



## **CERTIFICATE OF AUTHENTICITY**

**THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMW ATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.**

**BMP NUMBER: 88015**

**DATE VERIFIED: December 7, 2021**

**QUALITY ASSURANCE TECHNICIAN: Charles E. Lovett II**

*Charles E. Lovett II*

**LOCATION: WILLIAMSBURG, VIRGINIA**

**NOTES: CERTIFY & UPLOAD**

# 1. Maintenance Agreement

Parcel ID Nos.: (46-4)(01-26) & (46-4)(01-27)

COUNTY OF JAMES CITY, VIRGINIA  
DECLARATION OF COVENANTS  
INSPECTION/MAINTENANCE OF DRAINAGE SYSTEM

THIS DECLARATION, made as of September 24, 2008, between HAMPTON ROADS DEVELOPMENT, L.L.C., a Virginia limited liability company, and all successors in interest ("COVENANTOR"), and the COUNTY OF JAMES CITY, VIRGINIA ("COUNTY").

WHEREAS, COVENANTOR is the owner of certain property known as **The Pointe at Jamestown, Section 2-B**, more particularly described as follows (the "Property"):

Parcels Numbered 4640100027 and 4640100026, Parcel C Mainland Farm & Remaining Acreage Mainland Farm, The Pointe at Jamestown, Section 2-B, Instrument Numbers 010019015 and 020004578.

NOW, THEREFORE, WITNESSETH: COVENANTOR does hereby represent, covenant and agree with the COUNTY as follows:

1. COVENANTOR has the full authority to execute deeds, mortgages and other covenants, and is the sole owner of all right, title and interest in and to the Property.
2. COVENANTOR shall maintain the drainage system including any runoff control facilities, conveyance systems and associated easements, hereinafter referred to as the "SYSTEM," located on and serving the Property to ensure that the SYSTEM is and remains in proper working condition in accordance with approved design standards, and with the law and applicable executive regulations. The SYSTEM shall not include any elements located within any Virginia Department of Transportation rights-of-way.

Prepared by: Kaufman & Canoles, P.C., 2236 Cunningham Drive, Hampton, Virginia

*Instrument # 080024871*  
*Recorded on Oct. 8, 2008*

3. If necessary, COVENANTOR shall levy regular or special assessments against all present or subsequent owners of all or any portion of the Property served by the SYSTEM to ensure that the SYSTEM is properly maintained.

4. COVENANTOR shall provide and maintain perpetual access from public right-of-ways to the SYSTEM for the COUNTY, its agents and its contractors.

5. COVENANTOR hereby grants the COUNTY, its agents and its contractors a right of entry to the SYSTEM for the purpose of inspecting, operating, installing, constructing, reconstructing, maintaining or repairing the SYSTEM.

6. After reasonable notice from the COUNTY, if COVENANTOR fails to maintain the SYSTEM in accordance with the approved design standards and with the law and applicable executive regulations, the COUNTY may perform all necessary repair or maintenance work, and the COUNTY may assess the COVENANTOR and/or the Property served by the SYSTEM for the cost of the work and any applicable penalties.

7. COVENANTOR hereby indemnifies and saves the COUNTY harmless from any and all claims for damages to persons or property arising from the installation, construction, maintenance, repair, operation or use of the SYSTEM.

8. COVENANTOR shall promptly notify the COUNTY when the COVENANTOR legally transfers any of the COVENANTOR'S responsibilities for the SYSTEM. The COVENANTOR shall supply the COUNTY with a copy of any document of transfer.

9. The covenants contained herein shall run with the land and shall bind the COVENANTOR and COVENANTOR'S heirs, executors, administrators, successors and assignees, and automatically shall bind all present and subsequent owners of the Property served by the SYSTEM.

10. This Declaration shall be recorded in the County Land Records.

**REMAINDER OF PAGE INTENTIONALLY LEFT BLANK**



IN WITNESS WHEREOF, the COVENANTOR has executed this Declaration as of the date first above written.

COVENANTOR: HAMPTON ROADS DEVELOPMENT, L.L.C.,  
a Virginia limited liability company

By: Virginia Enterprises, Inc.  
a Virginia corporation, its Manager

By:   
George E. Fiscella, President


COMMONWEALTH OF VIRGINIA  
AT LARGE, to-wit:

The foregoing instrument was acknowledged before me in Newport News, Virginia, this 24<sup>th</sup> day of September, 2008, by George E. Fiscella, President of Virginia Enterprises, Inc., a Virginia corporation, the Manager of Hampton Roads Development, L.L.C., a Virginia limited liability company, for and on behalf of the corporation and company, respectively. The said George E. Fiscella ☒ is personally known to me or ☐ has produced satisfactory evidence of identity.

My commission expires: March 31, 2011

 #207651  
Notary Public (Affix Seal & Registration Number)

Approved as to form:

  
County Attorney



## 2. Deeds/Easements/ Agreements/Property Records

# 3. Construction Certificate

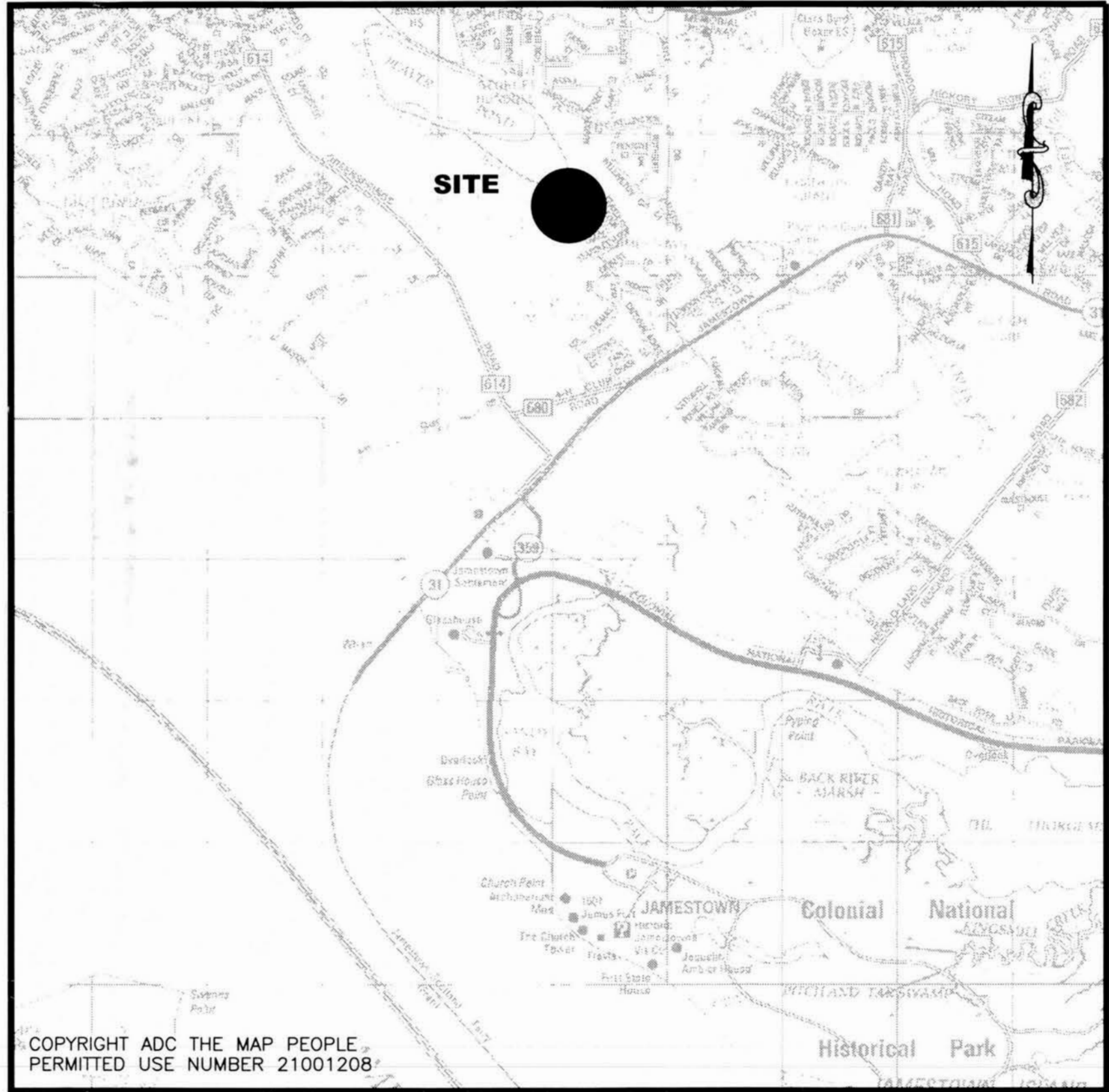
## 4. Record Drawings (As Builts)

