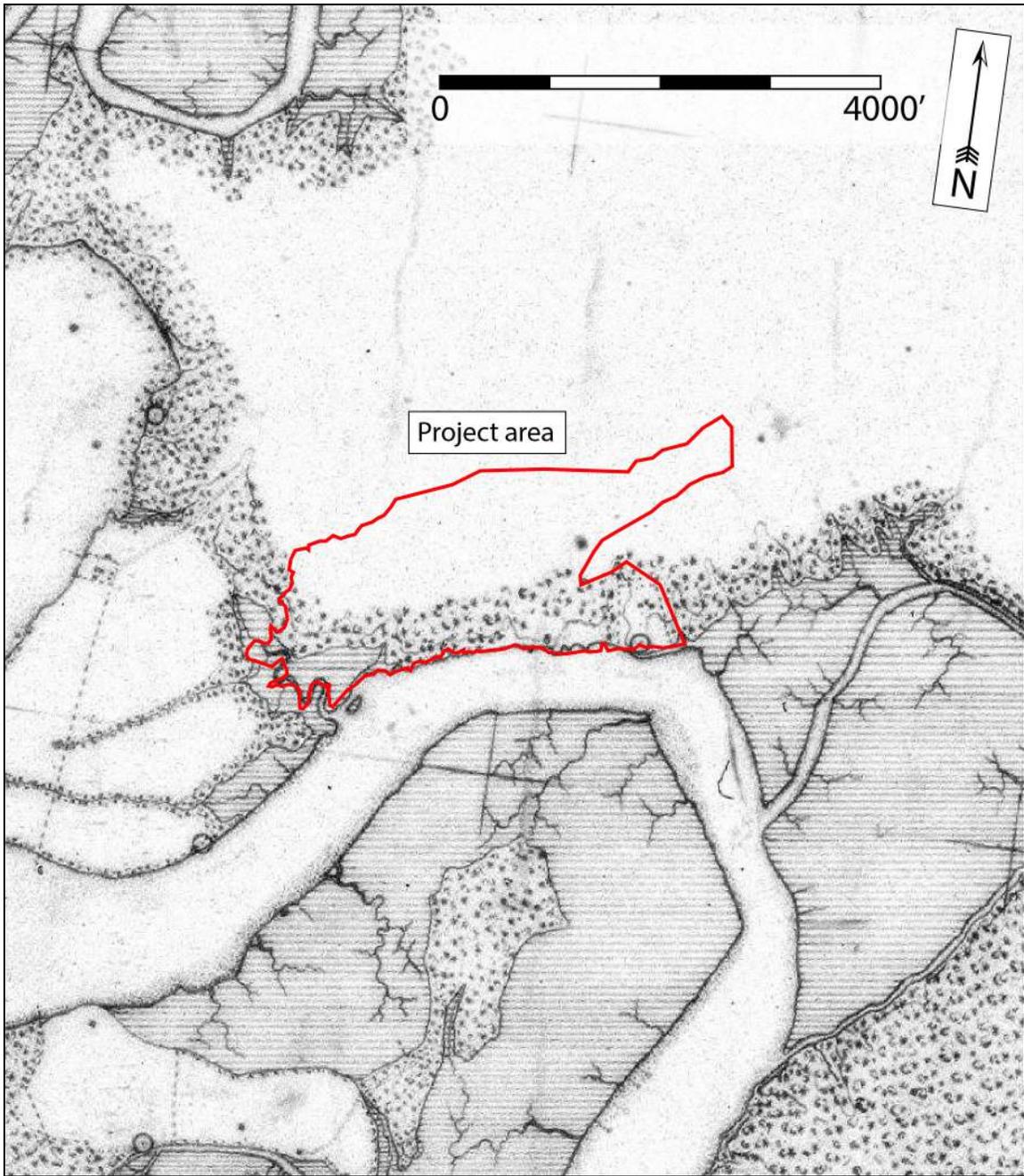


Figure 18. Location of the project area on detail of *Chickahominy River* (Donn 1873-1874).

returned to Williamsburg to pursue a contracting career with the family firm of R.H. Richardson and Sons, which was responsible for erecting numerous buildings at the National Soldiers Home and Fort Monroe, as well as other public buildings in Hampton and Newport News. Over the previous few years, his father had been acquiring various parcels at Hog Neck adjoining the landing, evidently with an eye towards establishing a brick manufacturing facility to supply the family contracting business. The Richardsons now held roughly 400 acres of land in and around Hog Neck, 95 of which had substantial clay deposits, while the deep-water landing offered the potential to ship their product easily by water (American Historical Society 1924b: 585-586; JCCDB 6: 74; JCCDB 7: 268, 269, 280; JCCDB 9: 93; 11: 468; *The Clay-Worker* 1914: 491).

R.H. Richardson and Sons was declared bankrupt in 1913. The following year, the Hog Neck parcels and existing brick plant were purchased by the Clay Products Corporation of Hampton, which was owned and operated by Captain John Cutler "J.C." Robinson, an entrepreneur who made his fortune in the seafood business and became a prominent community leader and landowner in Hampton. By April 1916, J.C. Robinson could report that business was good, and that the company had recently installed equipment for making hollow-tile, as well as a new six-track steam drier. He expected to add a round kiln in the near future to supplement the existing kilns of the up-draft type (*Times-Dispatch* 1914: 4; JCCDB 14: 434; American Historical Society 1924a: 548; *Brick and Clay Record* 1916: 665).

A December 1921 article in the *Brick and Clay Record* provides a detailed description of how the bricks were delivered from the Chickahominy River plant to Hampton (Figure 19):

Scow, Conveyor and Truck Deliver Brick

The accompanying views illustrate the interesting marketing and shipping methods used by a prominent Virginia plant. The system of distribution is unusual in that nearly all shipments are made by water. The plant has no rail connection.

J.C. Robinson, treasurer of this concern, which is known as the Clay Products Corporation, Hampton, Va., writes:

"We have four scows, each with a capacity of 85,000 to 140,000 brick. At the kiln we load motor trucks by wheelbarrows, and the superintendent does not think that the belt conveyor can beat that on this end. The unloading is done by a belt conveyor when the pull is up hill from the scows, which is usually the case. However, there are some places where we use the gravity roller conveyor, which is preferable where it can be used.

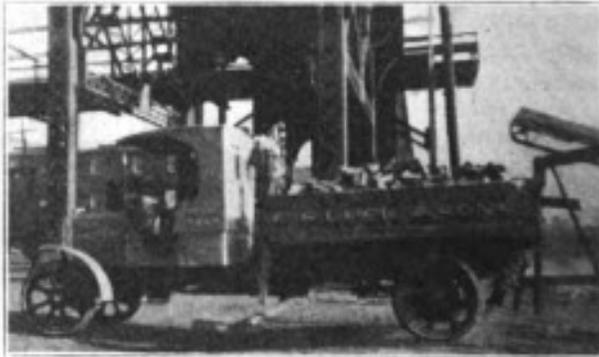
"It takes two to three days to load a scow and about the same time to unload. Our best record is 140,000 brick delivered on the job with the use of four trucks in two days. These 140,000 brick [sic.] were delivered by scow from our factory to the city, a distance of 60 miles and then hauled one mile by motor truck to the job.

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The accompanying views illustrate the interesting marketing and shipping methods used by a prominent Virginia plant. The system of distribution is unusual in that nearly all shipments are made by water. The plant has no rail connection.

J. C. Robinson, treasurer of this concern, which is known as the Clay Products Corporation, Hampton, Va. writes:

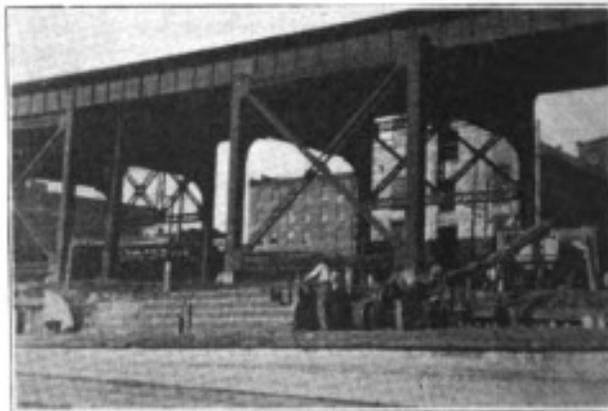
"We have four scows, each with a capacity of 85,000 to 140,000 brick. At the kiln we load motor trucks by wheelbarrows, and the superintendent does not think that the belt conveyor



Motor Truck Hauling Brick from Kilns to Scow. The Clay Products Corporation of Hampton, Va., Uses This Method of Transportation.

can beat that on this end. The unloading is done by a belt conveyor when the pull is up hill from the scows, which is usually the case. However, there are some places where we use the gravity roller conveyor, which is preferable where it can be used.

"It takes two to three days to load a scow and about the same time to unload. Our best record is 140,000 brick delivered on the job with the use of four trucks in two days.



Unloading 140,000 Brick from Scow onto Truck. The Scow Carries the Brick a Distance of Sixty Miles.

Figure 19. Excerpt from 1927 *Brick and Clay Record* article.

“It took six men to do the unloading, five at \$4, and one at \$5, making a total of \$50 for the labor. To this must be added \$5 for oil and the expense of operating the conveyor, which makes the total cost \$55. The trucks should be figured at \$25 a day, since it is this rate at which they are hired. Thus, the total expense for the entire delivery, excepting for the freight cost hauling by scow, which is \$3 a thousand, is at the rate of \$1.82 per thousand.

“The greatest distance that we have delivered by truck is about five miles and by contract the trucks have received \$5 per thousand for hauling.”

The conveyor is operated by a type Z, 1½ horse power Fairbanks-Morse engine, which burns either gasoline or kerosene. The conveyor is home made and perhaps only cost \$300. This method of delivering clay products as outlined by Mr. Robinson, may be possible of adoption by other clay plants. The saving by hiring the truck by the day over the price per thousand delivered, is quite worthy of consideration (*Brick and Clay Record* 1921).

Delivery of the bricks by water was one of the unique features of the Chickahominy River brick plant. And, evidently, not all their products went directly to the company’s Hampton facility. Captain Bill Buck, Jr., who grew up nearby in Charles City County, recalled his father sailing to Baltimore on a three-masted schooner hauling bricks from the plant. As a boy, he could hear the start, noon, and trilling whistle when the shift changed at the brickyard, and also the gondolas pulled by mules back and forth from the woods where the clay was collected (Trammell 2009).

Samuel T. Jones, a James City County native who was born in 1905, worked for the Clay Products Corporation at the Chickahominy brickyard from 1922 through 1943. His contribution to the James City County oral history project offers the most detailed description of operations and working conditions at the plant:

I was working at the brickyard during the Depression. The only thing that affected us at the brickyard was John Lewis. Do you remember John Lewis? He was the head of the union. Well, he had those big coal mines. That was a brickyard down there, but we burned the bricks with coal. During that time, when they shut us down, we had to go out and find other employment. We couldn’t work at the brickyard because we couldn’t burn the bricks when we couldn’t get coal.

They shut down, I would say, two or three months at a time. We’d get a stock of coal in there. We’d use that up, then the next thing you know, John Lewis had done it again. We couldn’t get any more coal. Then we had to just go ahead and do some other work ‘til they’d get some more coal, and then we’d come back and work again. That went on for a couple of years or more. After they stopped striking, then we’d all get the coal we wanted.

No, it's not in operation now. It burned down. That's the reason I stopped working up there. It burned down in 1943. That same company didn't start back up. Another company came in there and put it in operation. They operated for two or three years, but it disbanded. Newport News Shipyard has a recreation center down there where the brickyard used to be.

Most of the bricks went into construction. We used to send a lot of them to New York. Most of our bricks went to New York and Quantico, Virginia. Our bricks even went to Wall Street.

I was making the brick. We had ten men in our gang, and I was the head of the gang. I did that for fifteen years, and we had to turn out 50,000 bricks a day. We used to make 25,000 and set 25,000. When you set them, you put them in the kiln and you put them through your burn. That's what you call that, setting them. You spaced them like that, so the fire would go through them. That's the way we'd set them.

When we'd set all day, we'd set 50,000. We'd be working ten hours a day. We started off at ten hours, then they cut it back to eight hours. When we got all the cast work done or when we got through, we could go home. We'd go in there sometimes at seven-thirty in the morning, and by twelve-thirty or one, we'd go on home. We had made our day.

First, you'd get your clay and bring it in and dump it in a bin. After you put the clay in the bin, it would come on down and go through a little mill, something like a food chopper? And that dirt would go through there and come out in a mold the shape of a brick, the same size of a brick.

They had another machine that had sixteen wires, the size of a brick. Every time that thing turned over, it cut sixteen bricks. Four men took them off and put them in a pile on a track like a railroad car. You'd put them in a place to dry. After they'd dry, you put them in the kiln and burned them.

When the brickyard burned down, we were making forty-five cents an hour. We had good insurance, but we didn't have retirement or anything like that. We all signed up for the Social Security when it first came out. Never had any retirement.

I hate to say it, but there aren't but three of the brickyard men living now that I know of. One lives down in Chickahominy and one lives in Toano and myself.

They had a brickyard at Colonial Williamsburg, but that one was handmade. They'd make the bricks by hand. They'd grind the dirt with a horse or a mule. We had power and machinery and water. We had mud puddles. It was a different method. They were just making them for their own use anyway.

We used to lower the bricks on three barges to send them to New York. The barge would come right up beside that dock on the Chickahominy. It

used to be sixty feet of water there at that dock. I don't think it's quite that deep now because I think a whole lot of stuff has been put in it. But we had those great big sea barges as long as from here to the other side of that house yonder. We'd put one million bricks on it and send them to New York.

The brickyard was there before I can remember anything about it. Way back yonder, when I was a small kid, I used to hear people talking about it. It must have been built back in the 1800's and something. My uncles worked there back in the 1800's.

Lord have mercy, it'd get so hot in there. I used to go home sometimes; my wife didn't know how in the world I looked that dirty—black like this coal.

The people I worked for were nice people. The man that the owned the place was the president of the Hampton National Bank. J.C. Robertson used to own that brickyard.

Yes, most of the people who worked in the brickyard were black. There were whites, but most of them were black (Bradshaw 1993).

The 15' U.S.G.S. Toano topographic quadrangle map published in 1918 depicted the location of brick plant at the landing, in addition to three other buildings: one was located to the east of the road to the landing, roughly where the picnic shelters are currently located; and two were situated to the northwest in the central portion of the property (Figure 20). Presumably, these were dwellings associated with the previous landowners which remained after the Richardsons acquired the property in the early twentieth century.

An aerial photograph of this part of James City County taken on behalf of the U.S. Department of Agriculture in 1937 indicates that, aside from the brick plant at the landing, the entire project area was wooded and undeveloped (Figure 21). The large areas of disturbance in the central portion of the property evidently represent where clay was being mined for brickmaking. By that time, it appears that there were at least six circular structures at the brick plant. Most likely, these represented the round "beehive"-type kilns which were typical of early twentieth-century brickmaking plants. A surviving example of a similar beehive kiln is preserved at Occoquan Regional Park in Fairfax County, and was one of several operated by prisoners of Lorton Reformatory during the same period during which the Chickahominy plant was active (Figure 22).

The devastating 1943 fire essentially spelled the end of the brickmaking operations at Hog Neck Landing, and the Clay Products Corporation was formally dissolved in May 1953. In June 1955, the corporate directors, consisting of members of the Robinson family, sold the 121-acre property to Newport News Shipbuilding and Dry Dock Company for \$27,500 (JCCDB 54: 437).

A plat of the property produced by Newport News Shipbuilding's Plant Engineer's Office at the time of the 1955 transfer provides a detailed depiction of the

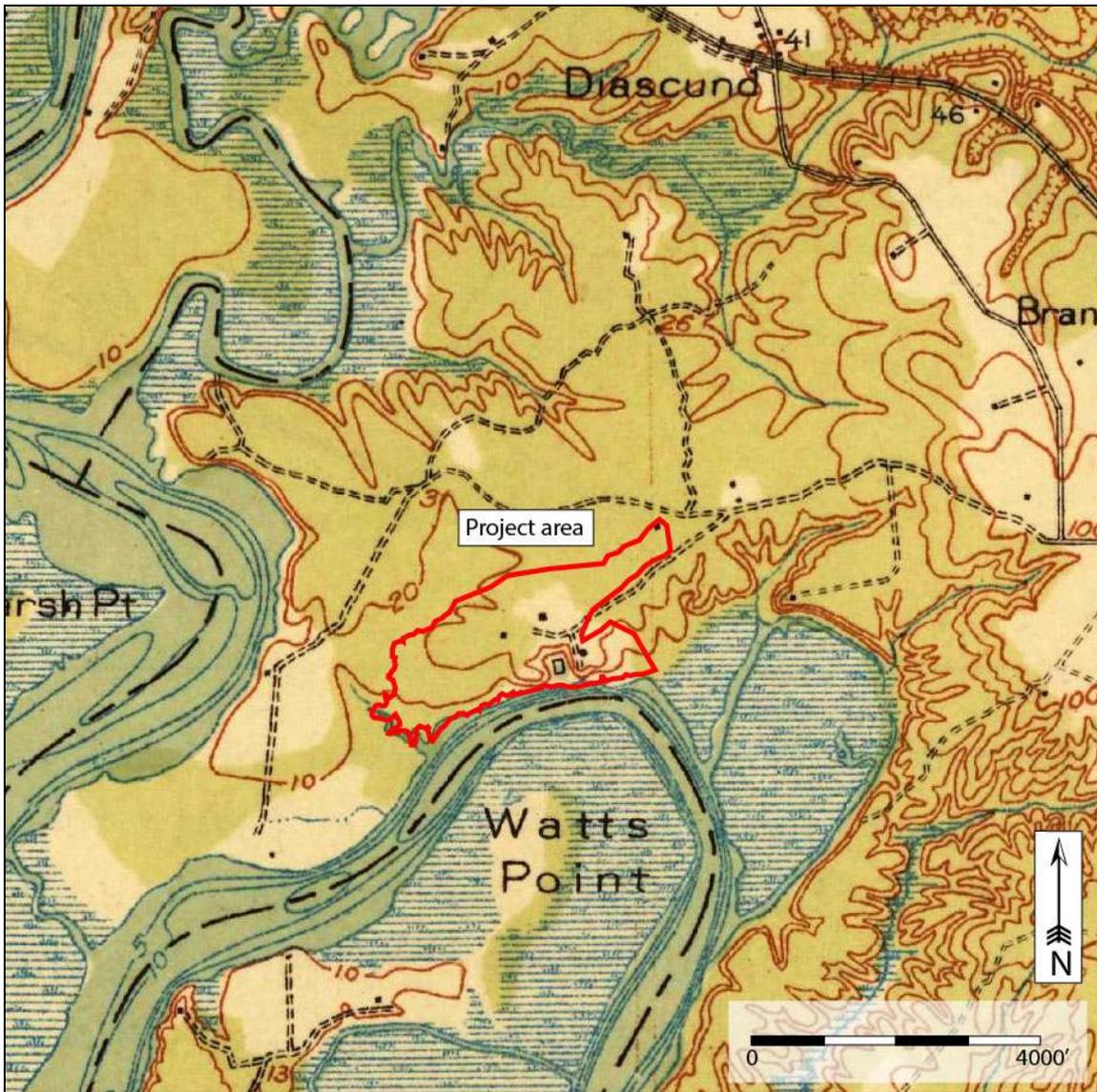


Figure 20. Location of the project area on detail of U.S.G.S. 15' Toano topographic quadrangle map, 1918.

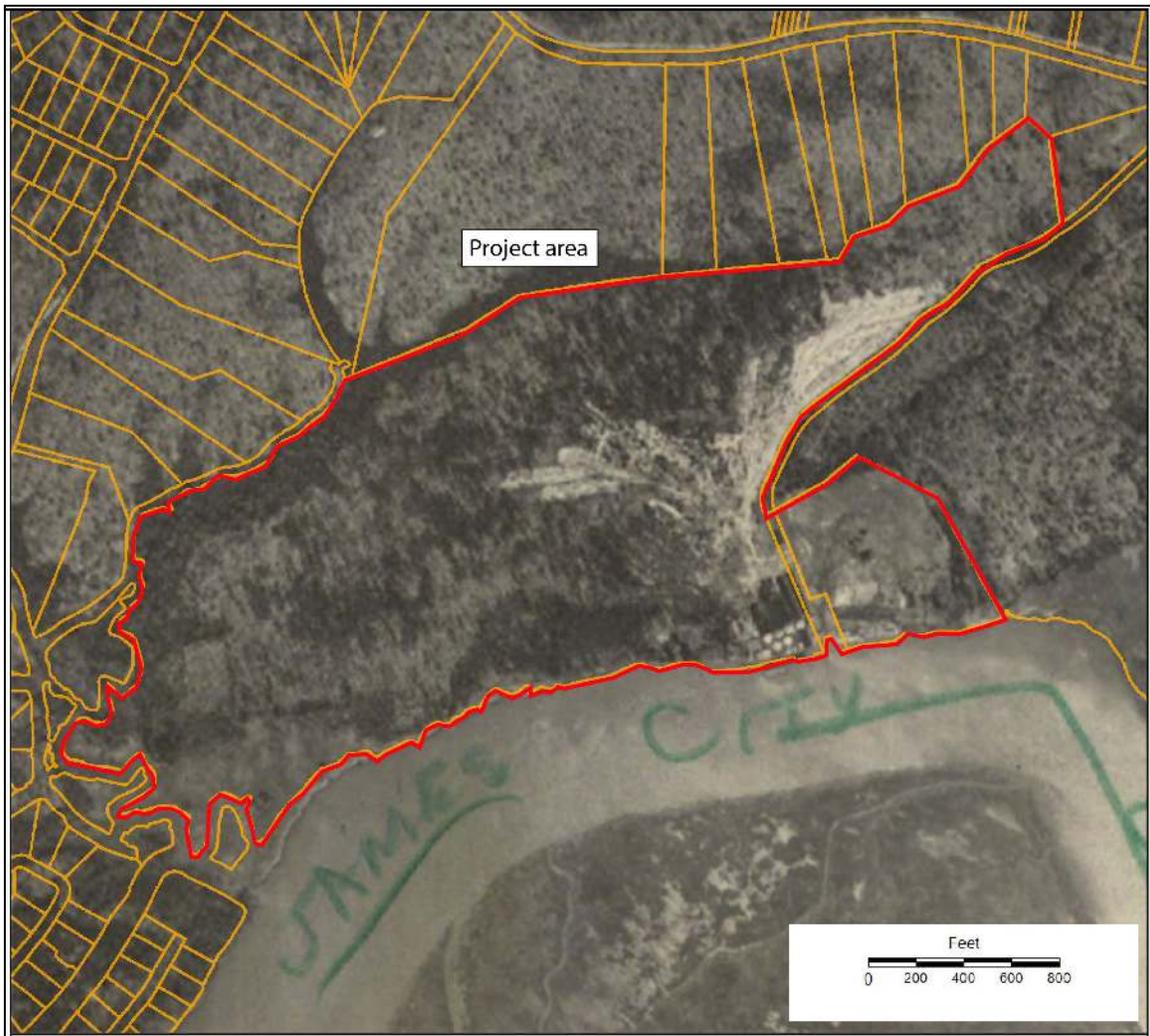


Figure 21. Location of the project area on detail of a U.S. Department of Agriculture aerial photograph of James City County, 1937 (James City County GIS).



Figure 22. Early twentieth-century “beehive” kiln at Occoquan Regional Park (NOVA Parks).

built features on the property at that time (Figures 23-24). Evidently, the main brickmaking plant buildings remained, including the six beehive kilns, north of which were the driers, a machinery building, and “brick barracks.” A frame house—possibly the same which was depicted on the 1918 U.S.G.S. map, was situated to the northeast in the vicinity of the current picnic shelters. To the south of the house nearer the river were a brick house and garage; and to the east of these were oil tanks.

Soon after taking possession of the property, Newport News Shipbuilding removed all but one of the former brickyard structures and established an employee recreation area (Figures 25-29).¹ By 1956, they had improved the area with “running water, rest rooms, fireplaces, tables, benches, ice boxes, pots and pans, and athletic equipment.” Soon after, a boat dock and ramp were constructed for trailer-hauled boats. “If past summers are to be any indication,” the *Shipyards Bulletin* reported in 1962, “the Shipyards Recreation and Picnic Area on the Chickahominy River will be crowded every available minute during the upcoming picnic and vacation season.” The property boasted a large parking lot, as well as spaces for softball, horseshoe pitching, volleyball, and other games. A telephone was installed in 1962. The recreation area was available for booking by the various shipyard departments every summer weekend, and the facilities were managed and maintained by a committee of employees (*Shipyards Bulletin*, Vol. 21 [1961], pp. 4-5; Vol. 22 [1962], p. 9).

