



## **CERTIFICATE OF AUTHENTICITY**

**THIS IS TO CERTIFY THAT THE FOLLOWING ELECTRONIC RECORDS ARE TRUE AND ACCURATE REPRODUCTIONS OF THE ORIGINAL RECORDS OF JAMES CITY COUNTY GENERAL SERVICES DEPARTMENT- STORMWATER DIVISION; WERE SCANNED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO GUIDELINES ESTABLISHED BY THE LIBRARY OF VIRGINIA AND ARCHIVES; AND HAVE BEEN VERIFIED IN THE CUSTODY OF THE INDIVIDUAL LISTED BELOW.**

**BMP NUMBER: 88018**

**DATE VERIFIED: December 3, 2021**

**QUALITY ASSURANCE TECHNICIAN: Charles E. Lovett II**

*Charles E. Lovett II*

**LOCATION: WILLIAMSBURG, VIRGINIA**

**NOTES: CERTIFY & UPLOAD**

# 1. Maintenance Agreement

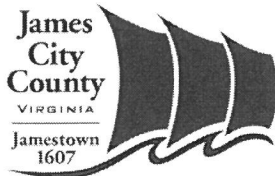
## 2. Deeds/Easements/ Agreements/Property Records

# 3. Construction Certificate



Stormwater Conveyance and Stormwater Management / BMP Facilities  
Record Drawing and Construction Certification Forms

Page 4



STANDARD CERTIFICATION FORM

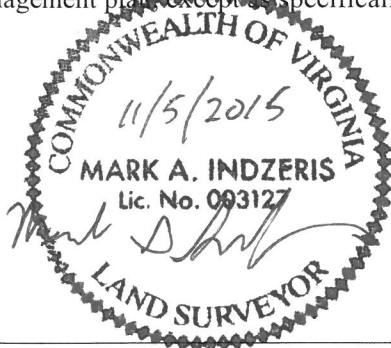
Record Drawing Certification

Firm Name: Reference Mark Land Surveying  
Mailing Address: 8330 Ark Rd.  
Gloucester, VA 23061  
Business Phone: 804-815-1215  
Fax: \_\_\_\_\_  
Name: Mark A. Indzeris, C.S.  
Title: Land Surveyor  
Signature: [Signature]  
Date: 11/5/2015

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the,

- ☒ Stormwater conveyance system  
☐ Stormwater management / BMP facility

and the facility appears to conform to the provisions of the approved design plan, specifications, and stormwater management plan, except as specifically noted here.



(Seal)

Virginia Registered Professional Engineer or Certified Land Surveyor

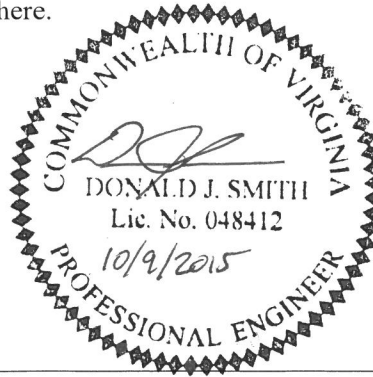
Construction Certification

Firm Name: JOHNABEL ENGINEERING  
Mailing Address: 300 ED WRIGHT LANE, SUITE 1  
NEWPORT NEWS  
Business Phone: 757 947 1220  
Fax: \_\_\_\_\_  
Name: DONALD J. SMITH, PE  
Title: SENIOR ENGINEER  
Signature: [Signature]  
Date: 10/9/2015

I hereby certify to the best of my knowledge and belief that this,

- ☒ Stormwater conveyance system  
☐ Stormwater management / BMP facility

was monitored and constructed in accordance with the provisions of the approved plan, specifications, and stormwater management plan, except as specifically noted here.