# DRAINAGE AS-BUILTS

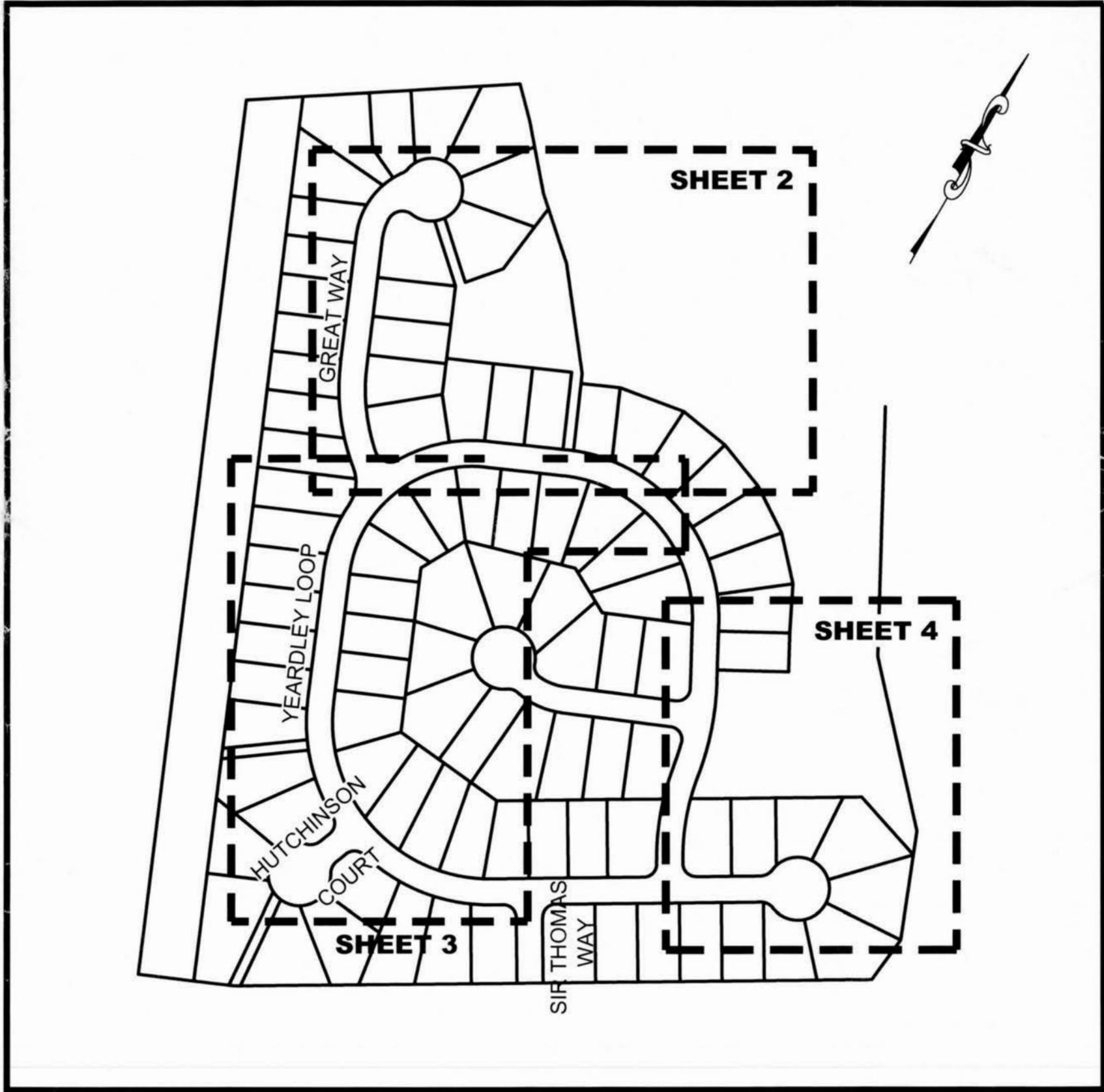
FOR

## THE POINTE AT JAMESTOWN

PHASE 2B



**VICINITY MAP**  
SCALE: 1"=2000'



**PROJECT MAP**  
SCALE: N.T.S.

**SITE INFORMATION:**

TAX MAP # 46-1  
ZONING DISTRICT: R2

**GENERAL NOTES:**

- 1) A TITLE REPORT HAS NOT BEEN FURNISHED TO THIS FIRM.
- 2) THIS FIRM MADE NO ATTEMPT TO VERIFY UNDERGROUND UTILITIES EXCEPT THOSE SHOWN.
- 3) ELEVATIONS SHOWN ARE RELATIVE TO THE APPROVED SITE PLAN.
- 4) PROPERTY LINES ARE SHOWN PER APPROVED SITE PLAN.

**RECORD DRAWING CERTIFICATION:**

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS RECORD DRAWING REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER MANAGEMENT / BMP FACILITY. THE FACILITY APPEARS TO CONFORM WITH THE PROVISIONS OF THE APPROVED DESIGN PLAN, SPECIFICATIONS AND STORMWATER MANAGEMENT PLAN, EXCEPT AS SPECIFICALLY NOTED.

*William S. Felts*  
WILLIAM S. FELTS, LIC. NO. 3149  
01-13-2016  
DATE

STORM SYSTEM  
**RECORD DRAWING**  
JCC-SP-93-05

**DRAINAGE AS-BUILTS**  
FOR  
**THE POINTE AT JAMESTOWN**  
PHASE 2B  
JAMES CITY COUNTY  
VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
4	01-13-2016	PER COUNTY COMMENTS DATED 01-11-2016.
3	11-13-2012	PER COUNTY COMMENTS DATED 03-24-2012.
2	03-14-2012	ADDED FINAL PAVEMENT GRADES
1	01-18-2012	COMPLETION OF ASBUILT TO DATE



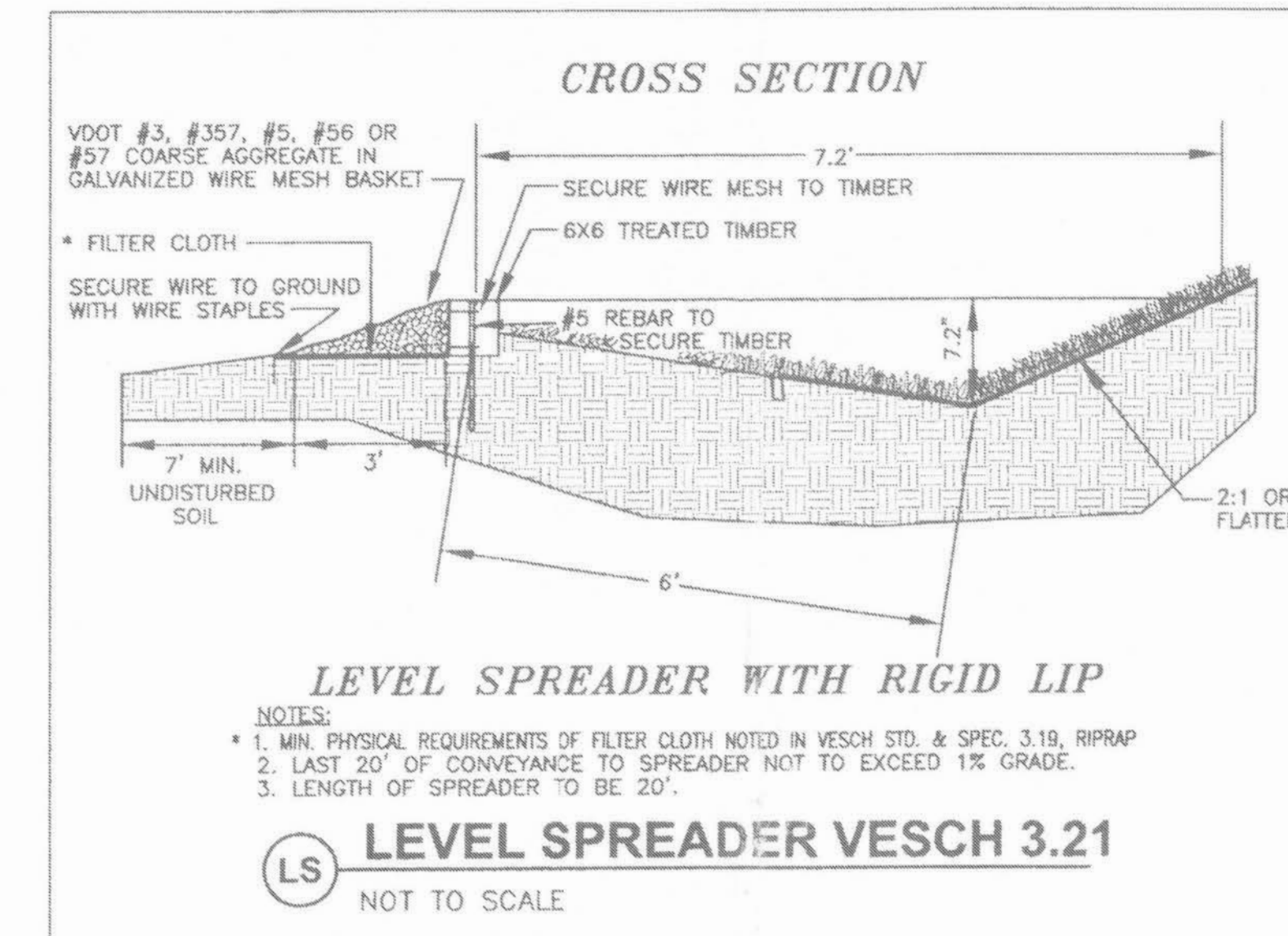
**LandTech Resources, Inc.**  
Surveying • GPS • Engineering  
205 Bullfants Blvd., Ste. E, Williamsburg, VA 23188  
Phone: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com