After nearly more than 40 years of active use, Newport News Shipbuilding deeded the employee recreation area property to a private developer, Watertown LLC, in December 1997 (James City County Instrument #980000036). James City County had long held a public right-of-way to the boat landing, but acquired the associated 119-acre property in August 2020 (James City County Instrument #200012995).

¹ One large building at the north end of the former brick plant, possibly the “brick barracks” indicated on the 1955 plat, appears to have remained standing until the 1980s (see Figure 30).

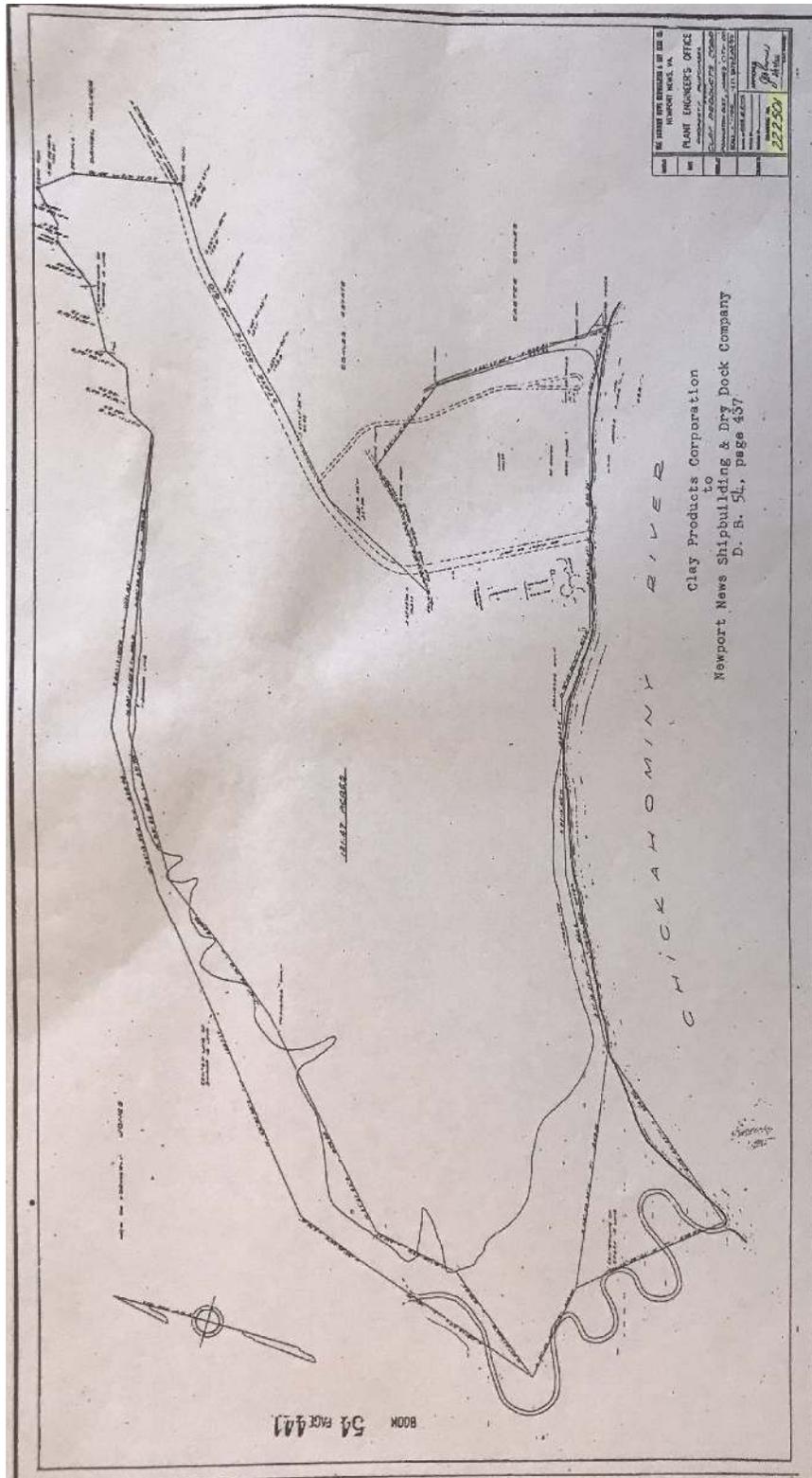
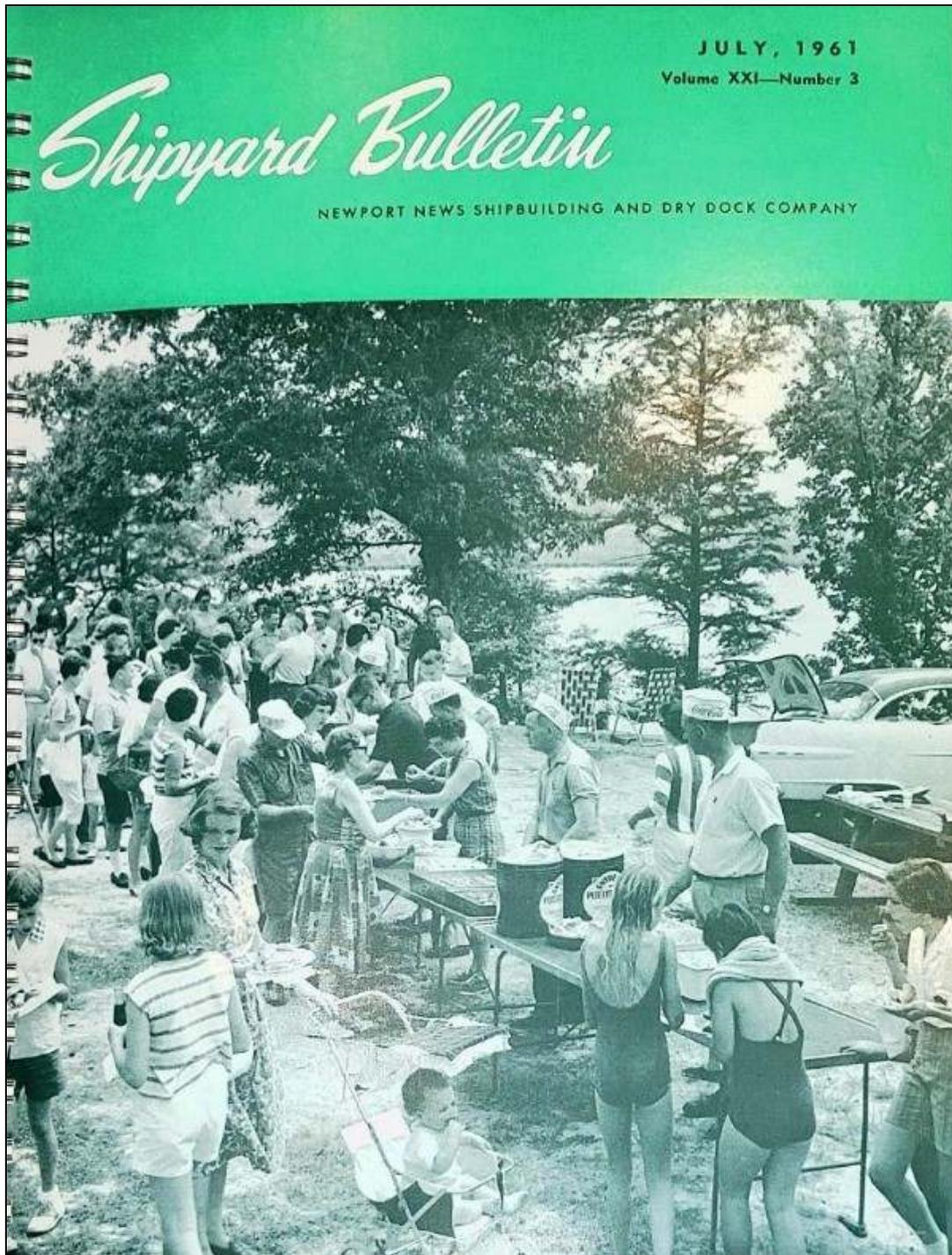


Figure 23. 1955 plat of the former Clay Products Corporation property, Newport News Shipbuilding and Dry Dock Co., Plant Engineer's Office Drawing No. 222501 (JCCDB 54: 441).



Figure 24. Projected 1955 features on a 2019 aerial photograph of the project area.



FRONT COVER—The serving line for the June 3 picnic of Electrical Design Department employees and their families at the Chickahominy Recreation Area for Employees. The Company-owned area, located on the Chickahominy River near Toano, Virginia, has been completely equipped by the Company for picnics, swimming and boating. Departmental groups have used the facility every week end this summer.

Figure 25. *Shipyard Bulletin*, Vol. 21 (1961), front cover, p. 3.



Electrical Design Department employees and their families enjoy a picnic at Chickahominy Recreation Area for Employees. At right is the beautiful Chickahominy River, with facilities for swimming and boating.

Busy Summer At Chickahominy

Electrical Design Picnic Typifies Yard Outings

The Chickahominy Recreation Area for Employees has been booked solidly every week end this summer. Typical of the departmental outings which have been held at the Company-owned facility was the annual family picnic for employees of the Electrical Design Department on June 3.

This well-organized event attracted 160 employees, wives and children. The entertainment naturally center around the youngsters, but some of the older set also joined them at baseball, tug-of-war, and bag

races. Toys and balloons were distributed to the children, and they were treated to pony rides and boat rides.

The picnic featured a full menu of barbecue, hot dogs, potato salad, cole slaw, baked apples, coffee, soft drinks and ice cream.

This is the sixth year of operation for the facility, which first was used for outings in 1956 when the Company improved the area with running water, rest rooms, fireplaces, tables, benches, ice boxes, pots



A family relaxes in the shade while enjoying the picnic.

Figure 26. *Shipyards Bulletin*, Vol. 21 (1961), p. 4.



A foot race sharpened the youngsters' appetites for the picnic dinner.

and pans, and athletic equipment. Later improvements included construction of a boat dock and ramp for launching trailer-hauled boats.

The area is a wooded site on the Chickahominy River at the end of Route 610 in James City County, about four miles beyond Toano. It is managed by a committee headed by J. L. Hogge, Assistant Superintendent, Hull Outfitting Division.

After a slow start in early May with the Dirty Thirties on May 6, Hull Outfitting and Machinery on May 13 and Electricians (Southside Plant) on May 20, the week ends filled up and were booked through August. Four Sundays are unreserved in September.

Other departmental groups using the facility were:

(Continued on page 18)



The younger set was not neglected when refreshments were served.



The youngsters put everything they had into this tug-of-war.

Figure 27. *Shipyards Bulletin*, Vol. 21 (1961), p. 5.

and has served there as a Senior Design Supervisor since July of that year. Born in Norfolk on May 25, 1918, he makes his home at 10 Holly Drive.

Robert French, Jr., joined the Company in the Personnel Division on June 13, 1949, soon after taking his A.B. in Economics from Duke University, and has continuous service from that date. He was transferred in June of 1950 to Time Study, now Piece Work Standards, and has served that department as a supervisor since May 12, 1958. Born in Portsmouth on November 14, 1921, he makes his home at 18 MacIrvin Drive.



1905 Apprentice Visits Shipyard



Camille Gentis, who completed his electrical apprenticeship at the Shipyard on July 22, 1905, visited the Yard last month. Gentis, 77, graduated as apprentice number 135. He went to California in 1908 and worked for an electrical power company as a substation maintainer until his retirement ten years ago, and now lives in Oakland. Gentis expressed amazement at the growth of the Shipyard, and recognized only a few of the older buildings. Inspecting the current work of electrical apprentices, he commented that "There is no comparison with what we did in 1905. It's so much more complicated."

S. S. Washington Keel Laid



The keel was laid on May 29 for our Hull 553, the S. S. WASHINGTON, third of four Moriner type ships being built by the Yard for the States Steamship Company. The first keel, the S. S. CALIFORNIA, was laid January 16, and she will be launched July 28.

Chickahominy—(Continued)

Welders, Atomic Power Design, Electrical Design, Riggers (Masonic), Joiners, Mold Loft, Sheet Metal, Pipe Department Supervisors, Purchasing-Storekeeping, Riggers, Foundry, Quality Inspection, Shipfitters and Welding Engineers.

The remaining schedule is: July 22—Pipe Covers; July 23—Testing Lab and Apprentice Athletic Group; July 29—X-19 Toolroom; July 30—Piping Design "A" and Sheet Metal; August 5—Ship Shed; August 6—Riggers; August 12—Joiners; August 13—Clinic and Machine Shop.

August 19—Machine Shop; August 20—Shopfitters; August 26—Joiners; August 27—Piping Design "B"; September 2—Family Group; September 9—Electricians; September 16—Welding Supervisors; and September 23—Hull Requisition Group.

Beautiful forms and compositions are not made by chance, nor can they ever, in any material, be made at small expense. A composition for cheapness and not excellence of workmanship is the most frequent and certain cause of the rapid decay and entire destruction of arts and manufactures.—Josiah Wedgwood.

Work Progresses On Dry Dock One



Progress on the enlargement of Dry Dock One is shown in this recent photograph. The project, begun in April and scheduled for completion in early 1962, will increase the dry dock's length from 592 to 650 feet, width from 50 to 92 feet, and depth over the sill at the gate from 24 feet 7 inches to 33 feet. The work is being done by McLean Contracting Company, Baltimore.

Figure 28. Shipyard Bulletin, Vol. 21 (1961), p. 18.

PICNIC AREA READY FOR NEW SEASON



If past summers are to be any indication, the Shipyard Recreation and Picnic Area on the Chickahominy River will be crowded every available minute during the upcoming picnic and vacation season. Already, reservations are pouring in and there are but a few weekend openings left. Any Yard group which is interested in making a reservation to use these facilities would do well to make their arrangements right away.

Requests for use of the Recreation Area should be made in writing through the Yard Mail to J. L. Hogge, Hull Outfitting Division.

Available for use at the area are all of the necessary facilities for preparing and eating food out of doors. There are brick fireplaces, the necessary tables and benches, running water and pots and pans. Dry firewood is provided and there are boxes available for icing drinks.

The recreation area includes spaces for softball, horseshoe pitching, volleyball and other games. Also available is the necessary equipment for these games. One popular feature of the Recreation Area is a ramp for launching trailer-carried boats and a boat dock so that the waters of the Chickahominy River may be enjoyed as well.

A newly enlarged parking lot provides plenty of parking and there is also running water and ample toilet facilities. This year a telephone has been added for the convenience of picnickers.

The area is the result of many hours of work by members of the Committee which manages it, and the responsibility of keeping it an outstandingly attractive place where Yard employees can escape the heat and boredom is everyone's who participates in the program.

The committee suggests certain procedures to maintain the facilities and equipment in the best of condition for use by the greatest number of employees.

Keys will be given to responsible members of the group for access to locked up gear and toilets. These keys should be returned immediately after use.

Before leaving the area, all equipment must be cleaned, replaced in storage and locked up. All trash should be burned in the fireplaces, or put in the available disposal cans before the groups leave. Drink boxes should be emptied and the tops left open.

Fires should be built only in the fireplaces and extinguished before the group leaves the grounds. No open fires are allowed.

To reach the site, follow Route 60 to Toano; turn left upon reaching Route 610 and follow that road for about four miles until the river and the recreation area is reached.

The Chickahominy Picnic and Recreation Area is there for your enjoyment. Use it responsibly and it will continue to be a place of enjoyment for years to come.

Among the groups who have made reservations to use the facilities thus far are: Plant Engineers, Sheet Metal Department, The Sheet Metal Local, Atomic Power Division, Production Department, Tabulating Department, Quality Inspection Division, Riggers Department, Electrical Design, Pipe Department Supervisors, Storekeeping, Foundry, Clinic, X-19 Toolroom, Shopfitters Local, Ship Shed, Shopfitters Supervisors, Engineering Technical, Erectors, Shipfitters Supervisors, Shipyard members of the Exchange Club, Shipfitters, and the Joiners Social Club.

Figure 29. *Shipyard Bulletin*, Vol. 22 (1962), p. 9.

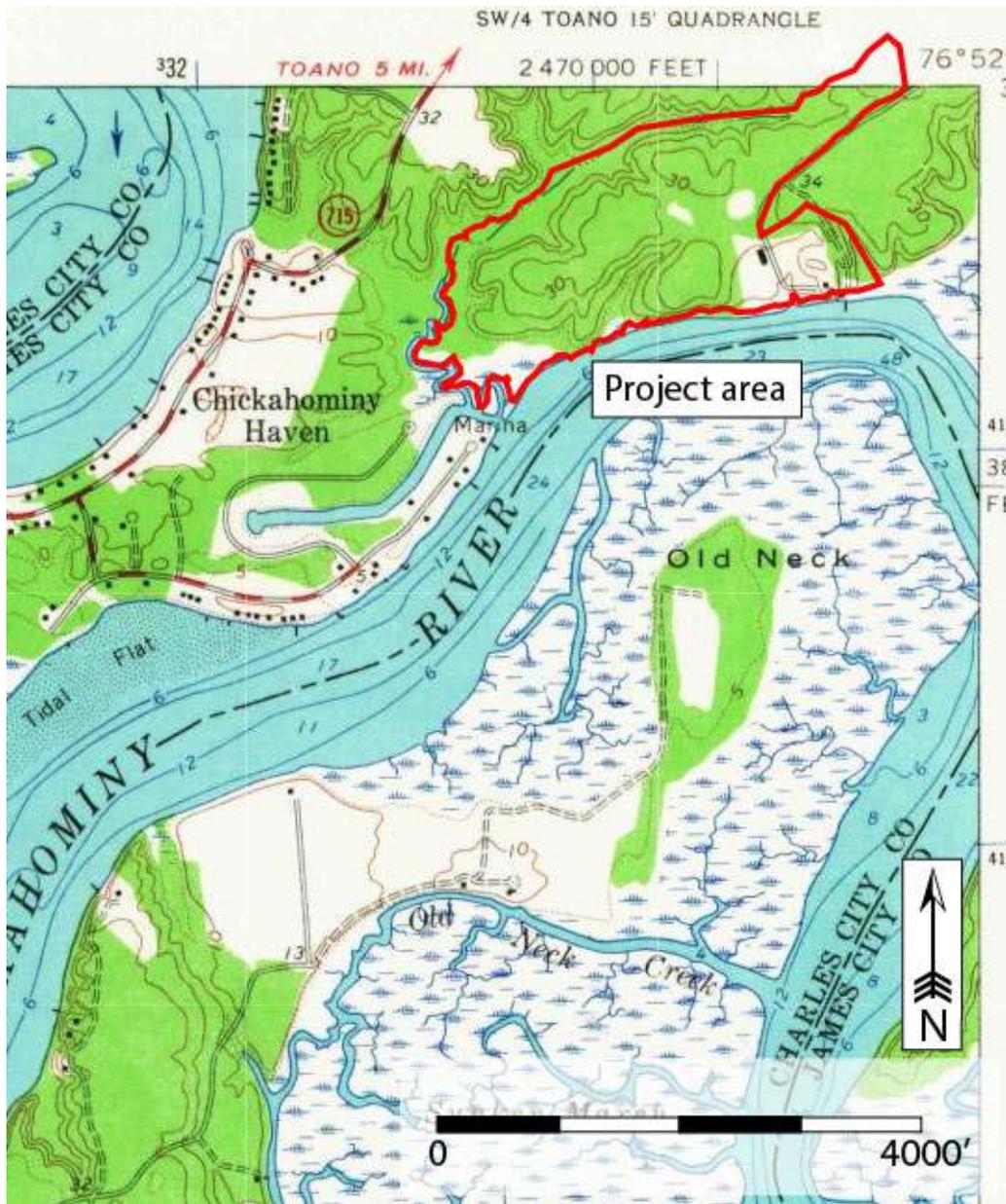


Figure 30. Location of the project area on detail of U.S.G.S. 7.5' Brandon topographic quadrangle map, 1965.

IV. RESEARCH DESIGN

OBJECTIVES

The Phase I cultural resources survey was designed to locate and identify all archaeological sites and architectural resources present within the approximately 66-acre testing area, and to obtain sufficient information to make recommendations concerning their potential eligibility for inclusion in the National Register. A cultural resource is deemed significant if it is greater than 50 years old and meets at least one of the following criteria:

- A. It is associated with events that have made a significant contribution to the broad patterns of our history.
- B. It is associated with the lives of persons significant in our past.
- C. It embodies the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.
- D. It has yielded, or may be likely to yield, information important in prehistory or history.

Criterion D—and occasionally Criterion A—typically applies to archaeological sites, whereas Criteria B and C generally pertain to architectural resources. In order to yield important information about the past, an archaeological site generally must possess artifacts, soil strata, structural remains, or other cultural features which make it possible to test historical hypotheses, corroborate and amplify currently available information, or reconstruct the sequence of the local archaeological record.

DEFINITIONS

Two designations for identified archaeological resources were used in this Phase I survey: *archaeological site* and *archaeological location*. As outlined in the DHR's *Guidelines for Conducting Historic Resources Survey in Virginia* (2017), an archaeological site is defined as the physical remains of any area of human activity greater than 50 years old for which a boundary can be established, and often is manifested by the presence of artifacts and/or cultural features. This definition does not apply to cultural material that has been recently redeposited or reflects casual discard. Any occurrence of artifacts which does not qualify for a site designation is termed an archaeological location. In application, defining these types of resources requires a certain degree of judgment in the field and consideration of a number of variables. Contextual factors such as prior disturbance and secondary deposition must be taken into account. The representative nature of the sample as measured by such factors as the degree of surface exposure and shovel test interval also must be considered.

PREVIOUS RESEARCH

No comprehensive Phase I archaeological or architectural survey of the project area had been conducted prior to the current investigation. In 1984, the DHR recorded Site 44JC0305 on the property based on a projection from 1863 Confederate Engineers' map of James City County (Figure 31). Prior to the current investigation, however, the location and integrity of this projected site had not been verified by archaeological testing.

As summarized in Table 2, a considerable number of archaeological sites have been identified within the general vicinity of the project area. Many of these include resources with prehistoric Native American components with dates of occupation spanning the Archaic, Woodland, and Protohistoric periods. The majority of the historic sites were map-projected by the DHR, and have not been verified through archaeological survey.

Table 2. Previously identified archaeological sites within the project area vicinity.

Site	Type/Function	Date	NRHP Eligibility
44JC0037	Prehistoric Native American, unknown	Undetermined	Not evaluated
44JC0038	Prehistoric Native American, unknown	Undetermined	Not evaluated
44JC0091	No data	No data	No data
44JC0092	Prehistoric Native American, unknown	Undetermined	Not evaluated
44JC0133	Prehistoric Native American, unknown	Undetermined	Not evaluated
44JC0209	Historic domestic, map-projected	19 th c.	Not evaluated
44JC0210	Historic domestic, map-projected	19 th c.	Not evaluated
44JC0234	Historic domestic, map-projected	19 th c.	Not evaluated
44JC0293	Historic mill, map-projected	19 th c.	Not evaluated
44JC0306	Historic domestic, map-projected	19 th c.	Not evaluated
44JC0725	Prehistoric Native American, temporary camp	Undetermined	Not evaluated
44JC0781	Prehistoric Native American, temporary camp	Woodland	Eligible
44JC0783	Prehistoric Native American, temporary camp	Woodland	Not evaluated
44JC0784	Prehistoric Native American, temporary camp	Middle Woodland	Not evaluated
44NK0022	Historic domestic	18 th c.	Not evaluated
44NK0032	Prehistoric Native American, village (Moysonec)	Late Archaic, Woodland, Contact	Not evaluated
44NK0166	Prehistoric Native American, base camp	Late Archaic, Early-Middle Woodland	Not evaluated
44NK0167	Prehistoric Native American, base camp	Middle-Late Woodland	Not evaluated

METHODS

Archival Research

Documentary research in support of the investigation was conducted using a variety of primary and secondary sources in a number of repositories, including the Clerk's Office of the James City County Circuit Court; Virginia Department of Historic Resources; Library of Virginia; Newport News Public Library; and Library of Congress, Geography and Map Division.