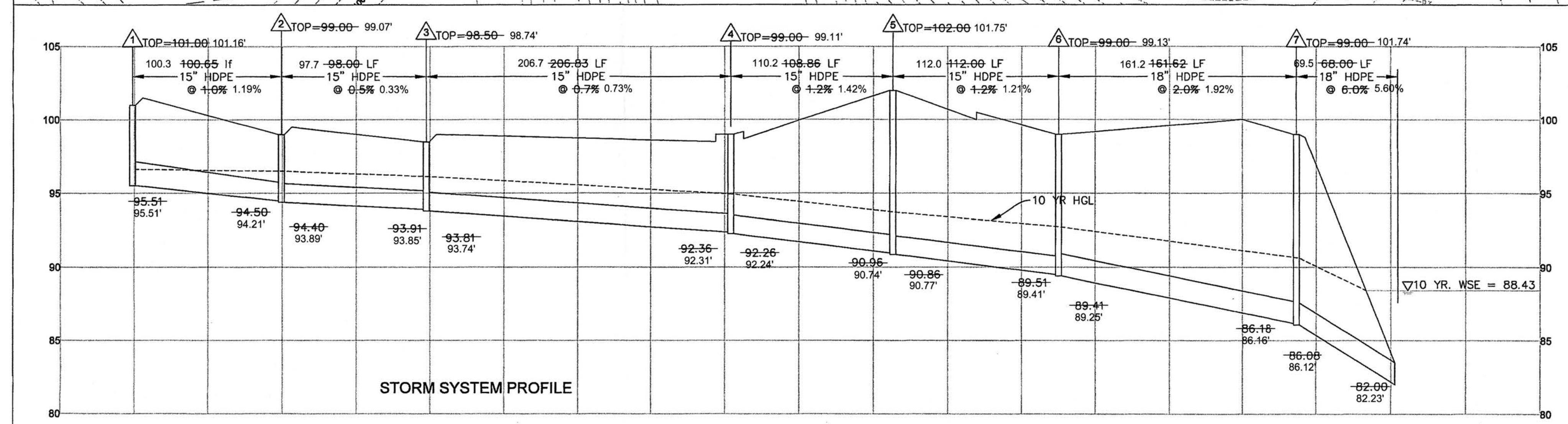


(Seal)

Virginia Registered Professional Engineer

## 4. Record Drawings (As Builts)





PARCEL A-1, SECTION A  
STONEHOUSE COMMERCE PARK  
TAX PARCEL 1210100041  
PB. 78, PG. 5  
289,546 S.F.  
6.6471 AC.  
FF ELEV.=103.00  
BUILDING PARAPET HEIGHT=29.0' A.F.F.

50' LANDSCAPE  
EASEMENT

EXISTING  
25'  
PEDESTRIAN  
PATHWAY  
AND  
UTILITY  
EASEMENT  
P.B. 62,  
PG 94-96

PARCEL A-2, SECTION A  
N/F  
THOMLYN, LLC  
TAX PARCEL 1220100023  
DOC. NO. 110023388

Engineering & Resource Protection  
MAR 02 2016  
RECEIVED

**REVISIONS:**  
1 - OCT. 19, 2015  
STORM SEWER  
RECORD DRAWINGS  
2 - JAN. 19, 2016  
ADDRESSED COUNTY  
COMMENTS  
2 - FEB. 1, 2016  
ADDRESSED COUNTY  
COMMENTS

**C&F Bank Toano Operations Offices  
Amendment to Approved Site Plan  
Additional Parking  
JAMES CITY COUNTY, VIRGINIA**

**SP-007-2015**  
SHEET DESCRIPTION  
SITE PLAN

SHEET NUMBER  
C4

SP-007-2015

**LANDSCAPING SCHEDULE**

2.5" CALIPER WILLOW OAK  
2.5" CALIPER WHITE PINE  
EVERGREEN SHRUBS (BOXWOOD OR EQUAL)