SCALE: AS NOTED  
DATE: 11-07-2011  
JOB: 10-230  
DRAWN BY: WSF  
SHEET 1 OF 6

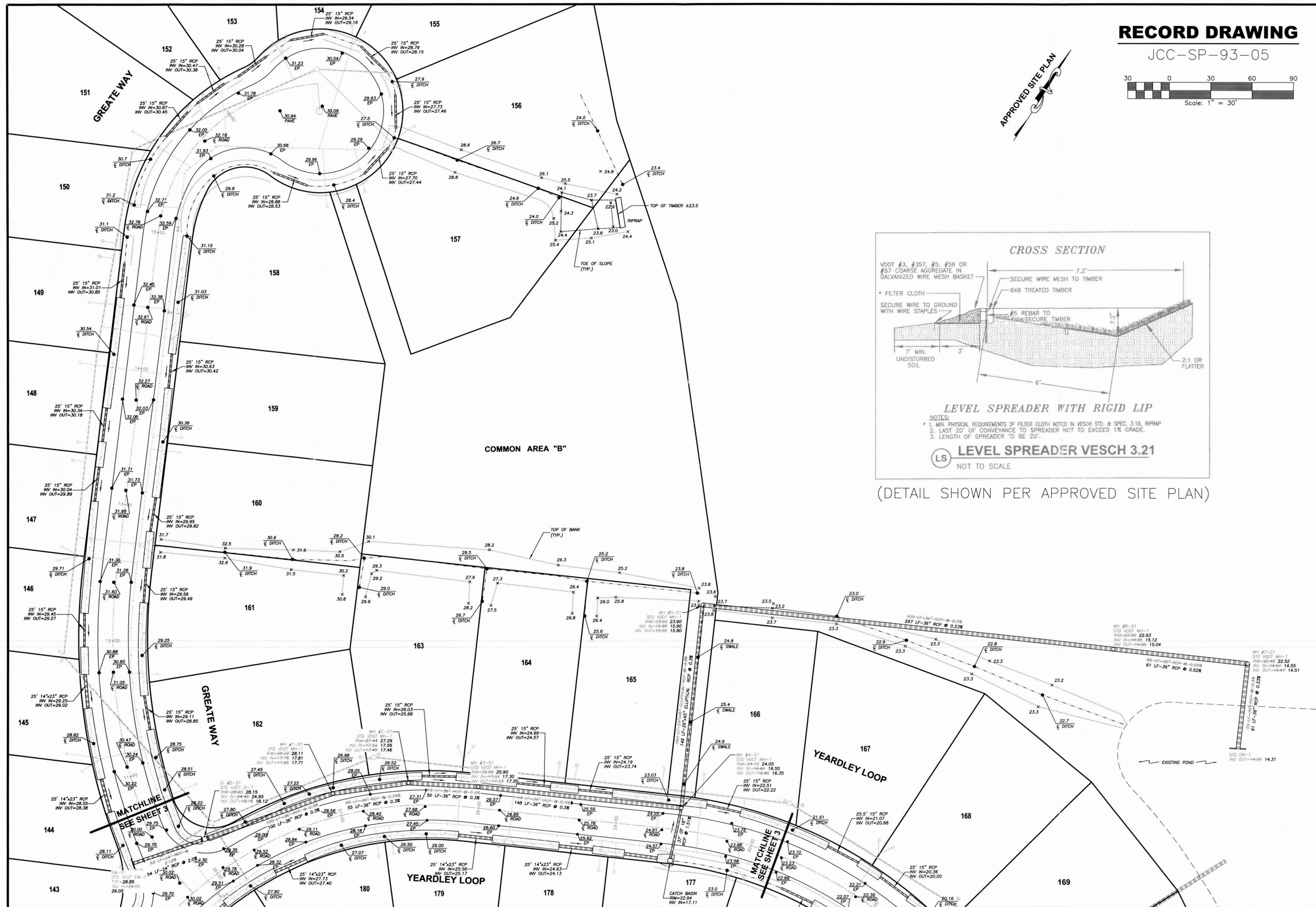


30 0 30 60 90

Scale: 1" = 30'



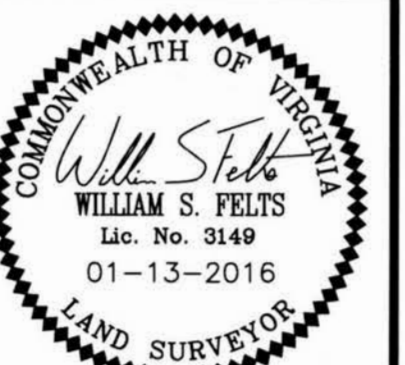
(DETAIL SHOWN PER APPROVED SITE PLAN)



**DRAINAGE AS-BUILTS**  
FOR  
**THE POINTE AT JAMESTOWN**  
PHASE 2B

JAMES CITY COUNTY VIRGINIA

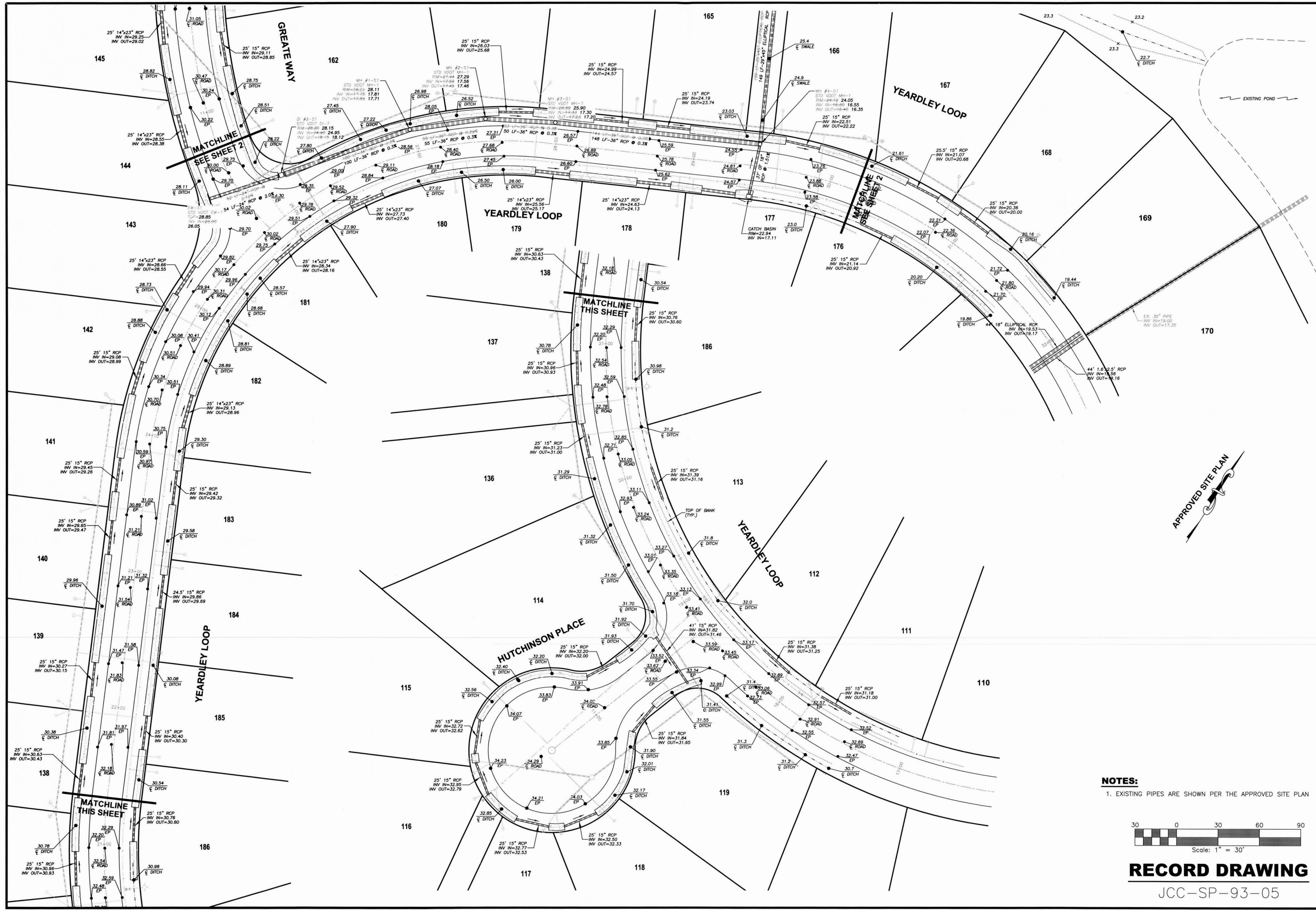
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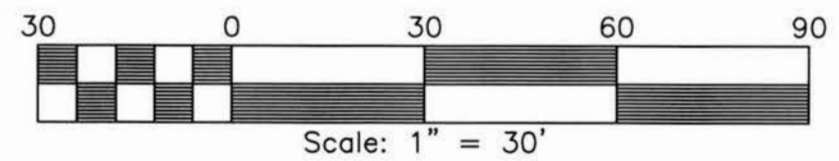
**LandTech**  
**Resources, Inc.**  
Surveying • GPS • Engineering  
2005 Bulfinch Blvd., Ste. E, Williamsburg, VA 23188  
Phone: (757) 565-1677 Fax: (757) 565-0782  
web: [landtechresources.com](http://landtechresources.com)

SCALE: 1"=30'
DATE: 11-07-2011
NO: 10-230
DRAWN BY: WSF
SHEET 2 OF 6





**NOTES:**  
1. EXISTING PIPES ARE SHOWN PER THE APPROVED SITE PLAN



**RECORD DRAWING**

JCC-SP-93-05

DRAINAGE AS-BUILTS  
FOR  
THE POINTE AT JAMESTOWN  
PHASE 2B

JAMES CITY COUNTY  
VIRGINIA

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4	01-13-2016	PER COUNTY COMMENTS DATED 01-11-2016.

COMMONWEALTH OF VIRGINIA  
WILLIAM S. FELTS  
Lic. No. 3149  
01-13-2016  
LAND SURVEYOR

**LandTech Resources, Inc.**  
Surveying • GPS • Engineering  
205 Bullfants Blvd., Ste. E, Williamsburg, VA 23188  
Phone: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com

SCALE: 1"=30'