Field Methods

All Phase I archaeological and architectural reconnaissance survey fieldwork was conducted according to the DHR's *Guidelines for Conducting Historic Resource Survey in Virginia* (2017), under the direct supervision of a qualified archaeologist who meets the Secretary of the Interior's *Professional Qualifications Standards* (48 FR 44738-9). The survey included a complete pedestrian survey of the 66-acre testing area, followed by the excavation of screened shovel tests along regular transects at 50-foot intervals throughout the project area, excluding areas of slope in excess of 15 percent, waterlogged soils, or obvious soil disturbances. Four radial shovel tests were excavated at 25 feet in the four cardinal directions around each isolated positive shovel test yielding cultural materials. Each shovel test measured approximately 16 inches in diameter or larger and was excavated into sterile subsoil. The backfill was sifted through ¼-inch screen mesh. Representative soil profiles were drawn at 1 inch = 1 foot scale and recorded on standardized forms using Munsell color designators and U. S. Department of Agriculture soil texture terminology. The location of each shovel test was recorded on a 1 inch = 100 feet scale map, and all shovel tests were assigned an individual Shovel Test (ST) number. Representative shovel test and surface feature locations were recorded with a handheld Trimble GPS unit.

Anticipating the presence of widespread brick and other debris associated with the operation and subsequent demolition of the brick plant which occupied the property during the first half of the twentieth century, JRIA determined that obviously twentieth-century materials (machine-made brick, terra cotta tiles, coal, architectural components, etc.) would be recorded on shovel test records and mapped as "Positive-Modern," but discarded in the field. Shovel tests yielding only such materials would not necessarily determine archaeological site boundaries.

Laboratory Methods

All archaeological data and specimens collected during the Phase I survey were transported to JRIA's laboratory in Williamsburg, Virginia, for processing and analysis. Prior to washing, artifacts from a given provenience were first emptied into a screened basket and sorted. Next, the provenience information from the field bags were confirmed with the bag catalog and transferred onto bag tags. Stable objects were washed with tap water using a soft brush. Edges of ceramics and glass were thoroughly cleaned to aid in the identification of body type and to assist in mending. Washed items then were placed by provenience on a drying rack.

Once dry, the artifacts were re-bagged by provenience and material type. Artifacts of a given provenience were placed in clean 2 ml thick polyethylene zip-lock bags that have been perforated to allow air exchange. Each grouped material type was placed in a separate plastic bag (i.e., all glass in one bag, all brick fragments in one bag, etc.) and each of these individual type bags were then placed in a larger bag with the bag tag noting the provenience.

After processing and re-bagging, the entire artifact assemblage was cataloged for analysis. Stylistic attributes of diagnostic artifacts were described using current terminology and were recorded by count into a database for analysis. Non-diagnostic artifacts such as brick and oyster shell were weighed, not counted. Once all the artifacts were cataloged, ceramics were pulled from their bags and marked with correct provenience information. Diagnostic ceramics were sorted and grouped together based on type or ware and/or vessel or function and checked for crossmends.

At the conclusion of the investigation, all artifacts and other project materials were returned to James City County for permanent curation.

Native American Lithic Analysis

JRIA's analysis of Native American lithic artifacts is based on identifying the various stages in the manufacture of stone tools, including—when possible—the temporal duration of specific types as well as technological/social function. As part of the analysis, all recovered lithics also were identified by raw material type. Specific categories of artifacts used in this study are briefly discussed below.

Debitage. The principal by-product in making stone tools is debitage. Also known as waste flakes, these result from the reduction of cores and preforms as well as modifications to finished tools. Flakes here are classified as being either a primary flake, a secondary flake, or a tertiary flake based on the proportion of cortex on the dorsal surface. Primary flakes include all flakes whose dorsal surface has 50% or greater cortex; secondary flakes are those displaying cortex but with it covering less than 50% of the dorsal surface; and tertiary flakes are those having no cortex present. Cortex measurement was based on the flake being placed on its ventral side and then viewing its dorsal side. On infrequent occasions, cortex, when present, was only visible by looking down at the proximal end of the flake from which point the measurement was taken. For each of above three categories, flakes were further divided by size, based on their maximal length. These include (1) flakes 2 cm or less in length, (2) flakes greater than 2 cm up to 5 cm in length, (3) flakes greater than 5 cm up to 10 cm in length, and finally (4) flakes greater than 10 cm in length. These categories based on cortex and length provide basic information on the types of lithic activities occurring, ranging from the first steps in creating a preform to eventually the final modifications for a finished tool.

Shatter. In the reduction of a cobble, one by-product is shatter, angular chunks lacking such flake characteristics as a recognizable dorsal and ventral side. They typically are caused by internal faults or fracture planes which prevent an impact stress to form a flake for removal.

Cores. When flake removal is completed for a cobble, the remaining discarded internal chunk is a core. These come in various forms, but all will show multiple instances of flake removal on the sides.

Tested Cobbles. Cobbles were classified as tested cobbles when fractured in half by a single blow to examine the quality of the material within; alternatively, a small number of primary flakes (typically one or two) were removed to expose a corner of the cobble and the material beneath the cortex. Most were presumably subsequently discarded.

Cobble Fragments. Larger than shatter, cobble fragments come in two forms. Readily distinguishable are cobble chunks where flake removal is evident. More problematic are cobble fragments showing what appear to be natural fracture lines and which frequently are similar to fire-cracked rock except for the absence of the rock turning red from firing. In many cases, it is simply impossible to determine if the cobble fragment is a result of cultural or natural action.

Utilized Flakes and Retouched Flakes. Occasionally, flakes (primary, secondary, or tertiary) were used as cutting and/or scraping tools. Such action typically will modify the edge used by minute chipping and dulling. When there is evidence of such use, it is noted. Related, occasionally flakes also will be slightly retouched for use as a tool, with such evidence also noted when observed.

Bifacial Preforms. Bifacial preforms were divided into three categories. These include early stage biface preforms, mid stage biface preforms, and late stage biface preforms, comparable to Callahan's Stage 2, Stage 3, and Stage 4. Early stage biface preforms show initial edging, typically with some cortex still present; mid stage biface preforms display primary thinning, typically with cortex eliminated but not fully thinned; and late stage biface preforms show secondary thinning and taking on the general contemplated shape and thickness, with no remaining humps or ridges. Also critical in distinguishing one stage from another are (1) the width/thickness ratio ranging from 2.00 or greater for Stage 2 to 4.0 for Stage 4 and (2) edge angles ranging from 55 -75 degrees for Stage 2 to 25-45 degrees for Stage 4.

Unifacial Preforms. Unlike bifacial preforms, unifacial preforms show flake removal from solely one side. Presumably, most were then discarded as unsuitable for bifacial flake removal, though some could have served as cutting or scraping tools in their current form. Any evidence of such use is noted as is the case with utilized flakes.

Projectile Points. Key to dating specific components of a site are projectile points (i.e., tips of projectiles such as arrows, darts, and spears) which can be distinguished by shape, size, and hafting modifications. Complete specimens, and some broken examples when feasible, were then assigned to temporally sensitive formal types, following types described by the DHR (2016), with comparison to both local and regional. Unless otherwise noted, dating of specific projectile points follows documentation summarized by the DHR (2016).

Other Bifacial Tools. Besides projectile points, a number of other bifacial tools exist, the most common being completed bifaces that likely were used as knives along with drills as well as larger artifacts such as flaked adzes and axes.

Bifacial Preform Fragments and Completed Biface Tool Fragments. It was not uncommon for bifacial preforms to break during reduction from one stage to another. When possible, the specific stage at which breakage occurred is noted; otherwise the biface preform fragment is listed as indeterminate. Similarly completed bifaces, whether they are projectile points or other tools, break on occasion while being used. If specific point or tool type is identifiable, such is noted; otherwise the biface fragment is listed as indeterminate.

Hammerstones. Cobbles exhibiting evidence of wear (ranging from light pecking and crushing to extensive scarring) on one or more surfaces as a result of being used to open cobbles and remove debitage for producing lithic artifacts are classified as hammerstones.

Fire-Cracked Rock. Cobble fragments exhibiting irregular fractures, which when exposed to intense heat have portions that turn red, are classified as fire-cracked rock. Unless found in a feature context, it often is difficult if not impossible to determine if a specimen is the result of a cultural activity or merely a naturally-occurring fire. Similarly, it occasionally is difficult if not impossible to distinguish fire-cracked rock from cobble fragments and shatter resulting from cultural modification of cobbles when manufacturing lithic tools.

Unmodified Cobbles. Occasionally, unmodified cobbles are retained as a sample of raw lithic material available for use at a site. Such cobbles show no evidence of flake reduction, hammering, or grinding.

Ground Stone Artifacts. Included here are artifacts resulting from pecking and grinding rather than flaking. Examples include axes, celts, adzes, gorgets, pendants, pipes, beads, and steatite vessel fragments. Also placed here are artifacts modified by use in grinding such as grinding slabs and manos.

Additional Considerations. A maximal length, width, and thickness measurement was taken for all bifacial preforms, bifacial preform fragments, completed bifaces, completed biface fragments, unifacial preforms, cores, hammerstones, and ground stone artifacts. All unifacial and bifacial artifacts were then classified as to basic shape – circular, oval, lanceolate, triangular, or pentagonal when possible. Bifacial preform fragments and completed biface fragments also were classified as to whether or not they represented a tip, midsection, base, end (when one could not distinguish between tip vs. base), or indeterminate (due to small size of fragment).

Native American Ceramic Artifact Analysis

Classification of Native American ceramic artifacts (all of which were vessel fragments in this study) is based on identifying temper, followed by surface treatment, and decorative motif. The vast majority of sherds were body sherds, although rim sherds, basal sherds, and other vessel components such as lug handles were noted, when identified. Given the very small size of the vast majority of sherds recovered, formal ceramic types were not assigned in most cases. However, general correlations to diagnostic regional types are reviewed.

Historic Period Artifact Analysis

Analysis of historic artifacts was aided by reference works such as *The Parks Canada Glass Glossary* (Jones and Sullivan 1989), the *Guide to Artifacts of Colonial America* (Noël Hume 1969), and the *Colonial Williamsburg Foundation Laboratory Manual* (Pittman et al. 1987).

V. PHASE I ARCHAEOLOGICAL SURVEY RESULTS

In total, JRIA archaeologists excavated 867 screened shovel tests at 50- and 25-foot intervals throughout the testing area (Figures 32-38). Of these, 41 yielded prehistoric and/or historic artifacts, while 123 contained only more recent materials, primarily brick and clay tile fragments and other debris, clearly associated with the operation and subsequent removal of the twentieth-century brick plant. As a result of shovel testing and historic map projection, JRIA identified and recorded eight archaeological sites (44JC0305, 44JC1366, 44JC1367, 44JC1368, 44JC1369, 44JC1370, 44JC1371, and 44JC1372) and two archaeological locations (Locations 1 and 2).

Soil Stratigraphy

In general, the natural soil profile encountered in the undisturbed portions of the project area was consistent with the U.S.D.A. soil survey, and was characterized by a relatively shallow clay loam topsoil, typically only about 0.5-foot-deep, over culturally sterile clay subsoil (Figure 39). There were substantial areas of fill soils in the immediate vicinity of the river shore which could be attributed to the use and subsequent removal of the early twentieth-century brick plant (Figure 40). And widespread areas of twentieth-century clay-mining in the central portion of the property also exhibited a heavily disturbed soil profile (Figure 41).

Site 44JC0305

Site 44JC0305 is located on the elevated landform northeast of the boat ramp in the immediate vicinity of a 1950s picnic shelter and brick grill (see Figure 32, Figures 42-43). Evidently, this area had been intentionally avoided by twentieth-century clay-mining activities to the north and northeast, and exhibited intact soil stratigraphy. The site was defined by 14 positive shovel tests yielding historic artifacts, and measures approximately 200 feet (N-S) by 175 feet (E-W) (Appendix A). The artifact assemblage included a variety of architectural and domestic materials suggestive of occupation from the eighteenth through twentieth centuries. Architectural items included hand-made brick and mortar fragments; window glass (colorless and light green); clay tile fragments; and nails, including 10 wire type (ca. post-1860) and three unidentifiable. Ceramics included a sherd of creamware (ca. 1762-1820), two each of ironstone whiteware (ca. 1840-present) and decalcomania whiteware (ca. 1880-present), an unidentifiable stoneware sherd, and three sherds of porcelain of indeterminate date. Additional domestic artifacts included bottle glass (amber, colorless, light green), colorless hollowware fragments, colorless lamp chimney glass, iron hardware, and two porcelain figurine fragments. A considerable quantity of obviously modern material, including machine-made brick, coal, plastic, aluminum cans, asphalt/tar, skeet fragments, and amber bottle glass, was recovered within the site area but was not retained.

This site was situated in the approximate location of a dwelling depicted on historic maps from the 1860s through the 1950s, while the identified artifacts were

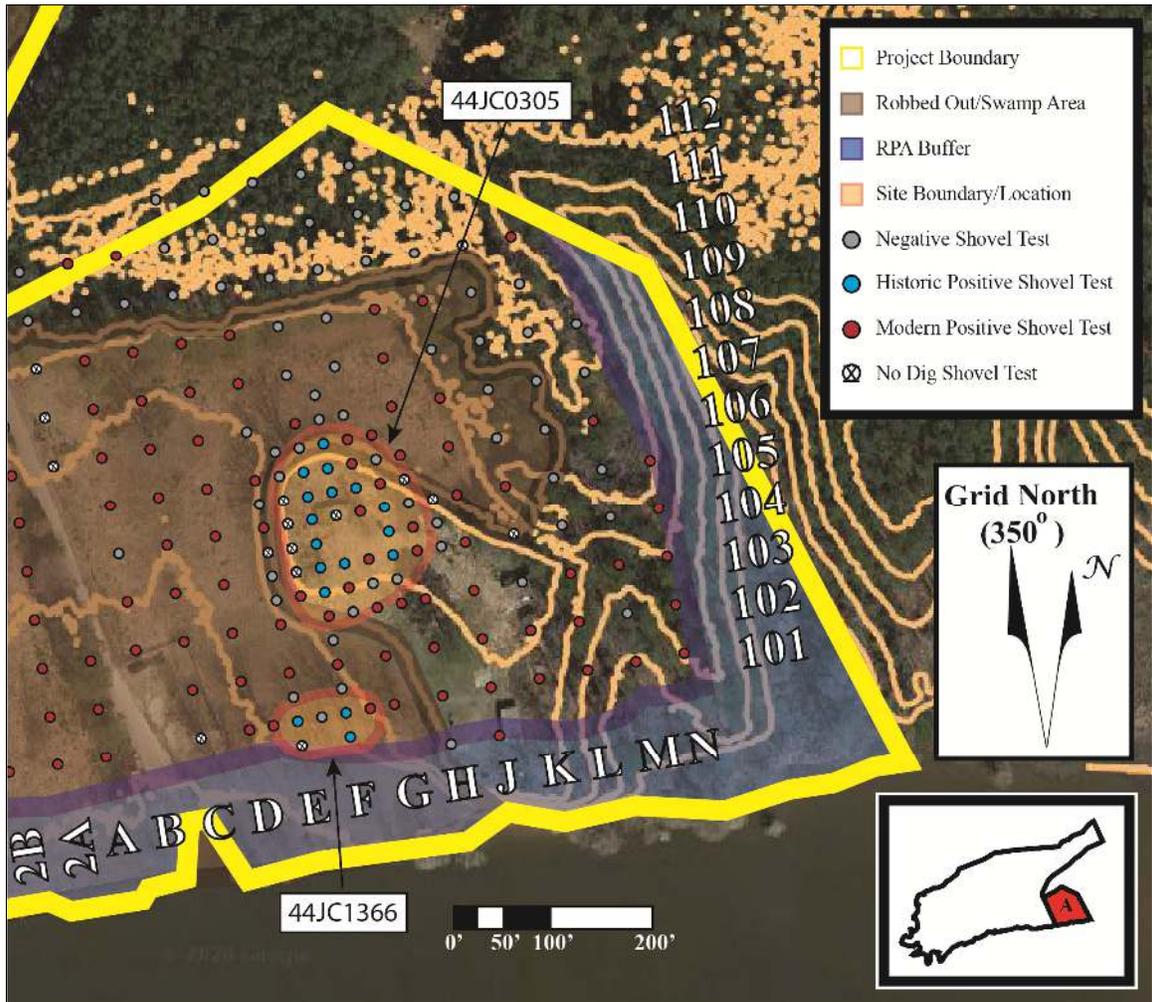


Figure 32. Location of shovel tests and identified archaeological resources, Testing Area A.

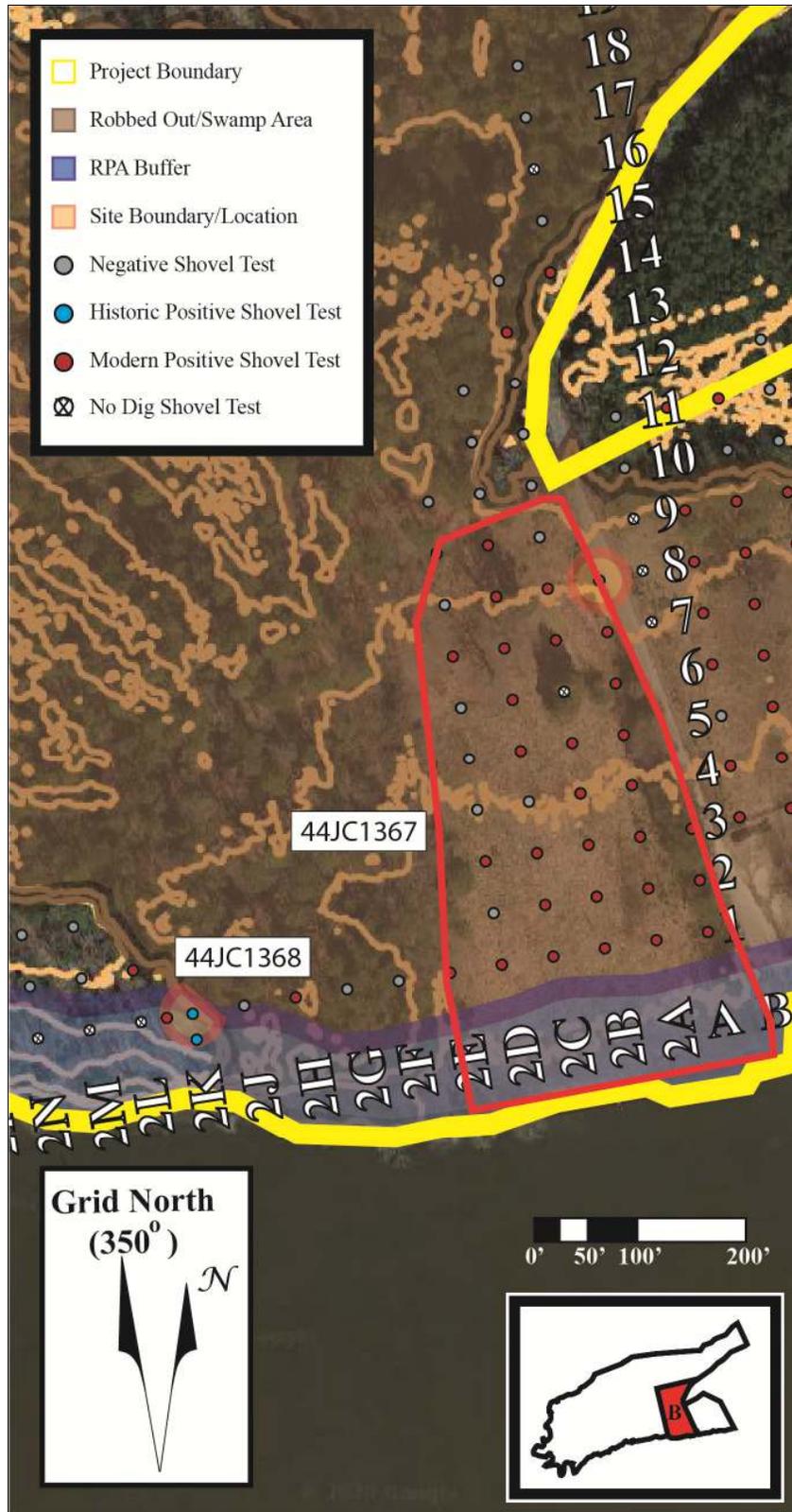


Figure 33. Location of shovel tests and identified archaeological resources, Testing Area B.

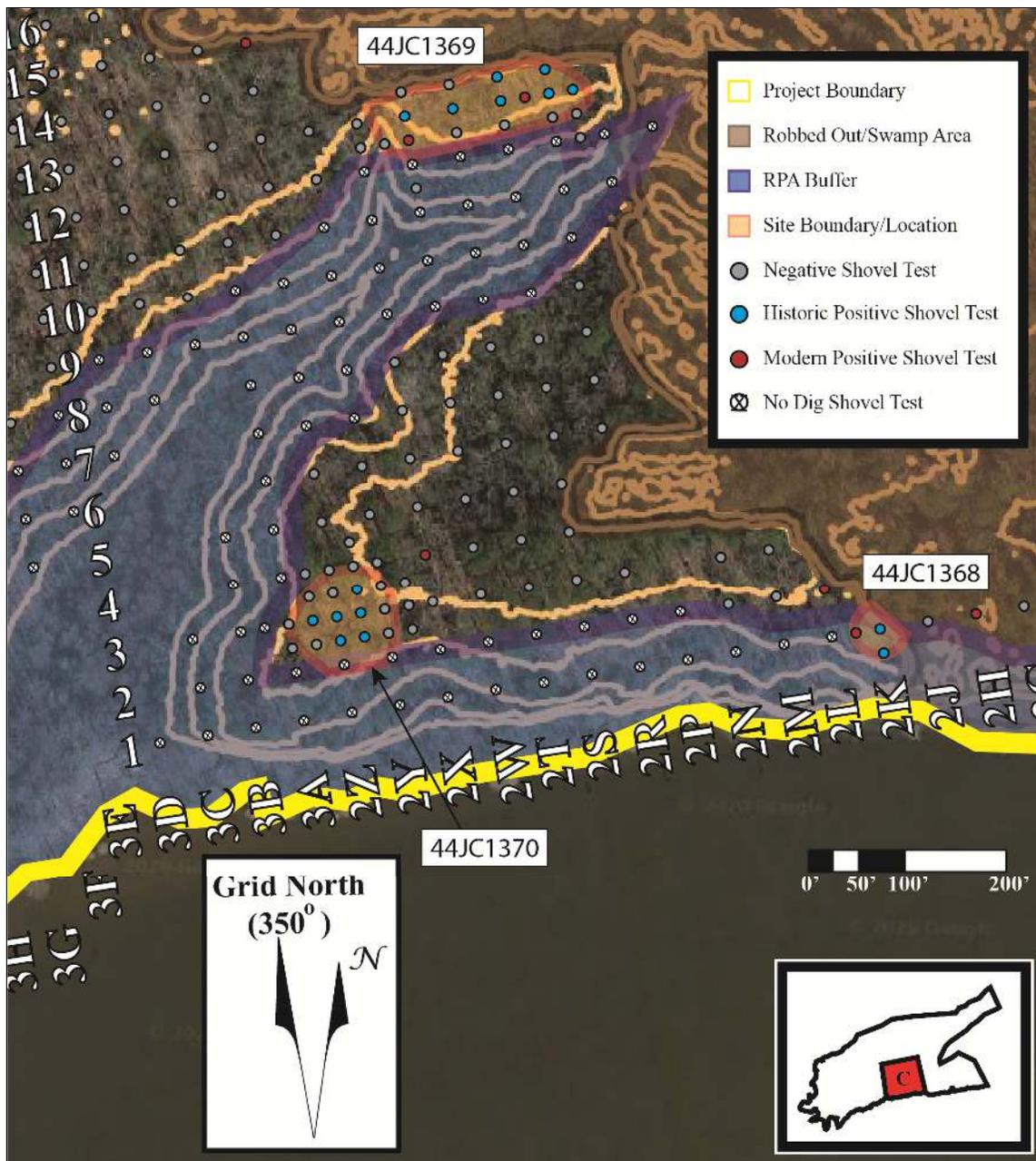


Figure 34. Location of shovel tests and identified archaeological resources, Testing Area C.