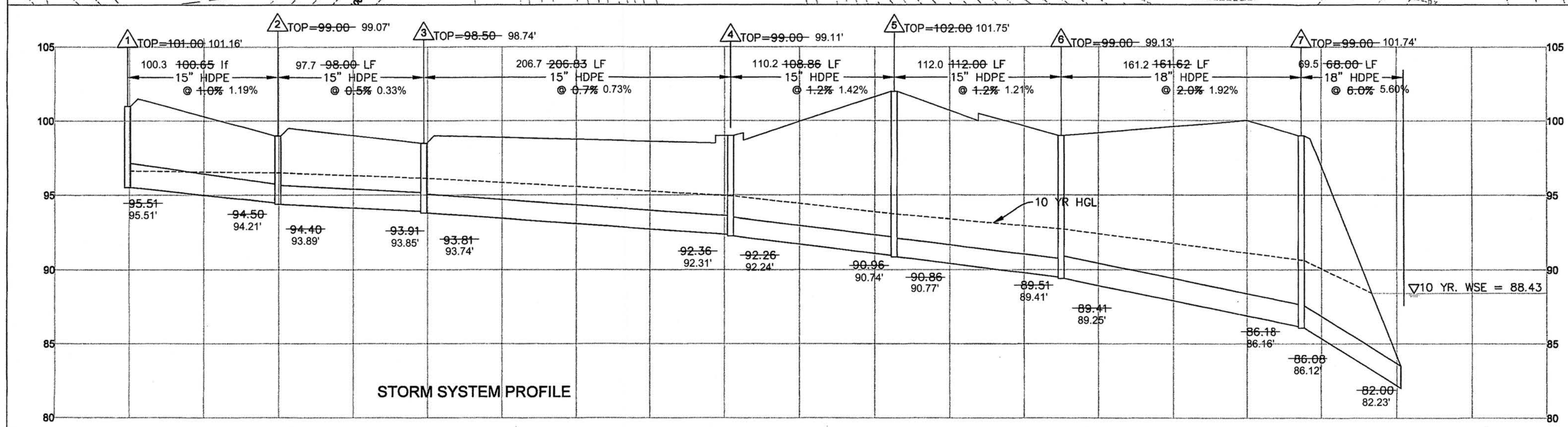
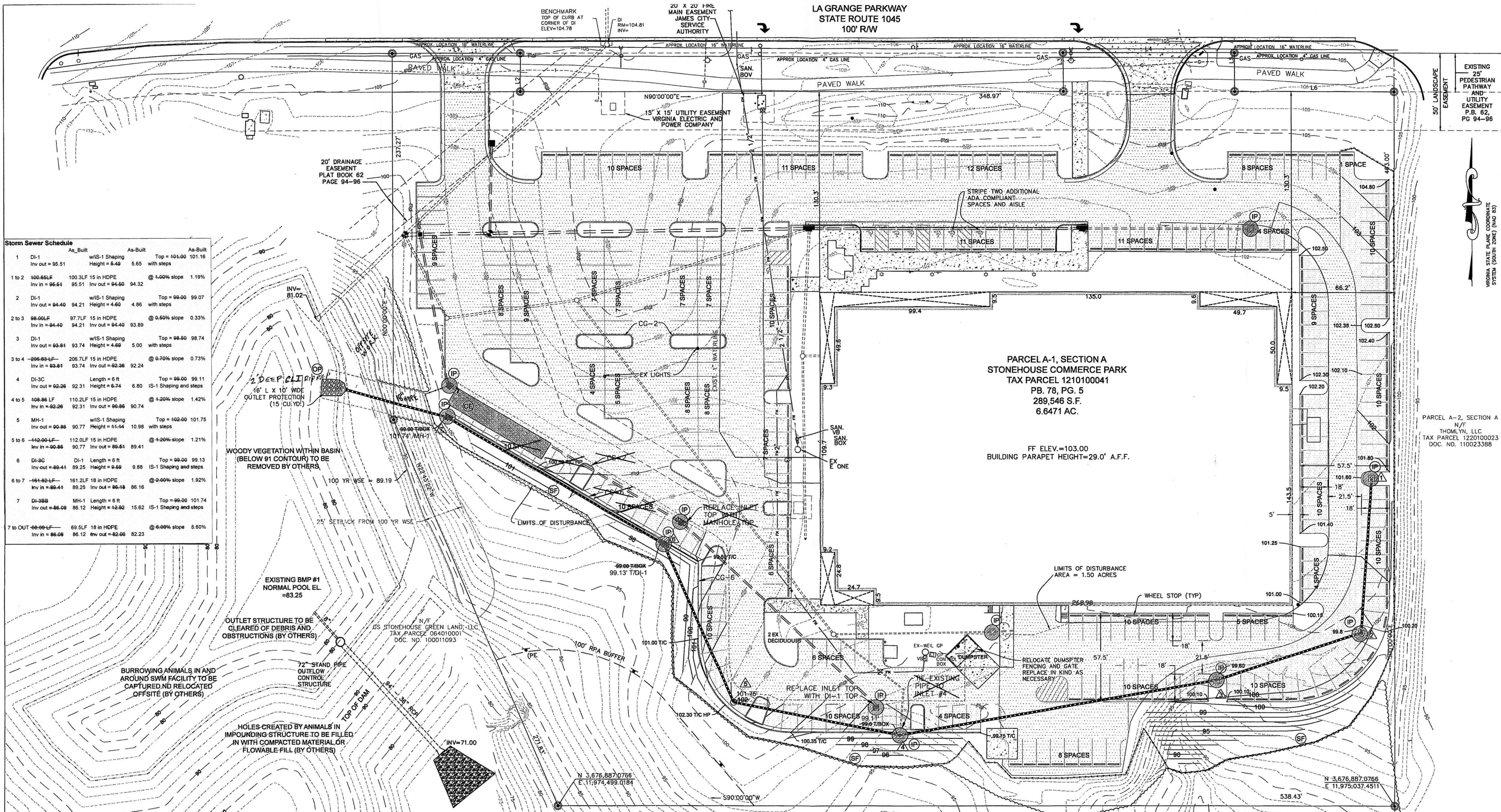
6 EA  
3 EA  
25 EA