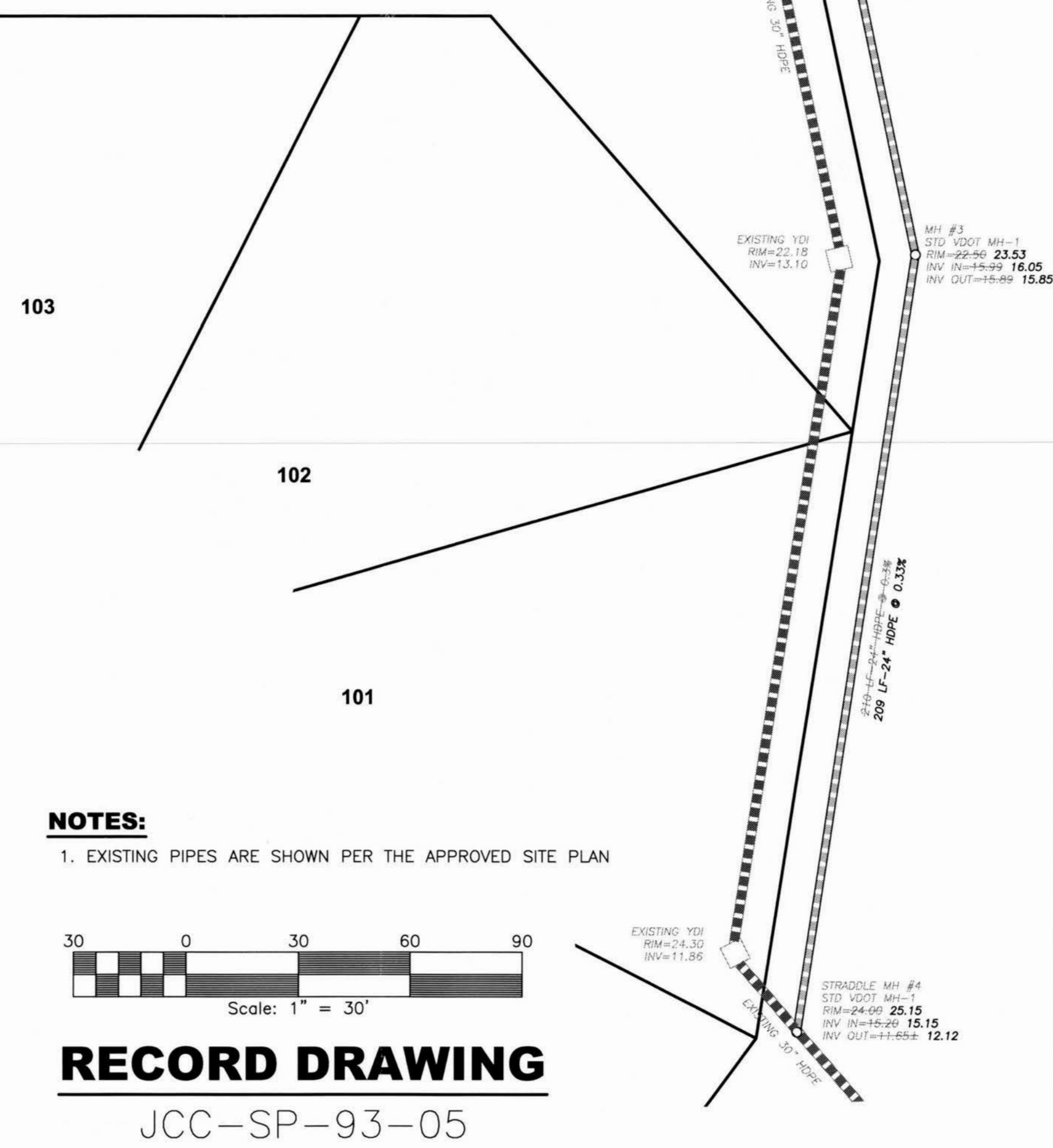
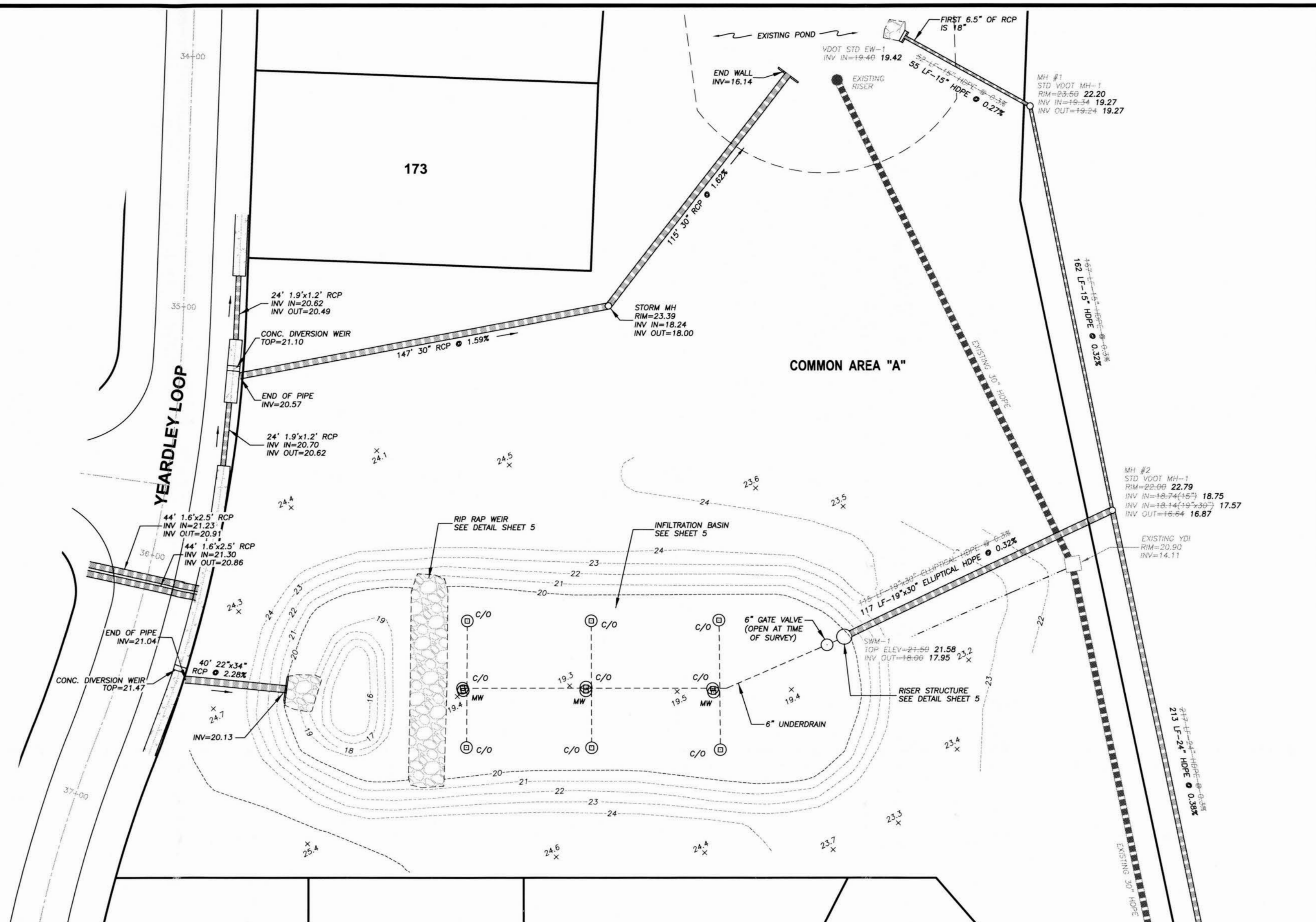
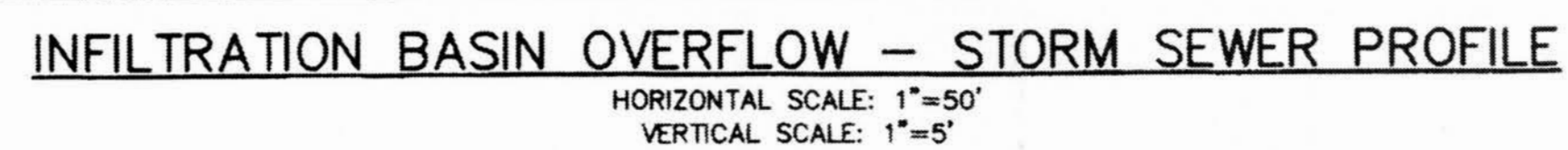
DATE: 11-07-2011