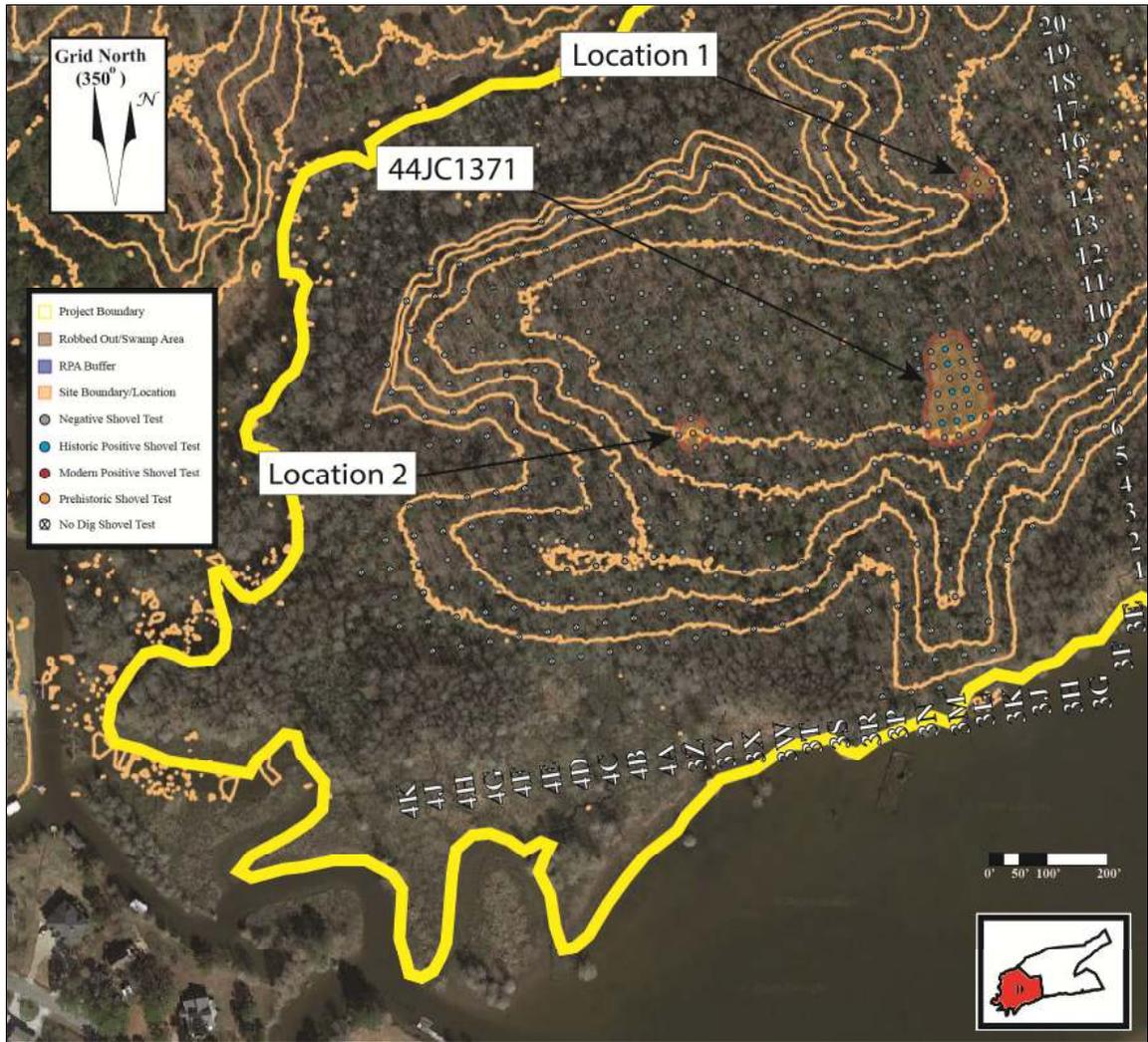


Figure 35. Location of shovel tests and identified archaeological resources, Testing Area D.

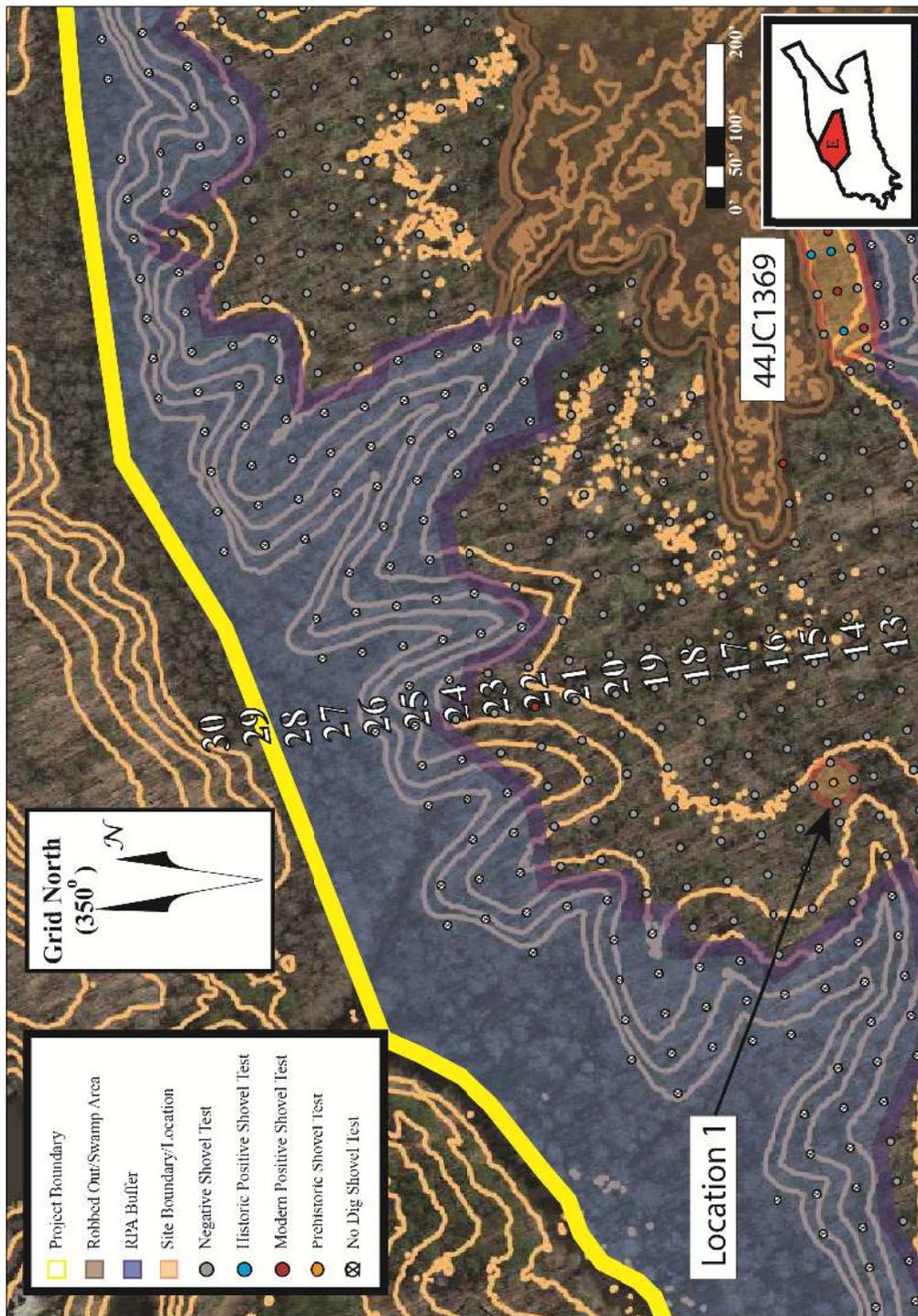


Figure 36. Location of shovel tests and identified archaeological resources, Testing Area E.

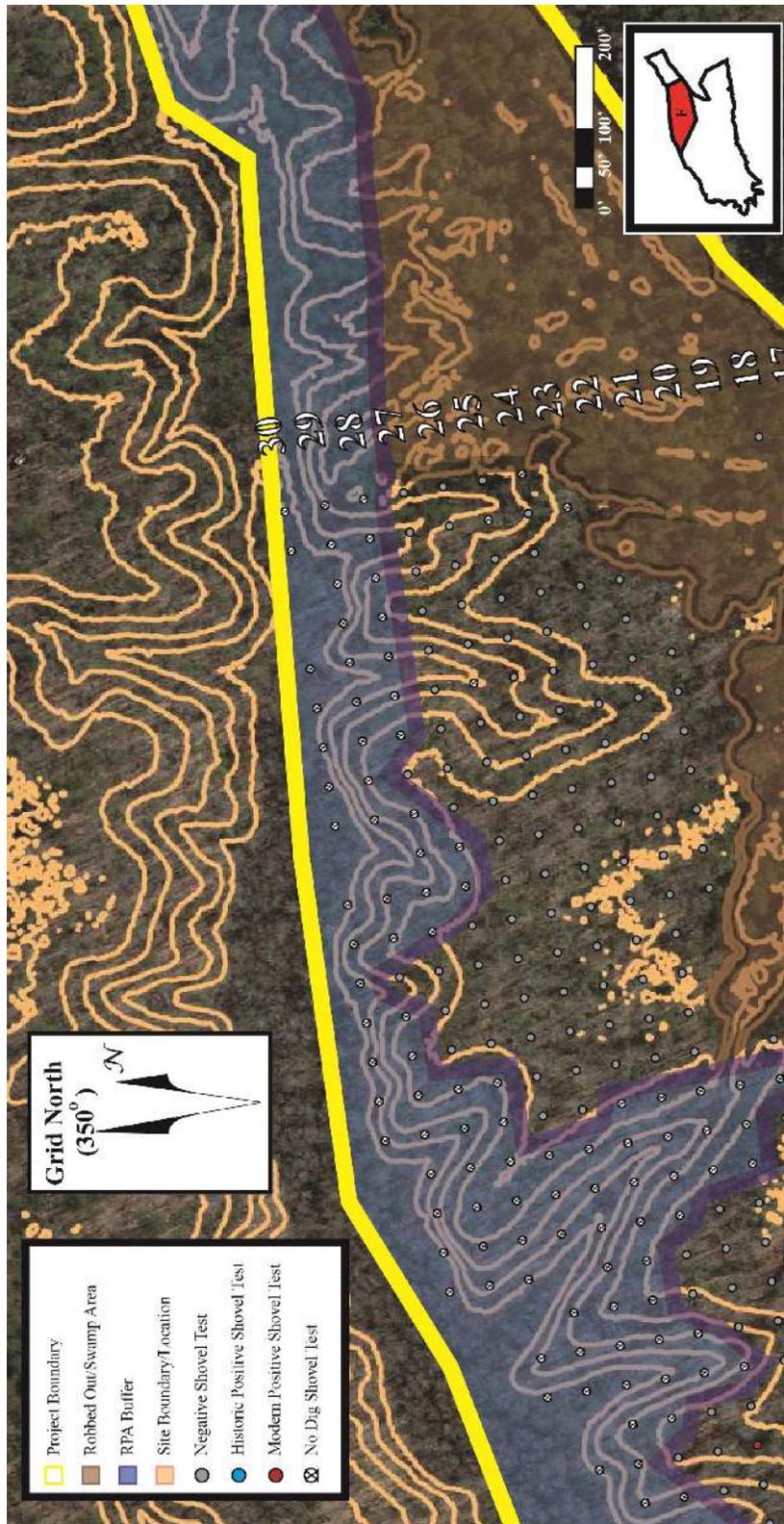


Figure 37. Location of shovel tests and identified archaeological resources, Testing Area F.

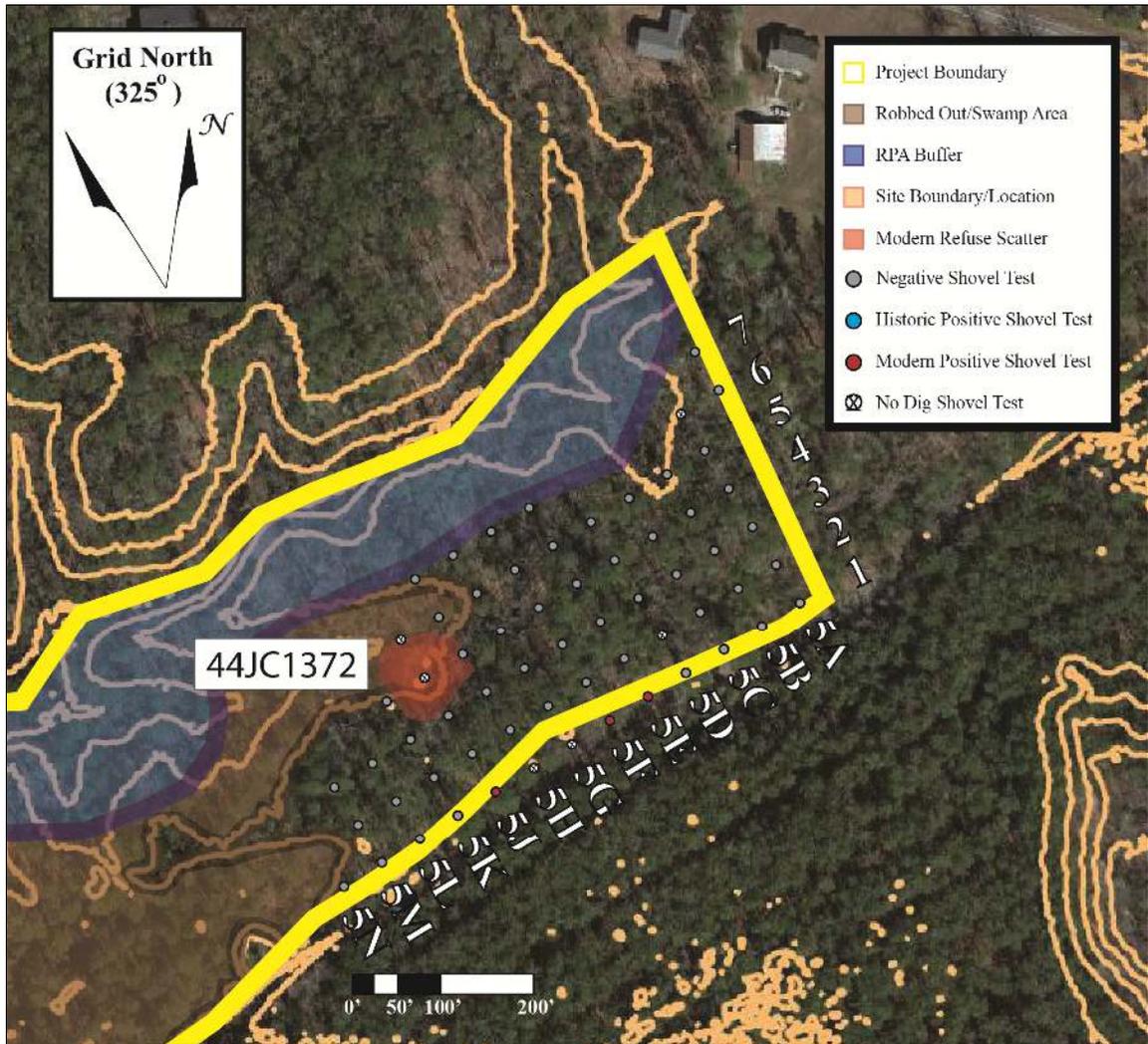


Figure 38. Location of shovel tests and identified archaeological resources, Testing Area G.

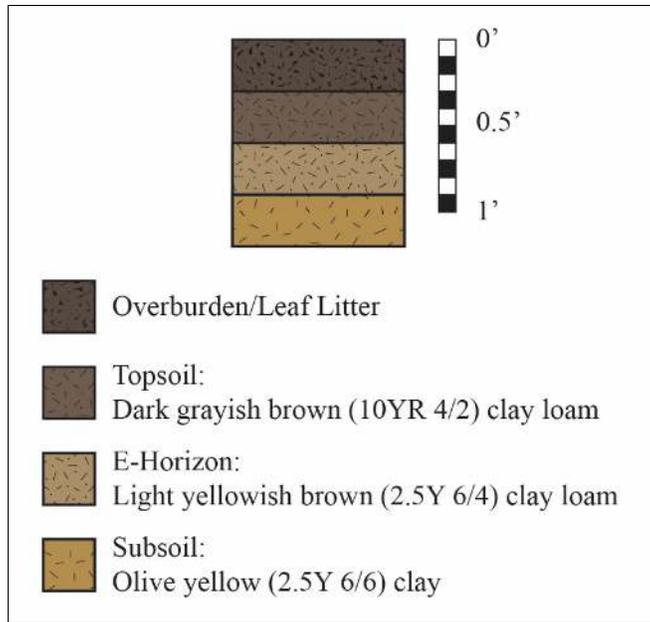


Figure 39. Typical natural soil profile in Shovel Test 2R6.

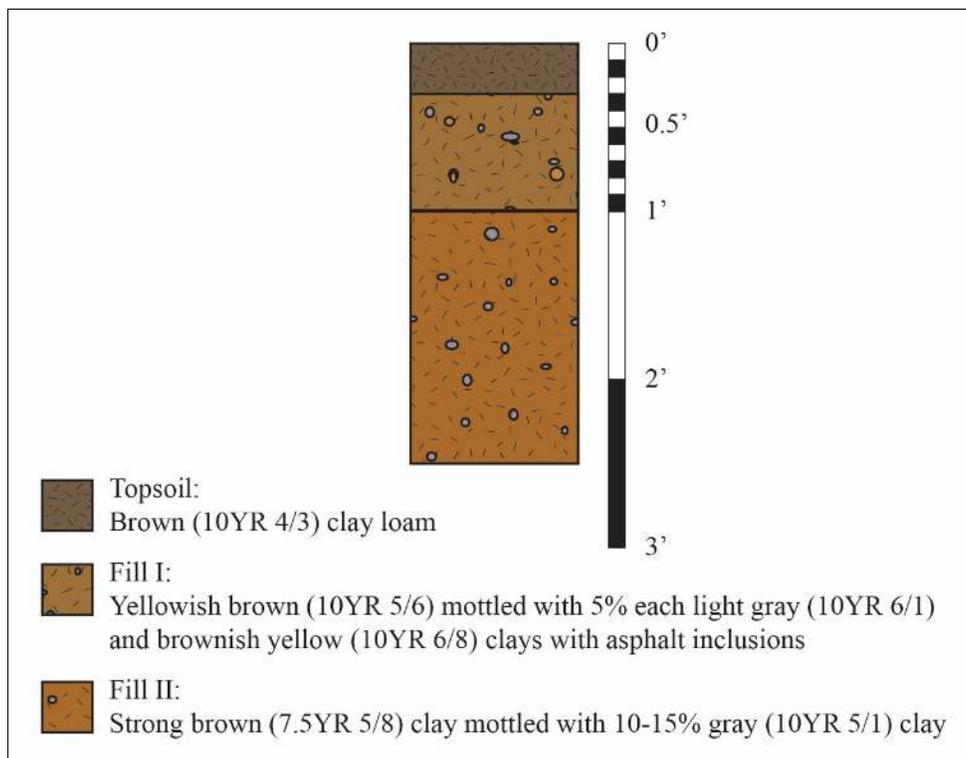


Figure 40. Typical fill soil profile in the current recreation area, Shovel Test C108.

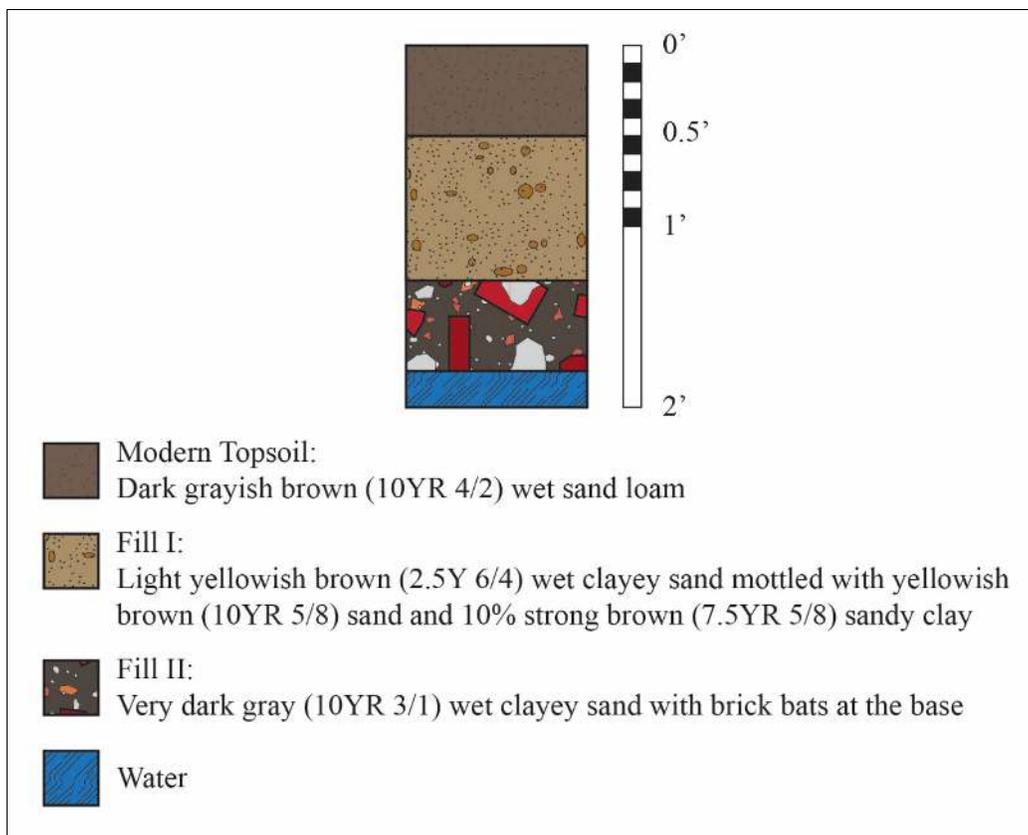


Figure 41. Typical fill soil profile in the former clay-mining areas, Shovel Test A1.



Figure 42. Central portion of Site 44JC0305, view to the northwest.



Figure 43. Clay-mining cut along the northern portion of Site 44JC0305, view to the northwest.

consistent with domestic occupation during this period. As a result, JRIA determined that this resource should be associated with the existing record of map-projected Site 44JC0305.

Site 44JC1366

Site 44JC1366 is located approximately 100 feet south of Site 44JC0305, and just north of an evidently cut slope descending to the Chickahominy River (see Figure 32, Figure 44). This small site, which measured 50 feet (N-S) by 75 feet (E-W) was identified by two positive shovel tests which yielded a sherd of creamware and an unidentified lead object, along with obviously modern materials such as brick, tile, and plastic debris. These positive shovel tests presented soil profiles that showed at least some evidence of redeposited topsoil.



Figure 44. Site 44JC1366, view to the east.

Site 44JC1367

Site 44JC1367 is located within a level field bounded to the south by the Chickahominy River and to the east by Brickyard Road and the boat landing (see Figure 33). Shovel testing in this vicinity indicated that the soils are heavily disturbed, and a variety of primarily modern artifacts were recovered from shovel testing, including large quantities of brick and tile fragments, iron hardware, slag/clinker, and window glass. There is also large quantity of brick and tile rubble visible on the shoreline at the southern edge of the site, and heavy brick rubble concentrations are visible in the soil profile (Figure 45). The site measures approximately 500 feet (N-S) and 250 feet (E-W), and its limits were defined primarily by a projection of the location of the numerous buildings and structures associated with the early twentieth-century brick plant as indicated on maps and aerial photographs from the 1930s through the 1950s.



Figure 45. Brick rubble along the shoreline at Site 44JC1367, view to the southeast.

Site 44JC1368

Site 44JC1368 is a small site, measuring roughly 40 feet (N-S) by 40 feet (E-W), which is located in an area of mature woods near the Chickahominy River shoreline, approximately 250 feet west of Site 44JC1367 (see Figure 33, Figures 46-47). The site was defined by two positive shovel tests which yielded a sherd of whiteware (ca. 1820-present), a fragment of green window glass, and a machine-made brick fragment. Soil stratigraphy within the positive shovel tests appeared to be undisturbed. However, the positive shovel tests were situated immediately to the south of an area which had been heavily disturbed by early twentieth-century clay mining, suggesting that the majority of the former site area was destroyed.



Figure 46. Site 44JC1368, view to the east.



Figure 47. Clay-mining cut north of Site 44JC1368, view to the west.

Site 44JC1369

Site 44JC1369 is located in an area of mature woods in the south-central portion of the project area (see Figure 34, Figure 48). It measures approximately 50 feet (N-S) by 200 feet (E-W), and was defined by six positive shovel tests which yielded artifacts suggestive of a nineteenth-/early twentieth century domestic occupation. Architectural materials included a brick fragment, a light aqua window glass fragment, two cut nails (ca. post-1800), four wire nails (ca. post-1860), and two unidentifiable nails. Ceramics included three sherds of white ironstone/granite (ca. 1840-present), one sherd of decalcomania whiteware (ca. 1880-present), and two sherds of Albany slipped stoneware (ca. 1805-1900). Other domestic artifacts included colorless bottle glass, glass hollowware fragments (colorless and solarized), a fragment of colorless lamp chimney glass, and iron hardware.