STORM SEWER  
RECORD DRAWING

REFERENCE MARK  
LAND SURVEYING  
8330 ARK RD.  
GLOUCESTER, VA 23061  
804-815-1215

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS RECORD DRAWING REPRESENTS THE ACTUAL CONDITION OF THE STORMWATER CONVEYANCE SYSTEM AND THE FACILITY APPEARS TO CONFORM TO THE PROVISIONS OF THE APPROVED DESIGN PLAN, SPECIFICATIONS, AND STORMWATER MANAGEMENT PLAN, EXCEPT AS SPECIFICALLY NOTED HERE.





REVISIONS:  
1 - OCT. 19, 2015  
STORM SEWER  
RECORD DRAWINGS  
2 - JAN. 19, 2016  
ADDRESSSED COUNTY  
COMMENTS  
2 - FEB. 1, 2016  
ADDRESSSED COUNTY  
COMMENTS

**C&F Bank Toano Operations Offices  
Amendment to Approved Site Plan  
Additional Parking  
JAMES CITY COUNTY, VIRGINIA**

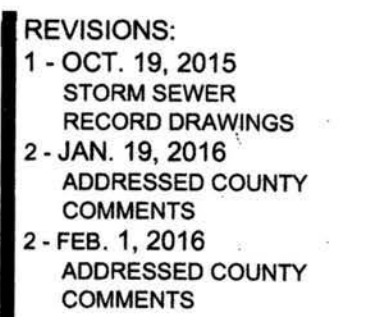
**SP-007-2015**

**SHEET DESCRIPTION  
SITE PLAN**

**SHEET NUMBER  
C4**

**SP-007-2015**





**C&F Bank Toano Operations Offices  
Amendment to Approved Site Plan  
Additional Parking  
JAMES CITY COUNTY, VIRGINIA**