JOB: 10-230

DRAWN BY: WSF

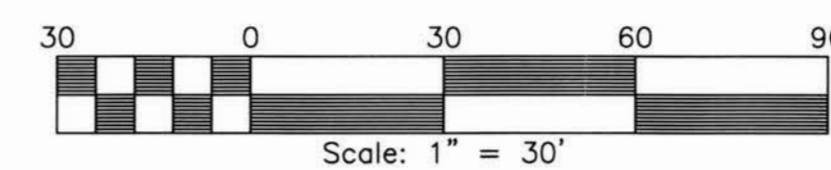
SHEET 3 OF 6





**NOTES:**

1. EXISTING PIPES ARE SHOWN PER THE APPROVED SITE PLAN

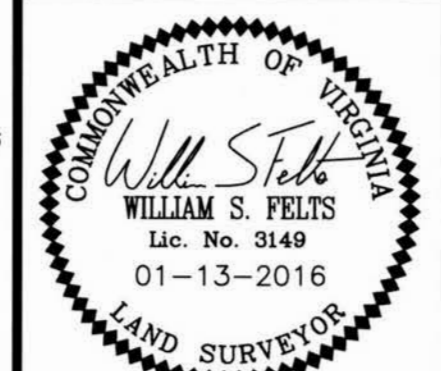


## RECORD DRAWING

JCC-SP-93-05

**DRAINAGE AS-BUILTS**  
FOR  
**THE POINTE AT JAMESTOWN**  
PHASE 2B  
JAMES CITY COUNTY VIRGINIA

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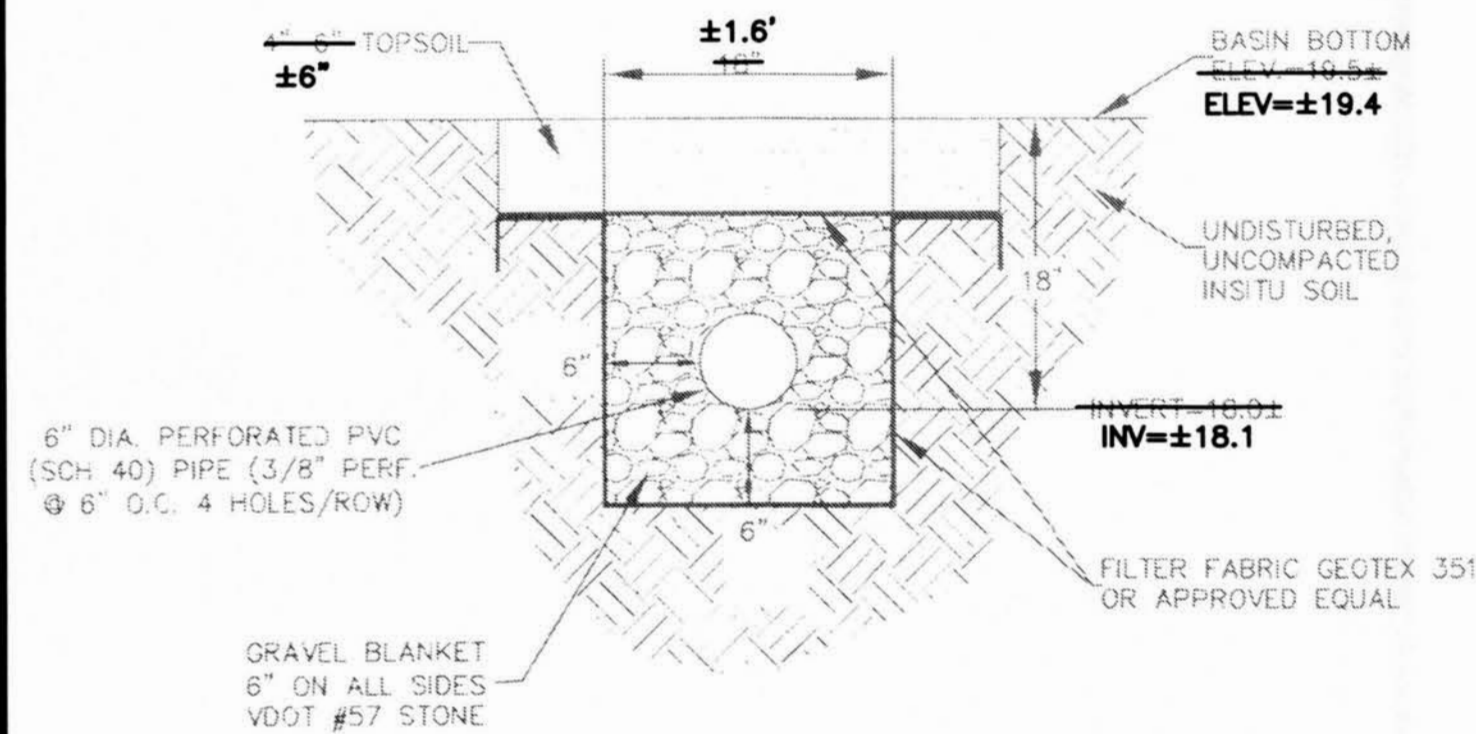


**LandTech**  
**Resources, Inc.**  
Surveying • GPS • Engineering

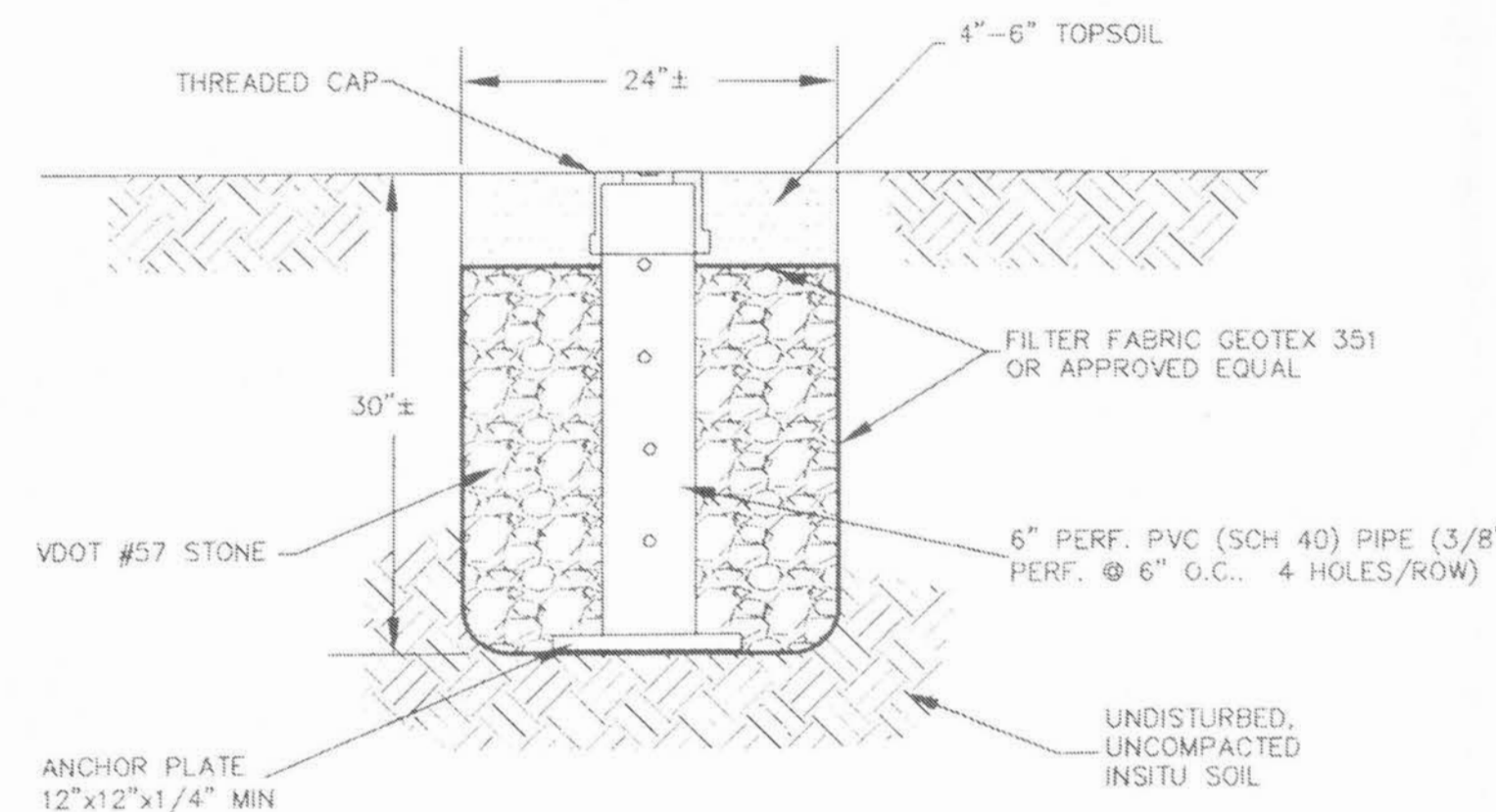
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SCALE: 1"=30'
DATE: 11-07-2011
JOB: 10-230
DRAWN BY: WSF
SHEET 4 OF 6