The location of Site 44JC1369 generally corresponds with a dwelling depicted on the 1918 U.S.G.S. 15' Toano topographic quadrangle map. However, an area of substantial clay-mining disturbance was located immediately to the north of the positive shovel tests, suggesting that some portion of the site may have been disturbed.



Figure 48. Clay-mining cut north of Site 44JC1369, view to the east.

Site 44JC1370

Site 44JC1370 is located in an area of mature woods in the south-central portion of the project area, along the eastern side of a tidal marsh (see Figure 34, Figure 49). It measures approximately 100 feet (N-S) by 100 feet (E-W), and was defined by six positive shovel tests which yielded artifacts suggestive of a nineteenth-/early twentieth century domestic site. The soil stratigraphy was intact within the site area, with no evidence of significant disturbance. Architectural materials included a brick fragment, two cut nails (ca. post-1790), one unidentifiable nail, and two fragments of light green window glass. Domestic artifacts consisted of a sherd of whiteware (ca. 1820-present) and an unidentifiable iron hardware fragment. No building was depicted at this location on the 1918 U.S.G.S. 15' Toano topographic quadrangle map, suggesting that the site likely predated the early twentieth century.



Figure 49. Site 44JC1370, view to the south.

Site 44JC1371

Site 44JC1371 is located in an area of mature woods on the level top of a landform in the western portion of the project area (see Figure 35, Figure 50). It measures approximately 175 feet (N-S) by 100 feet (E-W), and was defined by seven positive shovel tests which yielded artifacts suggestive of a late nineteenth-/early twentieth century domestic site. The soil stratigraphy was intact within the site area, with no evidence of significant disturbance. Architectural materials recovered from shovel testing included machine-made brick fragments, unidentified nails, and a light green window glass fragment, while domestic items consisted of a whiteware (ca. 1820-present) teapot lid sherd, a fragment of olive green wine bottle glass, coal, and slag. No building was depicted in this location on the 1918 U.S.G.S. 15' Toano topographic quadrangle map, so the occupation likely predated the early twentieth century.



Figure 50. Site 44JC1371, view to the south.

Site 44JC1372

Site 44JC1372 consists of a concentration of five piles of stacked bricks, some with mortar and concrete block fragments, surrounded by a surface scatter of discarded appliances and other modern refuse within an area of mature woods in the eastern portion of the project area north of Brickyard Road (see Figure 38, Figure 51). The surface scatter encompasses an area measuring approximately 100 feet (N-S) by 100 feet (E-W). No historic artifacts were recovered in any of the shovel tests excavated in the site area.



Figure 51. Site 44JC1372, view to the east.

Archaeological Locations

Location 1

Shovel Test 3H15 yielded one sherd of unidentifiable coarse earthenware (see Figure 35). All four radial shovel tests were negative.

Location 2

The only prehistoric Native American artifact recovered in the Phase I archaeological survey was a complete quartzite Clarksville projectile point (Late Woodland Period) found in Shovel Test 3X8 (see Figure 35). All four radial shovel tests were negative.

VI. ARCHITECTURAL SURVEY RESULTS

Brickyard Landing, 1006 Brickyard Road (DHR ID #047-5540)

The extant buildings and structures associated with the former Newport News Shipbuilding and Dry Dock Company's Chickahominy River employee recreation area were recorded with the DHR as ID #047-5540 (Appendix C). The complex encompasses an area of approximately 10 acres, and includes includes a boat ramp, wooden boat dock, and beach on the riverfront, in addition to picnic shelters, brick barbecue grills, and bathroom/shower facilities. Brickyard Road transitions into a driveway which extends directly to a concrete boat ramp into the river (Figure 52). A gravel parking area is situated on the east side of the road near the ramp. Beyond the parking lot is the primary picnic and recreation area with picnic shelters, brick barbecue grills, and restroom facilities (Figure 53). On the opposite side of the road is an open field of maintained grass, a wooden boat dock, and a small beach on the river.

The picnic shelters, restroom facilities, and barbecue grills were built built shortly after the company acquired the former Clay Products Corporation's brick plant property in 1955, and have continued in use since that time. Several stand-alone picnic tables are scattered throughout the recreation area, but evidently post-date the initial development of the recreation area.

The two picnic shelters each measure approximately 15 feet by 30 feet, and are set on poured concrete slabs (Figure 54). They are bordered by a poured concrete knee wall with two openings along each side. The knee walls are topped by concrete coping on which are set metal posts which support the roof above. The roofs are a low-pitch gable with exposed timber framing, and are covered with sheet metal. Three more recent picnic tables are attached to the floor, and set in a line down the middle of the shelter.

Several stand-alone barbecue grills are situated throughout the recreation area (Figure 55). Each grill is built of brick laid in a stretcher bond, with a fire box at ground level and a chimney extending up from the rear. A flat-top steel cook surface extends over the fire box, and is flanked by stainless steel caps on the outer brick walls to each side. The front of the fire box is enclosed by a metal panel with two doors.

Two adjacent restroom facilities are located along the eastern edge of the recreation area, between the two picnic shelters (Figure 56). Each contains separate mens' and womens' restrooms, while the northern of the two buildings also contains an enclosed storage room to the rear. Both buildings are built of masonry clad with stucco. They are topped by low-pitched, rear-sloping shed roofs covered with sheet metal. The roofs extend over the front to shelter a small porch area. This area is enclosed along the front with panels of lattice and open to the sides. Set under this covered area are side-by-side doorways which provide access to the two restroom spaces. The interiors are unfinished, with exposed concrete floors, stucco walls, and roof framing on the ceiling(Figure 57). The two bathroom stalls in each are enclosed by plywood panels, and all fixtures appear to be later replacements. The rear storage room of the larger, northern restroom building is accessed by an exterior doorway on the side (Figure 58). It is also unfinished and includes a wall-mounted pay telephone and the pressure tank for plumbing, as well as open storage space.



Figure 52. Brickyard Road approach to the recreation area and boat ramp, view to the south.



Figure 53. Overview of the recreation area, view to the south.



Figure 54. Picnic shelter, view to the east.



Figure 55. Brick barbecue grill, view to the east.



Figure 56. Restroom facility, view to the east.



Figure 57. Restroom interior, view to the east.



Figure 58. Restroom storage area, view to the north.

A number of picnic tables identical to those now found in the picnic shelters are scattered throughout the recreation area (Figure 59). These evidently post-date the 1950s development of the park, and consist of pre-fabricated, aluminum structures set on posts bolted to concrete pads on the ground surface. Metal trash cans, which are similarly attached to posts bolted to the ground, are set near the picnic tables and barbecue grills (Figure 60) .

A large wooden boat dock on the riverfront is located across the road from the picnic area, adjacent to the beach (Figure 61). The available documentary and photographic evidence suggests that this structure was built in the late 1950s as part of the development of the recreation area. It measures approximately 15 feet wide and extends 80 feet along the shoreline. It is constructed of a wood board deck supported by round timber pilings. There are the remains of tie-down points along the front edge.



Figure 59. Typical picnic table, view to the northwest.



Figure 60. Picnic table and trash can, view to the southeast.



Figure 61. Wooden boat dock, view to the southeast.

VII. CONCLUSIONS AND RECOMMENDATIONS

Based on the results of the Phase I archaeological survey, JRIA identified and recorded eight historic-period archaeological sites (44JC0305, 44JC1366, 44JC1367, 44JC1368, 44JC1369, 44JC1370, 44JC1371, and 44JC1372 (Figure 62). As described more fully below, JRIA recommends that six of the sites should be considered potentially eligible for inclusion in the National Register under Criterion D, while the remaining two are not eligible (Table 2). JRIA recommends that the sites deemed potentially eligible for the National Register should be avoided, or studied more intensively through Phase II investigations to assess their integrity and research potential, and to definitively determine their National Register eligibility. JRIA also identified two archaeological locations within the project area. By definition, archaeological locations do not meet the eligibility criteria for inclusion in the National Register, and no further investigation of these areas, nor of the non-eligible archaeological sites, is recommended. Significantly, no evidence of prehistoric Native American occupation was identified as a result of the Phase I archaeological survey. This finding evidently confirms McCary's and Barka's hypothesis that, had a Chickahominy Indian village been located on the property, it was destroyed by twentieth-century development.

JRIA also recorded the extant buildings and structures associated with the former Newport News Shipbuilding and Dry Dock Company's Chickahominy River employee recreation area as DHR ID # 047-5540. JRIA recommends that this resource, which was established in 1955 and currently remains in use, should not be considered eligible for inclusion in the National Register.

The archaeological sites and architectural resources identified by Phase I cultural resources survey reflect a continuum of occupation and use of the property from at least 1730, when the Hog Neck Landing tobacco inspection warehouse was established, through the mid-1950s, when the extensive Clay Products Corporation brick plant was dismantled and the property was converted to its current recreational use. In addition to the potential eighteenth-century component, and the subsurface remains of the large industrial facility which occupy the waterfront area, there are a number of former domestic occupations scattered across the property which span the nineteenth and early twentieth centuries, and represent the previous agricultural use of the property.

In the mid-1980s, the Colonial Williamsburg Foundation developed a comprehensive resource protection planning document, familiarly known as "RP3," for James City County, York County, City of Poquoson, and the City of Williamsburg (CWF 1986). This groundbreaking work established study units based on defined chronological periods, identifying significant research themes and sub-themes, detailing the existing archaeological site inventory, and offering recommendations concerning preservation and research priorities. A follow-up document, *Resource Protection Planning Revisited*, was then prepared in 1991, and was subsequently re-issued in 2001 (Poole et al. 2001). The Study Units covering the periods of significance represented by the identified archaeological sites include:

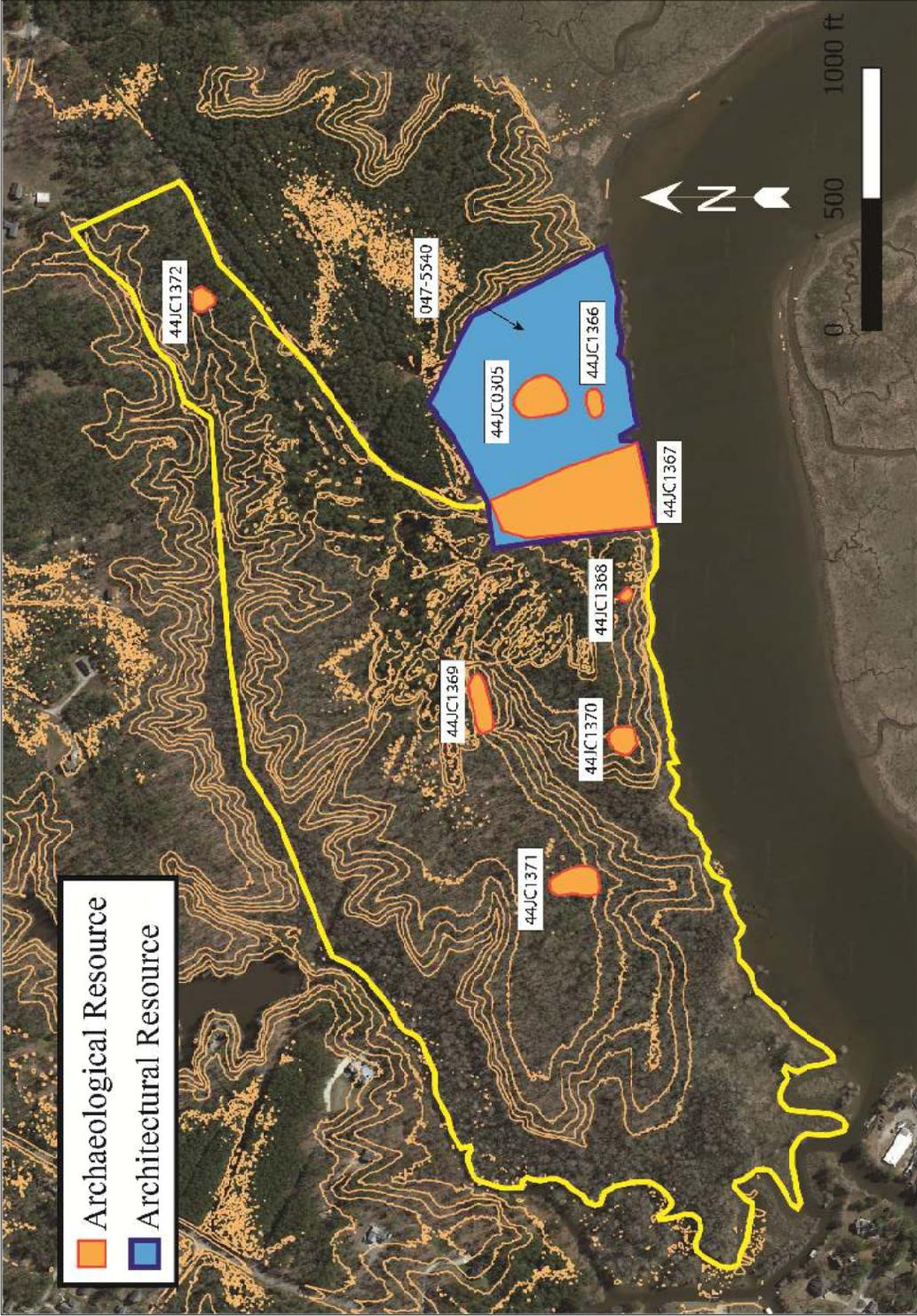


Figure 62. Location of identified archaeological and architectural resources.

Table 3. Identified archaeological sites and recommendations.

Site	Type/Function	Date	NRHP Eligible?	Treatment
44JC0305	Historic domestic	19 th -20 th c.	Yes, Criterion D	Avoidance or Phase II
44JC1366	Historic domestic	18 th c.?	Yes, Criterion D	Avoidance or Phase II
44JC1367	Historic industrial (brick plant)	Ca. 1908-1953	Yes, Criterion D	Avoidance or Phase II
44JC1368	Historic, unknown	19 th -/early 20 th c.	No	No further work
44JC1369	Historic domestic	Late 19 th -/early 20 th c.	Yes, Criterion D	Avoidance or Phase II
44JC1370	Historic domestic	Late 19 th -/early 20 th c.	Yes, Criterion D	Avoidance or Phase II
44JC1371	Historic, unknown	Late 19 th -/early 20 th c.	Yes, Criterion D	Avoidance or Phase II
44JC1372	Historic refuse scatter	20 th c.	No	No further work

Study Unit XI: Expansion and Differentiation of Colonial Society, 1689-1783

Study Unit XII: The World the Slaves and Slaveholders Made, 1783-1865

Study Unit XII: Years of Isolation: James City County and York County in the Wake of the Civil War, 1865-1907

Study Unit XIII: Revitalization of the Tidewater, 1907-1945
(Poole et al. 2001: 8).

In 1997, the William and Mary Center for Archaeological Research (WMCAR) prepared a comprehensive archaeological assessment of James City County (*Preserving Our Hidden Heritage*) which outlined the variety of archaeological resource types identified to date throughout the county, and attempted to rank them in terms of their significance and research potential. In general, the eighteenth- and nineteenth-century sites represented at the project area would be ranked as “Second Order” sites, while the domestic sites occupied into the late nineteenth- and early twentieth centuries, in addition to the brick plant, are classed as “Third Order” resources. Second Order sites, WMCAR contended, “are not only prominent in the local site population in terms of sheer numbers, but they are also unique to regional and local history in some fashion. . . .” As a result, the level of site integrity required to yield significant information is moderate to high. Third Order resources, in contrast, require a high level of integrity. “They are not necessarily without research potential,” WMCAR proposed, “and particularly well-preserved examples of each of them should be carefully treated. The late nineteenth- and early twentieth-century sites in this category have a high integrity and research potential threshold, and must be shown to have clear ethnic, functional, or other important associations before intensive preservation or research measures are warranted” (WMCAR 1997: 35-36).

Admittedly, both the CWF and WMCAR assessment and planning documents are now more than 20 years old. Nonetheless, they provide an important regional framework for evaluating the significance of the identified site types, as well as their potential eligibility for listing in the National Register.

Site 44JC0305

Site 44JC0305 was originally recorded by the DHR in 1984 based on a projection from an 1863 map of James City County, but its location and integrity had not been verified through archaeological testing. JRIA's Phase I shovel testing identified a concentration of historic architectural and domestic artifacts on the elevated landform northeast of the boat landing which is currently occupied by a picnic shelter and other twentieth-century park amenities. This is the approximate location of the dwelling indicated on the 1863 map, as well as on subsequent maps and aerial photographs. Evidently, a "frame house" was still standing at this location as late as 1955, when the Clay Products Corporation deeded the property to the Newport News Shipbuilding and Dry Dock Company.

Despite some disturbance from the ca. 1950s park facilities, the landform on which Site 44JC0305 is situated is one of the few areas in immediate vicinity of the historic Hog's Neck/Brickyard Landing on the Chickahominy River which was not disturbed by the early twentieth-century industrial activities. Further investigation of this site offers the potential to reveal significant information concerning the history and occupation of the property prior to the establishment of the brickyard in the early twentieth century. As a result, JRIA recommends that Site 44JC0305 should be considered potentially eligible for listing in the National Register under Criterion D.

Site 44JC1366

This site yielded only a small quantity of historic artifacts, including a sherd of creamware and unidentified lead object, from an area which may have been at least partially disturbed by twentieth-century activity. However, it is located in the immediate vicinity of the historic Hog's Neck Landing on the Chickahominy River, and may represent the only surviving archaeological evidence of the public tobacco warehouse facilities located here from 1730 through the 1760s. Any intact artifact deposits or subsurface features associated with the eighteenth-century use and occupation of the Hog's Neck Landing would be highly significant. Until it can be demonstrated that the site area has been too disturbed to yield interpretable archaeological data, JRIA recommends that the site should be considered potentially eligible for listing in the National Register under Criterion D.

Site 44JC1367

This site represents the projected location of the archaeological remains of the large brick-making facility established by R.H. Richardson and Sons ca. 1908, and subsequently owned and operated by the Clay Products Corporation until 1953. Phase I

shovel testing within the former brick plant location indicated that the soils had been heavily disturbed by the demolition of the various industrial facilities after the property was acquired by the Newport News Shipbuilding and Dry Dock Company in 1955. The available aerial photographs, and a detailed 1955 plat of the property, depict a series of circular “beehive” kilns along the Chickahominy riverfront, in addition to several other large buildings. There is a strong possibility, given the substantial nature of these structures, that subsurface foundations and other features associated with the brick plant survive intact beneath the overlying fill soils. Further investigation of these remains offers the potential to gain important information concerning this significant early twentieth-century industrial enterprise in James City County. As a result, JRIA recommends that the site is potentially eligible for listing in the National Register under Criterion D.

Site 44JC1368

This small concentration of historic artifacts evidently was associated with activity or occupation in late nineteenth-/early twentieth century; however, the former site area appears to have been largely destroyed by subsequent clay-mining. Considering its apparent lack of integrity and minimal potential for further archaeological research, JRIA recommends that the site is not eligible for inclusion in the National Register.

Site 44JC1369

This site yielded a moderate quantity of architectural and domestic artifacts suggesting that it represented a farmstead dating from the nineteenth through early twentieth centuries. The site’s location generally corresponds with a dwelling depicted on the 1918 U.S.G.S. 15’ Toano topographic quadrangle map. While an adjacent area of clay-mining may have caused some disturbance, the soils are generally undisturbed within the immediate site area, and there is accordingly good potential for the presence of significant artifact deposits and subsurface features. Further investigation of this site could reveal significant information concerning the smaller freehold farmsteads which occupied the Hog’s Neck Landing property prior to its consolidation and industrial use in the early twentieth century. As a result, JRIA recommends that the site should be considered potentially eligible for inclusion in the National Register under Criterion D.

Site 44JC1370

Based on the results of the Phase I archaeological shovel testing, Site 44JC1370 appears to represent the remains of a farmstead occupied during the nineteenth and early twentieth centuries, and likely was associated with one of the several families who owned small freehold farms at the Hog’s Neck Landing property before the parcels were acquired and consolidated for the brick-making plant in the early twentieth century. With undisturbed soil stratigraphy and the corresponding potential for subsurface cultural features, this site offers further archaeological research potential as the type of “Second Order” resource identified in WMCAR’s archaeological assessment of James City

County. As a result, JRIA recommends that it is potentially eligible for listing in the National Register under Criterion D.

Site 44JC1371

Site 44JC1371 yielded a moderate quantity of architectural and domestic artifacts consistent with an occupation dating from the nineteenth through early twentieth centuries. The site was not depicted on the 1918 U.S.G.S. 15' Toano topographic quadrangle map, suggesting that it was no longer occupied by that time. As with Sites 44JC1369 and 44JC1370, this site offers the potential to yield significant information about the smaller freehold farmsteads which comprised the Hog's Neck Landing lands before they were acquired and consolidated as part of the industrial development of the property in the early twentieth century. As a result, JRIA recommends that the site should be considered potentially eligible for inclusion in the National Register under Criterion D.

Site 44JC1372

This concentration of twentieth-century surface refuse does not represent any prolonged or significant historic occupation or activity, and offers no further archaeological research potential. JRIA recommends that this site is not eligible for inclusion in the National Register.

Brickyard Landing, 1006 Brickyard Road (DHR ID #047-5540)

The former Newport News Shipbuilding and Dry Dock Company's Chickahominy River employee recreation area, which was established after the property was acquired from the Clay Products Corporation in 1955, represents a typical outdoor park and picnic area from the mid-twentieth century. It retains a moderate degree of historical integrity, as many of the original amenities, including picnic shelters, restroom facilities, brick barbecue grills, and a wooden boat dock, are still present and remain in active use. However, this common resource type lacks distinction, and does not possess any substantial association to historically important themes or events. As a result, JRIA recommends that it is not eligible for listing in the National Register, either individually or as part of an historic district.