**SP-007-2015**  
SHEET DESCRIPTION  
SITE PLAN

SHEET NUMBER  
C4

SP-007-2015



# 5. Construction Drawings

## 6. Design Calculations

# 7. Reports





**ENGINEERING AND RESOURCE PROTECTION REVIEW COMMENTS  
C&F BANK, TOANO OPERATIONS OFFICE, PARKING AMENDMENT  
COUNTY PLAN NO. SP-007-2015**

*February 23, 2015*

**General:**

1. A local Land Disturbing/Stormwater Construction Permit (VESCP/VSMP authority permit) and Siltation Agreement, with surety, are required for this project.
2. Stormwater Inspections. This project includes stormwater conveyance and/or stormwater management facilities. Completion of a Stormwater Facilities Data Sheet and payment of Stormwater Facilities Inspection Fees may be applicable prior to issuance of a local land disturbing/stormwater construction (VESCP/VSMP authority) permit. For more information, contact the James City County Engineering and Resource Protection Division at (757) 253-6670.
3. RLD. The applicant must provide the name of an individual holding a valid Responsible Land Disturber (RLD) certificate who will be responsible for the land disturbing activity prior to engaging in the land disturbing activity. This will be necessary prior to issuance of land disturbing/stormwater construction permit for the project, not during the erosion and sediment control plan approval process. It will be required that the assigned RLD attend the preconstruction conference for the project.
4. Offsite Work. Provide evidence of permission to disturb the offsite adjacent tract from the parcel owner. Offsite work is required to install outlet pipe of proposed storm system into existing BMP.
5. Debris Removal. Provide a note on the title sheet of the plans providing that all objectionable and deleterious material is to be removed from the site and disposed of in a state approved facility meeting the requirements of all applicable local, state, and federal regulations.
6. Record Drawing and Construction Certification. The stormwater management/BMP facility and associated stormwater conveyance systems as proposed for this project will require submission, review, and approval of a record drawing (as-built) and construction certification prior to release of the posted bond/surety. Provide notes on the plan accordingly to ensure this activity is adequately coordinated and performed before, during and following construction in accordance with current County guidelines.
7. VSMP/VPDES Construction. Effective July 1, 2014 the County is designated a local VSMP authority and is responsible to administrate and enforce certain provisions of the state's nonpoint source pollution programs including the Virginia Stormwater Management Program (VSMP) and VPDES construction general permit programs. Refer to Article II of Chapter 8 (Erosion and Sediment Control and Virginia Stormwater Management Program ordinance) of the County Code.
8. VSMP/VPDES Construction. It appears disturbed area for the site exceeds 2,500 square feet. Therefore, it is the owner's responsibility to register for coverage under the state general VPDES permit for discharges of stormwater from construction activities (VAR10) through the local VSMP

authority, in accordance with current requirements of the State Water Control Board and the Virginia Department of Environmental Quality. Visit the Engineering and Resource Protection Division or Virginia DEQ website for additional information and forms. (Note: No local land disturbing/stormwater construction (VESCP/VSMP authority) permit will be issued until evidence of registration and VPDES construction general permit coverage is demonstrated.)

9. P2 Plan. A pollution prevention plan (PPP or P2 plan) is required to be submitted for review and approval by the County prior to registration for a state VPDES construction general permit. Refer to Section 8-26(c) of the County's Chapter 8 ordinance.
10. VDOT. It appears a VDOT Land Use Permit may be required for this project. Contact the Hampton Roads District at 757-925-2500 or 888-723-8400 or the Williamsburg Residency at 800-367-7623 for further information.
11. Plan Number. Please reference the assigned County plan number, SP-007-2015, on all subsequent submissions.
12. HUC. Provide reference to the hydrologic unit code (HUC) designation for where the project is located. HUC code for this site is YO62.
13. Watershed. Provide a note on the cover sheet of the plans indicating which County watershed, sub-watershed, and/or catchment for which the project is situated in. For your convenience, staff offers that the site is located in the Ware Creek Watershed.