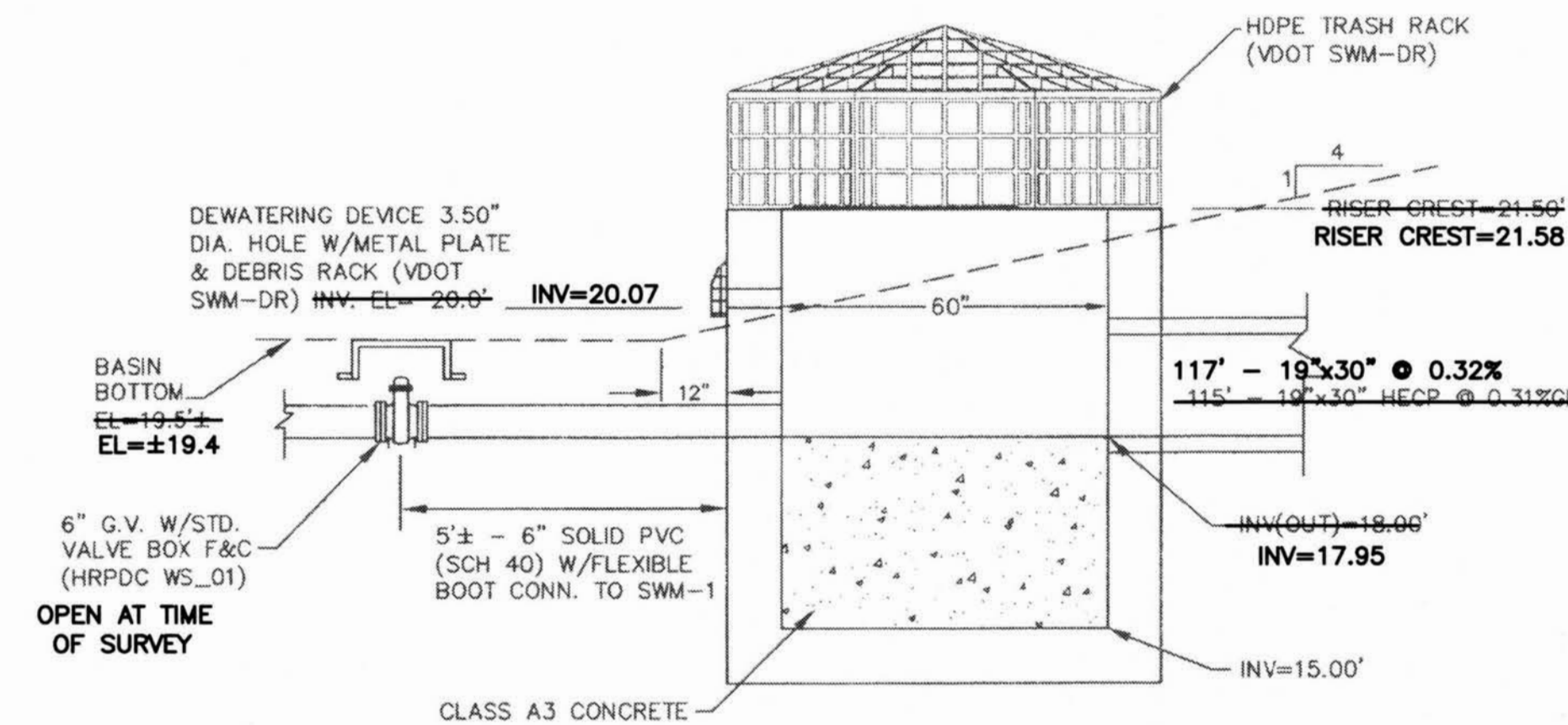




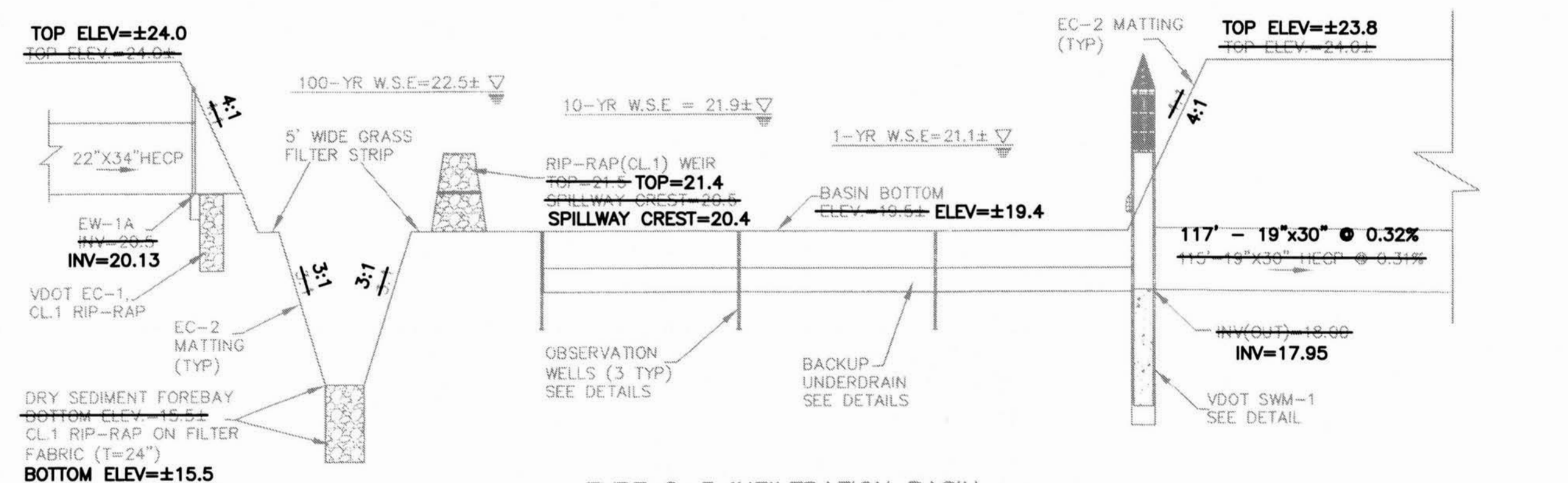
BACKUP UNDERDRAIN  
CROSS-SECTION  
SCALE: 1"=1'



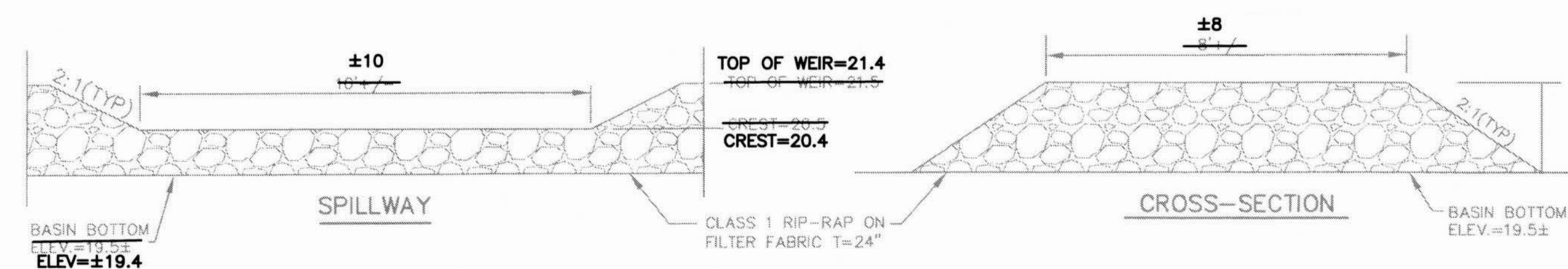
OBSERVATION WELL  
SCALE: 1"=1'  
INSTALLATION NOT OBSERVED



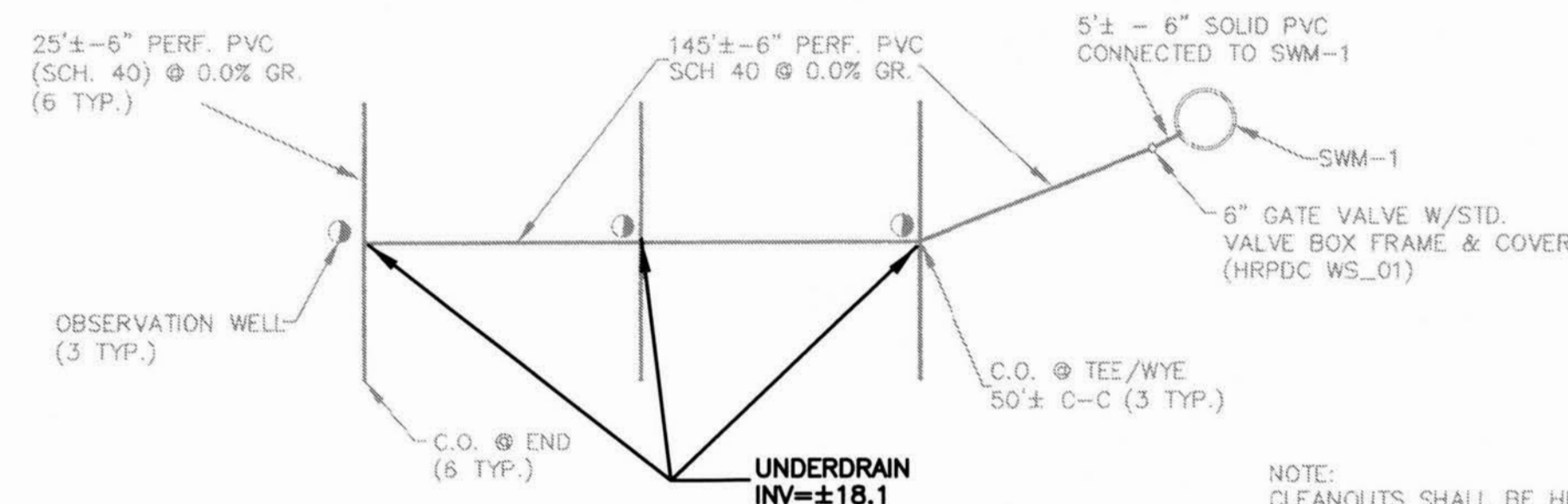
BMP OUTLET CONTROL STRUCTURE  
VDOT SWM-1(PRE-CAST W/STEPS)  
SCALE: 1"=2.5'



TYPE C-3 INFILTRATION BASIN  
W/EXT. DETENTION  
SCALE: H:1"=30'; V:1"=3'



SFB RIP-RAP WEIR  
SCALE: 1"=2.5'



BACKUP UNDERDRAIN  
SCALE: 1"=30'

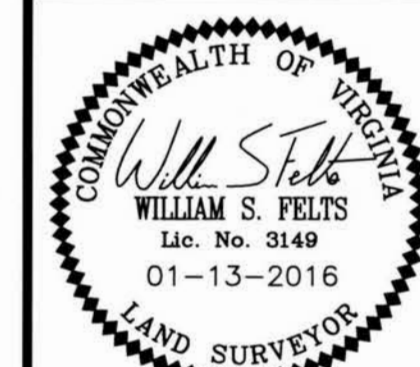
NOTE:  
CLEANOUTS SHALL BE HRPDC SS-13  
WITH SS-12 FRAME & COVER PER JCSA  
SPECIAL PROVISIONS ITEM 13.

INSPECTION AND MAINTENANCE SCHEDULE	
ACTIVITY	FREQUENCY
<ul style="list-style-type: none"> <li>GRASS SHOULD BE MAINTAINED AT A HEIGHT OF 6-9 INCHES. MOW GRASS AS NECESSARY AND REMOVE CLIPPINGS, USUALLY TWICE A YEAR IN EARLY SUMMER AND LATE FALL.</li> <li>REMOVE WEEDS OR UNDESIRABLE PLANTS FOUND GROWING AT THE SITE.</li> <li>INSECT ACTIVITY, INCLUDING MOSQUITO SHOULD BE MONITORED AND APPROPRIATE ACTION TAKEN.</li> </ul>	AS NEEDED
<ul style="list-style-type: none"> <li>ENSURE THAT UPLAND CONTRIBUTING DRAINAGE AREA, BASIN, AND INLETS ARE CLEAR OF TRASH/DEBRIS. ALSO INSPECT FOR ANY CONTROLLABLE SOURCES OF SEDIMENT OR EROSION.</li> <li>REMOVE SEDIMENT AND OIL/GREASE FROM PRE-TREATMENT DEVICES AND OVERFLOW STRUCTURES.</li> <li>REPAIR UNDERCUT AND ERODED AREAS AT IN/OUTFLOW STRUCTURES.</li> <li>REPAIR ANY SIGNS OF ANIMAL/RODENT BORROWS.</li> </ul>	QUARTERLY
<ul style="list-style-type: none"> <li>MEASURE DRAWDOWN RATE IN OBSERVATION WELLS FOR THREE DAYS FOLLOWING A STORM EVENT IN EXCESS OF 0.5 INCH IN DEPTH. FAILURE TO PERCOLATE WITHIN THIS TIME PERIOD INDICATES CLOGGING.</li> <li>INSPECT PRETREATMENT DEVICES AND DIVERSION STRUCTURES FOR SEDIMENT BUILD-UP AND STRUCTURAL DAMAGE.</li> <li>INSPECT AND EXERCISE UNDERDRAIN VALVE.</li> <li>REMOVE TREES THAT START TO GROW IN THE VICINITY OF THE BASIN.</li> </ul>	SEMI-ANNUALLY
<ul style="list-style-type: none"> <li>CLEAN OUT ACCUMULATED SEDIMENTS FROM THE SEDIMENT FOREBAY.</li> <li>INSPECT MAINTENANCE ACCESS TO ENSURE IT IS FREE OF WOODY VEGETATION.</li> <li>CHECK THAT NO VEGETATION FORMS AN OVERHEAD CANOPY THAT MAY DROP LEAF LITTER, FRUITS AND OTHER MATERIALS.</li> <li>CHECK TO SEE WHETHER VALVES, CLEANOUTS, MANHOLES OR LOCKS CAN BE OPENED AND OPERATED.</li> <li>EVALUATE THE VEGETATIVE QUALITY OF THE ADJACENT GRASS BUFFER AND DO SPOT RESEEDING IF COVER IS LESS THAN 90%.</li> <li>INSPECT SIDE SLOPES FOR EVIDENCE OF SPARSE VEGETATIVE COVER, EROSION OR SLUMPING, AND REPAIR IMMEDIATELY.</li> <li>DISC OR OTHERWISE AERATE BASIN BOTTOM. DE-THATCH BASIN BOTTOM.</li> </ul>	ANNUALLY