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APPENDIX A: ARTIFACT CATALOG

Brickyard Landing Phase I

State Site # 44JC0305

Provenience:													Artifact No.
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.	
2-ST	F104			MIRON		NAIL WIRE	HEAD AND PARTIAL SHANK	1		0.0		8	
2-ST	F104			PCOAL		COAL	FRAGMENT	1		5.2		9	
2-ST	F104E			SGLASS	GLASS COLORLESS	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		14	
2-ST	F104E			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	1		0.0		13	
2-ST	F104S			ASHELL	ANIMAL OYSTER	SHELL	FRAGMENT	2		7.8		142	
2-ST	F104S			CBRICK		BRICK	FRAGMENT	5		2.1		141	
2-ST	F104S			CCERAMIC OBJECT		TILE	FRAGMENT	2		0.0	Modern	113	
2-ST	F104S			CCERAMIC OBJECT	PORCELANEOUS	FIGURINE	FRAGMENT	1		0.0		127	
2-ST	F104S			CCERAMIC OBJECT	PORCELANEOUS	UNIDENTIFIED FORM	FRAGMENT	1		0.0		128	
2-ST	F104S			CEARTHENWARE	WHITE DECALCOMANIA	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0	Trace of green and yellow foliate motif on the interior.	112	
2-ST	F104S			MIRON		CAN	FRAGMENT	2		0.0	Discarded	132	
2-ST	F104S			MIRON		NAIL UNIDENTIFIED	HEAD AND PARTIAL SHANK	1		0.0		138	
2-ST	F104S			MIRON		NAIL UNIDENTIFIED	SHANK	1		0.0	Possible cut nail	139	
2-ST	F104S			MIRON		NAIL WIRE	HEAD AND PARTIAL SHANK	1		0.0		136	
2-ST	F104S			MIRON		NAIL WIRE	COMPLETE	1		0.0		135	
2-ST	F104S			MIRON		NAIL WIRE	SHANK	2		0.0		137	
2-ST	F104S			MIRON		SCRAP METAL	FRAGMENT	17		0.0	Discarded	133	
2-ST	F104S			MIRON		STRAP UNIDENTIFIED	FRAGMENT	1		0.0		134	
2-ST	F104S			PCHARCOAL		CHARCOAL	FRAGMENT	3		1.0		131	
2-ST	F104S			PWOOD		UNIDENTIFIED FORM	FRAGMENT	1		0.0	Burned	140	
2-ST	F104S			SGLASS	GLASS AMBER	BOTTLE	BODY FRAGMENT	4		0.0		118	
2-ST	F104S			SGLASS	GLASS AMBER	BOTTLE	BASE/BODY FRAGMENT	1		0.0	Beer bottle	117	

State Site # 44JC0305

Provenience:												Artifact No.
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
2-ST	F104S			SGLASS	GLASS AMBER	BOTTLE	BASE/BODY FRAGMENT	1		0.0	McCormack & Co. bottle	116
2-ST	F104S			SGLASS	GLASS COLORLESS	BOTTLE	LIP/NECK FRAGMENT	1		0.0	With intact iron screw cap.	119
2-ST	F104S			SGLASS	GLASS COLORLESS	BOTTLE	NECK FRAGMENT	1		0.0		122
2-ST	F104S			SGLASS	GLASS COLORLESS	BOTTLE	NECK/SHOULDER FRAGMENT	2		0.0		123
2-ST	F104S			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	37		0.0		125
2-ST	F104S			SGLASS	GLASS COLORLESS	HOLLOWWARE	BASE/BODY FRAGMENT	6		0.0		124
2-ST	F104S			SGLASS	GLASS COLORLESS	LAMP CHIMNEY	FRAGMENT CURVED	2		0.0		121
2-ST	F104S			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	1		0.0		126
2-ST	F104S			SGLASS	GLASS GREEN LIGHT	BOTTLE	BODY FRAGMENT	2		0.0	Coca-Cola bottle	115
2-ST	F104S			SGLASS	GLASS MILK	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		120
2-ST	F104S			SPLASTIC		UNIDENTIFIED FORM	FRAGMENT	1		0.0	Discarded	129
2-ST	F104S			SSYNTHETIC OTHER		SHINGLE	FRAGMENT	6		0.0	Discarded	130
2-ST	F104S			SSYNTHETIC OTHER		TILE	FRAGMENT	4		0.0	Asbestos tile. Discarded.	114
2-ST	F105			CBRICK		BRICK	FRAGMENT	1		1.4		11
2-ST	F105			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	1		0.0		10
2-ST	F105N			CABORIGINAL POTTERY	AB POTTERY INDETERMINATE TEMP/INDETERMINATE	AB POTTERY VESSEL	FRAGMENT	1	<25mm	0.0		25
2-ST	F105N			CBRICK		BRICK	FRAGMENT	5		8.2		20
2-ST	F105N			CEARTHENWARE	WHITE IRONSTONE/GRANITE	PLATE	BASE/FOOTRING/BOUGE FRAGMENT	1		0.0		15
2-ST	F105N			MSLAG		SLAG/CLINKER	FRAGMENT	2		20.4		24
2-ST	F105N			PCOAL		COAL	FRAGMENT	1		0.3		23
2-ST	F105N			SGLASS	GLASS AMBER	BOTTLE	BODY FRAGMENT	1		0.0		16
2-ST	F105N			SGLASS	GLASS COLORLESS	BOTTLE	NECK FRAGMENT	1		0.0	Screw thread present	17
2-ST	F105N			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	2		0.0		18

State Site # 44JC0305

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	F105N			SGLASS	GLASS GREEN LIGHT	HOLLOWWARE	BODY FRAGMENT	1		0.0		19
2-ST	F105N			SPLASTIC		UNIDENTIFIED FORM	FRAGMENT	1		0.0	Possible comb. Discarded.	21
2-ST	F105N			SPLASTIC		UNIDENTIFIED FORM	FRAGMENT	2		0.0	Possible doll hand.	22
2-ST	F105NE			CBRICK		BRICK	FRAGMENT	1		0.5		27
2-ST	F105NE			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	1		0.0		26
2-ST	F105S			MIRON		UNIDENTIFIED FORM	FRAGMENT	4		0.0		31
2-ST	F105S			SGLASS	GLASS AMBER	BOTTLE	LIP/NECK FRAGMENT	1		0.0	Screw threads present.	28
2-ST	F105S			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	3		0.0		29
2-ST	F105S			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	2		0.0		30
2-ST	F105S			SPLASTIC		UNIDENTIFIED FORM	FRAGMENT	3			Discarded	32
2-ST	F106E			MIRON		NAIL WIRE	HEAD AND PARTIAL SHANK	1		0.0		35
2-ST	F106E			PCOAL		COAL	FRAGMENT	1		0.7		36
2-ST	F106E			SGLASS	GLASS AMBER	HOLLOWWARE	BODY FRAGMENT	2		0.0		33
2-ST	F106E			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	18		0.0		34
2-ST	F106NE			CBRICK		BRICK	FRAGMENT	1		7.4		94
2-ST	F106NE			CPORCELAIN	PORCELAIN OVER ENAMEL	SAUCER	RIM/BODY FRAGMENT	1		0.0	Black foliate motif on the interior.	93
2-ST	F106NE			MIRON		HARDWARE UNIDENTIFIED	FRAGMENT	2		0.0		101
2-ST	F106NE			MIRON		NAIL WIRE	SHANK	2		0.0		99
2-ST	F106NE			MIRON		NAIL WIRE	COMPLETE	3		0.0		98
2-ST	F106NE			MIRON		SCRAP METAL	FRAGMENT	30		0.0		102
2-ST	F106NE			MIRON		WIRE	FRAGMENT	3		0.0		100
2-ST	F106NE			PCOAL SLAG		COAL SLAG	FRAGMENT	5		6.3		97
2-ST	F106NE			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	2		0.0		95
2-ST	F106NE			SSYNTHETIC OTHER		ASPHALT/TAR	FRAGMENT	2		0.0	Discarded	96

State Site # 44JC0305

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.
2-ST	G104E			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		37
2-ST	G104NE			MIRON		BOLT AND NUT	HEAD AND PARTIAL SHANK	1		0.0		40
2-ST	G104NE			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	1		0.0		38
2-ST	G104NE			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		39
2-ST	G104NE			SMORTAR		MORTAR	FRAGMENT	1		4.8		41
2-ST	G105E			CCERAMIC OBJECT		SKEET	FRAGMENT	2		0.0	Discarded	54
2-ST	G105E			MIRON		NAIL UNIDENTIFIED	SHANK	1		0.0		53
2-ST	G105E			SGLASS	GLASS MILK	UNIDENTIFIED FORM	FRAGMENT	1		0.0		52
2-ST	G105N			ASHELL	ANIMAL OYSTER	SHELL	FRAGMENT	2		4.7		51
2-ST	G105N			CEARTHENWARE	WHITE DECALCOMANIA	PLATE	BASE/FOOTRING FRAGMENT	1		0.0	"Ghost" image of foliate motif on the interior.	43
2-ST	G105N			CEARTHENWARE	WHITE IRONSTONE/GRANITE	PLATE	RIM/MARLY FRAGMENT	1		0.0		42
2-ST	G105N			CPORCELAIN	PORCELAIN	BOWL	RIM/BODY/BASE FRAGMENT	1		0.0	"Gilt" band on the interior rim.	45
2-ST	G105N			CPORCELAIN	PORCELAIN	BOWL	RIM/BODY FRAGMENT	1		0.0	"Gilt" band on the interior rim.	44
2-ST	G105N			CSTONEWARE	STONE UNIDENTIFIED	HOLDFAST	RIM/BODY FRAGMENT	1		0.0		46
2-ST	G105N			MALUMINUM		CAN	PULL TAB	1		0.0	Discarded	49
2-ST	G105N			MIRON		BOLT	HEAD AND PARTIAL SHANK	1		0.0		47
2-ST	G105N			MIRON		WIRE	FRAGMENT	3		0.0		48
2-ST	G105N			PCOAL		COAL	FRAGMENT	1		1.4		50

State Site # 44JC1366

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.
2-ST	E101			MLEAD		UNIDENTIFIED FORM	FRAGMENT	1		0.0		3
2-ST	F101			CBRICK		BRICK	FRAGMENT	2		2.1		7
2-ST	F101			CCERAMIC OBJECT	UNIDENTIFIED	TILE	FRAGMENT	2		0.0		5

State Site # 44JC1366

Provenience:													Artifact No.
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes		
2-ST	F101			CEARTHENWARE	CREAM	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		4	
2-ST	F101			SPLASTIC		UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0	Discarded	6	

State Site # 44JC1367

Provenience:													Artifact No.
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes		
2-ST	2A4			SMORTAR		MORTAR	FRAGMENT	1		8.5		55	
2-ST	2A5			MIRON		HARDWARE	FRAGMENT	1		0.0	Thick, flat object. Possible door for stove.	145	
2-ST	2A5			MIRON		HARDWARE UNIDENTIFIED	FRAGMENT	1		0.0		146	
2-ST	2A5			MIRON		SCRAP METAL	FRAGMENT	2		0.0	Discarded	144	
2-ST	2A5			MSLAG		SLAG/CLINKER	FRAGMENT	5		34.9		147	
2-ST	2A5			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		143	
2-ST	2A6			CPORCELAIN	PORCELANEOUS	TILE	FRAGMENT	1		0.0		56	
2-ST	2A6			SGLASS	GLASS COLORLESS	WINDOW GLASS	FRAGMENT	1		0.0		57	
2-ST	2A8			ASHELL	ANIMAL OYSTER	SHELL	FRAGMENT	1		4.0		107	
2-ST	2A8			CPORCELAIN	PORCELAIN	UNIDENTIFIED FORM	BODY/FOOTRING FRAGMENT	1		0.0		103	
2-ST	2A8			MIRON		HARDWARE UNIDENTIFIED	FRAGMENT	3		0.0	Possible chain links	109	
2-ST	2A8			MIRON		NAIL CUT	SHANK	2		0.0		110	
2-ST	2A8			MIRON		UNIDENTIFIED FORM	FRAGMENT	3		0.0	Possible wire nail fragments	108	
2-ST	2A8			PCOAL SLAG		COAL SLAG	FRAGMENT	4		7.2		111	
2-ST	2A8			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	1		0.0		104	
2-ST	2A8			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		105	
2-ST	2A8			SGLASS	GLASS MILK	CANNING JAR LINER	FRAGMENT	1		0.0		106	

State Site # 44JC1368

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	2K1			SGLASS	GLASS GREEN	WINDOW GLASS	FRAGMENT	1		0.0		58
2-ST	2K1S			CBRICK		BRICK	FRAGMENT	1		0.6		61
2-ST	2K1S			CEARTHENWARE	WHITE	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		60

State Site # 44JC1369

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	2R13			CEARTHENWARE	WHITE DECALCOMANIA	HOLLOWWARE	BODY FRAGMENT	1		0.0	"Ghost" image of floral motif on the exterior.	62
2-ST	2R13			MIRON		NAIL UNIDENTIFIED	COMPLETE	1		0.0		67
2-ST	2R13			MIRON		NAIL WIRE	HEAD AND PARTIAL SHANK	1		0.0		66
2-ST	2R13			PCOAL		COAL	FRAGMENT	3		3.7		68
2-ST	2R13			SGLASS	GLASS AQUA LIGHT	HOLLOWWARE	BODY FRAGMENT	4		0.0		64
2-ST	2R13			SGLASS	GLASS AQUA LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		65
2-ST	2R13			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	2		0.0		63
2-ST	2R13E			CEARTHENWARE	WHITE IRONSTONE/GRANITE	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		75
2-ST	2R13E			CSTONEWARE	STONE ALBANY SLIP	CROCK	RIM/BODY FRAGMENT	1		0.0		76
2-ST	2R13E			MIRON		PLATE	MARLY/BOUGE FRAGMENT	1		0.0		74
2-ST	2R13N			CEARTHENWARE	WHITE IRONSTONE/GRANITE	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0	Burned	77
2-ST	2R13N			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	1		0.0		78
2-ST	2S13			CBRICK		BRICK	FRAGMENT	1		1.9		71
2-ST	2S13			CSTONEWARE	STONE ALBANY SLIP	HOLLOWWARE	BODY FRAGMENT	1		0.0		69
2-ST	2S13			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	1		0.0		70
2-ST	2S13N			CEARTHENWARE	WHITE IRONSTONE/GRANITE	UNIDENTIFIED FORM	BODY/FOOTRING FRAGMENT	1		0.0		79
2-ST	2S13N			MIRON		NAIL WIRE	COMPLETE	1		0.0		84
2-ST	2S13N			SGLASS	GLASS COLORLESS	BOTTLE	BODY FRAGMENT	1		0.0	Embossed letters on the exterior.	83

State Site # 44JC1369

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	2S13N			SGLASS	GLASS COLORLESS	HOLLOWWARE	BODY FRAGMENT	3		0.0		81
2-ST	2S13N			SGLASS	GLASS COLORLESS	LAMP CHIMNEY	BODY FRAGMENT	1		0.0		82
2-ST	2S13N			SGLASS	GLASS COLORLESS, SOLARIZED	HOLLOWWARE	BODY FRAGMENT	1		0.0		80
2-ST	2T13			MIRON		NAIL CUT	HEAD AND PARTIAL SHANK	1		0.0		72
2-ST	2T13			MIRON		NAIL WIRE	SHANK	1		0.0		73
2-ST	2W13			MIRON		BOLT	HEAD AND PARTIAL SHANK	1		0.0		153
2-ST	2W13			MIRON		HARDWARE UNIDENTIFIED	FRAGMENT	4		0.0	Possible architectural hardware with relief-molded heart and scroll motif on one fragment.	155
2-ST	2W13			MIRON		NAIL CUT	COMPLETE	1		0.0		150
2-ST	2W13			MIRON		NAIL UNIDENTIFIED	HEAD AND PARTIAL SHANK	1		0.0		152
2-ST	2W13			MIRON		NAIL WIRE	COMPLETE	1		0.0		151
2-ST	2W13			MIRON		SCRAP METAL	FRAGMENT	4		0.0	Discarded	154
2-ST	2W13			PCOAL		COAL	FRAGMENT	1		2.4		156
2-ST	2W13			SGLASS	GLASS COLORLESS	BOTTLE	BASE/BODY FRAGMENT	1		0.0		148
2-ST	2W13			SGLASS	GLASS COLORLESS	BOTTLE	BODY FRAGMENT	2		0.0		149

State Site # 44JC1370

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	2Z3			CEARTHENWARE	WHITE	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0	Partially burned	59
2-ST	2Z3E			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		85
2-ST	2Z3NE			MIRON		HARDWARE UNIDENTIFIED	FRAGMENT	1		0.0		86
2-ST	2Z3NE			MIRON		NAIL UNIDENTIFIED	HEAD AND PARTIAL SHANK	1		0.0		87
2-ST	2Z3S			CBRICK		BRICK	FRAGMENT	1		10.0		91

State Site # 44JC1370

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.
2-ST	2Z3SE			CEARTHENWARE	WHITE	UNIDENTIFIED FORM	FRAGMENT CURVED	1		0.0		92
2-ST	2Z3W			MIRON		NAIL CUT	HEAD AND PARTIAL SHANK	1		0.0		89
2-ST	2Z3W			MIRON		NAIL CUT	SHANK	1		0.0		90
2-ST	2Z3W			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		88

State Site # 44JC1371

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.
2-ST	3K7			SGLASS	GLASS GREEN LIGHT	WINDOW GLASS	FRAGMENT	1		0.0		157
2-ST	3K7E			CBRICK		BRICK	FRAGMENT	2		3.6		167
2-ST	3K7E			MIRON		NAIL UNIDENTIFIED	SHANK	2		0.0		166
2-ST	3K7E			MSLAG		SLAG/CLINKER	FRAGMENT	4		12.8		169
2-ST	3K7E			PCOAL		COAL	FRAGMENT	20		21.8		168
2-ST	3K7W			CBRICK		BRICK	FRAGMENT	4		144.0		163
2-ST	3K7W			MIRON		NAIL UNIDENTIFIED	SHANK	1		0.0		162
2-ST	3K8			CEARTHENWARE	WHITE	TEAPOT	LID	1		0.0		158
2-ST	3K8E			CBRICK		BRICK	FRAGMENT	2		3.8		164
2-ST	3K9			CEARTHENWARE	WHITE UNDERGLAZE	HOLLOWWARE	BODY FRAGMENT	1		0.0	Unidentified dark pink motif on the exterior.	159
2-ST	3K9N			SGLASS	GLASS OLIVE GREEN	BOTTLE WINE	BODY FRAGMENT	2		0.0	Fragments mend	165

State Site # Location 1

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.
2-ST	3H15			CCOARSEWARE	COARSE	UNIDENTIFIED FORM	FRAGMENT	3		0.0	Light orange fabric. Glaze missing.	160

State Site # Location 2

Provenience:												Artifact
Type	Context	Layer	Other	Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	No.

State Site # Location 2

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	3X8			RABORIGINAL LITHIC	AB LITHIC QUARTZITE	AB TOOL BIFACE PROJECTILE POINT	COMPLETE	1		0.0	Clarksville- Late Woodland period, 1400-1700 CE.	161

State Site # Noted but not retained

Provenience:				Material 1	Material 2	Form	Portion/Element	Qty	Size	Wgt (g)	Notes	Artifact No.
Type	Context	Layer	Other									
2-ST	B103			PCOAL		COAL	FRAGMENT	2		5.4	Discarded	1
2-ST	C111			PCOAL SLAG		COAL SLAG	FRAGMENT	1		46.5	Discarded	2
2-ST	M101			PCOAL		COAL	FRAGMENT	3		32.9	Discarded.	12

APPENDIX B: ARCHAEOLOGICAL SITE RECORDS

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Dwelling, single
Other DHR ID: No Data
Temporary Designation: No Data

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 20
Aspect: Flat
Drainage: James
Slope: 2 - 6
Acreage: 0.570
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Domestic
Site Type: Dwelling, single
Cultural Affiliation: Indeterminate
DHR Time Period: Antebellum Period, Civil War, Early National Period, Reconstruction and Growth
Start Year: No Data
End Year: No Data

Comments: November 2020: Site 44JC0305 was recorded by the DHR in 1984 based on a projection from an 1863 map of James City County, but its location and integrity had not been verified through archaeological testing. JRIA's Phase I shovel testing identified a concentration of historic architectural and domestic artifacts on the elevated landform northeast of the boat landing currently occupied by a picnic shelter and other twentieth-century park amenities. This is approximately the location of the dwelling indicated on the 1863 map and subsequent maps and aerial photographs. Evidently, a "frame house" was still standing at this location as late as 1955, when the Clay Products Corporation deeded the property to the Newport News Shipbuilding and Dry Dock Company.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located within an actively used picnic area.

Threats to Resource: None Known
Site Conditions: No Surface Deposits but With Subsurface Integrity
Survey Strategies: Historic Map Projection, Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:

The artifact assemblage included a variety of architectural and domestic materials suggestive of occupation from the eighteenth through twentieth centuries. Architectural items included hand-made brick and mortar fragments, window glass (colorless and light green), clay tile fragments, and nails, including 10 wire type (ca. post-1860) and three unidentifiable. Ceramics included a sherd of creamware (ca. 1762-1820, two each of ironstone whiteware (ca. 1840-present) and decalomania whiteware (ca. 1880-present), an unidentifiable stoneware sherd, and three sherds of porcelain of indeterminate date. Additional domestic artifacts included bottle glass (amber, colorless, light green), colorless hollowware fragments, colorless lamp chimney glass, iron hardware, and two porcelain figurine fragments. A considerable quantity of obviously modern material, including machine-made brick, coal, plastic, aluminum cans, asphalt/tar, skeet fragments, and amber bottle glass, was also recovered within the site area but was not retained.

Summary of Specimens Observed, Not Collected:

No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR

DHR Library Reference Number:	No Data
Significance Statement:	Despite some disturbance from the ca. 1950s park facilities, the landform on which Site 44JC0305 is situated is one of the few areas in immediate vicinity of the historic Hog's Neck/Brickyard Landing on the Chickahominy River which was not disturbed by the early twentieth-century brickmaking activities. Further investigation of this site offers the potential to reveal significant information concerning the history and occupation of the property prior to the establishment of the brickyard in the early twentieth century. As a result, JRIA recommends that Site 44JC0305 should be considered potentially eligible for listing in the National Register under Criterion D.
Surveyor's Eligibility Recommendations:	Recommended Potentially Eligible
Surveyor's NR Criteria Recommendations, :	D
Surveyor's NR Criteria Considerations:	No Data

Event Type: Other

Project Staff/Notes:	No Data
Project Review File Number:	No Data
Sponsoring Organization:	No Data
Organization/Company:	Unknown (DSS)
Investigator:	McCartney, Martha
Survey Date:	5/1/1984
Survey Description:	No Data
Threats to Resource:	No Data
Site Conditions:	Site Condition Unknown
Survey Strategies:	Historic Map Projection
Specimens Collected:	No
Specimens Observed, Not Collected:	No
Artifacts Summary and Diagnostics:	No Data
Summary of Specimens Observed, Not Collected:	No Data
Current Curation Repository:	No Data
Permanent Curation Repository:	No Data
Field Notes:	No
Field Notes Repository:	No Data
Photographic Media:	No Data
Survey Reports:	No Data
Survey Report Information:	Donn and Donn, "Chickahominy River," 1873-4.
Survey Report Repository:	No Data
DHR Library Reference Number:	No Data
Significance Statement:	No Data
Surveyor's Eligibility Recommendations:	No Data
Surveyor's NR Criteria Recommendations, :	No Data
Surveyor's NR Criteria Considerations:	No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Warehouse
Other DHR ID: No Data
Temporary Designation: Site 1

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 10
Aspect: Facing South
Drainage: James
Slope: 2 - 6
Acreage: 0.150
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Commerce/Trade
Site Type: Warehouse
Cultural Affiliation: Euro-American
DHR Time Period: Colony to Nation, Contact Period
Start Year: No Data
End Year: No Data

Comments: This site yielded only a small quantity of historic artifacts, including a sherd of creamware, from an area which may have been at least partially disturbed by twentieth-century activity. However, it is located in the immediate vicinity of the historic Hog's Neck Landing in the Chickahominy River, and may be the only surviving archaeological evidence on the property of the public tobacco warehouse facilities located here from 1730 at least through the 1760s.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located in an actively used picnic area.

Threats to Resource: None Known
Site Conditions: No Surface Deposits but With Subsurface Integrity
Survey Strategies: Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:

Artifacts included a sherd of creamware and an unidentified lead object, along with obviously modern materials such as brick, tile, and plastic debris.

Summary of Specimens Observed, Not Collected:

No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data

Significance Statement: The site may be the only surviving evidence of the public tobacco warehouse facilities located here from 1730 at least through the 1760s. Any intact artifact deposits or subsurface features associated with the eighteenth-century use and occupation of the Hog's Neck Landing would be highly significant. As a result, JRIA recommends that the site should be

Surveyor's Eligibility Recommendations:	considered potentially eligible for listing in the National Register under Criterion D.
Surveyor's NR Criteria Recommendations, :	Recommended Potentially Eligible
Surveyor's NR Criteria Considerations:	D
	No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Kiln, brick
Other DHR ID: No Data
Temporary Designation: Site 2

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 10
Aspect: Flat
Drainage: James
Slope: 2 - 6
Acreage: 3.340
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Industry/Processing/Extraction
Site Type: Kiln, brick
Cultural Affiliation: Euro-American
DHR Time Period: Reconstruction and Growth, The New Dominion, World War I to World War II
Start Year: No Data
End Year: No Data

Comments: This site represents the projected location of the archaeological remains of the large brick-making facility operated by R.H. Richardson and Sons and the Clay Products Corporation between ca. 1908 and 1953. Phase I archaeological shovel testing within the site area indicated that the soils were heavily disturbed by the demolition of the various industrial facilities after the property was acquired by the Newport News Shipbuilding and Dry Dock Company in 1955. However, the available aerial photographs and a detailed 1955 plan of the property depict a series of circular "beehive" kilns along the Chickahominy riverfront, in addition to several other large buildings.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site area consisted of a maintained grassy field.

Threats to Resource: None Known
Site Conditions: Site deliberately buried
Survey Strategies: Historic Map Projection, Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: Yes

Artifacts Summary and Diagnostics:

A variety of primarily modern artifacts were recovered from shovel testing, including large quantities of brick and tile fragments, iron hardware, slag/clinker, and window glass.

Summary of Specimens Observed, Not Collected:

A large quantity of twentieth-century brick and tile fragments, and other modern debris, was noted but not collected.