#### **Impervious Cover:**

14. Site Tabulation. The disturbed area listed under Project Data is 1.35 acres. Several other areas on the plan set indicate this disturbance is 1.45 acres. Please verify and adjust plans as necessary.

#### **Grading Plan:**

15. Proposed Grading. Section 24-145(8) of the Chapter 24 Zoning ordinance and Section 19-27(f) of the Chapter 19 Subdivision ordinance requires existing and proposed contours to be shown for development plans. For example, contours near Storm System #5 do not have labels.
16. Proposed Grading. Top of Curb (TC) and Final Grade (FG) spot elevations are needed across the proposed work site. For example, the proposed islands have no elevations specified. High point/drainage breaks along curb and gutter runs must be annotated with proposed grades. Revise accordingly.
17. Site Clearing and Fills. Limits of clearing should be restricted to only those areas necessary to install erosion and sediment controls and for grading associated with intended site development. Excessive clearing is present along BMP bank. This area also listed as Borrow Area, which is not recommended on the BMP embankment.
18. Existing curb and gutter. The proposed layout site view is still showing the existing curb and gutter line. Provide approximate length of curb and gutter to be removed, or use hatching to indicate portions to be removed.

19. Dumpster Pad(s). The existing dumpster pad is labeled for having the fencing removed, but not the excess concrete. Is concrete to be removed as it is no longer necessary in that area? At new dumpster location, additional concrete is shown, but no notes/ labels for pad dimensions are given. A detail of the new pad section is provided, but more information is needed. Also, provide new fencing information for new pad location.

**Erosion & Sediment Control Plan:**

20. Temporary Stockpile Areas. Show any temporary soil stockpile and equipment staging or material storage areas (with required erosion and sediment controls) or indicate on the plans that none are anticipated for the project site.
21. Limits of Work. As noted above, various mentions of the disturbed area are present on the plans.
22. Sequence of Construction. Provided sequence does not list step for asphalt application, installation of curb stops, paint striping, or landscape installation.
23. Silt Fence. Extend silt fence around existing asphalt area starting at existing dumpster pad and intersecting at gravel removal spot. Adjust limit of work accordingly.
24. Outlet Protections. Provide riprap outlet protection for all pipe, culvert and storm drain outfalls and for pipes leading into BMP facilities. Specify riprap class and thickness, pad dimensions and amount of stone to be used in accordance with requirements of the VESCH, Minimum Standard & Specs. 3.18 and 3.19.

**Stormwater Management / Drainage:**

25. Existing BMPs. As stormwater compliance for the proposed site is intended to be achieved by use of an existing onsite or offsite master planned BMP, the provisions of Section 23-9(b)(8)(a) of the County's Chesapeake Bay Preservation ordinance will apply to the project. If compliance for a development is based in whole or part by use of an existing downstream onsite or offsite structural BMP, evidence shall be provided that the facilities are in good working order and performing at the design level of service.
26. SWM/BMP. Reference the County BMP ID Code number, if known.
27. Missing Structure and Information. Proposed Structure #4 ties into an existing system that seems to also flow into the BMP at a different point. The structure tying the systems together is missing and there are INV tags pointing to the spot where the structure should be. Please provide explanation of existing system flow and proposed system adjustments. Modification of storm system calculations may be required.
28. Replaced Inlet Top. The existing structure near proposed #4 is to have top replaced with "DI-3 TYPE III". This is an inappropriate location for a DI-3 top. Please revise.
29. Structure Depth. Proposed DI #7 is listed as 12.92' deep, exceeding the listed maximum depth of this structure, according to the provided detail. Provide alternate detail or other necessary information

appropriate to structure depth. Add note that steps, in accordance with VDOT Standard ST-1, are required in structures exceeding four feet in depth.