DRAINAGE AS-BUILTS  
FOR  
THE POINTE AT JAMESTOWN  
PHASE 2

JAMES CITY COUNTY  
VIRGINIA

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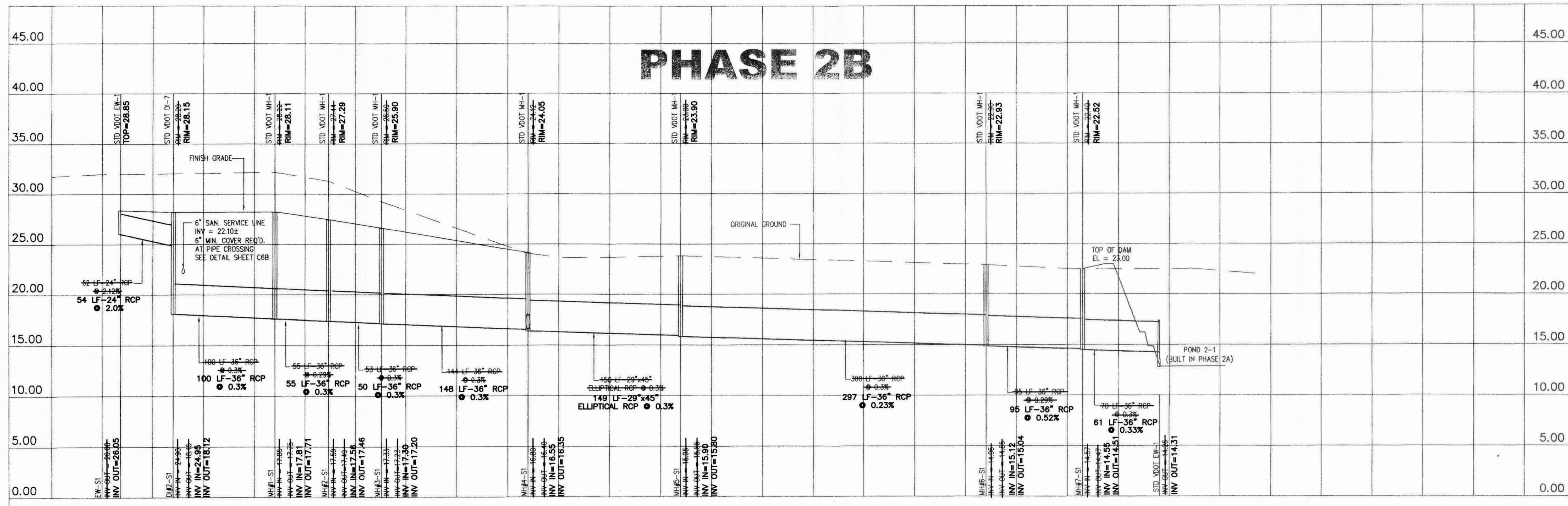


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205 Balfour Blvd., Ste. E, Williamsburg, VA 23188  
Phone: (757) 565-1677 Fax: (757) 565-0782  
web: landtechresources.com

SCALE: 1"=30'  
DATE: 11-07-2011  
JOB: 10-230  
DRAWN BY: WSF  
SHEET 5 OF 6

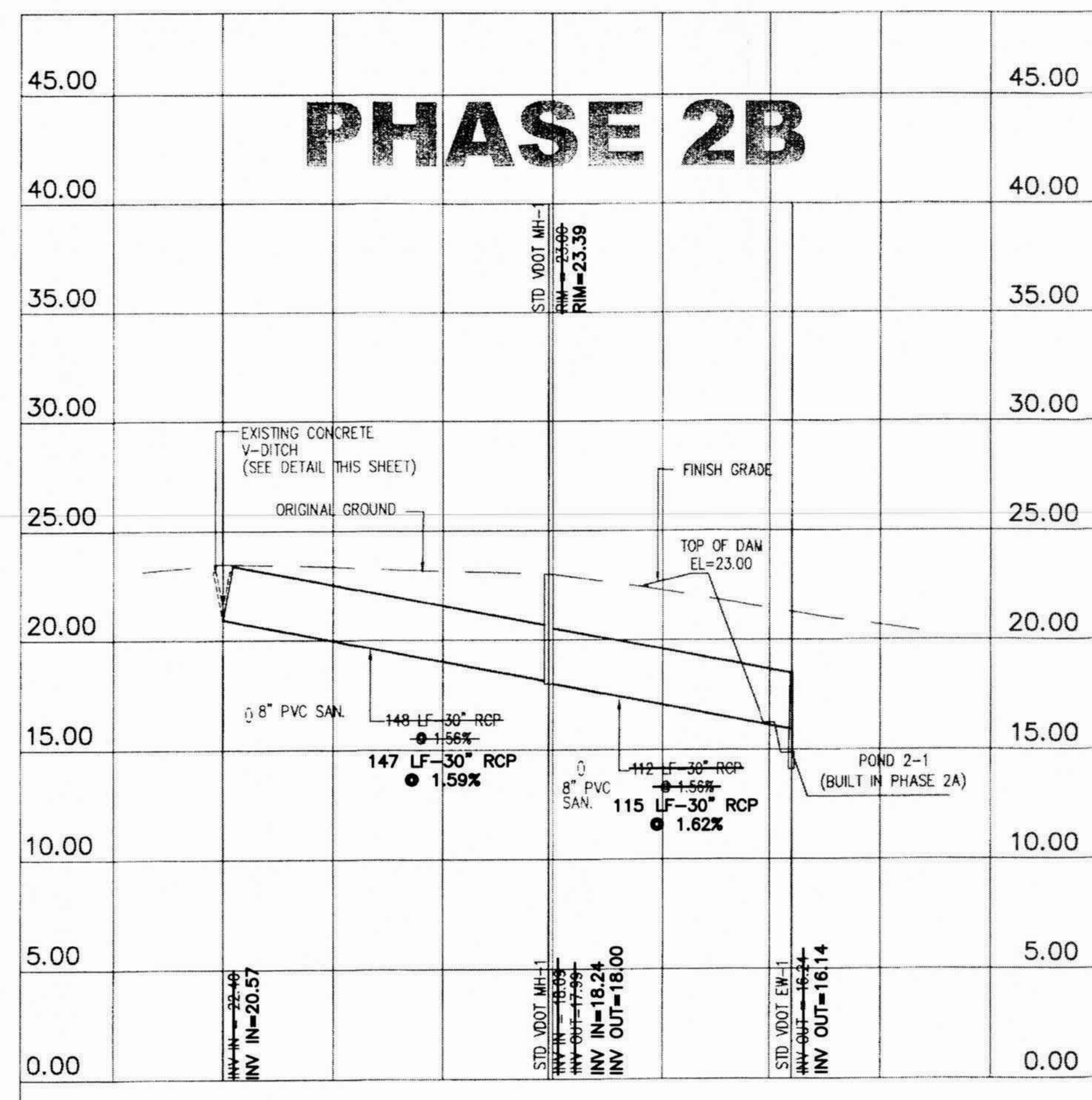
**RECORD DRAWING**  
JCC-SP-93-05





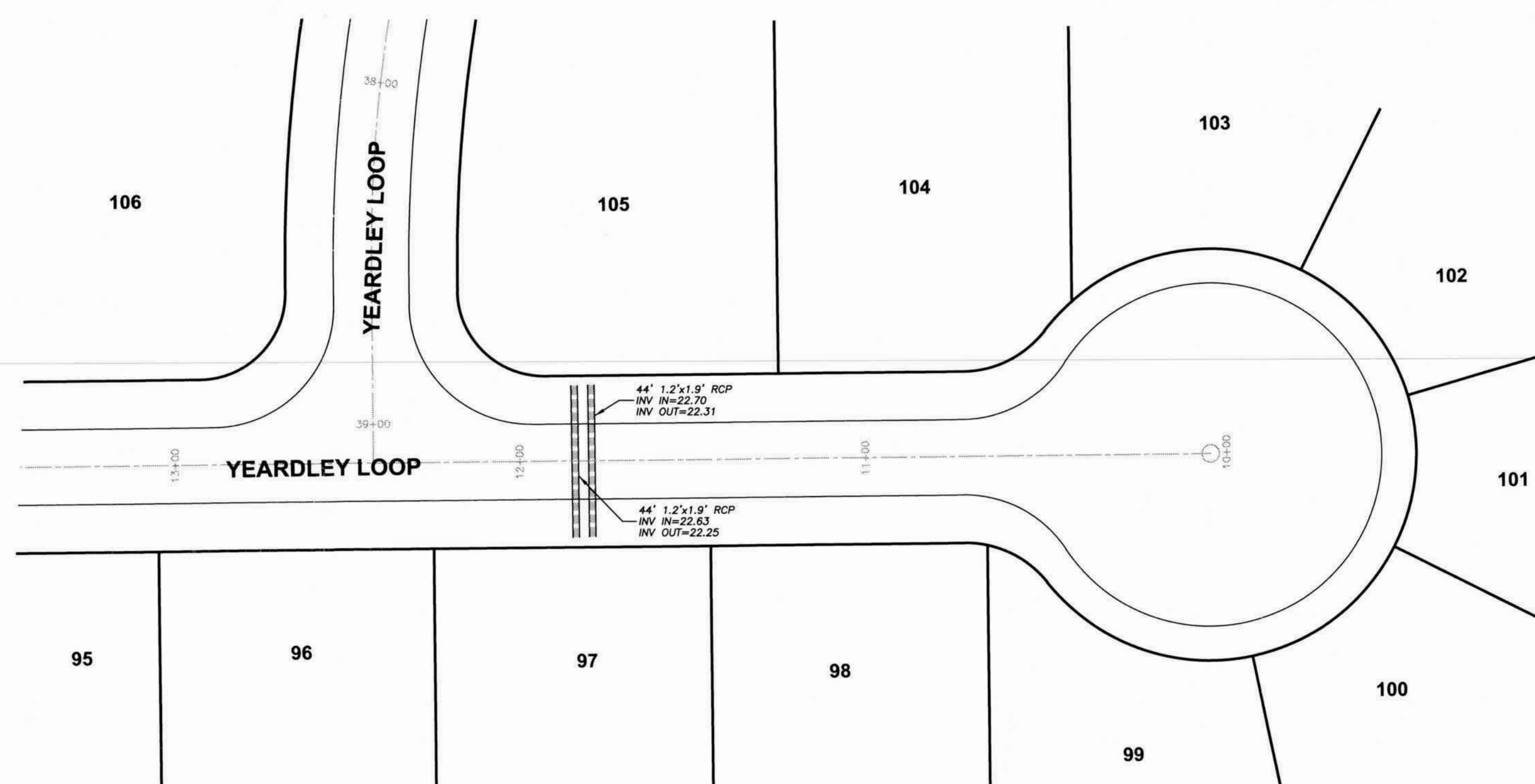
SYSTEM 1 - STORM SEWER PROFILE

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



SYSTEM 2 - STORM SEWER PROFILE

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



YEARDLEY LOOP INTERSECTION

SCALE: 1"=30'