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data
Significance Statement:

This site represents the projected location of the archaeological remains of the large brick-making facility operated by R.H. Richardson and Sons and the Clay Products Corporation between ca. 1908 and 1953. Phase I archaeological shovel testing within the site area

indicated that the soils were heavily disturbed by the demolition of the various industrial facilities after the property was acquired by the Newport News Shipbuilding and Dry Dock Company in 1955. However, the available aerial photographs and a detailed 1955 plan of the property depict a series of circular "beehive" kilns along the Chickahominy riverfront, in addition to several other large buildings. There is a strong possibility, given the substantial nature of these facilities, that subsurface foundations and other features associated with the brick plant survive intact beneath the overlying fill soils. Further investigation of these remains offers the potential to gain important information concerning this significant early twentieth-century industrial facility. As a result, JRIA recommends that the site is potentially eligible for listing in the National Register under Criterion D.

Surveyor's Eligibility Recommendations:

Recommended Potentially Eligible

Surveyor's NR Criteria Recommendations, :

D

Surveyor's NR Criteria Considerations:

No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Dwelling, single
Other DHR ID: No Data
Temporary Designation: Site 3

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 25
Aspect: Facing South
Drainage: James
Slope: 2 - 6
Acreage: 0.040
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Domestic
Site Type: Dwelling, single
Cultural Affiliation: Indeterminate
DHR Time Period: Antebellum Period, Civil War, Reconstruction and Growth
Start Year: No Data
End Year: No Data
Comments: This small concentration of historic artifacts evidently was associated with activity or occupation in late nineteenth-/early twentieth century; however, the former site area appears to have been largely destroyed by subsequent clay-mining.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located in a wooded and undeveloped portion of the Brickyard Landing property.

Threats to Resource: None Known
Site Conditions: Unknown Portion of Site Destroyed
Survey Strategies: Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:
 Artifacts included a sherd of whiteware (ca. 1820-present), a fragment of green window glass, and a machine-made brick fragment.

Summary of Specimens Observed, Not Collected:
 No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:
 Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data

Significance Statement:
 This small concentration of historic artifacts evidently was associated with activity or occupation in late nineteenth-/early twentieth century; however, the former site area appears to have been largely destroyed by subsequent clay-mining. Considering the apparent lack of integrity and archaeological research potential, JRIA recommends that the site is not eligible

Surveyor's Eligibility Recommendations:	for inclusion in the National Register.
Surveyor's NR Criteria Recommendations, :	Recommended Not Eligible
Surveyor's NR Criteria Considerations:	No Data
	No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Dwelling, single
Other DHR ID: No Data
Temporary Designation: Site 4

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 30
Aspect: Facing South
Drainage: James
Slope: 2 - 6
Acreage: 0.320
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Domestic
Site Type: Dwelling, single
Cultural Affiliation: Indeterminate
DHR Time Period: Antebellum Period, Civil War, Early National Period, Reconstruction and Growth
Start Year: No Data
End Year: No Data
Comments: This site yielded a moderate quantity of architectural and domestic artifacts which suggested that it represented an occupation dating from the nineteenth through early twentieth centuries. The site location generally corresponds with a dwelling depicted on the 1918 U.S.G.S. 15' Toano topographic quadrangle map.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located within a wooded and undeveloped portion of the Brickyard Landing property.

Threats to Resource: None Known
Site Conditions: Unknown Portion of Site Destroyed
Survey Strategies: Historic Map Projection, Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:

Architectural materials included a brick fragment, a light aqua window glass fragment, two cut nails (ca. post-1800), four wire nails (ca. post-1860), and two unidentifiable nails. Ceramics included three sherds of white ironstone/granite (ca. 1840-present), one sherd of decalcomania whiteware (ca. 1880-present), and two sherds of Albany slipped stoneware (ca. 1805-1900). Other domestic artifacts included colorless bottle glass, glass hollowware fragments (colorless and solarized), a fragment of colorless lamp chimney glass, and iron hardware.

Summary of Specimens Observed, Not Collected:

No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data
Significance Statement: The site location generally corresponds with a dwelling depicted on the 1918 U.S.G.S. 15'

Toano topographic quadrangle map. While an adjacent area of clay-mining may have caused some disturbance, soils are generally undisturbed within the immediate site area, and there is potential for the presence of significant artifact deposits and subsurface features. Further investigation of this site has the potential to reveal significant information concerning the smaller freehold farmsteads which occupied the Hog's Neck Landing property prior to its consolidation and industrial use in the early twentieth century. As a result, JRIA recommends that the site is potentially eligible for inclusion in the National Register under Criterion D.

Surveyor's Eligibility Recommendations:

Recommended Potentially Eligible

Surveyor's NR Criteria Recommendations, :

D

Surveyor's NR Criteria Considerations:

No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Dwelling, single
Other DHR ID: No Data
Temporary Designation: Site 5

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 25
Aspect: Facing Southwest
Drainage: James
Slope: 2 - 6
Acreage: 0.210
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Domestic
Site Type: Dwelling, single
Cultural Affiliation: Indeterminate
DHR Time Period: Antebellum Period, Civil War, Early National Period, Reconstruction and Growth
Start Year: No Data
End Year: No Data

Comments: Based on the results of the Phase I archaeological shovel testing, this site appears to represent the remains of a farmstead occupied during the nineteenth and early twentieth centuries, and likely was associated with one of the several families who owned small freehold farms at the Hog's Neck Landing property before the parcels were acquired and consolidated for the brick-making plant in the early twentieth century.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located within a wooded and undeveloped portion of the Brickyard Landing property.

Threats to Resource: None Known
Site Conditions: No Surface Deposits but With Subsurface Integrity
Survey Strategies: Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:

Architectural materials included a brick fragment, two cut nails (ca. post-1790), one unidentifiable nail, and two fragments of light green window glass. Domestic artifacts consisted of a sherd of whiteware (ca. 1820-present) and an unidentifiable iron hardware fragment.

Summary of Specimens Observed, Not Collected:

No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data

Significance Statement: Based on the results of the Phase I archaeological shovel testing, the site appears to represent the remains of a farmstead occupied during the nineteenth and early twentieth centuries, and likely was associated with one of the several families who owned small

freehold farms at the Hog's Neck Landing property before the parcels were acquired and consolidated for the brick-making plant in the early twentieth century. With undisturbed soil stratigraphy and the corresponding potential for subsurface cultural features, this site offers further research potential, and JRIA recommends that it should be considered potentially eligible for listing in the National Register under Criterion D

Surveyor's Eligibility Recommendations:

Recommended Potentially Eligible

Surveyor's NR Criteria Recommendations, :

D

Surveyor's NR Criteria Considerations:

No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Dwelling, single
Other DHR ID: No Data
Temporary Designation: Site 6

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 30
Aspect: Facing South
Drainage: James
Slope: 2 - 6
Acreage: 0.420
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Domestic
Site Type: Dwelling, single
Cultural Affiliation: Indeterminate
DHR Time Period: Antebellum Period, Civil War, Early National Period, Reconstruction and Growth
Start Year: No Data
End Year: No Data
Comments: Testing at this site yielded a moderate quantity of architectural and domestic artifacts indicative of an occupation dating from the nineteenth through early twentieth centuries. The site was not depicted on the 1918 U.S.G.S. 15' Toano topographic quadrangle map, suggesting that it was no longer occupied by that time.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located within a wooded and undeveloped portion of the Brickyard Landing property.

Threats to Resource: None Known
Site Conditions: No Surface Deposits but With Subsurface Integrity
Survey Strategies: Subsurface Testing
Specimens Collected: Yes
Specimens Observed, Not Collected: No

Artifacts Summary and Diagnostics:

Architectural materials recovered from shovel testing included machine-made brick fragments, unidentified nails, and a light green window glass fragment, while domestic items consisted of a whiteware (ca. 1820-present) teapot lid sherd, a fragment of olive green wine bottle glass, coal, and slag.

Summary of Specimens Observed, Not Collected:

No Data

Current Curation Repository: JRIA
Permanent Curation Repository: James City County
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data
Significance Statement: This site offers the potential to provide significant information about the smaller freehold farmsteads which comprised the Hog's Neck Landing lands before they were acquired and

consolidated as part of the industrial development of the property in the early twentieth century. As a result, JRIA recommends that the site is potentially eligible for inclusion in the National Register under Criterion D.

Surveyor's Eligibility Recommendations:

Recommended Potentially Eligible

Surveyor's NR Criteria Recommendations, :

D

Surveyor's NR Criteria Considerations:

No Data

Snapshot

Date Generated: November 13, 2020

Site Name: No Data
Site Classification: Terrestrial, open air
Year(s): No Data
Site Type(s): Artifact scatter
Other DHR ID: No Data
Temporary Designation: Site 7

Site Evaluation Status

Not Evaluated

Locational Information

USGS Quad: BRANDON
County/Independent City: James City (County)
Physiographic Province: Coastal Plain
Elevation: 20
Aspect: Facing West
Drainage: James
Slope: 2 - 6
Acreage: 0.190
Landform: Terrace
Ownership Status: Local Govt
Government Entity Name: No Data

Site Components

Component 1

Category: Indeterminate
Site Type: Artifact scatter
Cultural Affiliation: Indeterminate
DHR Time Period: The New Dominion
Start Year: No Data
End Year: No Data
Comments: This site consists of a relatively surface trash scatter.

Bibliographic Information

Bibliography:

No Data

Informant Data:

No Data

CRM Events

Event Type: Survey:Phase I

Project Staff/Notes:

Matthew R. Laird, Ph.D., RPA, served as Principal Investigator for the project. The archaeological fieldwork was conducted under the direction of JRIA Project Archaeologists Allison M. Conner, M.A., RPA, and Anthony W. Smith, M.A., with the assistance of Tommy Kester and Nicholas Seidel. The architectural analysis and documentation were completed by architectural historian Robert J. Taylor, Jr., M.A., of Dutton + Associates, LLC. The artifacts resulting from the archaeological testing were processed by Barry Phelps and cataloged by Curator Sherrie Beaver under the direction of Laboratory Manager Meghan West.

Project Review File Number: No Data
Sponsoring Organization: No Data
Organization/Company: James River Institute for Archaeology, Inc.
Investigator: Matthew Laird
Survey Date: 9/21/2020

Survey Description:

In September-October 2020, the James River Institute for Archaeology, Inc. (JRIA) completed a Phase I cultural resources survey of the 119-acre Brickyard Landing parcel (James City County Parcel ID #1920100018) at 1006 Brickyard Road in James City County, Virginia. The investigation was conducted on behalf of James City County, which purchased the property with the assistance of a Land and Water Conservation Fund Grant from the Virginia Department of Conservation and Recreation. This grant program is funded by the National Park Service, so the Phase I cultural resources survey was required under Section 106 of the National Historic Preservation Act of 1966 (as amended). As a result, the Phase I cultural resources survey included both archaeological testing and reconnaissance-level architectural survey of all historic buildings and structures greater than 50 years old.

The 119-acre Brickyard Landing parcel recently acquired by James City County is located in the western portion of the county, along the Chickahominy River. It surrounds the approximately 0.33-acre river landing and associated road right-of-way (Parcel ID #1920100018A) which was already held by the county. Approximately 53 acres of the newly-acquired parcel is located within a resource protection area (RPA) and thus will remain undisturbed. As a result, the Phase I archaeological survey focused on the remaining 66 acres. No comprehensive archaeological or architectural survey of the property had been conducted prior to the current JRIA investigation. One archaeological site (44JC0305) was recorded on the property by the DHR in 1984 based on a projection from a Civil War-era map. However, the location, extent, and integrity of this site had not been verified in the field.

The research design for the Phase I cultural resources survey was to identify all historic resources, including archaeological sites and historic buildings and structures, present within the defined testing area, and to obtain sufficient information to make recommendations concerning the potential eligibility of each resource for inclusion in the National Register of Historic Places (National Register).

Current Land Use	Date of Use	Comments
Park	9/21/2020 12:00:00 AM	At the time of the Phase I survey, the site was located within a wooded and undeveloped portion of the Brickyard Landing property.

Threats to Resource: None Known
Site Conditions: Surface Deposits
Survey Strategies: Observation, Subsurface Testing
Specimens Collected: No
Specimens Observed, Not Collected: Yes
Artifacts Summary and Diagnostics:

No Data

Summary of Specimens Observed, Not Collected:

There was a large quantity of modern surface refuse which was noted but not collected.

Current Curation Repository: No Data
Permanent Curation Repository: No Data
Field Notes: Yes
Field Notes Repository: JRIA
Photographic Media: Digital
Survey Reports: Yes

Survey Report Information:

Matthew R. Laird, et al., "Phase I Cultural Resources Survey of the Brickyard Landing Property, James City County, Virginia." James River Institute for Archaeology, Inc., Williamsburg, Virginia.

Survey Report Repository: DHR
DHR Library Reference Number: No Data

Significance Statement: This concentration of twentieth-century surface refuse does not represent any prolonged or significant historic occupation or activity, and offers no further archaeological research potential. As such, JRIA recommends that the site is not eligible for inclusion in the National Register.

Surveyor's Eligibility Recommendations:	Recommended Not Eligible
Surveyor's NR Criteria Recommendations, :	No Data
Surveyor's NR Criteria Considerations:	No Data

**APPENDIX C: ARCHITECTURAL RESOURCE
RECORD**

Property Information

Property Names

Name Explanation	Name
Current Name	Brickyard Landing
Function/Location	Park, 1006 Brickyard Road
Historic	Newport News Shipbuilding and Dry Dock Company Recreation and Picnic Area on the Chickahominy River

Property Evaluation Status

Not Evaluated

Property Addresses

Current - 1006 Brickyard Road

County/Independent City(s): James City (County)

Incorporated Town(s): *No Data*

Zip Code(s): 23089

Magisterial District(s): *No Data*

Tax Parcel(s): *No Data*

USGS Quad(s): BRANDON

Additional Property Information

Architecture Setting: Rural

Acreage: 10

Site Description:

October 2020: The Brickyard Landing property consists of a recreational property and associated buildings and structures located in the Lanexa vicinity of James City County, Virginia. Although situated on a larger property parcel, the park area consists of a roughly 10-acre area at the terminus of Brickyard Road bordering the Chickahominy River. Brickyard Road transitions into a driveway that extends directly to a concrete boat ramp into the river. A gravel parking area is situated to the side of the road near the ramp. Beyond the parking lot is the primary picnic and recreational area of the property with picnic shelters, bbq grills, and restroom facilities. Across the lane from the parking lot is an open field with a small beach along the river as well as a wooden wharf.

Surveyor Assessment:

October 2020: Overall, the Brickyard Landing property represents a typical outdoor park and recreation area from the mid-twentieth century. The property was developed as such in 1956 by the Newport News Shipbuilding and Dry Dock Company as a recreation and picnic area on the Chickahominy River for use by shipyard employees. Prior to that date, and from the early-twentieth century through World War II, the property was the site of a large brickmaking facility operated by Clay Products Corporation of Hampton. The open field bordering the extant wharf was the site of the manufacturing area with a variety of buildings, structures, and kilns; while the rest of the property was used for the extraction of clay for the bricks. As such, much of the landscape has been carved away, except for a ridge along the eastern edge that is believed to be the site of an earlier home. When the Shipyard acquired the property from the brick company in 1955, the brick production facilities were demolished and the raised ridge was utilized for picnic shelters and bbq grills. While a wharf for use by the brickyard for commerce and shipping may have been present, the current wharf is believed to have been built by the shipyard for recreational purposes. By 1956, Newport News Shipbuilding had improved the area with "running water, rest rooms, fireplaces, tables, benches, ice boxes, pots and pans, and athletic equipment." Soon after, the boat dock and ramp was constructed for trailer-hauled boats. The property also boasted a large parking lot, as well as spaces for softball, horseshoe pitching, volleyball, and other games. A telephone was installed in 1962.

At present, the property retains many of these early features, including the picnic shelters, grills, and restrooms; while others, including all the athletic equipment and fields have been cleared. As such, the property continues to retain a moderate degree of historical integrity, but lacks distinction as a common resource type and does not possess any substantial association to historically important themes or events that would qualify it for listing in the NRHP. Therefore, the Brickyard Landing Park is considered not eligible for listing in the NRHP either individually or as part of a historic district.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Local Govt	<i>No Data</i>

Primary Resource Information

Resource Category: Landscape

Resource Type: Park

NR Resource Type: Site

Historic District Status: *No Data*
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Other ID Number: *No Data*
Architectural Style: No discernible style
Form: *No Data*
Number of Stories: *No Data*
Condition: Good
Threats to Resource: None Known

Architectural Description:

October 2020: The property, in its current configuration, was created in 1955, following its acquisition by the Newport News Shipbuilding and Dry Dock Company. The complex includes a boat ramp and wharf in addition to several picnic shelters, outdoor bbq grills, and bathroom/shower facilities. At this time, two picnic shelters, two restroom facilities, three bbq grills, and a number of stand-alone picnic tables are scattered throughout the park. While the picnic tables appear to have been replaced at a more recent date, the other buildings and structures are believed to date from the development of the property in 1956.

Secondary Resource Information

Secondary Resource #1

Resource Category: Social/Recreational
Resource Type: Park/Camp Shelter
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: Contemporary
Form: *No Data*
Condition: Fair
Threats to Resource: Neglect

Architectural Description:

October 2020: Each of the two picnic shelters measures approximately 15-feet by 30-feet and is set on a poured concrete slab. They are bordered by a poured concrete knee wall with two openings along each side. The knee walls are topped by concrete coping on which are set metal posts that support the roof above. The roof is a low-pitch gable with exposed timber framing and covered by sheet metal. Three more recent picnic tables attached to the floor are set in a line down the middle of the picnic shelter interior.

This picnic shelter is set near a bluff overlooking the river, at the edge of a treeline.

Number of Stories: 1

Secondary Resource #2

Resource Category: Social/Recreational
Resource Type: Park/Camp Shelter
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: Contemporary
Form: *No Data*
Condition: Fair
Threats to Resource: Neglect

Architectural Description:

October 2020: Each of the two picnic shelters measures approximately 15-feet by 30-feet and is set on a poured concrete slab. They are bordered by a poured concrete knee wall with two openings along each side. The knee walls are topped by concrete coping on which are set metal posts that support the roof above. The roof is a low-pitch gable with exposed timber framing and covered by sheet metal. Three more recent picnic

tables attached to the floor are set in a line down the middle of the picnic shelter interior.

This picnic shelter is set near the rear of the picnic area, along the edge of a raised knoll.

Number of Stories: 1

Secondary Resource #3

Resource Category: Social/Recreational
Resource Type: Barbecue Pit
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: No discernible style
Form: *No Data*
Condition: Good
Threats to Resource: Neglect

Architectural Description:

October 2020: Set in proximity to each picnic shelter are stand-alone bbq grills. Each grill is built of brick laid in a stretcher bond that encloses a fire box at ground level and has a chimney extending up from the rear. A steel flat top cook surface extends over the fire box and is flanked by stainless steel caps on the outer brick walls to each side. The front of the fire box is enclosed by a metal panel with two doors for feeding the fire within.

Secondary Resource #4

Resource Category: Social/Recreational
Resource Type: Restroom Facility
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: No discernible style
Form: *No Data*
Condition: Fair
Threats to Resource: Neglect

Architectural Description:

October 2020: Set along the eastern edge of the park area, between the two extant picnic shelters, are two restroom facilities set side-by-side. Each contains separate men's and women's restrooms. The northern of the two buildings also contains an enclosed storage room to the rear. The building is masonry clad with stucco. It is topped by a low-pitched, rear-sloping shed roof covered with sheet metal. The roof extends over the front to shelter a small porch area. This area is enclosed along the front with panels of lattice and open to the sides. Set under this covered area are side-by-side doorways into the two restrooms. The interior is unfinished with exposed concrete floors, stucco walls, and roof framing on the ceiling. The two stalls in each are enclosed by plywood panels and all fixtures appear to be later replacements. The rear storage room is accessed by an exterior doorway on the side. It is similarly unfinished and contains a wall-mounted payphone and the pressure tank for plumbing, as well as open storage space.

Number of Stories: 1

Secondary Resource #5

Resource Category: Social/Recreational
Resource Type: Restroom Facility
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: No discernible style
Form: *No Data*
Condition: Fair
Threats to Resource: Neglect

Architectural Description:

October 2020: Set along the eastern edge of the park area, between the two extant picnic shelters, are two restroom facilities set side-by-side.

Each contains separate men's and women's restrooms. The southern of the two buildings is slightly smaller than the northern building and does not contain a rear storage roof. The building is masonry clad with stucco. It is topped by a low-pitched, rear-sloping shed roof covered with sheet metal. The roof extends over the front to shelter a small porch area. This area is enclosed along the front with panels of lattice and open to the sides. Set under this covered area are side-by-side doorways into the two restrooms. The interior is unfinished with exposed concrete floors, stucco walls, and roof framing on the ceiling. The two stalls in each are enclosed by plywood panels and all fixtures appear to be later replacements.

Number of Stories: 1

Secondary Resource #6

Resource Category: Transportation
Resource Type: Wharf/Pier
Date of Construction: 1956
Date Source: Written Data
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Recreation/Arts
Architectural Style: No discernible style
Form: *No Data*
Condition: Deteriorated
Threats to Resource: Neglect

Architectural Description:

October 2020: Across the parking lot from the main picnic area along the waterfront bordering an open field is a wooden wharf. This structure appears to have been built sometime soon after the development of the park in 1956. The large structure is approximately 15-feet wide and extends 80 feet along the shoreline. It is built with round timber pilings and a wood board deck. There are the remains of tie-down points along the front edge.

Historic District Information

Historic District Name: *No Data*
Local Historic District Name: *No Data*
Historic District Significance: *No Data*

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: *No Data*
Investigator: Robert Taylor
Organization/Company: Dutton + Associates, LLC
Photographic Media: Digital
Survey Date: 10/5/2020
Dhr Library Report Number: *No Data*

Project Staff/Notes:

Survey and documentation prepared by D+A Architectural History staff.

Project Bibliographic Information:

JRIA. Phase I Survey of the Brickyard Landing Project Area. October 2020.
"Busy Summer at Chickahominy," Shipyard Bulletin, Vol. 21 (1961), pp. 4-5, 18.
"Picnic Area Ready for New Season," Shipyard Bulletin, Vol. 22 (1962), p. 9.

Bibliographic Information

Bibliography:

"Busy Summer at Chickahominy," Shipyard Bulletin, Vol. 21 (1961), pp. 4-5, 18.
"Picnic Area Ready for New Season," Shipyard Bulletin, Vol. 22 (1962), p. 9.

Property Notes:

No Data



Brickyard Landing Park Master Plan

In an effort to address strategy PR 1.3 in the James City County Comprehensive Plan, “Update and develop master plans for County-owned parks to coordinate construction phasing and validate capital improvement requests,” as well as PR 4.2 “Develop recreational components of...Brickyard Landing in accordance with approved Master Plans,” the Parks & Recreation department has set out to develop a master plan to guide the long term development of Brickyard Landing Park. Parks & Recreation staff have developed an initial draft plan to share with the Parks & Recreation Advisory Commission.

Unlike site plans that are exact engineered drawings to show building footprints, utilities, drainage and other layouts prior to construction, master plans are crafted to serve as long-term planning documents. These maps provide a conceptual layout to guide the future growth of each park and are adaptable to changes. While consideration was given to incorporate building codes, environmental and zoning requirements, it should be noted that the elements in the maps are not drawn to scale nor located in their exact future position.



Existing view of entrance to Brickyard Landing Park

Park History & Background

Brickyard Landing has a unique history. The area was formerly known as Hog Neck, and from 1646 – 1760s it was used as a tobacco inspection site, warehouses, wharfs and for shipping. In the late 1800s the property was used to make and store cordwood and railroad ties shipping products via the Chickahominy and James rivers. From the early 1900s, the land’s clay rich soil was used by several brick making companies until 1953. From 1955 until 1997, Newport News Shipbuilding owned the property and used it as an employee recreation area with restrooms, fireplaces, athletic equipment and picnic shelters. During the period Newport News Shipbuilding owned the property it was named the Shipyard Recreation and Picnic Area on the Chickahominy River, but became commonly referred to as Brickyard Landing due to the properties’ most recent history. James City County has owned and operated the boat ramp onsite for several decades, and in 2020 purchased the entire 119-acre property for use as a public park through a Land and Water Conservation Fund grant.

Existing and Proposed Amenities

Some recreational amenities from the shipyard years were still present on the property. Existing picnic shelters have been restored, and the existing pier was repaired and expanded to serve as a tending pier for the boat ramp. Restroom facilities on site were no longer structurally sound and are in the process of being removed. The existing boat ramp is the focal point of the park, but lacks suitable parking for boat trailers. Additional parking will also be needed to support other included amenities.