30. Pipe Size. The proposed 15" pipe from Structure 3 to Structure 4 is listed exactly at pipe capacity for the 10 year storm. Staff suggests adjusting pipe slope or size to provide additional capacity for large events.
31. Pipe Lengths. The lengths listed in the Schedule do not match the lengths listed in the hydraulic calculations. Staff understands this is a rounding issue, but lengths should match for construction purposes.
32. Outfall Protections. Outfall protections shall be designed in accordance with Minimum Standard & Spec. 3.18 and 3.19 of the VESCH. Provide calculations for specified apron, including dimensions, riprap thickness, class, and quantity required. Excessive storm pipe outlet velocities may require specially designed structures rather than standard riprap outlet protection pads.
33. HDPE pipe. Provide reference to appropriate VDOT Road and Bridge Standards or provide specifications for use of corrugated polyethylene pipe in storm drainage applications as intended for the site. If VDOT standards are not referenced, provide a typical bedding and installation detail, indicate type of pipe and minimum cover requirements during construction and allowable maximum height of final and temporary cover for the type of pipe selected. Use of corrugated polyethylene pipe for private-drainage systems should have proper reference on the construction plan for pipe type (AASHTO M252, AASHTO M294, ASTM F667, etc.), bedding and installation in accordance with association standards (ASTM D2321, etc.) and for connection type to concrete manholes structures or inlets (ASTM C923, etc.)



**ENGINEERING AND RESOURCE PROTECTION REVIEW COMMENTS**  
**Citizen and Farmer's Bank Parking Expansion**  
**COUNTY PLAN NO. C-088-14**  
*January 9, 2015*

*The exhibit submitted for conceptual review shows possible parking layout expansion without any dimensions. As no actual stormwater approach, very general comments are issued herein. More in depth and site appropriate comments will be issued at a site plan review stage.*

**General:**

1. RPA Buffer Verification. The RPA buffer, shown on the plans but not labeled, must be field verified for accuracy.
2. Existing BMPs. If stormwater compliance for the proposed site is intended to be achieved by use of an existing onsite or offsite master planned BMP, the provisions of Section 23-9(b)(8)(a) of the County's Chesapeake Bay Preservation ordinance will apply to the project. If compliance for a development is based in whole or part by use of an existing downstream onsite or offsite structural BMP, evidence shall be provided that the facilities are in good working order and performing at the design level of service. Original design computations and/or maintenance plans may need to be provided to verify this provision. Additional computations will be required to verify that facility can accommodate additional flow generated by proposed development.
3. Pond Setback. Per the James City County BMP Guidelines, a pond buffer should be provided that extends 25 feet outward from the maximum water surface elevation of the pond (100 year water elevation. Development within this buffer is not permitted.
4. Existing Pond Conditions. Visual inspection (1/9/15) of the existing BMP shows extensive clogging of the riser structure and small diameter saplings growing on the dam embankment. These issues must be resolved prior to or during the site plan review process.
5. Stormwater Narrative. Please provide a narrative explanation of the stormwater management approach for this new building. The narrative should include the existing drainage patterns for that site area and the proposed approach following construction. Additionally, please provide an estimate of the proposed impervious cover.
6. VSMP/VPDES Construction. Effective July 1, 2014 the County is designated a local VSMP authority and is responsible to administrate and enforce certain provisions of the state's nonpoint source pollution programs including the Virginia Stormwater Management Program (VSMP) and VPDES construction general permit programs. Refer to Article II of Chapter 8 (Erosion and Sediment Control and Virginia Stormwater Management Program ordinance) of the County Code.

## 8. Correspondence



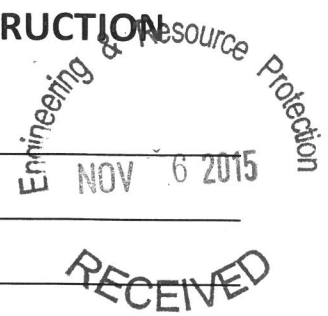
## FINAL REPORT OF STORMWATER CONVEYANCE SYSTEM CONSTRUCTION

**Schnabel Project Number:** 15633032

**Project:** C&F Bank Parking Addition

**Address:** 3600 La Grange Parkway, Virginia

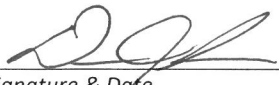
**Engineer of Record:** Donald J. Smith, PE



Field reports dated September 4, 2015 through September 14, 2015, all submitted prior to this Final Report, form a basis for, and are to be considered an integral part of this final report.