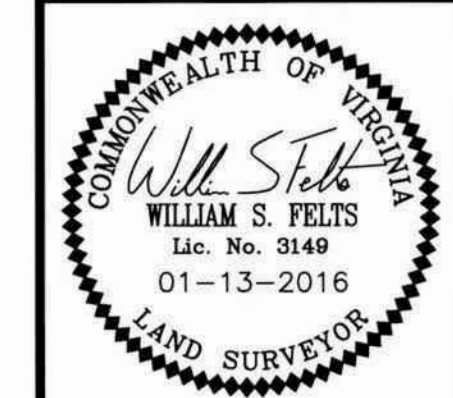
**RECORD DRAWING**

JCC-SP-93-05

**DRAINAGE AS-BUILTS**  
FOR  
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PHASE 2

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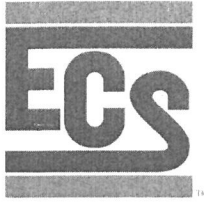
# 5. Construction Drawings

## 6. Design Calculations

# 7. Reports



Re: Sinkhole Repairs



**ECS Mid-Atlantic, LLC**

108 Ingram Road

Suite 1

Williamsburg, VA 23188

(757) 229-6677 [Phone]

(757) 229-9978 [Fax]

**LETTER OF TRANSMITTAL**

March 30, 2016

Virginia Enterprises, Inc.  
600 Thimble Shoals Boulevard  
Suite 220  
Newport News, VA 23606

ATTN: Ms JoAnn Armstrong

**RE: The Pointe at Jamestown - Phase 2A BMP 2-1  
Certification**

ECS Job # **07:13087**

Permits:

Location: **Yeardly Loop  
Williamsburg, VA**

We are enclosing:

- ☒ Materials Engineering Division Reports
- ☒ For your use
- ☒ As requested

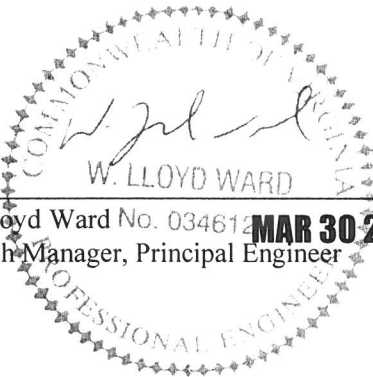
**CC: James City County Enviromental Division - Greg Johnson**

ENCL:

Field Report # 3

03/22/2016

Compaction



W. Lloyd Ward No. 034612  
Branch Manager, Principal Engineer

A handwritten signature of Sara B. Phillips in cursive script.

Sara B. Phillips  
Senior Geotechnical Project Manager

**ECS Mid-Atlantic, LLC**

108 Ingram Road  
Suite 1  
Williamsburg, VA 23188  
(757) 229-6677 [Phone]  
(757) 229-9978 [Fax]

**FIELD REPORT**

Project **The Pointe at Jamestown - Phase 2A BMP 2-1**  
Location **Williamsburg, VA**  
Client **Virginia Enterprises, Inc. - JoAnn Armstrong**

Project No. **07:13087**  
Report No. **3**  
Day & Date **Tuesday 03/22/2016**  
Weather **67°/ Sunny**  
On-Site Time **1.00**  
Lab Time **0.50**  
Travel Time\* **0.50**  
Total **2.00**  
Re Obs. Time **0.00**

Remarks **Compaction**

Trip Charges*	Tolls/Parking*	Mileage*	10	Time of Arrival	Departure
Chargeable Items				10:00A	11:00A

\* Travel time and mileage will be billed in accordance with the contract.

**Summary of Services Performed (field test data, locations, elevations & depths are estimates) & Individuals Contacted.**

The undersigned arrived on site, as requested, to observe the compaction of soils for backfill around the two (2) storm drain structures behind the BMP next to Yeardeley Drive. Please see the attached sketch.

Utilizing the nuclear test method to check the compaction of soils; test results indicated that the compacted material, at the areas and elevations tested, met or exceeded the project requirements of 90% (green area) of the maximum dry density as obtained in our laboratory using the Standard Proctor Method (ASTM D-698).

Locations and elevations of all tests are based on stakeout provided by others. We cannot be responsible for structures located off of the observed engineered pad, misaligned utilities or stakeout errors causing uncontrolled fill to be placed in structural areas.

The soils observed on this date appeared to be placed in accordance with project drawings and specifications with regard to lift thickness and moisture content.

## 8. Correspondence



**Development Management**

101-A Mounts Bay Road  
P.O. Box 8784  
Williamsburg, VA 23187-8784  
P: 757-253-6671  
F: 757-253-6822  
devman@james-city.va.us

**Code Compliance**

(757) 253-6620  
codecomp@james-city.va.us

**Environmental Division**

(757) 253-6670  
environ@james-city.va.us

**Planning and Zoning**

(757) 253-6685  
planning@james-city.va.us

August 2, 2010

Mr. Daniel DeYoung  
DJG, Inc.  
449 McLaws Circle  
Williamsburg, VA 23185

**RE: SP-0093-2005, The Pointe at Jamestown, Phase 2**

Dear Mr. DeYoung,

I am pleased to inform you that your site plan received final approval on August 2, 2010. Enclosed are two copies of the stamped final approval drawing for your files.

Final approval of the site plan shall expire five years after the date of approval. During that period all permits shall be obtained or the development shall be put into use. When the permits have been issued, the site plan approval shall run concurrently with the permits term of validity for only those uses and improvements covered by the permits. All work shall be completed in the manner and location indicated upon the approved plan. Modifications shall be approved in advance by the Zoning Administrator.

In addition, please be aware of the following:

- Effective October 1, 2008, the Stormwater Division began a stormwater facilities inspection program. This program requires that for any project applying for a land disturbing permit after October 1, 2008, an inspection fee be paid, a preconstruction meeting be held, and a Certificate to Construct be issued to an owner/developer prior to any construction on a stormwater facility, whether it is a conveyance system or a stormwater Best Management Practice (BMP). Prior to release of a project's subdivision surety or issuance of a Certificate of Occupancy, a Construction Certificate and Record Drawings (as-builts) of all stormwater facilities must be approved by the Stormwater Division. Contact the Stormwater Division for more information regarding this program.
- Work for this amendment is covered under existing Land Disturbing Permit #05-14 as issued under approved County Plan No. S-0034-2000; however, the Land Disturbing Permit will need to be amended to reflect additional, revised work. A standard

Declaration of Covenants, Inspection/Maintenance agreement is required. This plan is also subject to the terms of the "Deferred Improvement Agreement" executed with the County on October 28, 2008. Registration for a state VSMP general permit for construction activities may be required through the Virginia DCR. Contact the Environmental Division for more information regarding these matters.

Sincerely,

Christopher M. Johnson  
Principal Planner

## 9. Inspections

# 10. Permitting

# 11. Miscellaneous

(ex. photos)



storm structure 1

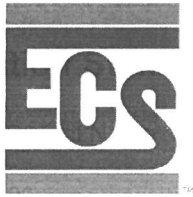
storm structure 2

soccer field

dry pond

Yeardley Loop

BMP



# Field Compaction Summary, ASTM D6938

Page 1

Project No: 13087

Project Name: The Pointe at Jamestown - Phase 2A BMP 2-1

Date: 03/22/16

Client: Virginia Enterprises, Inc.

Test Method ASTM D6938

Nuclear Gauge No. 12

Make Density Std 2141

Model Moisture Std 631

Ser. No. 28970

ECS MID-ATLANTIC, LLC

Contractor: None Listed

Technician: Ryan Andrew Reynolds

Sample No.			Description			Proctor Method				Uncorrected Max. Density		Uncorrected Opt. MC		
1			orange to brown to reddish brown sandy clay			Standard Proctor Method (ASTM D-698)				111.00		17.30		
Test No.	Test Mode	Probe Depth (in.)	Station / Location	Lift / Elev	Sample No.	% Oversize	Corrected Maximum Dry Density (pcf)	Corrected Optimum Moisture Content (%)	Test Data				P / F	Comments
									Wet Density (pcf)	Dry Density (pcf)	Moisture Content (%)	Percent Comp. (%)		
1	DT	6	backfill around the storm drain structure 1	subgrade	1	0.00	111.00	17.30	126.4	106.7	18.4	96.1	P	
2	DT	6	backfill around the storm drain structure 1	subgrade	1	0.00	111.00	17.30	127.5	106.3	19.9	95.8	P	
3	DT	6	backfill around the storm drain structure 2	subgrade	1	0.00	111.00	17.30	126.9	107.3	18.3	96.7	P	
4	DT	6	backfill around the storm drain structure 2	subgrade	1	0.00	111.00	17.30	125.3	104.8	19.6	94.4	P	

Test Mode: DT = Direct Transmission

BS = Back Scatter

WO:91933

# 12. Project Development Documents