Using this as a starting point, staff developed an initial draft master plan utilizing citizen feedback and data from the 2017 Parks & Recreation Master Plan and the 2018 Virginia Outdoors Plan as a guide to potential future amenities. The Parks & Recreation Master Plan classifies Brickyard Landing Park as a special use park, primarily serving residents at the upper end of the County, specifically boaters using the boat ramp. The Parks & Recreation Master Plan identified a lack of several park amenities in this region, notably hard and soft surface trails. The Virginia Outdoors Plan additionally identified trails and access to water as high priority for citizens in this region.

Community Input

Over 250 citizens and visitors participated in the Brickyard Landing Park master plan update process - based on the feedback received, the map was updated to include an additional fixed pier area designated for fishing (L), an accessible paddlecraft launch for canoes and kayaks (M), and an area for primitive camping for youth organizations (N).

Parks & Recreation Advisory Commission

On July 19, 2023, the plan was presented to the Parks & Recreation Advisory Commission. The Commission requested that an area be shown for a future parking expansion should it be needed, and approved the plan contingent upon that addition. The area shown for potential future parking expansion is shown on the map as "O".

A. Tending Pier

- Existing tending pier along boat ramp, turning 90 degrees and running parallel to shoreline. Pier is used for tying off boats that are using the ramp, fishing and wildlife viewing.

B. Boat Ramp

- Existing concrete boat ramp used for launching trailered boats in the Chickahominy River.

C. Picnic Shelters

- Two repaired and existing picnic shelters with picnic tables can accommodate 20-25 users each.

D. Utility Shed

- Utility shed to be constructed over a portion of an old bathhouse site. The shed will be used to protect electrical panels, and well pump that were located in the back room of the bathhouse.

E. Boat trailer parking

- Approx. 25-30 parking spaces for boat trailers using the boat ramp.

F. Car parking lot

- Approx. 25-30 parking spaces for cars, with two ADA Accessible parking spaces.

G. Restroom Facility

- Restroom facilities to support recreation amenities.

H. Multiuse Trail

- 0.25 Mile ADA accessible asphalt multiuse trail with connections to park amenities. Opportunities for interpretation of park site history and environmental education.

I. Playground

- Standard park playground with mulch surfacing, separate playground features for different age groups.

J. Meadow

- Natural area/meadow featuring native/pollinator plants and riparian plantings

K. Hiking/Mountain Biking Trails

- Approximately 2-4 miles of hiking and/or mountain biking trails, opportunities for interpretation of park site history and environmental education

L. Fishing pier/Area

- Extension of fixed pier along the shoreline, to include an area specifically designated for fishing

M. Paddlecraft Launch

- Floating paddlecraft launch for canoes and kayaks with accessible gangway from fixed pier

N. Primitive Camping for Youth Organizations

- Area designated for primitive “leave no trace” camping for youth organizations

O. Potential Parking Expansion

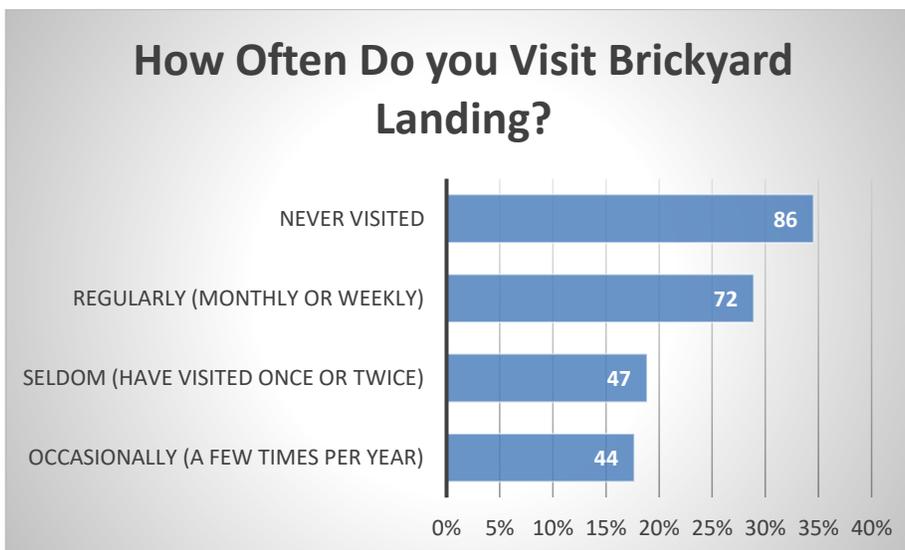
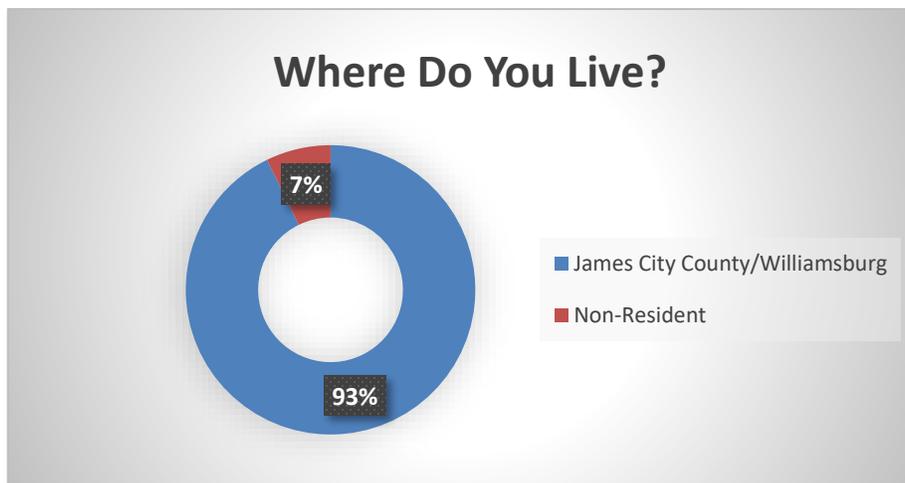
- Area designated for a potential future expansion for boat trailer parking

Community Input Period Results

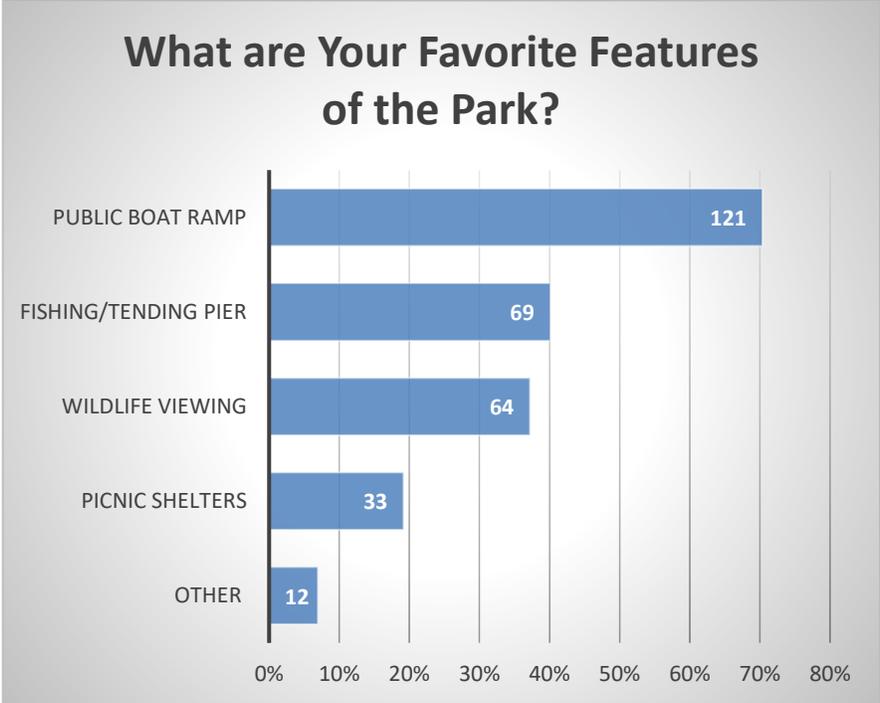
From June 5 to June 30, 2023, a community input period was held to solicit feedback on the draft master plan.

Feedback was received through online surveys, in-person survey stations at the James City County Library and the James City County Recreation Center, and attendance at a community meeting held on June 28 at the James City County Library. Additionally calls, letters and emails were received by the Department throughout the period. Over 250 citizens and visitors participated in the Brickyard Landing Park master plan update process, with 249 online and paper surveys submitted and 16 in attendance for the community meeting.

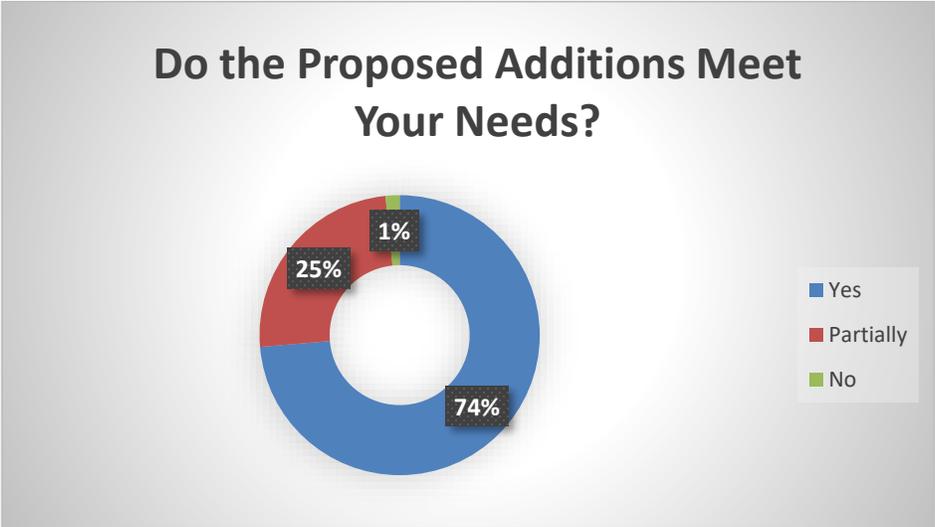
Of the survey respondents, the vast majority were residents of James City County or Williamsburg. While many who responded had either never visited the park before or infrequently, 72 participants were regular users of the park visiting on a weekly or monthly basis:



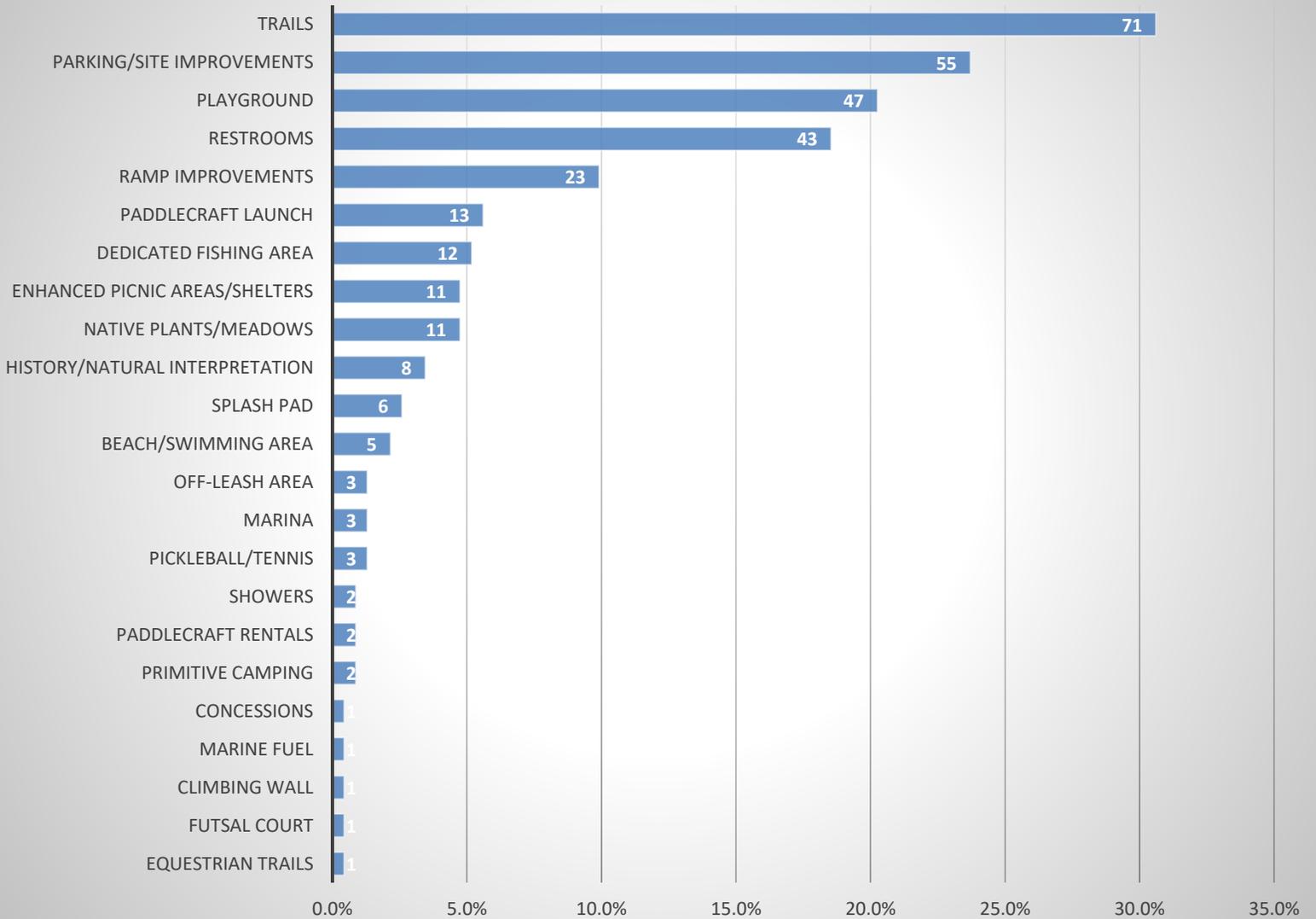
The public boat ramp was the overwhelmingly favorite feature of the park for respondents, and the fishing/tending pier and wildlife viewing were closely grouped together in second and third place, respectively. Some other features mentioned included the scenery and river view, stargazing and wading in the river.



Hiking and mountain biking trails, parking and ramp improvements, a playground and restrooms were the top needs identified in the survey, and many of the needs identified were operational improvements that can be made outside of the Master Plan process. Notable amenities requested that were not shown on the draft plan included a paddlecraft launch, a dedicated fishing pier or area, and enhanced picnic facilities. 46 participants felt that the proposed plan only partially met their needs, with most citing parking and site improvements and the lack of a paddlecraft launch as the only reason they didn't fully endorse the plan.



What Changes Would You Like to See?



RESOLUTION

VIRGINIA CODE 15.2-2232 ACTION ON CASE NO. Z-23-0006/SUP-23-0025. 990 & 1006
BRICKYARD ROAD REZONING AND SPECIAL USE PERMIT

WHEREAS, in accordance with Section 15.2-2232 of the Code of Virginia, a public utility facility, whether publicly or privately owned, shall not be constructed, established or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the Planning Commission as being substantially in accord with the adopted Comprehensive Plan or part thereof; and

WHEREAS, James City County (the "Owner"), owns properties located at 990 and 1006 Brickyard Road and further identified as James City County Real Estate Tax Map Parcel Nos. 1920100018 and 1920100018A (the "Properties"), which is zoned General Agricultural, A-1 and Public Lands, PL; and

WHEREAS, Mr. Alister Perkinson on behalf of the Owner, has applied for a Rezoning and Special Use Permit to rezone 1006 Brickyard Road to Public Lands, PL, with a Special Use Permit to allow for a community recreational, as shown on a plan titled "Brickyard Landing Park Master Plan" and dated July, 2023; and

WHEREAS, in accordance with 15.2-2204 of the Code of Virginia and Section 24-9 of the James City County Zoning Ordinance, a public hearing was advertised, adjacent property owners notified, and a hearing scheduled for Case No. Z-23-0006/SUP-23-0025.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of James City County, Virginia, finds that the general or approximate location, character and extent of the public facility shown in Case No. Z-23-0006/SUP-23-0025 are substantially in accord with the adopted Comprehensive Plan and applicable parts thereof.

ATTEST:

Frank Polster
Chair, Planning Commission

Susan Istenes, Secretary

Adopted by the Planning Commission of James City County, Virginia, this 6th day of
December 2023.

PLANNING DIRECTOR'S REPORT

December 2023

This report summarizes the status of selected Department of Community Development activities during the past month.

➤ **Planning**

- **Monthly Case Report:** For a list of all cases received in the last month, please see the attached document.

- **Board Action Results:**
 - SUP-22-0017, Z-22-0002, & MP-22-0002. 4399 John Tyler Highway Five Forks Self Storage Facility (Approved 5-0)
 - SUP-22-0027. 3426 North Riverside Drive Family Subdivision (Deferred to December 12, 2023)

- Planning welcomes Amanda Frazier as Community Development Assistant at the Planning Front Desk. Amanda is originally from Rappahannock County where she spent three fulfilling years as a 911 dispatcher. Amanda is a student with Oregon State University and her academic focus centers on Environmental Public Policy, reflecting her commitment to community service. Outside of the office and academic pursuits, she enjoys travelling, training her horses, and hiking with her Basset Hound.

➤ **Neighborhood Development**

In May 2023, the Board of Supervisors authorized the purchase of 12 acres off of Old Mooretown Road. This property is to be a site for Workforce Housing, continuing the support of recommendations from the Workforce Housing Task Force. Beginning November 2, Neighborhood Development Staff initiated a series of meetings with the residents living on Clark Lane, Curry Drive and Old Mooretown Road. A total of six meetings are scheduled to include three outreach meetings (November 2, 16, and 30) and a three-day Design Charrette (December 7-9) lead by Timmons Group. Attendance was robust at the first two meetings, with 17 residents participating in the first meeting and 12 at the second. Consulting services from Performance Consultant Group and Sharing Info LLC have been utilized. The purpose of the meetings is to inform the residents of the desire to develop workforce housing on the property and to gather their concerns and input on how to achieve that goal. Hopefully the process will culminate with a rezoning of the area from R-2 to R-3. This will allow Habitat for the Peninsula and Greater Williamsburg to build four duplex units as the first step to a broader Workforce Housing development.

New Cases for December 2023

Plan Type	Plan Number	Case Title	Address	Plan District	Plan Description	Plan Assigned To
Conceptual Plan	C-23-0061	104 Plantation Road Short Term Rental	104 PLANTATION RD Williamsburg, VA 23185	Roberts	104 Plantation Road Short Term Rental.	Tess Lynch
	C-23-0062	209 Tarleton Bivouac Subdivision	209 TARLETON BIVOUAC Williamsburg, VA 23185	Roberts	209 Tarleton Bivouac Subdivision.	Suzanne Yeats
	C-23-0063	Commercial addition to New Town Section 6, Block 18 Townhomes	4385 NEW TOWN AVE Williamsburg, VA 23188	Jamestown	Commercial addition to New Town Section 6, Block 18 Townhomes.	Suzanne Yeats
	C-23-0064	7877 Richmond Road Used Car Dealership	7877 RICHMOND RD Toano, VA 23168	Stonehouse	7877 Richmond Road Used Car Dealership.	Paxton Condon
	C-23-0065	135 Country Club Drive Two-Family Unit	135 COUNTRY CLUB DR Williamsburg, VA 23188	Jamestown	135 Country Club Drive Two-Family Unit.	Terry Costello
	C-23-0066	1671 Green Mount Parkway- Compost Facility	1671 GREEN MOUNT PKWY Williamsburg, VA 23185	Roberts	1671 Green Mount Parkway- Compost Facility.	Ben Loppacker
	C-23-0067	6493 Richmond Road- Motel to Apartment Conversion	6493 RICHMOND RD Williamsburg, VA 23188	Stonehouse	6493 Richmond Road- Motel to Apartment Conversion.	Suzanne Yeats
Height Waiver	HW-23-0001	The Morgan at Ford's Village	3889 NEWS RD Williamsburg, VA 23188	Jamestown	Allowing four chimneys up to 68'-0" in height above grade.	Josh Crump
Master Plan	MP-23-0002	Lovett 64 Commerce Center Water and Sanitary Sewer Master Plan	275 OLD STAGE RD Toano, VA 23168	Powhatan	Lovett 64 Commerce Center Water and Sanitary Sewer Master Plan.	Thomas Wysong
Subdivision Plat	S-23-0044	3150 Jolly Pond Road Subdivision Shared driveway easement extinguishment	3158 JOLLY POND RD Williamsburg, VA 23188	Powhatan	3150 Jolly Pond Road Subdivision Shared driveway easement extinguishment.	Thomas Wysong
	S-23-0045	New Town Section 8, Parcel D, Phase 2B, Lots 41-60	5305 SALZMAN ST Williamsburg, VA 23188	Jamestown	New Town Section 8, Parcel D, Phase 2B, Lots 41-60.	Ben Loppacker
	S-23-0046	Lombardy Farms Subdivision Lots 1-4	2724 FORGE RD Toano, VA 23168	Powhatan	Lombardy Farms Subdivision Lots 1-4.	John Risinger
	S-23-0047	Lombardy Farms Subdivision Lots 5-8	2724 FORGE RD Toano, VA 23168	Powhatan	Lombardy Farms Subdivision Lots 5-8.	John Risinger
	S-23-0048	99 Marclay Road and 5700 Williamsburg Landing Drive Boundary Line Extinguishment	99 MARCLAY RD Williamsburg, VA 23185	Roberts	99 Marclay Road and 5700 Williamsburg Landing Drive Boundary Line Extinguishment.	Tess Lynch
	S-23-0049	2528 Campbell Close Boundary Line Adjustment	2528 CAMPBELL CLOSE Williamsburg, VA 23185	Roberts	2528 Campbell Close Boundary Line Adjustment.	Josh Crump
	S-23-0050	5378 Riverview Rd 3 Lot Family Subdivision.	5378 RIVERVIEW RD Williamsburg, VA 23188	Stonehouse	5378 Riverview Rd 3 Lot Family Subdivision.	Roberta Sulouff

Plan Type	Plan Number	Case Title	Address	Plan District	Plan Description	Plan Assigned To
Site Plan	SP-23-0091	Ford's Colony- Marsh Hawk Villas	185 FORDS COLONY DR Williamsburg, VA 23188	Powhatan	Ford's Colony- Marsh Hawk Villas (25 townhouse units).	Tess Lynch
	SP-23-0092	Kingsmill Resort Fitness Center Patio Addition Site Plan Amendment	1020 KINGSMILL RD Williamsburg, VA 23185	Roberts	Kingsmill Resort Fitness Center Patio Addition Site Plan Amendment.	John Risinger
	SP-23-0094	Williamsburg Community Chapel covered patio addition Site Plan Amendment	3899 JOHN TYLER HWY Williamsburg, VA 23185	Berkeley	Williamsburg Community Chapel covered patio addition Site Plan Amendment.	Suzanne Yeats
	SP-23-0095	Lighting Plan Amendment	100 MARCLAY Williamsburg, VA 23185	Roberts	Lighting Plan Amendment to SP-21-0093.	Terry Costello
	SP-23-0096	VOID	900 ADAMS RD Williamsburg, VA 23185	Roberts	Void - Site plan not needed for residential lot.	Not Assigned
	SP-23-0097	3468 Chickahominy Rd- Farinholt House Short Term Rental Site Plan	3468 CHICKAHOMINY RD Toano, VA 23168	Stonehouse	3468 Chickahominy Rd- Farinholt House Short Term Rental Site Plan.	Terry Costello
	SP-23-0098	Blaine Landing Gas and Generator	1000 COWPEN CT Williamsburg, VA 23188	Stonehouse	Adding gas and generator .	Josh Crump
Special Use Permit	SUP-23-0026	206 The Maine Detached Accessory Apartment	206 THE MAINE Williamsburg, VA 23185	Berkeley	206 The Maine Detached Accessory Apartment.	Tess Lynch
	SUP-23-0029	Colonial Woods Rezoning and Residential Cluster Development	1821 JAMESTOWN RD Williamsburg, VA 23185	Berkeley	Colonial Woods Rezoning and Residential Cluster Development	John Risinger
	SUP-23-0030	St. Olaf Catholic Church Campus Expansion	100 NORGE LN Williamsburg, VA 23188	Stonehouse	St. Olaf Catholic Church Campus Expansion.	Tess Lynch
Rezoning	Z-23-0007	Colonial Woods Rezoning and Residential Cluster Development	1821 JAMESTOWN RD Williamsburg, VA 23185	Berkeley	Colonial Woods Rezoning and Residential Cluster Development.	John Risinger