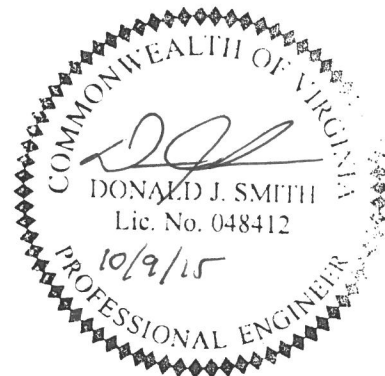
In our professional opinion, the storm water conveyance system specified for this project have been completed in accordance with the project plans by Koth Consulting dated February 26, 2015. Discrepancies noted between the plans and specifications and the as-built construction observed in the conduct of observation and testing services were brought to the attention of the contractor and the appropriate licensed design professional of record. According to our records, any and all discrepancies have been corrected in accordance with the recommendations of the appropriate licensed design professional of record.

**Submitted by Engineer of Record:**

 10/9/15  
\_\_\_\_\_  
*Signature & Date*

Donald J. Smith, PE

\_\_\_\_\_  
*(Type or print) Name*



## Deirdre Wells

---

**From:** Deirdre Wells  
**Sent:** Thursday, December 17, 2015 11:24 AM  
**To:** 'Lance Koth'; 'chad.redd@yahoo.com'  
**Cc:** Tina Creech  
**Subject:** C&F Parking Lot - As-built process for bond release

Lance,

Happy Holidays! I am currently reviewing the storm as-builts for the C&F parking lot. As you know, the storm runs proposed for the property frontage were not installed due to a VDOT issue. The County can accept the lack of storm up front, but we do need to confirm that the remaining placed storm has capacity to serve the site. As part of the as-built review process, I will need an updated drainage area map and storm system calculations (with HGL computations) for the storm. Please use the as-built elevations and dimensions for the storm structures and pipes in order for us to get the most realistic picture.

Thanks so much,

Deirdre P. Wells, P.E.  
Chief Civil Engineer



Engineering and Resource Protection  
101-E Mounts Bay Road  
Williamsburg, VA 23185  
P: 757-253-6702  
Deirdre.Wells@jamescitycountyva.gov





**Community Development**

101-A Mounts Bay Road

P.O. Box 8784

Williamsburg, VA 23187-8784

P: 757-253-6671

F: 757-253-6822

Community.Development@jamescitycountyva.gov

[jamescitycountyva.gov](http://jamescitycountyva.gov)

**Building Safety and Permits**

757-253-6620

**Stormwater and Resource Protection**

757-253-6670

**Planning**

757-253-6685

**Zoning Enforcement**

757-253-6671

February 23, 2018

Greg DePompeo  
77 Riverbend Lane  
King William, VA 23086

**RE: SP-0009-2018, C & F Bank Employee Clinic**

Dear Mr. DePompeo,

I am pleased to inform you that your site plan received final approval on **February 23, 2018**. Enclosed are two copies of the stamped final approval drawing for your files. It is the applicant's responsibility to provide one signed copy of the approved site plan to the Building Safety and Permits Division when an application for a building permit is submitted.

Final approval of the site plan shall expire five years after the date of approval. During that period all permits shall be obtained or the development shall be put into use. When the permits have been issued, the site plan approval shall run concurrently with the permits term of validity for only those uses and improvements covered by the permits. All work shall be completed in the manner and location indicated upon the approved plan. Modifications shall be approved in advance by the Zoning Administrator.

Sincerely,

Ellen Cook  
Principal Planner

## 9. Inspections

# 10. Permitting

# 11. Miscellaneous

(ex. photos)

# 12. Project Development Documents